



Oliver Stedman Government Center  
4808 Tower Hill Road; Suite 116  
Wakefield, RI 02879  
401-783-3370

### PUBLIC NOTICE

File Number: 2014-09-055

Date: October 8, 2014

This office has under consideration the application of:

Thomas & Diann Uustal  
52 Orient Avenue  
Jamestown, RI 02835

for a State of Rhode Island Assent to repair approximately 115 feet of existing stone revetment and add approximately 95 feet of new stone revetment to provide shoreline protection.

Project Location:	52 Orient Avenue
City/Town:	Jamestown
Plat/Lot:	1 / 297
Waterway:	Narragansett Bay

Plans of the proposed work may be seen at the CRMC office in Wakefield.

In accordance with the Administrative Procedures Act (Chapter 42-35 of the Rhode Island General Laws) you may request a hearing on this matter.

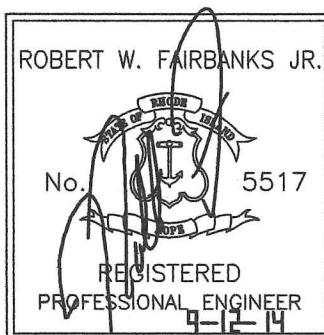
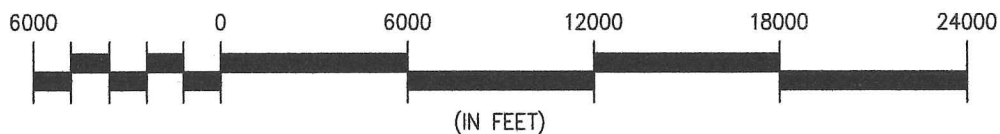
You are advised that if you have good reason to enter protests against the proposed work it is your privilege to do so. It is expected that objectors will review the application and plans thoroughly, visit site of proposed work if necessary, to familiarize themselves with the conditions and cite what law or laws, if any, would in their opinion be violated by the work proposed.

If you desire to protest, you must attend the scheduled hearing and give sworn testimony. A notice of the time and place of such hearing will be furnished you as soon as possible after receipt of your request for hearing. If you desire to request a hearing, to receive consideration, it should be in writing (**with your correct mailing address, e-mail address and valid contact number**) and be received at this office on or before November 8, 2014.



**PROJECT LOCATION**

N 41°-33' - 49.84"N  
W 71°-21' - 44.86"W



**FAIRBANKS  
ENGINEERING  
CORP.**

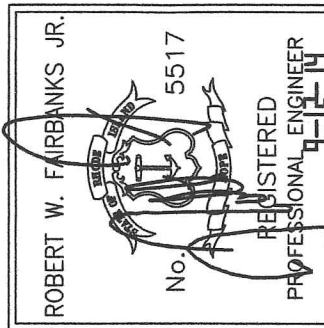
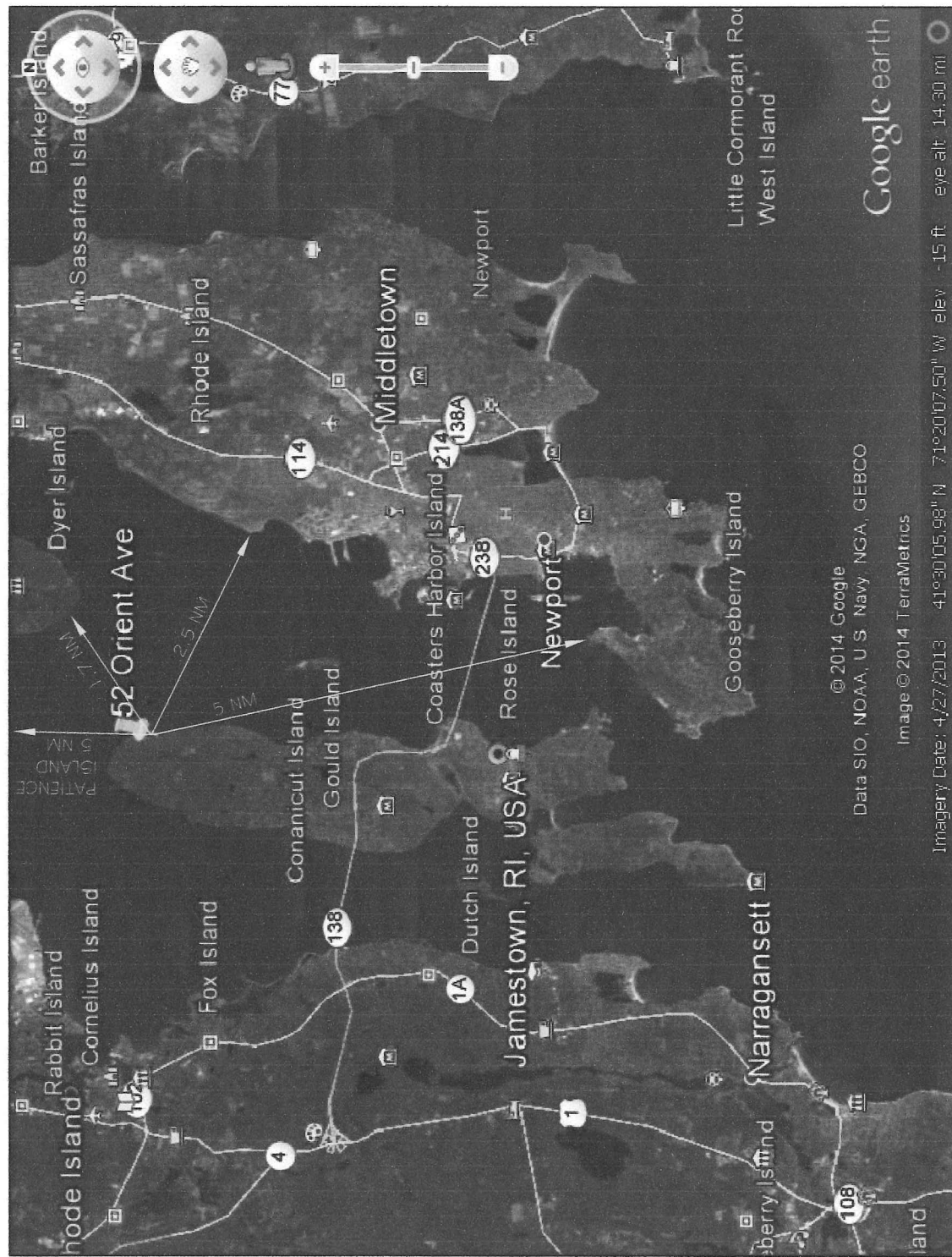
Marine & Geotechnical Engineering  
42 Cobblestone Hill Road, Exeter, RI 02822  
Tel: 401.294.3484 Office  
Tel: 401.474.2361 Cell email: rfairbanks@fairbankseng.com

## REVTMENT REPAIRS USGS MAP PRUDENCE ISLAND 1975

FOR:  
**Thomas & Diann Ustul**  
52 Orient Avenue  
Jamestown, RI 02835

PROJECT: REVTMENT REPAIRS - NARRAGANSETT BAY  
52 ORIENT AVE.  
JAMESTOWN, RI 02835  
A.P. 1, LOT 297

DATE  
AUGUST 22, 2014  
DWG.  
SHT. 1 OF 9



## LOCUS MAP



**FAIRBANKS  
ENGINEERING  
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Marine & Geotechnical Engineering  
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## REVETMENT REPAIRS Locus Map

LOCATION: NARRAGANSETT BAY  
52 ORIENT AVE.  
JAMESTOWN, RI  
A.P. 1, LOT 297

APPLICATION BY:  
**Thomas & Diann Uustal**  
52 Orient Avenue  
Jamestown, RI 02835

REVISIONS:

DATE  
AUGUST 22, 2014

DWG.  
SHT. 2 OF 9

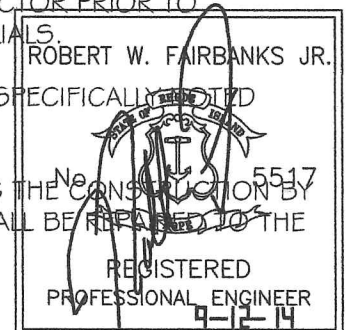
## DESCRIPTION OF WORK

THE WORK COVERED UNDER CONTRACT PLAN SHEETS 1 THRU 9 AND ALL AMENDMENTS, CONSISTS OF PROVIDING ALL PLANT, LABOR, SUPERVISION, EQUIPMENT, APPLIANCES AND MATERIALS AND IN PERFORMING ALL OPERATIONS IN CONNECTION WITH THE CONSTRUCTION OF THE NEW STONE REVETMENT.

THE CONTRACTOR SHALL PROVIDE ALL ITEMS AND ACCESSORIES REQUIRED TO COMPLETE ALL ASPECTS OF THE WORK NEEDED FOR A COMPLETE AND PROPER INSTALLATION, ALL IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS.

## GENERAL NOTES:

1. PROPERTY LINE, TOPOGRAPHY AND EXISTING CONDITIONS INFORMATION SHOWN HEREIN ARE PROVIDED BY OCEAN STATE PLANNERS, INC. PLEASE REFER TO THEIR SURVEY AND ASSOCIATED PLANS PREPARED TO SUPPORT THE CRMC ASSENT APPLICATION FOR THE NEW HOUSE CONSTRUCTION. WE TAKE NO RESPONSIBILITY FOR THEIR ACCURACY.
2. THERE IS LIMITED HYDROGRAPHIC INFORMATION AVAILABLE FOR THIS SITE AS SHOWN.
3. ALL ELEVATIONS ARE REFERENCED TO NAVD88. BENCHMARKS ARE INDICATED ON THE SURVEY PLANS.
4. THESE PLAN SHEETS WERE PRODUCED FOR PURPOSES OF DESIGN, PLANNING AND THE CONSTRUCTION OF A NEW STONE REVETMENT SYSTEM TO REPAIR AND EXTEND THE EXISTING REVETMENT SYSTEM DAMAGED BY HURRICANE SANDY. USE OF THIS PLAN FOR ANY OTHER WORK IS AT THE SOLE RISK OF THE END USER.
5. UNDERGROUND UTILITIES ARE NOT LOCATED AND IT IS THE CONTRACTORS SOLE RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES, GRADES, AND DIMENSIONS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY DIG SAFE AND LOCAL UTILITIES TO VERIFY THE EXACT LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO START OF ANY CONSTRUCTION. REPORT TO THE ENGINEER ALL OBSERVATIONS AND DISCREPANCIES BEFORE PROCEEDING WITH ANY WORK.
6. ALL WORK SHALL COMPLY WITH LOCAL, STATE AND FEDERAL LAWS AND STATUTES AND THE REQUIREMENTS AND CONDITIONS OF ALL REGULATORY PERMITS ISSUED FOR THE WORK.
7. THESE DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE PROJECT REGULATORY PERMITS AND ALL CONDITIONS OF THOSE PERMITS. THE CONTRACTOR IS ADVISED THAT THE REGULATORY PERMITS FOR THIS PROJECT MAY CONTAIN ADDITIONAL REQUIREMENTS THAT, AFTER ANY ADDENDUM, SUPERSEDE THE DRAWING NOTES. THE CONTRACTOR IS FURTHER ADVISED THAT IN THE CASE OF ANY DISCREPANCIES WITHIN THE CONTRACT DOCUMENTS FOUND BEFORE CONSTRUCTION, THE FINAL DECISION AS TO WHAT INFORMATION TAKES PRECEDENCE WILL BE MADE BY THE ENGINEER OF RECORD ON THE BASIS OF THAT INTENT.
8. ALL EXISTING CONDITIONS AND DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION AND FABRICATION OR ORDERING OF ANY CONSTRUCTION MATERIALS.
9. ALL SECTIONS AND DETAILS APPLY TO SAME AND SIMILAR CONDITIONS UNLESS SPECIFICALLY NOTED OTHERWISE HEREIN.
10. DAMAGE TO ANY PROPERTY, PRIVATE OR OF PUBLIC TRUST, OCCURRING DURING THE CONSTRUCTION BY THE CONTRACTOR, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REQUIRED TO THE SATISFACTION OF THE OWNER AT THE EXPENSE OF THE CONTRACTOR.



### **FAIRBANKS ENGINEERING CORP.**

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### **REVETMENT REPAIRS General Notes**

FOR:  
**Thomas & Diann Ustul**  
52 Orient Avenue  
Jamestown, RI 02835

PROJECT: REVETMENT REPAIRS - NARRAGANSETT BAY  
52 ORIENT AVE.  
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A.P. 1, LOT 297

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DWG.

SHT. 3 OF 9

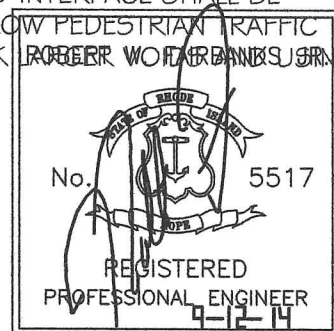


## GENERAL NOTES, CONT.:

11. THE CONTRACTOR SHALL SAFEGUARD AND PROTECT ALL EXCAVATIONS INCLUDING THE ADJACENT REVETMENT STRUCTURES AND PROPERTY.
12. THE CONTRACTOR SHALL USE ADEQUATE NUMBERS OF SKILLED WORKMEN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND METHODS NEEDED FOR PROPER PERFORMANCE OF THE WORK.
13. THE CONTRACTOR SHALL PERFORM ALL WORK FROM THE YARD SIDE OF THE STRUCTURE. NO EQUIPMENT OR MATERIALS ARE ALLOWED ON THE BEACH AREA AT ANY TIME.

## STONE REVETMENT CONSTRUCTION NOTES:

1. THE REVETMENT SHALL BE COMPRISED OF AN ARMOR LAYER WITH GEOTEXTILE FABRIC REQUIRED AS SPECIFIED.
2. ARMOR STONES SHALL BE PLACED IN AT LEAST A TWO LAYER THICKNESS.
3. ALL STONES USED IN THE CONSTRUCTION OF THE TOE PROTECTION SHALL BE HARD, DURABLE, AND CLEAN, WITHOUT CRACKS, CLEAVAGES OR LAMINATIONS. THEY SHOULD BE CHEMICALLY STABLE IN FRESH OR SALT WATER AND SHOULD NOT WEATHER DUE TO TEMPERATURE CHANGES OR WET/DRY CYCLES.
4. ARMOR STONES GEOMETRY SHALL BE SUCH THAT THE SMALLEST DIMENSION SHOULD NOT BE LESS THAN ONE-THIRD OF THE LARGEST DIMENSION.
5. THE SIZE OF THE ARMOR STONES SHALL BE A MAXIMUM OF 1.25 W (AVERAGE WEIGHT SPECIFIED) AND A MINIMUM OF 0.75 W. APPROXIMATELY 75 PERCENT OF THE STONES SHALL BE EQUAL TO, OR LARGER THAN, W.
6. ARMOR UNITS IN THE COVER LAYER SHALL BE PLACED IN AN ORDERLY MANNER TO OBTAIN GOOD WEDGING OR INTERLOCKING ACTION BETWEEN INDIVIDUAL UNITS.
7. THREE (3) LAYERS OF GEOTEXTILE FABRIC ARE REQUIRED AGAINST ALL SOIL INTERFACES BELOW THE REVETMENT. THIS SHALL BE COMPRISE OF 2 LAYERS OF MIRAFI 140N OR EQUIVALENT PLACED ON THE SOIL WITH A LAYER OF MIRAFI 600X OR EQUIVALENT PLACED ABOVE. THE 140N IS REQUIRED TO ACT AS A FILTER TO STOP THE MIGRATION OF FINE SOIL INTO/THROUGH THE REVETMENT STONE. THE 600X IS REQUIRED TO PROTECT THE 140N FROM BEING DAMAGED BY THE LARGE STONES AND CONSTRUCTION ACTIVITY. ADDITIONAL LAYERS OF GEOTEXTILE FABRIC SHALL BE REQUIRED IF IT IS DETERMINED THAT THE 2 LAYER FABRIC SYSTEM IS BEING DAMAGED DURING CONSTRUCTION.
8. THE UPPER STONES ALONG AT THE TOP OF THE REVETMENT AT THE FUTURE YARD INTERFACE SHALL BE SELECTED TO CREATE A FLAT AREA WITH A REGULAR EDGE. THE INTENT IS TO ALLOW PEDESTRIAN TRAFFIC ALONG THE SURFACE. THIS IS EXPECTED TO REQUIRE SMALLER STONES TO CHINK MORTAR AND/OR CONCRETE TO "TIE" THE AREA TOGETHER.



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DWG.  
SHT. 4 OF 9

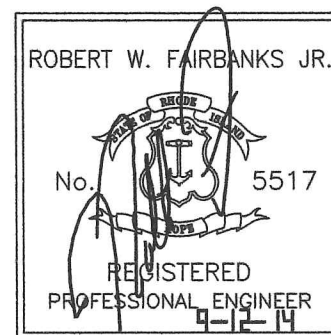
## REFERENCE PLANS/DOCUMENTS:

1. SURVEY PLANS TITLED "CRMC SITE PLAN, A.P. 1 LOT 297, 52 ORIENT AVENUE, JAMESTOWN RHODE ISLAND, PREPARED FOR THOMAS UUSTAL, PREPARED BY OCEAN STATE PLANNERS, INC, SHEET 1 OF 1, DATED JANUARY 14, 2014". ALSO REFERENCE THE OWTS PLAN PREPARED BY OCEAN STATE PLANNERS, INC. RELATED TO THE CRMC ASSENT APPLICATION FOR THE NEW HOUSE.
2. FEMA FLOOD INSURANCE STUDY NEWPORT COUNTY, RI, DATED SEPTEMBER 4, 2013; FLOOD INSURANCE STUDY NUMBER 44005CV000B.
3. FIRM FLOOD INSURANCE RATE MAP, NUMBER 44005C078J, SEPTEMBER 4, 2013.
4. RI STATE BUILDING CODE, SBC-1, 10TH ED
5. US CORPS OF ENGINEERS SHORE PROTECTION MANUAL, 1984, VOLUMES 1 & 2
6. COASTAL CONSTRUCTION MANUAL, FEMA 55, ED 3, AUGUST 2005

## DESIGN CRITERIA:

1. ALL DIMENSIONS ARE IN DECIMAL FEET UNLESS OTHERWISE NOTED. ELEVATIONS ARE REFERENCED TO NAVD88.
2. SEISMIC LOAD - NONE
3. UNIFORM LIVE LOAD BEHIND REVETMENT = N/A
4. TIDAL RANGE - 3.47 FEET
5. THE FEMA FLOOD INSURANCE STUDY INDICATES THE FOLLOWING:

100 YR (1%) SIG WAVE HEIGHT, ( $H_s$ ):	12.8 FT (BREAKING WAVE)
100 YR (1%) DESIGN WAVE HEIGHT, ( $H_{10}$ ):	16.2 FT (BREAKING WAVE)
100 YR (1%) STORM STILLWATER EL (1%)	11.2 FT NAVD88
100 YR (1%) DESIGN WAVE CREST EL:	20.2 FT NAVD88 (FLOOD STUDY INDICATES THIS IS DUE TO RUNUP)
6. THE REVETMENT IS LOCATED BELOW THE 100 YR (1%) STILLWATER ELEVATION AND IN LIMITED WATER DEPTH. AS A RESULT THE STRUCTURE IS DESIGNED FOR A WAVE HEIGHT LESS THAN 100 YR (1%) WAVE. THIS STRUCTURE IS DESIGNED FOR A WAVE HEIGHT OF 7 FT. LARGER WAVES WILL CAUSE DAMAGE TO THE STRUCTURE AND MAINTENANCE IS REQUIRED OVER TIME ESPECIALLY AFTER STORM EVENTS.
7. TEMPERATURE RANGE = 60 DEGREES FAHRENHEIT ABOVE AND BELOW MEAN AMBIENT TEMPERATURE



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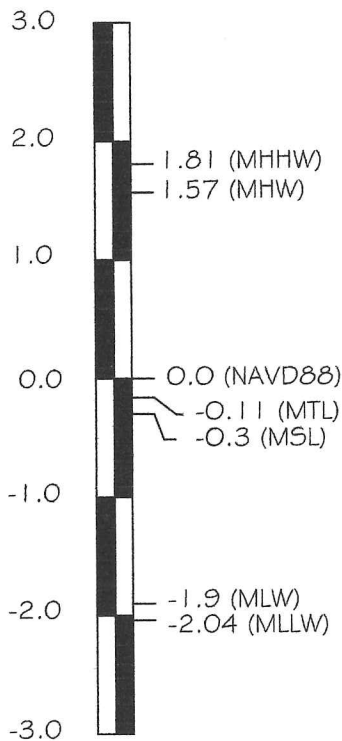
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SHT. 5 OF 9

# LEGEND

	PROPERTY LINE		EXISTING SPOT GRADE
	EXISTING CONTOUR		PROPOSED SPOT GRADE
	PROPOSED CONTOUR		PROPOSED BULKHEAD
	EXISTING SEWER		EXISTING STONE WALL
	PROPOSED SEWER		EXISTING FENCE LINE
	EXISTING WATER LINE		DREDGE SAMPLE
	PROPOSED WATER LINE		FLOOD ZONE BOUNDARY
	EXISTING DRAINAGE LINE		EXISTING HYDRANT
	PROPOSED DRAINAGE LINE		EXISTING POLE
	EXISTING SEWER MANHOLE		PROPOSED SLOPE
	EXISTING DRAINAGE MANHOLE		SHORE LINE
	PROPOSED MANHOLE		IRON PIPE FOUND
	EXISTING TREE LINE		STONES/BOULDERS
	EXISTING BUILDING		
	PROPOSED BUILDING		

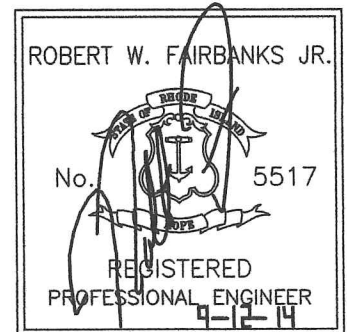
## ABBREVIATIONS

N. I. C.	NOT IN CONTRACT
U. O. N.	UNLESS OTHERWISE NOTED
N. T. S.	NOT TO SCALE
I. A. W.	IN ACCORDANCE WITH
TYP.	TYPICAL
R & D	REMOVE AND DISPOSE
BIT.	BITUMINOUS CONCRETE
N/F	NOW OR FORMERLY
F. F.	FINISH FLOOR
T. O. F.	TOP OF FOUNDATION
M. P. L.	MARINA PERIMETER LINE
S. J. E.	ST. JEAN ENGINEERING, LLC
S. F.	SQUARE FOOT
A. P.	ASSESSORS PLAT
EXTG.	EXISTING
SMH	SEWER MANHOLE
DMH	WATER MANHOLE
MIN.	MINIMUM



### DATUM INFORMATION

STATION ID: 8452660 NEWPORT, RI  
TIDAL RANGE IN FEET;  
BASED ON NAVD88;  
CONVERSION PROVIDED BY NOAA



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## REVTMENT REPAIRS Legend & Abbreviations

FOR:  
**Thomas & Diann Uustal**  
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SHT. 6 OF 9

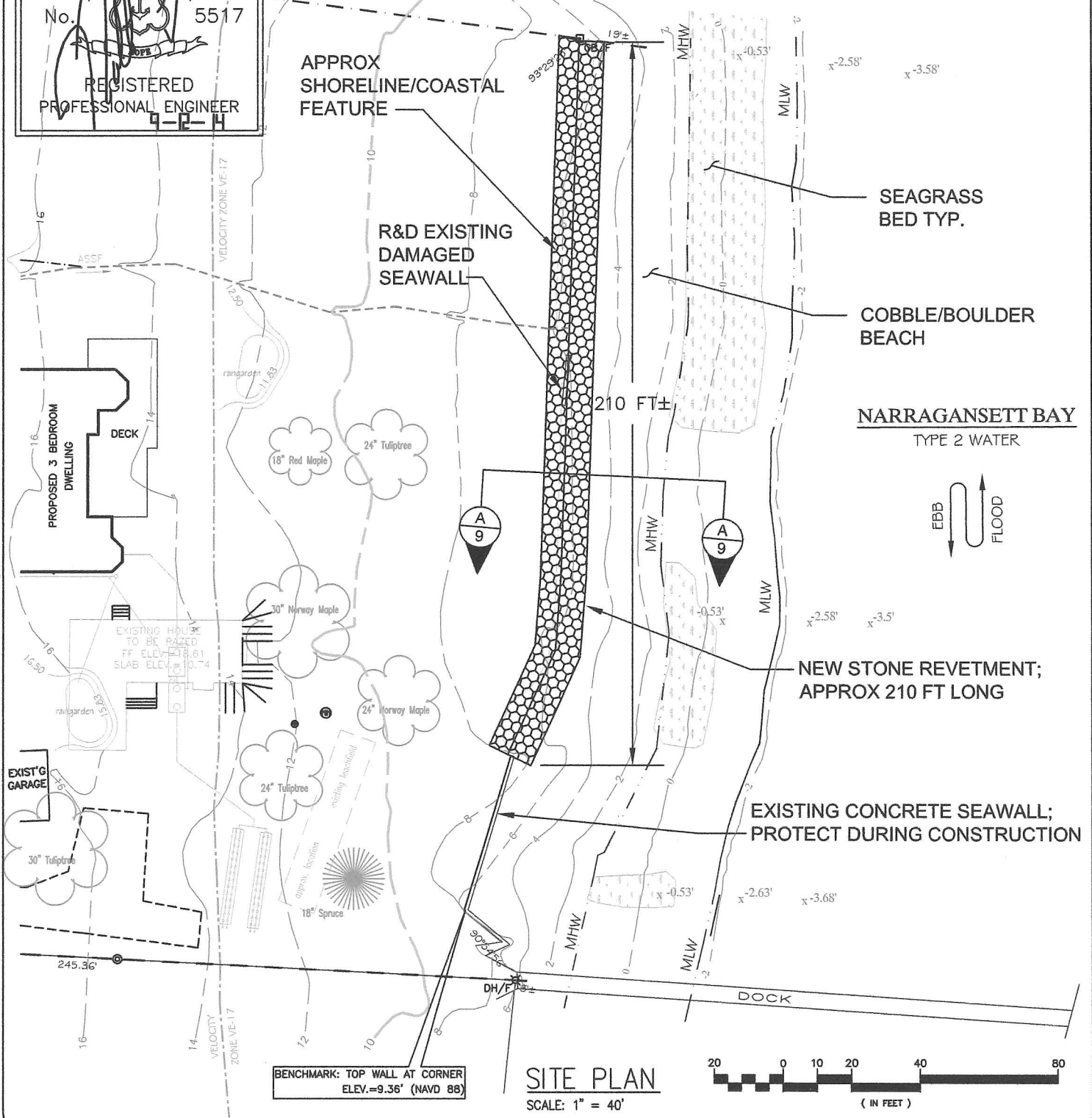




ROBERT W. FAIRBANKS JR.

REGISTERED PROFESSIONAL ENGINEER

NOTE: FORM STAIRS IN NEW  
REVETMENT USING STONE



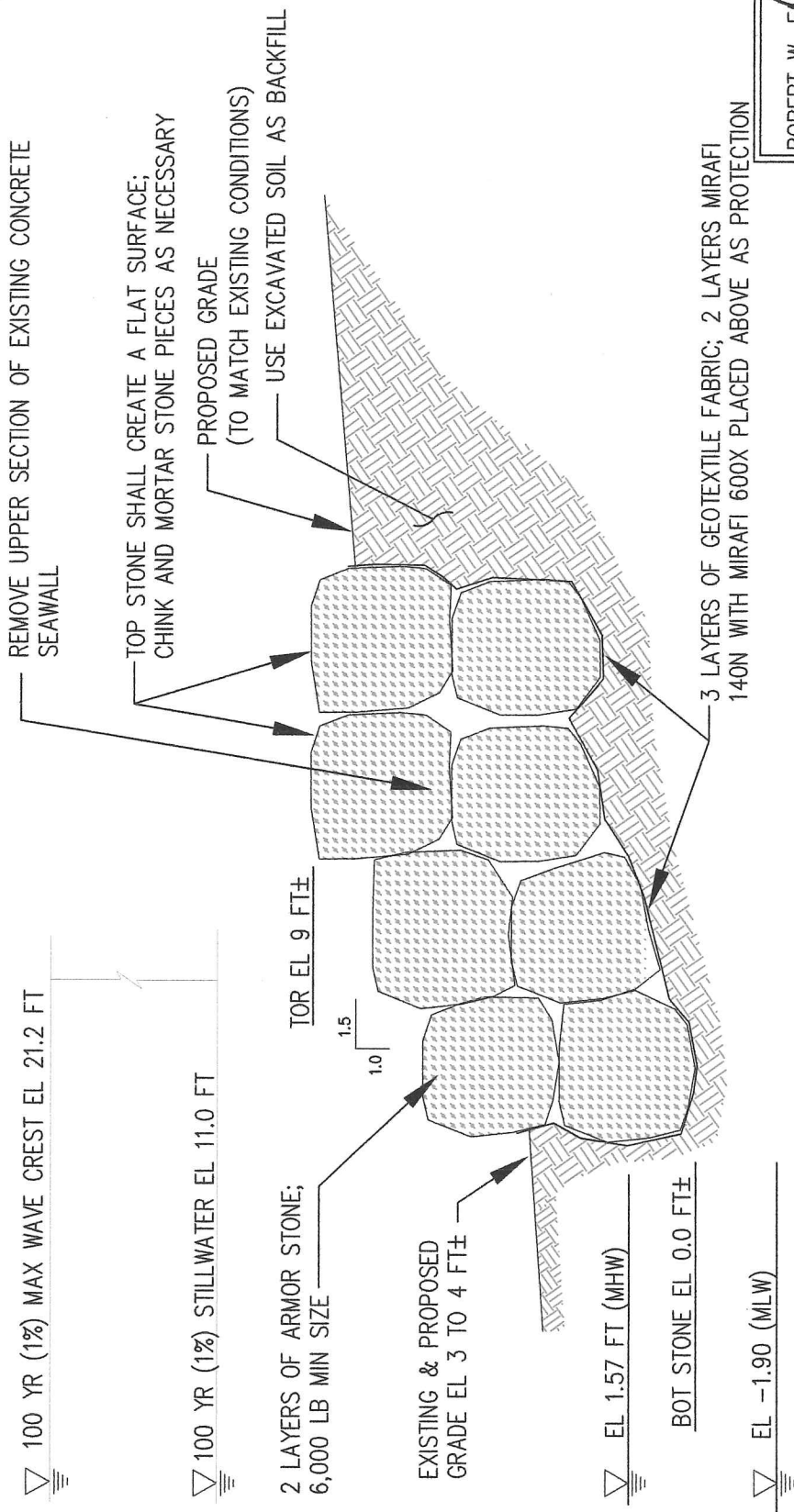
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**REVETMENT REPAIRS**  
*Proposed Conditions Plan*

FOR: <b>Thomas &amp; Diann Uustal</b> 52 Orient Avenue Jamestown, RI 02835	PROJECT: REVETMENT REPAIRS - NARRAGANSETT BAY 52 ORIENT AVE. JAMESTOWN, RI 02835 A.P. 1, LOT 297
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DATE AUGUST 22, 2014
DWG. SHT. 8 OF 9



# TYP REVELMENT SECTION A-A

SCALE: 3/4" = 1'-0"

ROBERT W. FAIRBANKS JR.  
No. 5517  
REGISTERED  
PROFESSIONAL ENGINEER

<b>FAIRBANKS ENGINEERING CORP.</b> Marine & Geotechnical Engineering 42 Cobblestone Hill Road, Exeter, RI 02822 Tel: 401.294.2100 Fax: 401.294.2101 email: rfairbanks@fairbankseng.com	LOCATION: NARRAGANSETT BAY 52 ORIENT AVE. JAMESTOWN, RI A.P. 1, LOT 297	APPLICATION BY: <b>Thomas &amp; Diann Uustal</b> 52 Orient Avenue Jamestown, RI 02835	DATE AUGUST 22, 2014 DWG. SHT. 9 OF 9
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## REVELMENT REPAIRS Typical Revetment Section A-A

REVISIONS: