



Oliver Stedman Government Center
4808 Tower Hill Road; Suite 116
Wakefield, RI 02879
401-783-3370

PUBLIC NOTICE

File Number: 2013-08-110 Date: May 8, 2015

This office has under consideration the application of:

Clambake Club of Newport
P.O. Box 597
Newport, RI 02840

for a State of Rhode Island Assent to construct slope stabilization for the Clambake Club of Newport. Slope stabilization will consist of armor stone fronted by a small reinforced concrete toe wall to resist sliding of stone. Also, remainder of slope will be planted with vegetation to the top of the coastal bluff. The Clambake Club is recognized as a Historic Building (registration #95001267) and abuts RICRMP designated Type 1 waters (conservation area). Shoreline protection facilities abutting Type 1 waters may be allowed to protect historic structures which are currently in the National Register of Historic Places (ref. RICRMP Table 1, footnote #8).

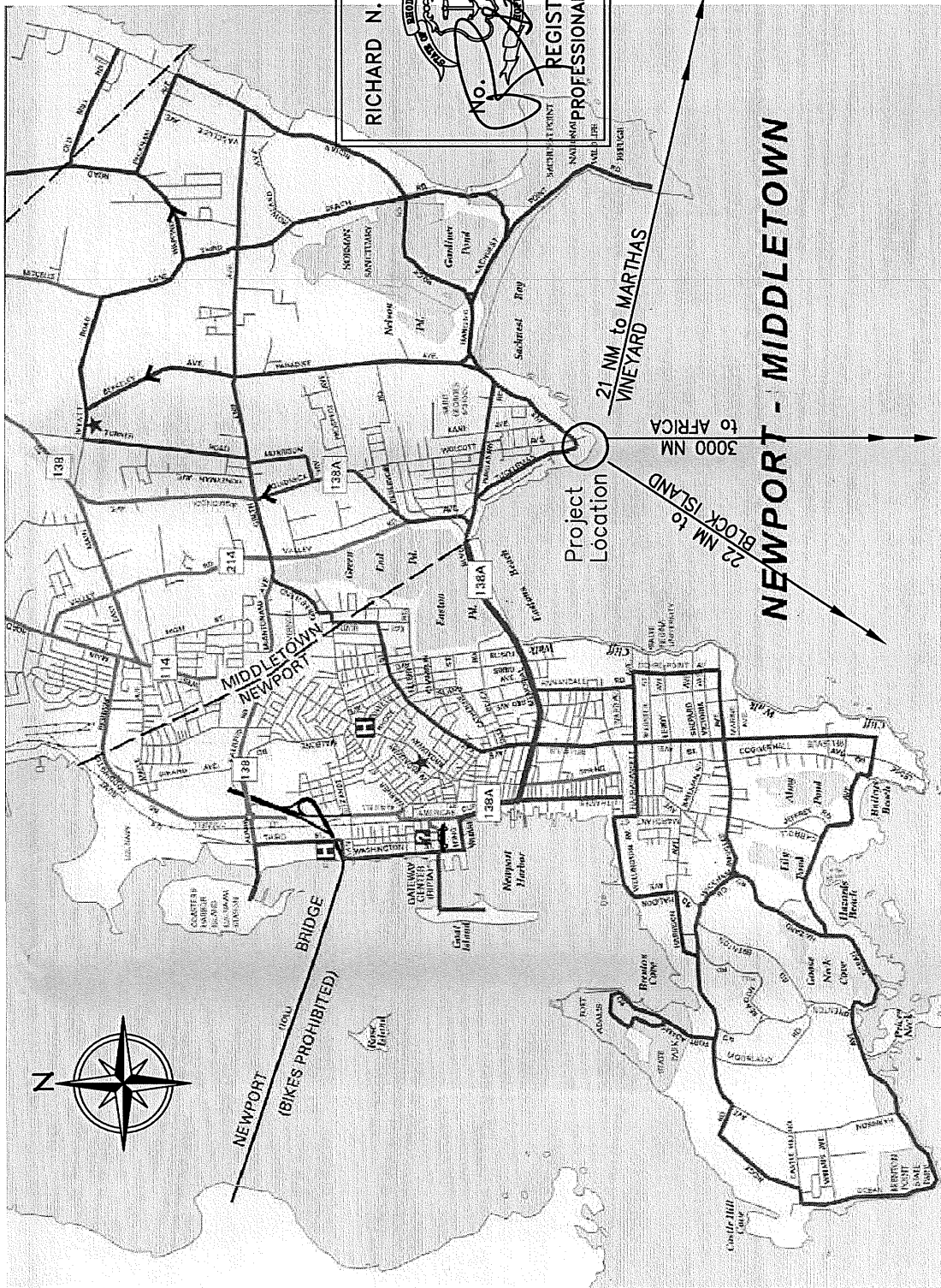
Project Location:	353 Tuckerman Ave
City/Town:	Middletown
Plat/Lot:	122 / 139
Waterway:	Easton Bay

Plans of the proposed work may be seen at the CRMC office in Wakefield.

In accordance with the Administrative Procedures Act (Chapter 42-35 of the Rhode Island General Laws) you may request a hearing on this matter.

You are advised that if you have good reason to enter protests against the proposed work it is your privilege to do so. It is expected that objectors will review the application and plans thoroughly, visit site of proposed work if necessary, to familiarize themselves with the conditions and cite what law or laws, if any, would in their opinion be violated by the work proposed.

If you desire to protest, you must attend the scheduled hearing and give sworn testimony. A notice of the time and place of such hearing will be furnished you as soon as possible after receipt of your request for hearing. If you desire to request a hearing, to receive consideration, it should be in writing (**with your correct mailing address, e-mail address and valid contact number**) and be received at this office on or before June 8, 2015.



LOCUS MAP

REV #1: 4-7-15 ADD TOE WALL & PARTIAL REVETMENT

Historic Building Proposed Slope Stabilization Locus Map

DATE
JULY 30, 2013

DWG.
SHT. 1 OF 11

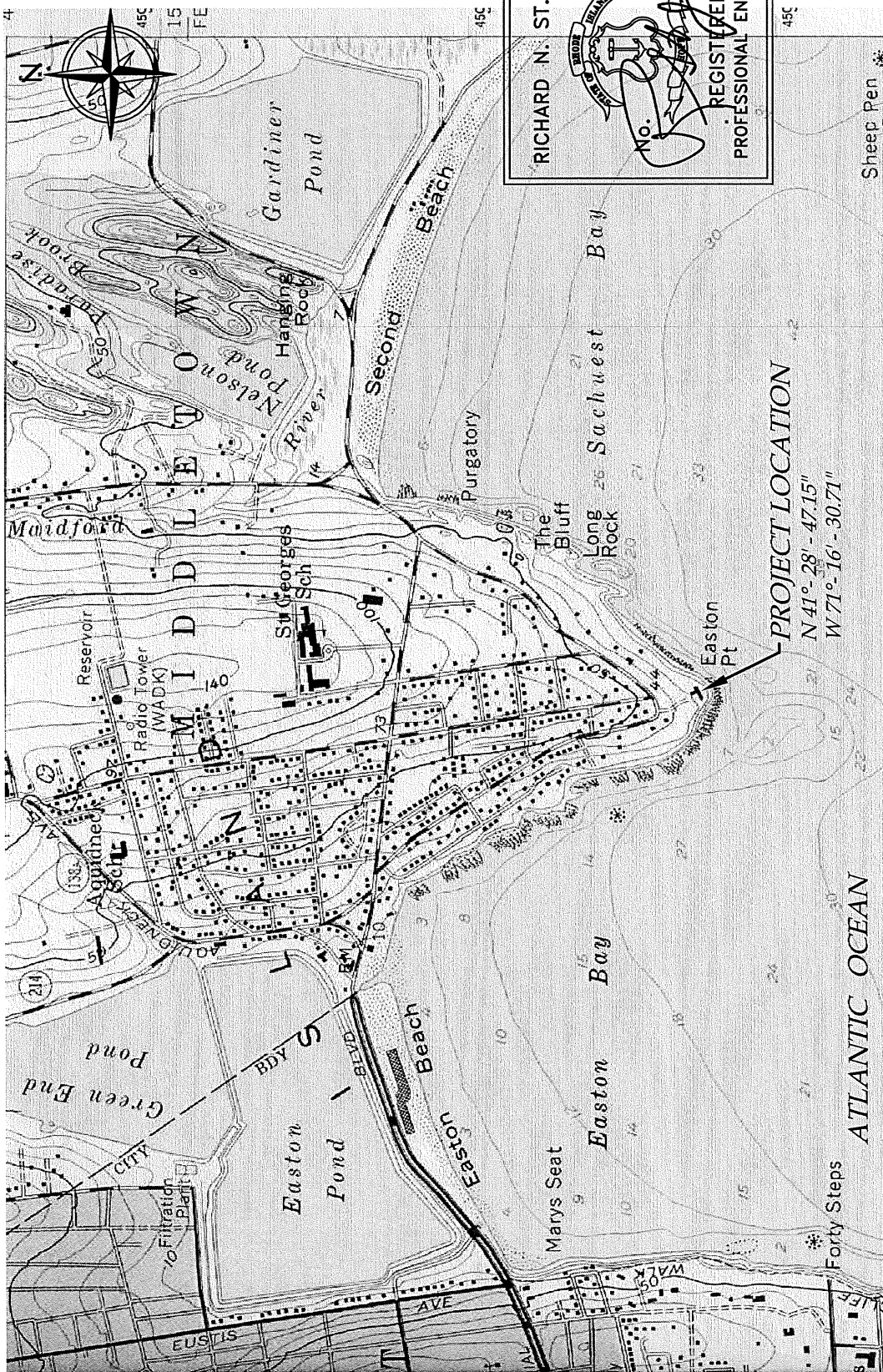
REVISIONS:

APPLICATION BY:
The Clam bake Club of Newport
P.O. Box 597
Newport, Rhode Island 02840

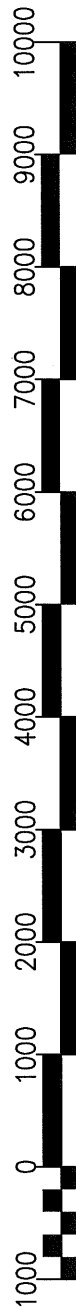
LOCATION: EASTON BAY
353 TUCKERMAN AVE.
MIDDLETOWN, RI
A.P. 122, LOT 139

ST. JEAN
ENGINEERING
LLC

Civil, Marine & Structural Engineering
1145 Middle Road, East Greenwich, RI 02818
Tel: 401-398-0999
email: st.jean.engineering@verizon.net



RICHARD N. ST. JEAN
 No. 4997
 REGISTERED 4/7/15
 PROFESSIONAL ENGINEER



REV #1: 4-7-15 ADD TOE WALL & PARTIAL REVETMENT

Historic Building Proposed Slope Stabilization USGS Map - Newport 1971

DATE
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DWG.
 SHT. 2 OF 11

REVISIONS:

APPLICATION BY:
 The Clambake Club of Newport
 P.O. Box 597
 Newport, Rhode Island 02840

LOCATION: EASTON BAY
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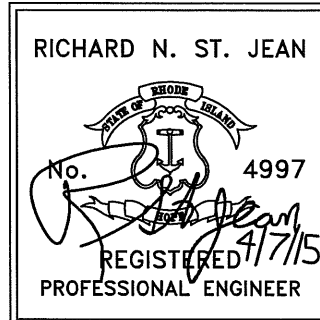
DESCRIPTION OF WORK

THE WORK COVERED UNDER THESE CONTRACT DOCUMENTS, INCLUDING THE DRAWINGS, GENERAL NOTES, AND SPECIFICATIONS AND ALL AMENDMENTS, CONSISTS OF PROVIDING ALL PLANT, LABOR, SUPERVISION, EQUIPMENT, APPLIANCES AND MATERIALS AND IN PERFORMING ALL OPERATIONS IN CONNECTION WITH THE CONSTRUCTION OF A SHORELINE SLOPE PROTECTION SYSTEM COMPRISED OF A CONCRETE TOE WALL, STONE REVETMENT, AND VEGETATED SLOPE TO PROTECT THE EXISTING CLAMBAKE CLUB BUILDING.

THE CONTRACTOR SHALL PROVIDE ALL ITEMS AND ACCESSORIES REQUIRED TO COMPLETE ALL ASPECTS OF THE WORK NEEDED FOR A COMPLETE AND PROPER INSTALLATION, ALL IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS.

GENERAL NOTES:

1. PROPERTY LINES ARE NOT SHOWN. REFER TO THE SURVEY PLAN PREPARED BY CAPUTO & WICK FOR THIS INFORMATION.
2. LANDSIDE TOPOGRAPHY AND EXISTING CONDITIONS PLAN INFORMATION FOR THE AREA WHERE THE WORK IS PROPOSED IS DEVELOPED FROM A SURVEY PERFORMED AND PLAN DEVELOPED BY NATIONAL SURVEYORS-DEVELOPERS, INC. FOR THIS PROJECT.
3. HYDROGRAPHIC INFORMATION IS NOT AVAILABLE FOR THIS SITE.
4. UPLAND TOPOGRAPHY IS REFERENCED TO NAVD88. BENCHMARKS ARE INDICATED ON THE NATIONAL SURVEY-DEVELOPERS, INC. PLAN.
5. THIS PLAN WAS PRODUCED FOR PURPOSES OF DESIGN, PLANNING AND THE CONSTRUCTION OF A STRUCTURAL SUPPORT SYSTEM TO PROTECT THE SEAWARD SIDE OF THE EXISTING CLAMBAKE CLUB BUILDING. USE OF THIS PLAN FOR ANY OTHER WORK IS AT THE SOLE RISK OF THE END USER.
6. ANY UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. IT IS THE CONTRACTORS SOLE RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES, GRADES, AND DIMENSIONS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY DIG SAFE AND LOCAL UTILITIES TO VERIFY THE EXACT LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO START OF ANY CONSTRUCTION. REPORT TO THE ENGINEER ALL OBSERVATIONS AND DISCREPANCIES BEFORE PROCEEDING WITH ANY WORK.
7. ALL WORK SHALL COMPLY WITH LOCAL, STATE AND FEDERAL LAWS AND STATUTES AND THE REQUIREMENTS AND CONDITIONS OF ALL REGULATORY PERMITS ISSUED FOR THE WORK.
8. THESE DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE PROJECT REGULATORY PERMITS AND ALL CONDITIONS OF THOSE PERMITS. THE CONTRACTOR IS ADVISED THAT THE REGULATORY PERMITS FOR THIS PROJECT MAY CONTAIN ADDITIONAL REQUIREMENTS THAT, AFTER ANY ADDENDUM, SUPERSEDE THE DRAWING NOTES. THE CONTRACTOR IS FURTHER ADVISED THAT IN THE CASE OF ANY DISCREPANCIES WITHIN THE CONTRACT DOCUMENTS FOUND BEFORE CONSTRUCTION, THE FINAL DECISION AS TO WHAT INFORMATION TAKES PRECEDENCE WILL BE MADE BY THE ENGINEER OF RECORD ON THE BASIS OF THAT INTENT.
9. ALL EXISTING CONDITIONS AND DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION AND FABRICATION OR ORDERING OF ANY CONSTRUCTION MATERIALS.
10. ALL SECTIONS AND DETAILS APPLY TO SAME AND SIMILAR CONDITIONS UNLESS SPECIFICALLY NOTED OTHERWISE HEREIN.
11. DAMAGE TO ANY PROPERTY, PRIVATE OR OF PUBLIC TRUST, OCCURRING DURING THE CONSTRUCTION BY THE CONTRACTOR, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER AT THE EXPENSE OF THE CONTRACTOR.
12. THE CONTRACTOR SHALL SAFEGUARD AND PROTECT ALL EXCAVATIONS.
13. THE CONTRACTOR SHALL USE ADEQUATE NUMBERS OF SKILLED WORKMEN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND METHODS NEEDED FOR PROPER PERFORMANCE OF THE WORK.
14. THE CONTRACTOR SHALL USE EQUIPMENT ADEQUATE IN SIZE, CAPACITY, AND NUMBERS, AND PROPERLY MAINTAINED WITH REGARD TO THE SAFETY OF OPERATOR, OTHER WORKMEN, AND GENERAL PUBLIC.
15. THE CONTRACTOR SHALL PROTECT ALL WETLANDS AND COASTAL RESOURCES FROM INTRUSION BY TURBID WATERS, CONSTRUCTION DEBRIS, CONSTRUCTION EQUIPMENT, OR PERSONNEL DURING ALL WORK ACTIVITIES.



REV #1: 4-7-15 ADD TOE WALL & PARTIAL REVETMENT

**ST. JEAN
ENGINEERING
LLC**

Civil, Marine & Structural Engineering
1145 Middle Road, East Greenwich, RI 02818
Tel: 401.398.0999 email: st.jean.engineering@verizon.net

Historic Bldg Proposed Slope Stabilization General Notes

FOR: EASTON BAY
353 TUCKERMAN AVE.
MIDDLETOWN, RI
A.P. 122, LOT 139

PROJECT:
The Clambake Club of Newport
P.O. Box 597
Newport, Rhode Island 02840

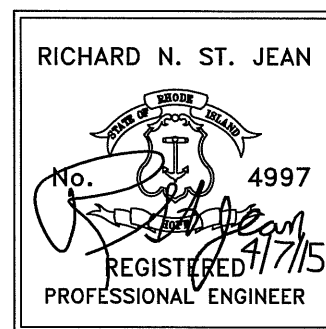
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SHT. 3 OF 11

GENERAL NOTES CONTINUED:

16. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS, LICENSES, CERTIFICATES OF INSPECTION, AND PAY ALL LEGAL FEES IN CONNECTION WITH THE WORK OF THIS CONTRACT. THE OWNER HAS OBTAINED NECESSARY REGULATORY PERMITS REQUIRED FOR THE WORK IN REGULATED AREAS. THE CONTRACTOR SHALL REQUEST COPIES OF THOSE REGULATORY PERMITS AND MAKE PROVISION IN THIS WORK AND IN THE COST OF THE WORK FOR ALL APPLICABLE CONDITIONS OF THOSE PERMITS. FAILURE TO CONSIDER ANY CONDITION OF THE REGULATORY PERMITS AS A PART OF THE BID SHALL NOT RELIEVE THE CONTRACTOR FROM HIS RESPONSIBILITY TO APPLY THOSE CONDITIONS TO HIS WORK AT NO ADDITIONAL COST TO THE OWNER.
17. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE AND PROTECT FROM DAMAGE ALL UTILITIES, UTILITY STRUCTURES, FUEL LINES & TANKS OR ANY UNKNOWN UTILITIES OR STRUCTURES PRIOR TO ANY WORK.
18. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RESTORE ALL LANDSCAPING, INCLUDING BUT NOT LIMITED TO LAWN, TREES, PLANTINGS, FENCES, ETC. DAMAGED BY THE CONTRACTOR DURING THE COURSE OF THE PROJECT.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYING OUT & POSITIONING OF ALL PROPOSED STRUCTURES AS SHOWN ON THE PROJECT DRAWINGS.
20. CONTRACTOR SHALL REMOVE EXCESS MATERIALS AND DISPOSE OFFSITE.
21. CONTRACTOR SHALL NOT STORE ANY MATERIALS BELOW MHW ELEVATION.
22. PROTECT OPEN EXCAVATIONS AND STOCKPILED SOIL FROM EROSION.

DESIGN CRITERIA:

1. ALL DIMENSIONS ARE IN DECIMAL FEET UNLESS OTHERWISE NOTED. ELEVATIONS ARE REFERENCED TO NAVD88.
2. SEISMIC LOAD - N/A
3. TIDAL RANGE - 3.47 FEET
4. WIND - FASTEST MILE WIND SPEED = 90 MPH. USE 8 HOUR DURATION WIND FOR WAVE GENERATION DESIGN WHICH IS 61.5 MPH.
5. WAVES - THE FEMA FLOOD INSURANCE STUDY SEPTEMBER 4, 2013 INDICATES THE FOLLOWING.
100 YR (1%) SIGNIFICANT WAVE HEIGHT (H_s) IS 17.1 FT (BREAKING WAVE)
100 YR (1%) DESIGN WAVE HEIGHT (H_{10}) IS 21.7 FT (BREAKING WAVE)
100 YR (1%) WAVE CREST ELEVATION IS 22.6 FT NAVD88
100 YR STORM (1%) STILLWATER ELEVATION IS 10.6 FT NAVD88
6. TEMPERATURE RANGE = 60 DEGREES FAHRENHEIT ABOVE AND BELOW MEAN AMBIENT TEMPERATURE.
7. THE SITE IS LOCATED IN A HIGH WAVE ENERGY AREA AS IDENTIFIED BY THE WAVE INFORMATION ABOVE. THE REVETMENT IS DESIGNED FOR A MAXIMUM BREAKING WAVE HEIGHT OF 9.5 FT. THIS DESIGN HEIGHT WAS DETERMINED USING A COMBINATION OF FACTORS INCLUDING PROHIBITIVE CONSTRUCTION COSTS FOR LARGER STONES, CRMC'S INDICATION THAT A BURIED SEAWALL AS ORIGINALLY PROPOSED WOULD NOT BE ALLOWED, AND AGREEMENT BY THE OWNER TO ACCEPT THE RISK ASSOCIATED WITH THE REDUCED DESIGN WAVE HEIGHT. THE PROPOSED REVETMENT IS NOT DESIGNED FOR THE 1% DESIGN STORM EVENT. MAINTENANCE AND REPAIR SHOULD BE EXPECTED TO BE REQUIRED FOR THE REVETMENT AND EARTH/VEGETATED SLOPE AREAS AFTER COASTAL STORMS THAT RESULT IN WAVE IMPACT ON THE SLOPE.



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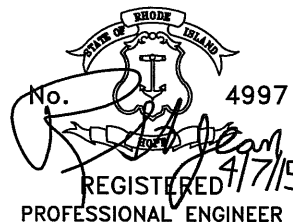
PROJECT:
The Clambake Club of Newport
P.O. Box 597
Newport, Rhode Island 02840

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SHT. 4 OF 11

REFERENCE PLANS/DOCUMENTS:

1. EXISTING PROPERTY LINE INFORMATION MAY BE OBTAINED FROM UNTITLED SURVEY PLAN PROVIDED BY CAPUTO & WICK IN AN ACAD FILE. MARKING: UNSTAMPED
2. EXISTING TOPOGRAPHIC AND GENERAL CONDITIONS INFORMATION IN THE CONSTRUCTION AREA MAY BE OBTAINED FROM A SURVEY PLAN TITLED "EXISTING CONDITIONS, CLAMBAKE CLUB OF NEWPORT, AP 122, LOT 139, 353 TUCKERMAN AVENUE, MIDDLETOWN, RHODE ISLAND" DATED MAY 2013, PREPARED BY NATIONAL SURVEYORS-DEVELOPERS, INC.
3. FEMA FLOOD INSURANCE STUDY, NEWPORT COUNTY, RI, DATED SEPTEMBER 4, 2013.
4. RHODE ISLAND STATE BUILDING CODE, SBC-1
5. US ARMY CORPS OF ENGINEERS SHORE PROTECTION MANUAL, 1984
6. COASTAL CONSTRUCTION MANUAL, FEMA 55

RICHARD N. ST. JEAN



EROSION CONTROL & SLOPE PLANTING NOTES

1. NEW FINISH CONTOURS SHOWN ARE TOP OF TOPSOIL IN AREAS TO BE LANDSCAPED.
2. GRADING CONTRACTOR SHALL NOTIFY AND COOPERATE WITH ALL UTILITY COMPANIES OR FIRMS HAVING FACILITIES ON OR ADJACENT TO THE SITE BEFORE DISTURBING, ALTERING, REMOVING, RELOCATING, ADJUSTING OR CONNECTING TO SAID FACILITIES. CONTRACTOR SHALL PAY ALL COSTS IN CONNECTION WITH THE ALTERATION OF OR RELOCATION OF THE FACILITIES.
3. GRADING CONTRACTOR SHALL COOPERATE AND WORK WITH ALL OTHER CONTRACTORS PERFORMING WORK ON THIS PROJECT TO INSURE PROPER AND TIMELY COMPLETION OF THIS PROJECT.
4. THE GRADING CONTRACTOR SHALL USE WHATEVER MEASURES ARE REQUIRED TO PREVENT SILT AND CONSTRUCTION DEBRIS FROM FLOWING ONTO ADJACENT PROPERTIES OR INTO TIDAL WATERS. CONTRACTOR SHALL COMPLY WITH ALL LOCAL EROSION, CONSERVATION, SILTATION ORDINANCES. CONTRACTORS SHALL REMOVE ALL TEMPORARY EROSION CONTROL STRUCTURES UPON ESTABLISHMENT OF PLANTING AND INSTALLATION OF JUTE MESH AND MULCH TO PREVENT EROSION.
5. DO NOT STORE MATERIAL EXCESS DIRT OR EQUIPMENT ON COASTAL FEATURE. THE STONE AND LEDGE SHALL BE KEPT FREE FROM ANY MUD OR EXCAVATION WASTE FROM TRUCKS OR OTHER EQUIPMENT, ON COMPLETION OF THE WORK ALL EXCESS MATERIAL SHALL BE REMOVED FROM THE SITE.
6. COMPLETE THE WORK TO THE SATISFACTION OF THE CLAMBAKE CLUB AND OBTAIN A LETTER FROM THE CLAMBAKE CLUB STATING THAT THE WORK IS ACCEPTABLE.
7. POST NECESSARY BONDS AS REQUIRED BY THE CITY, STATE, AND OWNER.
8. GRADING CONTRACTOR SHALL TAKE ALL AVAILABLE PRECAUTIONS TO CONTROL DUST. CONTRACTOR SHALL CONTROL DUST BY METHODS APPROVED BY THE ENGINEER OR OWNERS REPRESENTATIVE, AT NO ADDITIONAL COST TO THE OWNER.
9. GRADING CONTRACTOR IS RESPONSIBLE FOR REMOVING STRUCTURES, FENCES, WALLS, DEBRIS, OR TREES SCHEDULED FOR REMOVAL AND DISPOSAL FROM THE SITE. COORDINATE WITH GENERAL CONTRACTOR.
10. GRADING CONTRACTOR TO COMPLY WITH ALL STATE & LOCAL SEDIMENT CONTROL AND AIR POLLUTION ORDINANCES OR RULES.
11. A QUALIFIED SOILS LABORATORY SHALL DETERMINE THE SUITABILITY OF THE LOAM USED FOR COVER AND PLANTINGS. THE LABORATORY RESULTS SHALL BE SUBMITTED TO THE ENGINEER PRIOR TO PLACING ANY TOPSOIL.
12. UNUSABLE EXCAVATED MATERIALS AND ALL WASTE RESULTING FROM CLEARING AND GRUBBING SHALL BE LEGALLY DISPOSED OF IMMEDIATELY OFF SITE BY GRADING CONTRACTOR.
13. BEFORE ANY EARTHWORK IS DONE, CONTRACTOR SHALL STAKE OUT AND MARK THE ITEMS ESTABLISHED BY THE PROPOSED GRADING PLAN. CONTROL POINTS SHALL BE PRESERVED AT ALL TIMES DURING THE COURSE OF THE PROJECT. LACK OF PROPER WORKING POINTS AND GRADE STAKES MAY REQUIRE CESSATION OF OPERATIONS UNTIL SUCH POINTS AND GRADES HAVE BEEN PLACED TO THE OWNERS SATISFACTION.
14. TEMPORARY EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO BEGINNING GRADING. CONTRACTOR SHALL MAINTAIN ALL TEMPORARY EROSION CONTROL DEVICES AND SHALL REMOVE SILT FROM BERM, DITCHES, SILT DAMS, AND SILT FENCES AS NEEDED.
15. ALL PLANTS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR OR ONE FULL GROWING SEASON, WHICHEVER IS LONGER. THE OWNER SHALL HIRE A TRAINED ARBORIST TO INSPECT ALL PLANTS AT THE END OF THE GUARANTEE PERIOD AND ADVISE THE OWNER AS TO THEIR HEALTH AND VITALITY. ALL PLANTS WHICH HAVE NOT SURVIVED OR SHOW SIGNS OF EXTREME DISTRESS SHALL BE REPLACED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER. PLANTS DAMAGED BY WAVE ACTION DURING COASTAL STORMS SHALL BE EXEMPT FROM THE WARRANTY.

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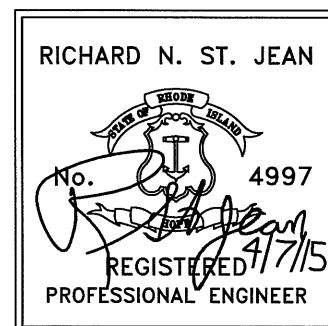
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STONE REVETMENT CONSTRUCTION NOTES:

1. THE REVETMENT SHALL BE COMPRISED OF AN ARMOR LAYER WITH GEOTEXTILE FABRIC REQUIRED AS SPECIFIED.
2. ARMOR STONES SHALL BE PLACED IN AT LEAST A TWO LAYER THICKNESS EXCEPT FOR THE ROW AT THE TOE WALL WHERE ONLY A SINGLE LAYER SHALL BE USED DUE TO REGULATORY REQUIREMENTS FOR THE MAXIMUM ALLOWABLE HEIGHT OF THE TOE WALL. THE TOP LAYER OF ARMOR STONE SHALL BE PLACED WITH EXTRA CARE TO ENSURE THEY ARE LOCKED INTO THE LOWER LAYER AS BEST POSSIBLE.
3. ALL STONES USED IN THE CONSTRUCTION OF THE TOE PROTECTION SHALL BE HARD, DURABLE, AND CLEAN, WITHOUT CRACKS, CLEAVAGES OR LAMINATIONS. THEY SHOULD BE CHEMICALLY STABLE IN FRESH OR SALT WATER AND SHOULD NOT WEATHER DUE TO TEMPERATURE CHANGES OR WET/DRY CYCLES.
4. ARMOR STONES GEOMETRY SHALL BE SUCH THAT THE SMALLEST DIMENSION SHOULD NOT BE LESS THAN ONE-THIRD OF THE LARGEST DIMENSION.
5. THE SIZE OF THE ARMOR STONES SHALL BE A MAXIMUM OF 125 W (AVERAGE WEIGHT SPECIFIED) AND A MINIMUM OF 0.75 W. APPROXIMATELY 75 PERCENT OF THE STONES SHALL BE EQUAL TO, OR LARGER THAN, W.
6. ARMOR UNITS IN THE COVER LAYER SHALL BE PLACED IN AN ORDERLY MANNER TO OBTAIN GOOD WEDGING OR INTERLOCKING ACTION BETWEEN INDIVIDUAL UNITS.
7. THREE (3) LAYERS OF GEOTEXTILE FABRIC ARE REQUIRED AGAINST ALL SOIL INTERFACES BELOW AND ADJACENT TO THE REVETMENT. THIS SHALL BE COMPRISE OF 2 LAYERS OF MIRAFI 140N OR EQUIVALENT PLACED ON THE SOIL WITH A LAYER OF MIRAFI 600X OR EQUIVALENT PLACED ABOVE. THE 140N IS REQUIRED TO ACT AS A FILTER TO STOP THE MIGRATION OF FINE SOIL INTO/THROUGH THE REVETMENT STONE. THE 600X IS REQUIRED TO PROTECT THE 140N FROM BEING DAMAGED BY THE LARGE STONES AND CONSTRUCTION ACTIVITY. ADDITIONAL LAYERS OF GEOTEXTILE FABRIC SHALL BE REQUIRED IF IT IS DETERMINED THAT THE 2 LAYER FABRIC SYSTEM IS BEING DAMAGED DURING CONSTRUCTION.
8. CHINK THE UPPER REVETMENT STONE SURFACE BEFORE PLACING THE GEOTEXTILE FABRIC AND PLANTING SOIL AT UPPER SLOPE SECTIONS.
9. THE TOE OF THE REVETMENT STONE SHALL BE KEYED INTO SOLID/SOUND BEDROCK.

DOWEL ANCHORING:

1. THE REBAR DOWELS SHALL BE ANCHORED TO THE EXISTING BEDROCK USING SIKA/SIMPSON STRONGTIE AT-XP ANCHORING ADHESIVE OR APPROVED EQUAL.
2. THE DRILL HOLE SHALL BE $\frac{1}{8}$ " LARGER THAN THE DOWEL $\pm \frac{1}{8}$ " ϕ FOR A #6 BAR DOWEL.
3. THE ANCHORING ADHESIVE USE AND THE DRILL HOLE PREPARATION SHALL BE PER THE MANUFACTURERS REQUIREMENTS. CLEAN OUT DRILL HOLES PRIOR TO INSTALLATION.



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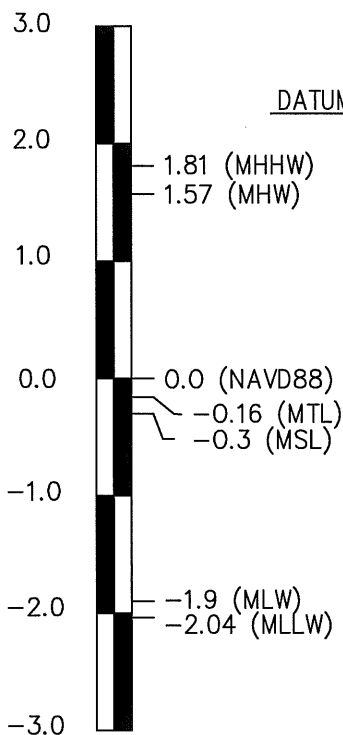
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LEGEND

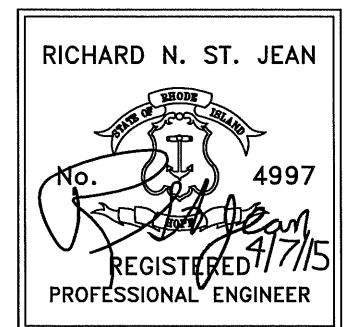
	PROPERTY LINE	$\times 7.2$	EXISTING SPOT GRADE
	EXISTING CONTOUR	$\times 7.2$	PROPOSED SPOT GRADE
	PROPOSED CONTOUR		PROPOSED FOUNDATION PROTECTION
	EXISTING SEWER		EXISTING STONE WALL
	PROPOSED SEWER		EXISTING FENCE LINE
	EXISTING WATER LINE		DREDGE SAMPLE
	PROPOSED WATER LINE		FLOOD ZONE BOUNDARY
	EXISTING DRAINAGE LINE		EXISTING HYDRANT
	PROPOSED DRAINAGE LINE		EXISTING POLE
	EXISTING SEWER MANHOLE		PROPOSED SLOPE
	EXISTING DRAINAGE MANHOLE		SHORE LINE
	PROPOSED MANHOLE		IRON PIPE FOUND
	EXISTING TREE LINE		STONES/BOULDERS
	EXISTING BUILDING		
	PROPOSED BUILDING		

ABBREVIATIONS

N. I. C.	NOT IN CONTRACT
U. O. N.	UNLESS OTHERWISE NOTED
N. T. S.	NOT TO SCALE
I. A. W.	IN ACCORDANCE WITH
TYP.	TYPICAL
R & D	REMOVE AND DISPOSE
BIT.	BITUMINOUS CONCRETE
N/F	NOW OR FORMERLY
F. F.	FINISH FLOOR
T. O. F.	TOP OF FOUNDATION
M. P. L.	MARINA PERIMETER LINE
S. J. E.	ST. JEAN ENGINEERING, LLC
S. F.	SQUARE FOOT
A. P.	ASSESSORS PLAT
EXTG.	EXISTING
SMH	SEWER MANHOLE
DMH	WATER MANHOLE
MIN.	MINIMUM



DATUM INFORMATION



STATION ID: 8452660 NEWPORT, RI
TIDAL RANGE IN FEET;
BASED ON NAVD88;
CONVERSION PROVIDED BY NOAA

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Historic Bldg Proposed Slope Stabilization Legend & Abbreviations

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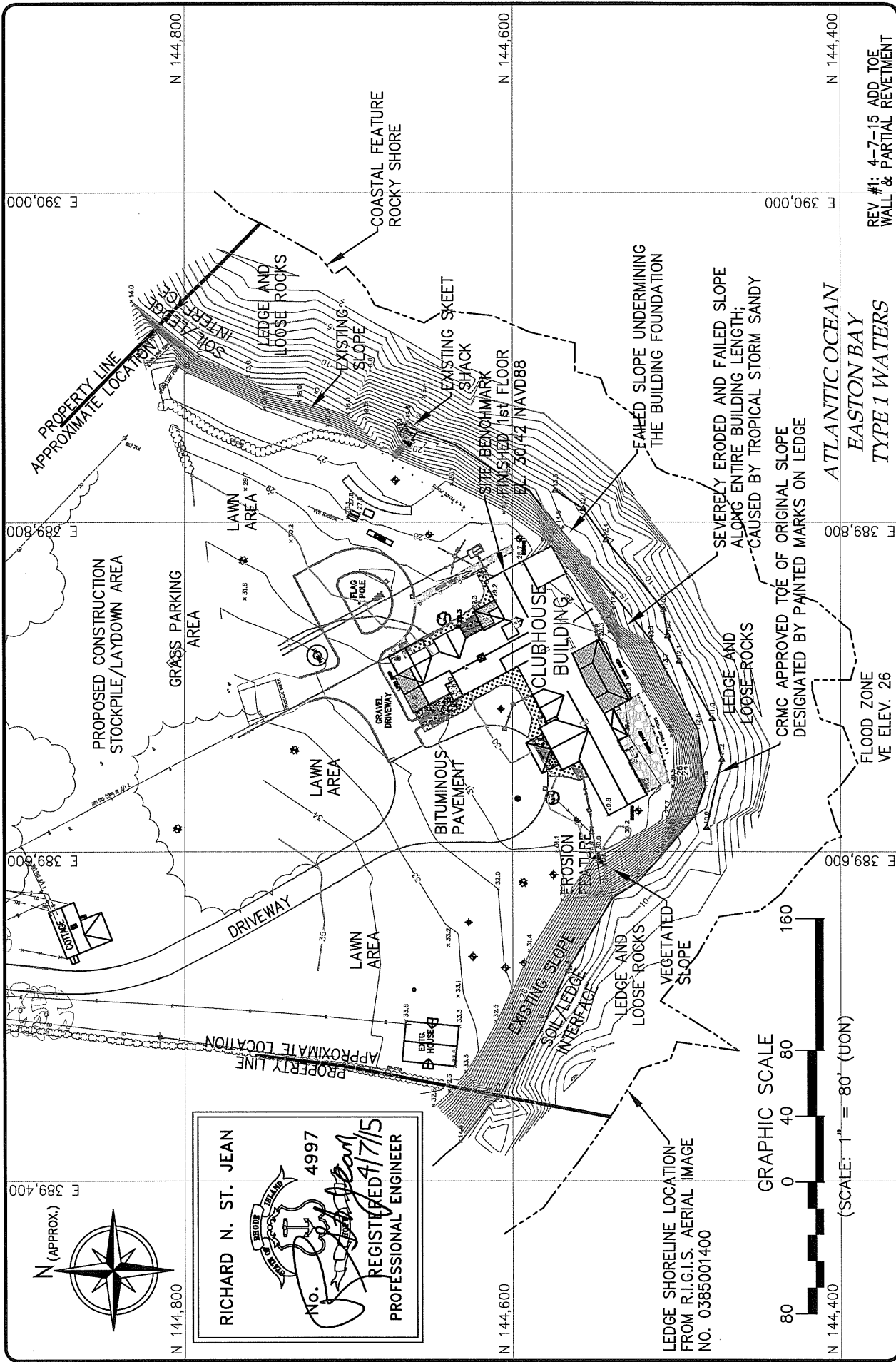
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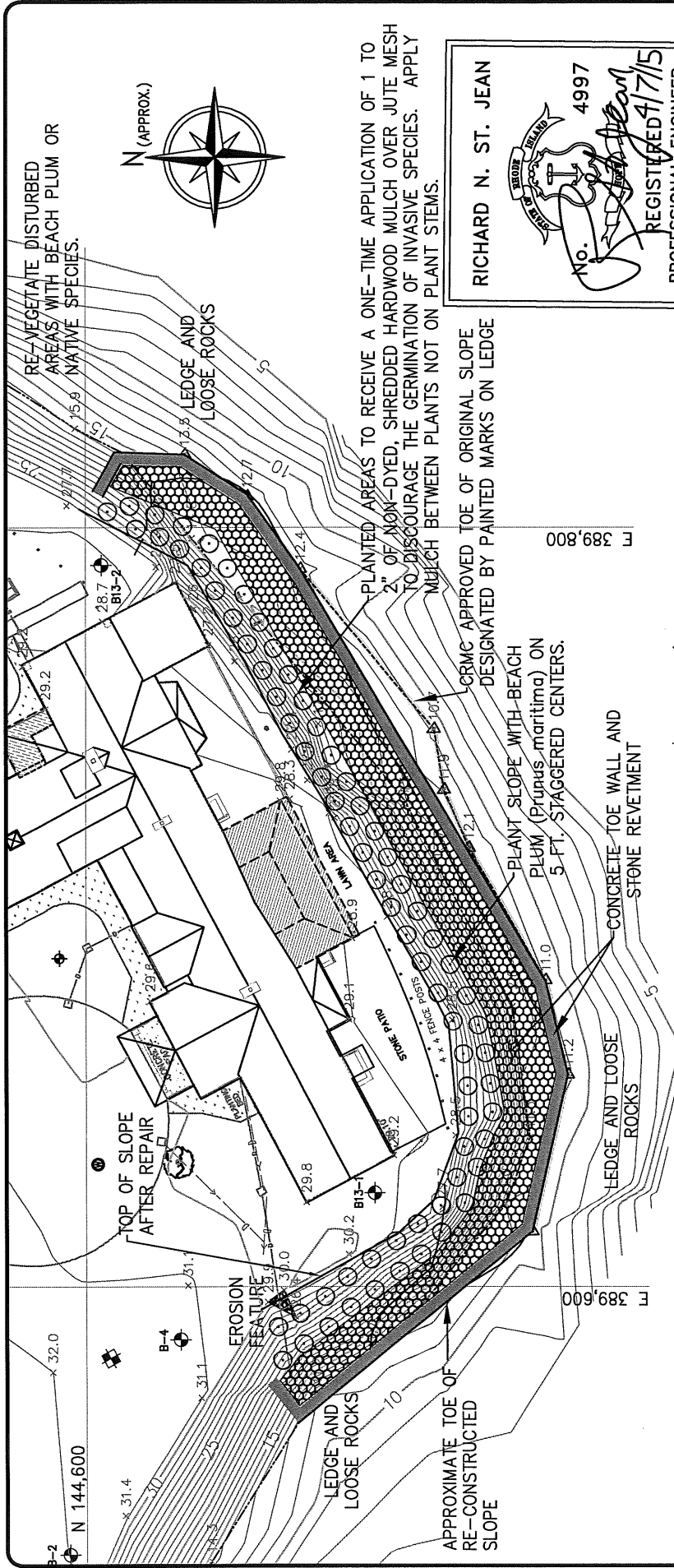
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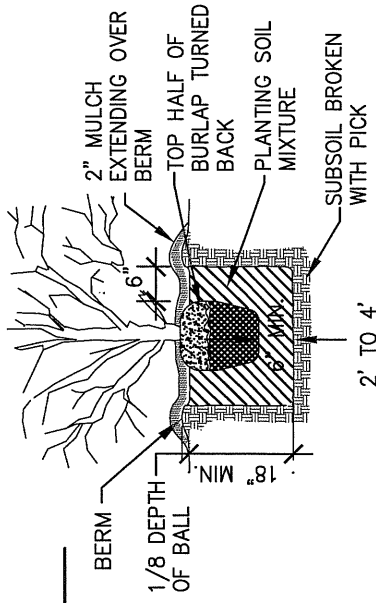
ST. JEAN ENGINEERING LLC Civil, Marine & Structural Engineering 1145 Middle Road, East Greenwich, RI 02818 Tel: 401.398.0999 email: st.jean.engineering@verizon.net	Historic Building Proposed Slope Stabilization Existing Conditions Plan		DATE JULY 30, 2013
	LOCATION: EASTON BAY 353 TUCKERMAN AVE. MIDDLETOWN, RI A.P. 122, LOT 139	APPLICATION BY: The Clambake Club of Newport P.O. Box 597 Newport, Rhode Island 02840	REVISIONS:

REV. #1: 4-7-15 ADD TOE WALL & PARTIAL RETEMENT

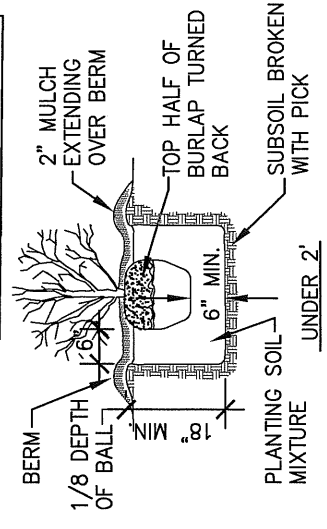


SLOPE PLANTING PLAN

SCALE 1" = 40'



SHRUB PLANTING DETAIL 1



SHRUB PLANTING DETAIL 2

REV #1: 4-7-15 ADD TOE WALL & PARTIAL REVETMENT

Historic Building Proposed Slope Stabilization Proposed Slope Planting Plan

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ENGINEERING
LLC

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LOCATION: EASTON BAY
353 TUCKERMAN AVE.
MIDDLETOWN, RI
A.P. 122, LOT 139

APPLICATION BY:
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Newport, Rhode Island 02840

REVISIONS:

DATE

JULY 30, 2013

DWG.

SHT. 10 OF 11

PLANTED AREAS TO RECEIVE A ONE-TIME APPLICATION OF 1 TO 2" OF NON-DYED, SHREDDED HARDWOOD MULCH OVER JUTE MESH TO DISCOURAGE THE GERMINATION OF INVASIVE SPECIES. APPLY MULCH BETWEEN PLANTS NOT ON PLANT STEMS.

CRMC APPROVED TOE OF ORIGINAL SLOPE DESIGNATED BY PAINTED MARKS ON LEDGE

PLANT SLOPE WITH-BEACH PLUM (Prunus maritima) ON 5 FT. STAGGERED CENTERS.

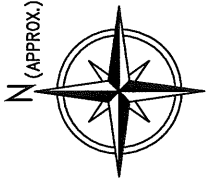
CONCRETE TOE WALL AND STONE REVETMENT

RICHARD N. ST. JEAN

4997

REGISTERED 4/7/15

PROFESSIONAL ENGINEER



RE-VEGETATE DISTURBED AREAS WITH BEACH PLUM OR NATIVE SPECIES.

LEDGE AND LOOSE ROCKS

TOP OF SLOPE AFTER REPAIR

EROSION FEATURE

LEDGE AND LOOSE ROCKS

APPROXIMATE TOE OF RE-CONSTRUCTED SLOPE

F 389,800

F 389,600

