



State of Rhode Island and Providence Plantations  
**Coastal Resources Management Council**  
Oliver H. Stedman Government Center  
4808 Tower Hill Road, Suite 3  
Wakefield, RI 02879-1900

(401) 783-3370  
Fax (401) 783-2069

### **PUBLIC NOTICE**

File Number: MOD2009-10-047

Date: June 17, 2019

This office has under consideration the application of:

**Tucker House LLC  
c/o Edward Feldstein, Esq.  
10 Weybossett Street  
Providence, RI 02903**

for a State of Rhode Island Assent to construct and maintain:

A modification to an existing dock consisting of elevating the structure by one foot and changing its terminus to a fixed "L" section which will be no further seaward.

Project Location:	35 Washington Street
City/Town:	North Kingstown
Plat/Lot:	117 / 233
Waterway:	Wickford Harbor

Plans of the proposed work may be seen at the CRMC office in Wakefield.

In accordance with the Administrative Procedures Act (Chapter 42-35 of the Rhode Island General Laws) you may request a hearing on this matter.

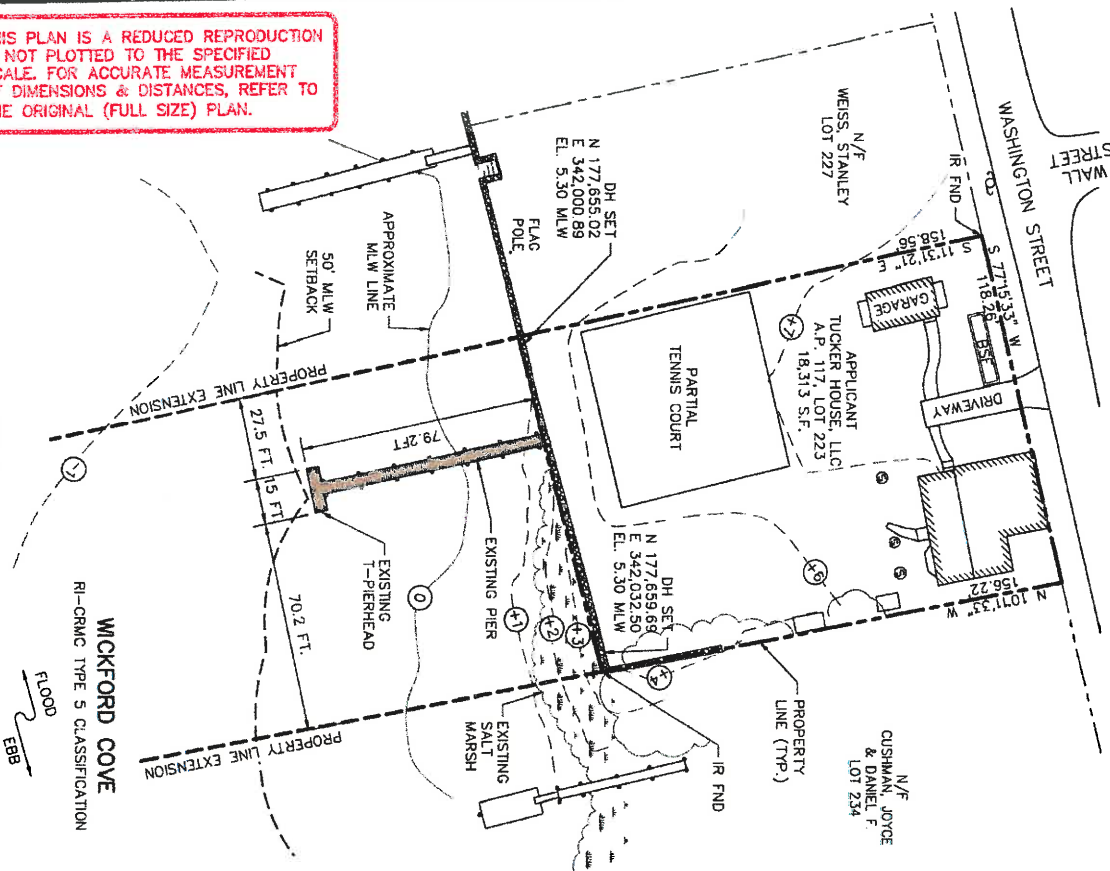
You are advised that if you have good reason to enter protests against the proposed work it is your privilege to do so. It is expected that objectors will review the application and plans thoroughly, visit site of proposed work if necessary, to familiarize themselves with the conditions and cite what law or laws, if any, would in their opinion be violated by the work proposed.

If you desire to protest, you must attend the scheduled hearing and give sworn testimony. A notice of the time and place of such hearing will be furnished you as soon as possible after receipt of your request for hearing. If you desire to request a hearing, to receive consideration, it should be in writing (**with your correct mailing address, e-mail address and valid contact number**) and be received at this office on or before July 17, 2019.

THIS PLAN IS A REDUCED REPRODUCTION  
& NOT PLOTTED TO THE SPECIFIED  
SCALE. FOR ACCURATE MEASUREMENT  
OF DIMENSIONS & DISTANCES, REFER TO  
THE ORIGINAL (FULL SIZE) PLAN.

# EXISTING SITE PLAN

SCALE: 1"=40' FT



## VICINITY MAP

1"=1,500 FT

### NOTES:

1. PLAN INFORMATION PRESENTED HEREIN (INCLUDING SHORELINE, TIDAL, CONTOURS) IS BASED ON THE PLAN PREPARED BY ST. JEAN ENGINEERING, LLC, DATED DECEMBER 19, 2014 TITLED, "ASSENT MODIFICATION - RESIDENTIAL DOCK, LOCATED AT 35 WASHINGTON STREET, NORTH KINGSTOWN, RI 02852 SUPPLEMENTED BY FIELD MEASUREMENTS PERFORMED BY HARBOR ENGINEERING, LLC ON MARCH 12, 2019.
2. ELEVATIONS FOR TIDAL BENCHMARKS, MEAN LOW WATER (MLW) AND MEAN HIGH WATER (MHW), WERE OBTAINED USING NOAA VDATUM SOFTWARE BASED ON THE 1983-2001 TIDAL EPOCH. ELEVATIONS FOR STORM SURGE WERE OBTAINED FROM THE FEMA FLOOD INSURANCE STUDY FOR WASHINGTON COUNTY DATED OCTOBER 16, 2013.
3. REFERENCED VERTICAL DATUM IS MEAN LOW WATER DATUM (MLWD).
4. REFER TO SHEET 7 OF 7 FOR ADDITIONAL NOTES.

### TABLE 1: TIDAL AND STORM SURGE BENCHMARKS

BENCHMARK	ELEVATION (MLWD)
MEAN LOW WATER (MLW)	0.0
NORTH AMERICAN VERTICAL DATUM (NAVD83)	2.2
MEAN HIGH WATER (MHW)	3.7
10 YEAR STILLWATER ELEVATION	7.9
50 YEAR STILLWATER ELEVATION	11.1
100 YEAR STILLWATER ELEVATION	13.5
100 YEAR BASE FLOOD ELEVATION	17.2*

\* NOTE: ELEVATIONS ABOVE DENOTED WITH A "\*" INCLUDE WAVE ACTION.

**HARBOR ENGINEERING, LLC**  
26 BOSWORTH STREET  
BARRINGTON, RI 02806  
(401) 829-4870  
harboreng.com



Client/Owner:  
**TUCKER HOUSE, LLC**  
10 WEYBOSSETT STREET, SUITE 800  
PROVIDENCE, RI 02903

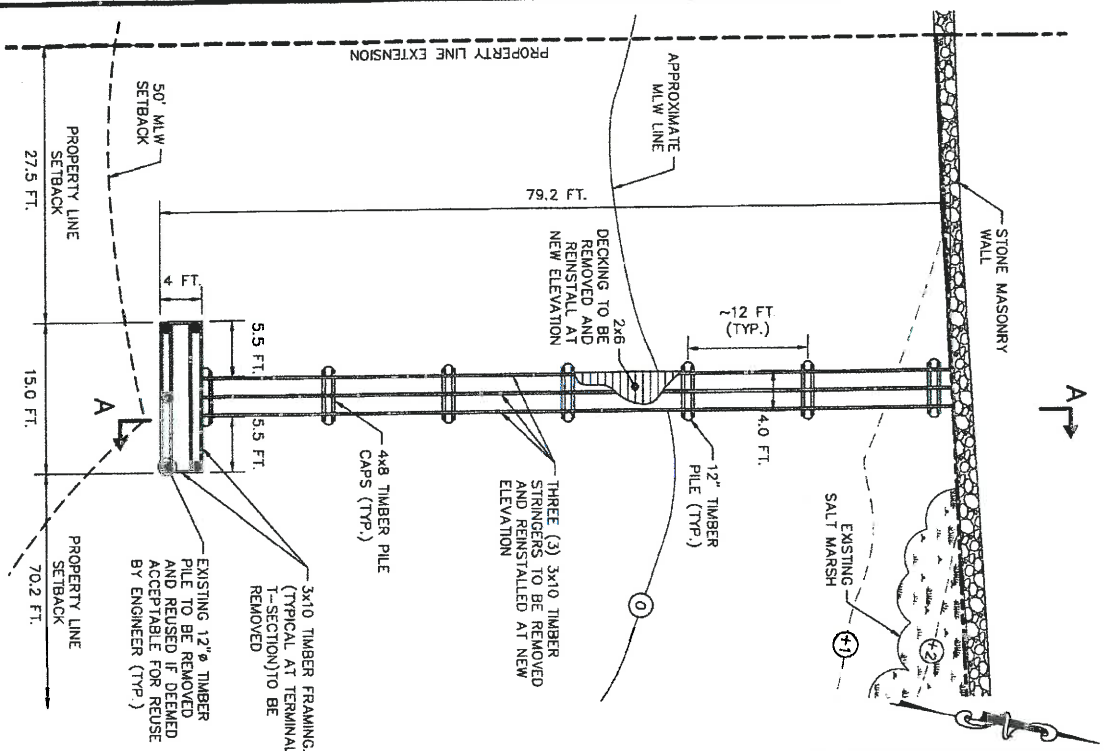
Issued for:  
**REGULATORY REVIEW  
AND CONSTRUCTION**

Drawing Title:  
**TUCKER HOUSE PIER  
MODIFICATION  
EXISTING SITE PLAN**

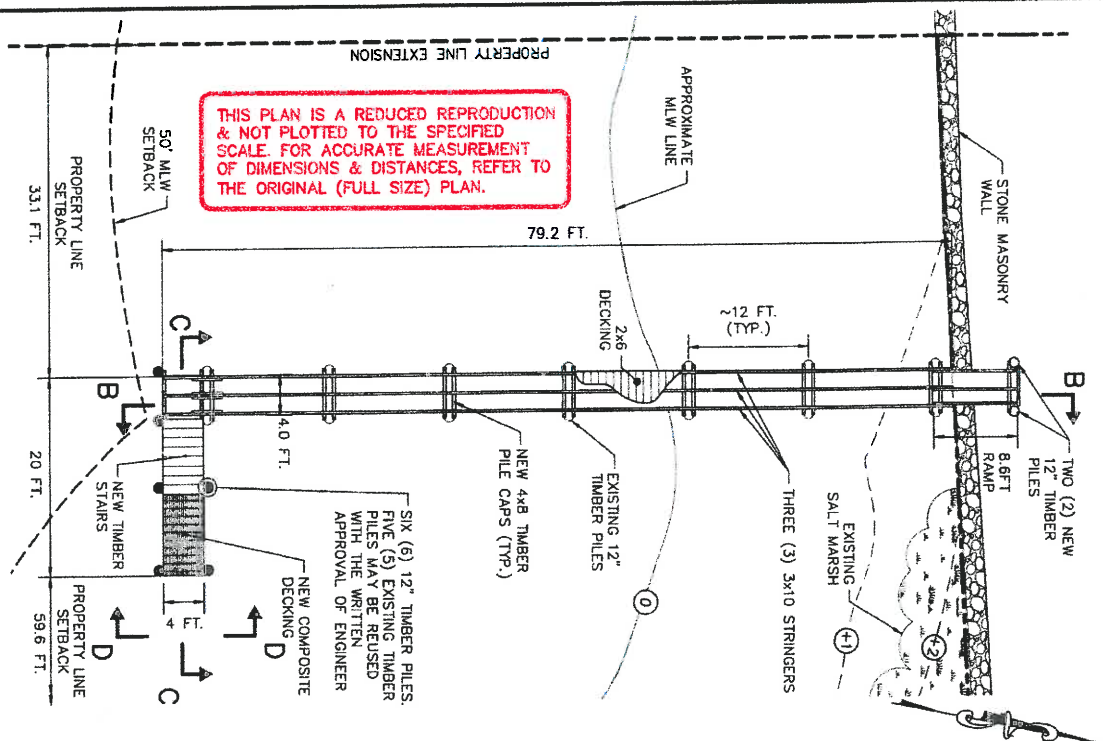
August J. Kreuzkamp, III  
REGISTERED PROFESSIONAL ENGINEER  
02104 2019

Project Number: 2019-05  
Sheet 1 of 7  
Drawing Number: EX-1

Date: 2019-04-04  
Scale: AS NOTED  
Designed By: BMD  
Drawn By: BMD  
Checked By:



**INSET 1 – EXISTING PIER PLAN**



THIS PLAN IS A REDUCED REPRODUCTION  
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SCALE. FOR ACCURATE MEASUREMENT  
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**INSET 1 -- PROPOSED PIER PLAN**

[illegible]

**HARBOR ENGINEERING, LLC**  
 26 BOSWORTH STREET  
 BARRINGTON, RI 02806  
 (401) 829-4870  
[harboreng.com](http://harboreng.com)



0 12FT 24FT

GRAPHIC SCALE

Client/Owner:  
**TUCKER HOUSE, LLC**  
10 WEYBOSSET STREET, SUITE 800  
PROVIDENCE, RI 02903

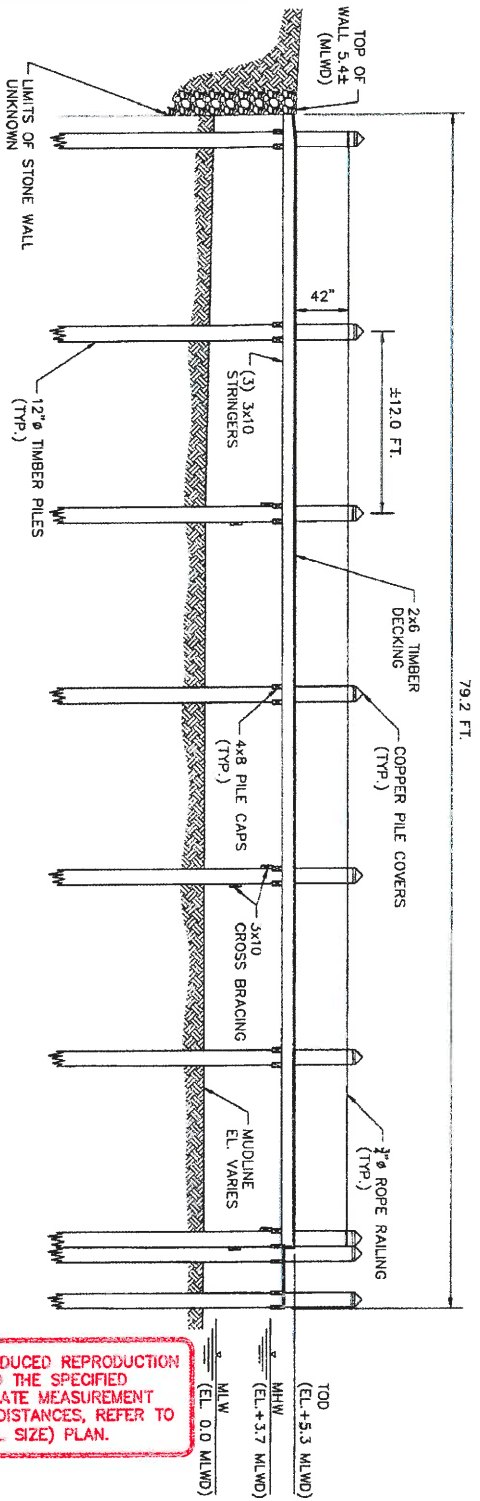
Issued for:  
**REGULATORY REVIEW  
AND CONSTRUCTION**

**Drawing Title:**  
**TUCKER HOUSE PIER**  
**MODIFICATION**  
**PIER PLAN**

AUGUST 1, KREUZKAMP III  
 No. 7949  
 REGISTERED  
 PROFESSIONAL ENGINEER  
 CIVIL 4/2018

Date: 2019-04-10  
 Serial: 1912F

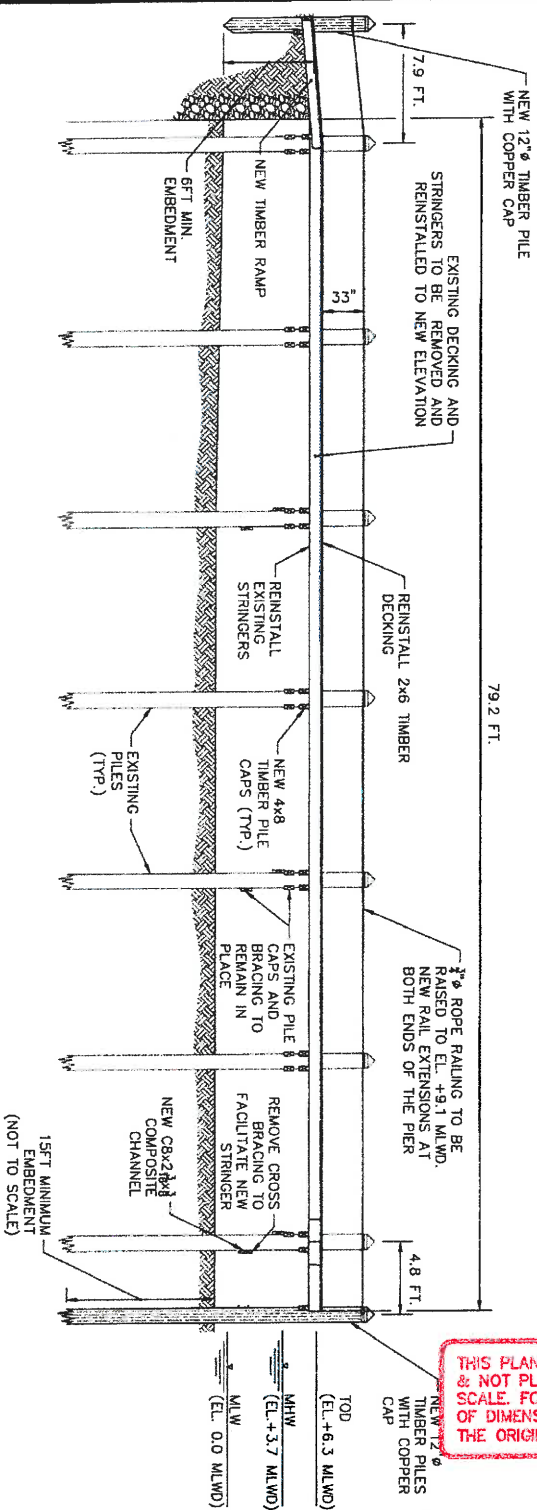
Designed By: BM  
 Drawn By: BM  
 Checked by:  
 Project Number: 2019-05  
 Sheet 2 of 7  
 Drawing Number: S-1



**SECTION A-A EXISTING PIER ELEVATION**

SCALE: 1"=8FT

79.2 FT.



**SECTION B-B PROPOSED PIER ELEVATION**

SCALE: 1"=8FT

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26 BOSWORTH STREET  
BARRINGTON, RI 02806  
(401) 829-4970  
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10 WEYBOSSET STREET, SUITE 800  
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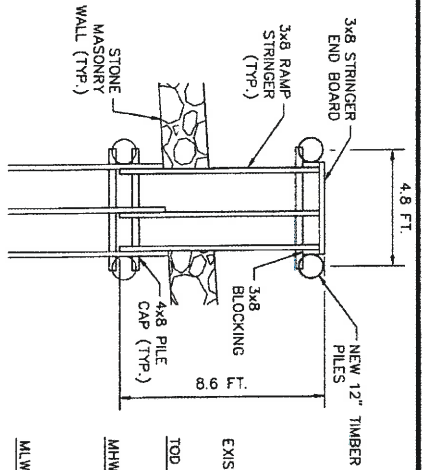
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**REGULATORY REVIEW  
AND CONSTRUCTION**

Drawing Title:  
**TUCKER HOUSE PIER  
MODIFICATION  
PIER ELEVATIONS**

Date: 2019-04-04  
Scale: 1"=8FT  
Designed By: BMD  
Drawn By: BMD  
Checked By:  
Project Number: 2019-05  
Sheet 3 of 7  
Drawing Number: S-2

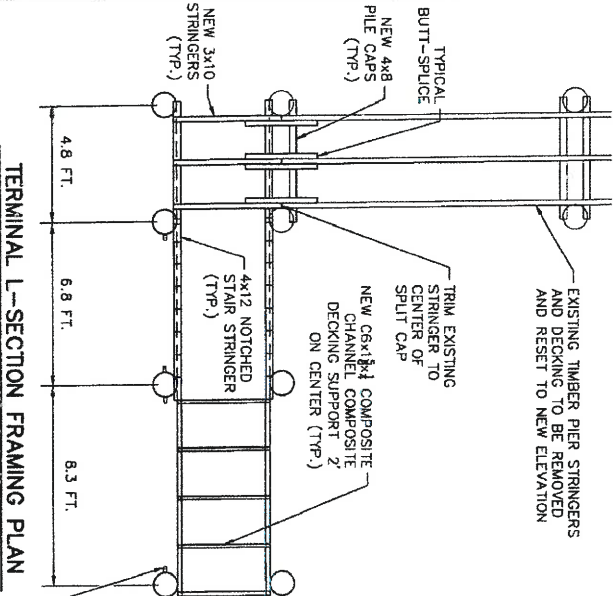
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REGISTERED  
PROFESSIONAL ENGINEER  
CIVIL 44160491





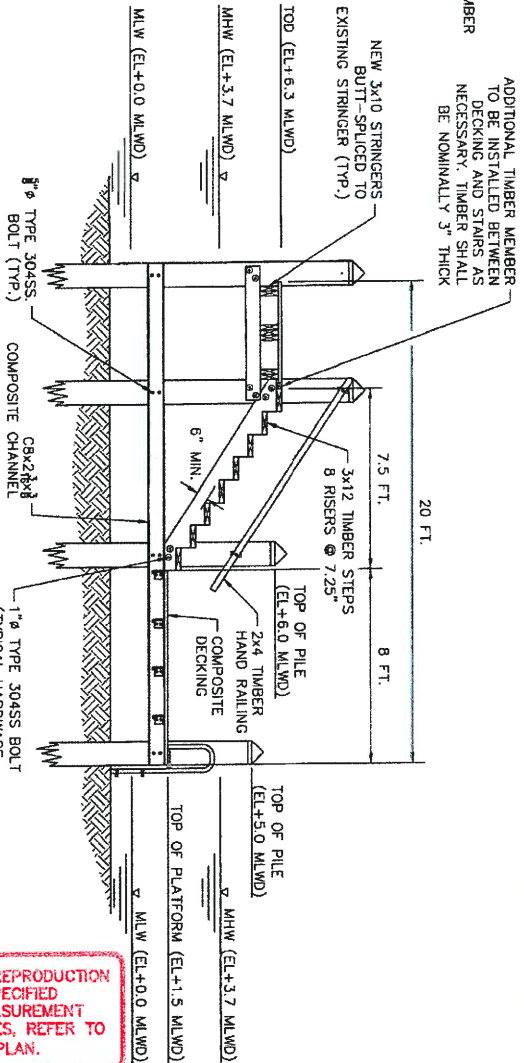
# **RAMP FRAMING AND DECKING PLAN**

SCALE: 1"=5'-0"



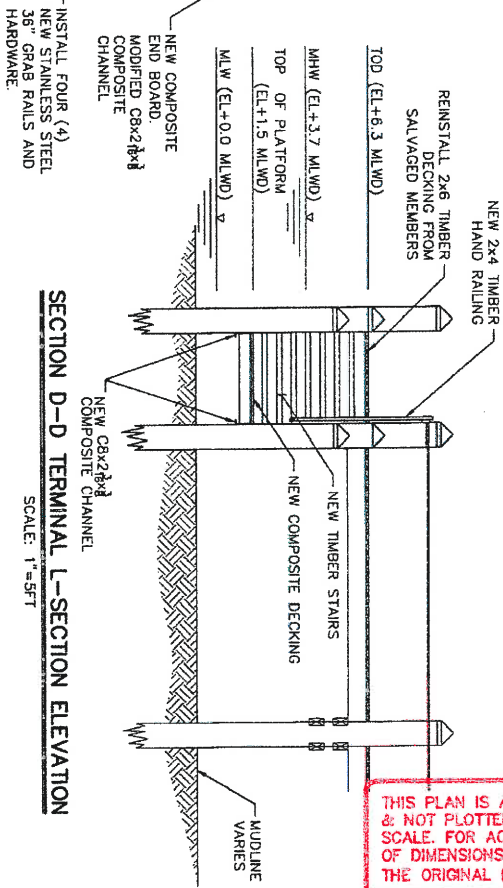
# **TERMINAL L-SECTION FRAMING PLAN**

SCALE: 1"=5'-0"



# **SECTION C-C TERMINAL L-SECTION ELEVATION**

SCALE: 1"=5'-0"



# **SECTION D-D TERMINAL L-SECTION ELEVATION**

SCALE: 1"=5'-0"

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26 BOSWORTH STREET  
BARRINGTON, RI 02806  
(401) 829-4870  
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0 5FT 10FT  
GRAPHIC SCALE

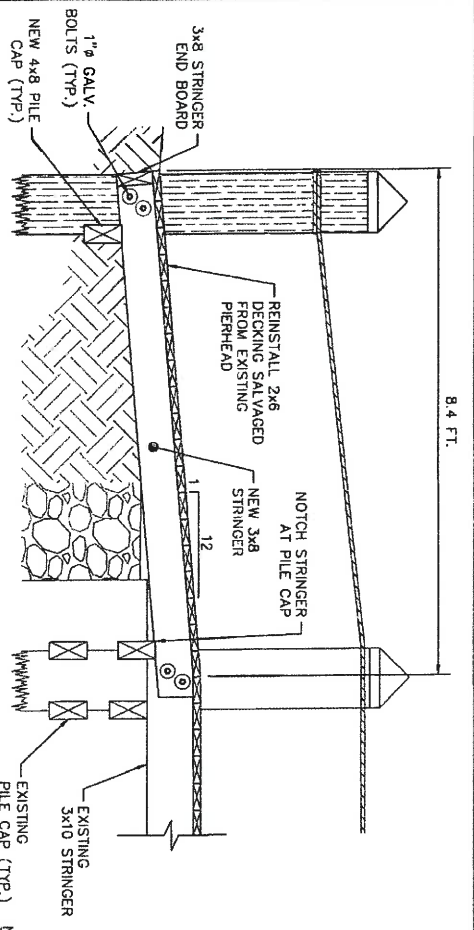
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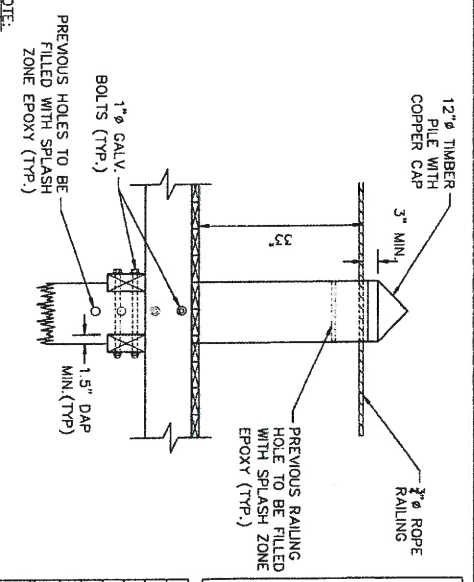
Drawing Title:  
**TUCKER HOUSE PIER  
MODIFICATION**  
FRAMING PLAN AND CROSS SECTIONS

Date: 2019-04-04	
Scale: 1"=5'-0"	Designed By: BMD
Drawn By: BMD	Checked By:
Project Number: 2019-05	Sheet 4 of 7
Drawing Number: S-3	

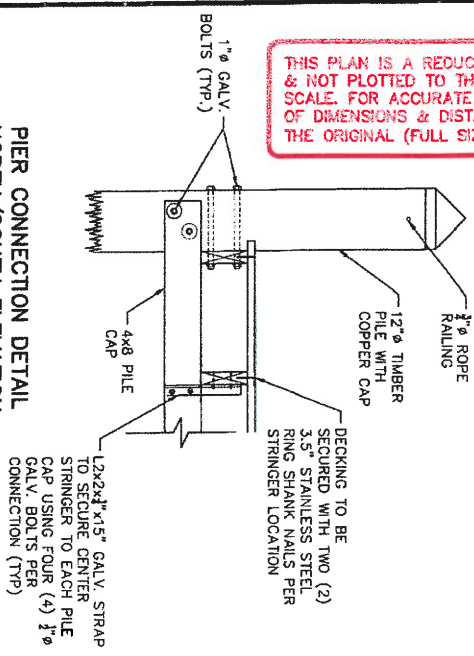
NO. AUGUST 1, KREUZKAMP III, 7949  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL 1/2019



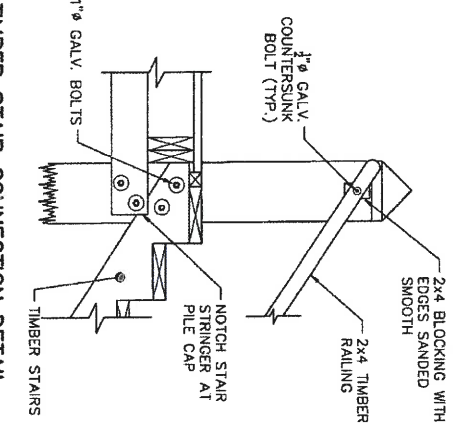
**RAMP DETAILS**  
SCALE: 1"=2FT



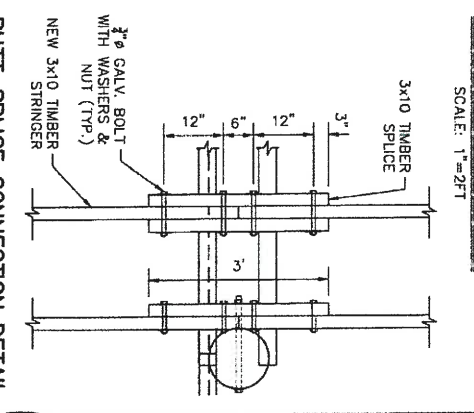
**PIER CONNECTION DETAIL  
EAST/WEST ELEVATION**  
SCALE: 1"=2FT



**PIER CONNECTION DETAIL  
NORTH/SOUTH ELEVATION**  
SCALE: 1"=2FT



**TIMBER STAIR CONNECTION DETAIL**  
SCALE: 1"=2FT



**BUTT-SPICE CONNECTION DETAIL**  
SCALE: 1"=2FT

NOTE:  
1. PROPOSED HANDRAIL IS LOCATED APPROXIMATELY 33 INCHES ABOVE THE DECK AND IS THEREFORE NON-CONFORMING TO THE BUILDING CODE (MIN 36 INCHES). THE EXISTING RAILING AND PROPOSED RAILING ARE ALSO NON-CONFORMING DUE TO BOTH RAILING SYSTEMS EXCEED THE OPENING LIMITATIONS OF THE BUILDING CODE. RAILING SHALL BE INSTALLED PER THE DIRECTION OF THE OWNER.

**HARBOR ENGINEERING, LLC**  
26 BOSWORTH STREET  
BARRINGTON, RI 02806  
(401) 829-4870  
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0 2FT 4FT  
GRAPHIC SCALE

No.	Revision	Date	App.

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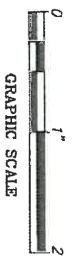
Issued for:  
**REGULATORY REVIEW  
AND CONSTRUCTION**

Drawing Title:  
**TUCKER HOUSE PIER  
MODIFICATION  
DETAILS**

	Date:	2019-04-04
	Scale:	1"=2FT
	Designed By:	BMD
	Drawn By:	BMD
	Project Number:	2019-05
	Sheet:	5 of 7
	Drawing Number:	S4

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No.	Revision	Date	App.



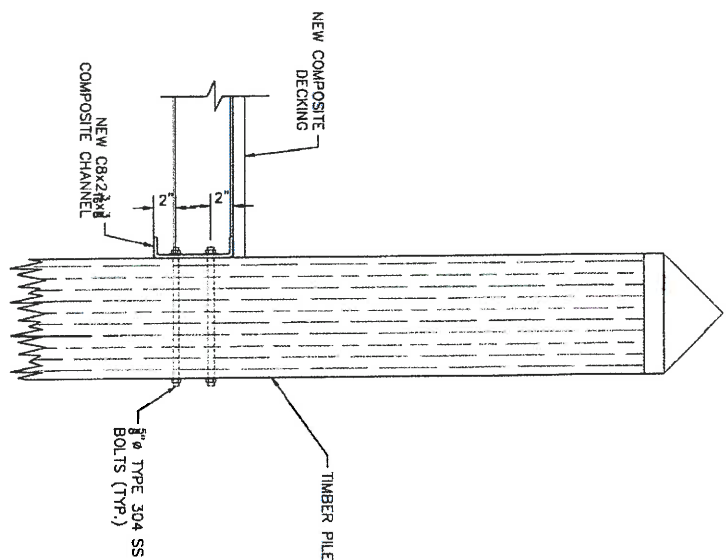
Client/Owner:  
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 PROVIDENCE, RI 02903

Issued for:  
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 AND CONSTRUCTION

Drawing Title:  
**TUCKER HOUSE PIER**  
 MODIFICATION

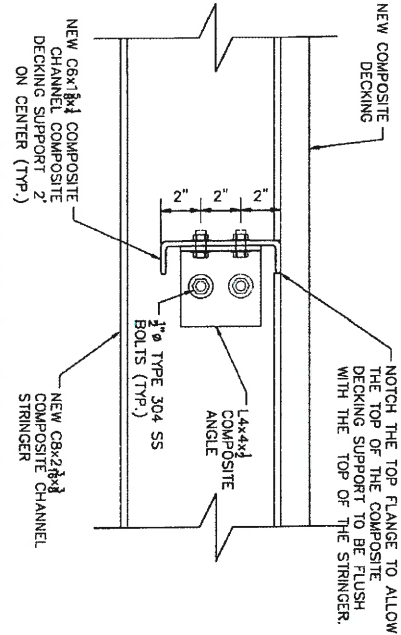
COMPOSITE MEMBER CONNECTION DETAILS

AUGUST J. KREUZKAMP, III. REGISTERED PROFESSIONAL ENGINEER CIVIL 79414 4/4/2019		Date: 2019-04-04 Scale: AS NOTED Designed By: BMD Drawn By: BMD Checked By: Project Number: 2019-05 Sheet 6 of 7 Drawing Number: S-5
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**COMPOSITE STRINGER PILE  
 CONNECTION DETAIL**  
 SCALE: 1"=1'-0"

**COMPOSITE DECKING SUPPORT  
 CONNECTION DETAIL**  
 SCALE: 2"=1'-0"



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# DESCRIPTION OF WORK

1. THE WORK COVERED UNDER THESE CONTRACT DOCUMENTS, INCLUDING THE DRAWINGS, GENERAL NOTES, AND SPECIFICATIONS AND ALL AMENDMENTS, CONSISTS OF PROVIDING ALL PLANT, LABOR, SUPERVISION, EQUIPMENT, AND MATERIALS IN CONNECTION WITH THE PERFORMANCE OF ALL OPERATIONS IN CONNECTION WITH AT LEAST, BUT NOT NECESSARILY LIMITED TO, THE FOLLOWING ITEMS:
  - 1.1. DEMOLITION
    - 1.1.1. REMOVE AND DISPOSE TIMBER STRINGERS FROM THE 1-PIERHEAD. TIMBER DECKING SHALL BE STORED AND REUSED.
    - 1.1.2. REMOVE FIVE (5) PILES THAT SUPPORT THE EXISTING PIERHEAD. PILES MAY BE REUSED WITH WRITTEN APPROVAL OF THE ENGINEER.
  - 1.2. CONSTRUCTION
    - 1.2.1. REMOVE AND STORE ALL TIMBER STRINGERS AND DECKING. EXISTING STRINGERS AND DECKING ARE TO BE REINSTALLED 1-FOOT ABOVE THE EXISTING ELEVATION.
    - 1.2.2. FURNISH AND INSTALL NEW PILES AND PILE CAPS AND REINSTALL TIMBER STRINGERS AND DECKING AT THE NEW PROPOSED ELEVATIONS. ALL ASSOCIATED HARDWARE THAT IS REMOVED DURING CONSTRUCTION SHALL BE REPLACED WITH NEW HARDWARE.
    - 1.2.1. CONSTRUCT NEW TIMBER PIERHEAD AND RAMP. REINSTALL DECKING FROM THE DEMOLISHED PIERHEAD.
    - 1.2.2. INSTALL NEW ANCILLARY COMPONENTS INCLUDING BUT NOT LIMITED TO STAIRS, RAILING, COMPOSITE DECKING, AND COPPER CAPS.

## GENERAL NOTES:

1. DRAWING AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF HARBOR ENGINEERING, LLC. DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR IN PART, FOR OTHER PROJECTS OR PURPOSES OR BY ANY OTHER PARTIES THAN THOSE AUTHORIZED BY CONTRACT WITHOUT THE SPECIFIC WRITTEN AUTHORIZATION OF HARBOR ENGINEERING, LLC. THE USE OF THIS DOCUMENT IS CONTINGENT UPON PAYMENT TO HARBOR ENGINEERING, LLC. FOR SERVICES RENDERED. NON-PAYMENT SHALL GIVE HARBOR ENGINEERING, LLC. THE AUTHORITY TO BAR DOCUMENT USE BY ANY AND ALL PARTIES.
2. DESIGN LIVE LOAD FOR RAMP AND PIER HEAD: 500 POUND POINT LOAD OR 60PSF UNIFORM DISTRIBUTED LOAD.

## GENERAL CONSTRUCTION NOTES:

1. ALL WORK SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS AS SHOWN IN THESE PLANS AND SPECIFICATIONS.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE CONDITIONS SHOWN HEREIN AND NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES IN DIMENSIONS AND/OR SITE CONDITIONS PRIOR TO THE FABRICATION AND/OR ORDERING OF ANY CONSTRUCTION MATERIALS. THE CONTRACTOR SHALL NOT BEGIN CONSTRUCTION IN ANY SUCH AFFECTED AREA UNTIL THE DISCREPANCY HAS BEEN RESOLVED BY THE CONTRACTOR AND APPROVED BY THE ENGINEER IN WRITING.

## THE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING ELEVATIONS AND PLAN BENCHMARKS NECESSARY TO MAINTAIN THE LENGTH OF THE PIER. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PRESERVE THE BENCHMARKS ESTABLISHED ON SITE. ANY ADDITIONAL SURVEY WORK REQUIRED WILL BE AT THE EXPENSE OF THE CONTRACTOR.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BRINGING ALL ELEMENTS OF THE PROJECT IN CONFORMANCE WITH THESE PLANS AND SPECIFICATIONS. IF ANY MODIFICATIONS ARE REQUIRED IN ANY ELEMENT, THE CONTRACTOR SHALL SUBMIT PROPOSED CHANGES IN WRITING TO THE ENGINEER FOR REVIEW.
5. ALL SAFETY REGULATIONS ARE TO BE STRICTLY FOLLOWED. METHODS OF CONSTRUCTION AND ERECTION OF STRUCTURAL MATERIAL ARE THE RESPONSIBILITY OF THE CONTRACTOR.
6. ALL WORK SHALL COMPLY WITH FEDERAL, STATE, AND LOCAL LAWS AND STATUTES AND THE REQUIREMENTS AND CONDITIONS OF ALL REGULATORY PERMITS ISSUED FOR THE WORK.
7. ALL WORK SHALL CONFORM TO THE LATEST EDITION OF THE RELEVANT OSHA CODES, THE RHODE ISLAND STATE BUILDING CODE, AND THE REFERENCED STANDARDS INCLUDED THEREIN THAT ARE APPLICABLE TO THIS PROJECT.
8. THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTAINING A LOG OF DRIVEN PILE DEPTH FOR EACH PILE INSTALLED AND REPORT ANY PILE OR SET OF PILES NOT MEETING THE MINIMUM REQUIREMENTS STATED ON THE PLANS. PAYMENTS WILL BE WITHHELD UNTIL DRIVE LOGS HAVE BEEN SUBMITTED FOR ENGINEER'S REVIEW.
9. ALL COMPONENTS SHALL BE INSTALLED PER EACH MANUFACTURER'S SPECIFICATIONS AND/OR STANDARD INDUSTRY PRACTICE AS APPLICABLE.
10. THE CONTRACTOR SHALL MAINTAIN AT ALL TIMES A SET OF RECORD DRAWINGS AND SPECIFICATIONS DURING THE PROGRESSION OF THE PROJECT. RECORD DRAWINGS SHALL BE UPDATED ON A DAILY BASIS AND SHALL BE SUBMITTED TO THE ENGINEER AT THE COMPLETION OF CONSTRUCTION.
11. DAMAGE TO ANY PROPERTY, PRIVATE OR OF PUBLIC TRUST, OCCURRING DURING THE CONSTRUCTION BY THE CONTRACTOR, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER AT THE EXPENSE OF THE CONTRACTOR.

## DEMOLITION NOTES:

1. DEBRIS REMAINING FROM DAMAGED AND/OR REHABILITATED SECTIONS OF THE PIER STRUCTURE, INCLUDING DEMOLISHED MATERIAL, DEEMED UNACCEPTABLE FOR REUSE, SHALL BE COMPLETELY REMOVED FROM THE JOB SITE AND DISPOSED OF IN A SAFE AND LEGAL MANNER.

## TIMBER NOTES:

1. UNLESS NOTED OTHERWISE, ALL TIMBER MATERIAL SHALL BE SOLID SAWN LUMBER (S4S) SOUTHERN YELLOW PINE GRADE NO. 1 OR BETTER IN ACCORDANCE WITH EITHER THE SOUTHERN PINE INSPECTION BUREAU OR THE TIMBER PRODUCTS INSPECTION BUREAU GRADING RULES.
2. ALL TIMBER PILE CAPS AND STRINGERS USED SHALL BE TREATED WITH CCA PRESERVATIVE SUFFICIENT FOR MARINE CONSTRUCTION (MINIMUM RETENTION: 0.6 LBS PER CUBIC FOOT).

2. ALL TIMBER DECKING AND HAND RAILS USED SHALL BE TREATED WITH ACO PRESERVATIVE SUFFICIENT FOR MARINE CONSTRUCTION (MINIMUM RETENTION: 0.6 LBS PER CUBIC FOOT).
3. BRUSH APPLY TWO (2) COATS OF WOOD PRESERVATIVE TO SURFACE OF PRESERVATIVE TREATED MATERIALS WHICH HAVE BEEN FIELD CUT, DRESSED OR PILED.
4. UNLESS NOTED OTHERWISE, ALL BOLTS AND THREADED RODS TO BE 1" IN DIAMETER OR GREATER AND SHALL CONFORM TO A307 GRADE A W/ HEAVY HEX NUTS. HARDWARE LOCATED ABOVE MHV SHALL BE HOT DIPPED GALVANIZED (HDG) LOGE OR DOCK STEEL WASHERS. HARDWARE LOCATED BELOW MHV SHALL BE TYPE 304SS. BOLT HOLES SHALL BE A MAXIMUM OF 8" LARGER THAN THE BOLT DIAMETER SPECIFIED.

5. COUNTER SINK AREAS WHERE HARDWARE INTERFERES WITH CONSTRUCTION OR VESSEL BERTHING AREAS.
6. ALL NAILS AND SCREWS SHALL BE STAINLESS STEEL.
3. CONTRACTOR SHALL SUBMIT CERTIFICATES SUBSTANTIATING CONFORMANCE WITH MATERIAL & COATING SPECIFICATIONS PRIOR TO INSTALLATION.

## PILES

1. THE CONTRACTOR SHALL USE EQUIPMENT ADEQUATE IN SIZE, CAPACITY, AND NUMBERS, AND MAINTAINED TO THE REQUIREMENTS OF ALL FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS TO ACCOMPLISH THE WORK.
2. TIMBER PILES SHALL HAVE A 12 INCH DIAMETER BUTT AND A 8 INCH DIAMETER TIP. ALL TIMBER PILES ARE TO BE CCA TREATED TO 2.5 LBS PER CUBIC FOOT, AND HAVE A MINIMUM FB=1950 PSI.


## COMPOSITE NOTES:

1. COMPOSITE MEMBERS TO BE PROVIDED BY PEANSON PILING AND MANUFACTURED BY BEDFORD REINFORCED PLASTICS OR AN APPROVED EQUIVALENT.
2. COMPOSITE MEMBERS SHALL BE IN CONFORMANCE WITH ASTM D4385 AND ASTM 3917.
3. COMPOSITE MEMBERS AND ASSOCIATED HARDWARE TO BE INSTALLED PER THE MANUFACTURERS RECOMMENDATIONS.
4. ALL COMPOSITE MEMBER HARDWARE SHALL BE 304 STAINLESS STEEL.

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BARRINGTON, RI 02806  
(401) 829-4870  
harboreng.com



GRAPHIC SCALE

No.	Revision	Date	App.

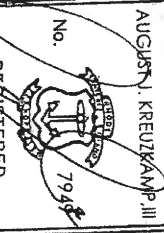
Client/Owner:  
**TUCKER HOUSE, LLC**  
10 WEYBOSSET STREET, SUITE 800  
PROVIDENCE, RI 02903

Issued for:  
**REGULATORY REVIEW AND CONSTRUCTION**

Drawing Title:  
**TUCKER HOUSE PIER MODIFICATION**

Notes

Date:	2019-04-04
Scale:	
Designed By:	BMD
Drawn By:	BMD
Checked By:	
Project Number:	2019-05
Sheet:	7 of 7
Drawing Number:	N-1



August Kreuzkamp III  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL/4/2019



CRMC Mailing List for Tucker House LLC  
CRMC File Number 2009-10-047

Tucker House LLC  
c/o Edward Feldstein, Esq.  
10 Weybossett Street  
Providence, RI 02903

Stanley Weiss  
135 Pratt Street  
Providence, RI 02906

Joyce & Daniel Cushman  
43 Washington Street  
North Kingstown, RI 02852

CRMC (2009-10-047)  
O. S. Government Center  
4808 Tower Hill Road  
Wakefield, RI 02879