



Oliver Stedman Government Center
4808 Tower Hill Road; Suite 116
Wakefield, RI 02879
401-783-3370

PUBLIC NOTICE

File Number: 2013-09-056

Date: 8/12/14

This office has under consideration the application of:

Universal Realty, LLC
c/o Rudy Procaccianti
5390 Post Road; Unit 8
East Greenwich, RI 02818

for a State of Rhode Island Assent to construct and maintain: a residential boating facility consisting of a 4' x 105' fixed pier, 4' x 22' ramp and a 10' x 15' float; also install 2 tie off piles. The facility will extend 75' seaward of mean low water to 18" (MLW). A variance is required to RICRMP 300.4.E.3(l) (50' standard beyond mean low water).

| | |
|-------------------|---------------------|
| Project Location: | 219 Charlotte Drive |
| City/Town: | Warwick |
| Plat/Lot: | 201 / 20 |
| Waterway: | Greenwich Bay |

Plans of the proposed work may be seen at the CRMC office in Wakefield.

In accordance with the Administrative Procedures Act (Chapter 42-35 of the Rhode Island General Laws) you may request a hearing on this matter.

You are advised that if you have good reason to enter protests against the proposed work it is your privilege to do so. It is expected that objectors will review the application and plans thoroughly, visit site of proposed work if necessary, to familiarize themselves with the conditions and cite what law or laws, if any, would in their opinion be violated by the work proposed.

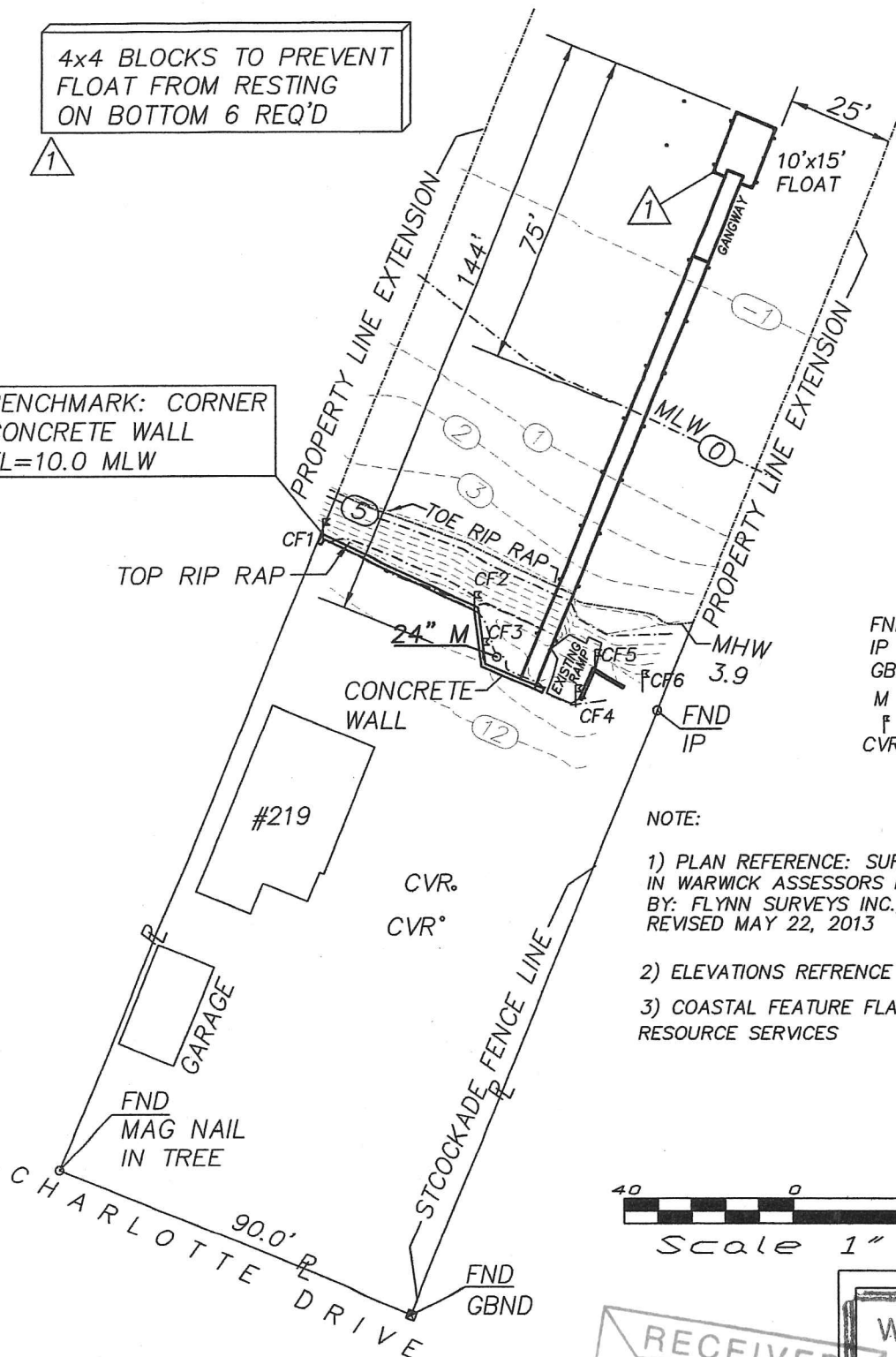
If you desire to protest, you must attend the scheduled hearing and give sworn testimony. A notice of the time and place of such hearing will be furnished you as soon as possible after receipt of your request for hearing. If you desire to request a hearing, to receive consideration, it should be in writing (**with your correct mailing address, e-mail address and valid contact number**) and be received at this office on or before September 12, 2014.

4x4 BLOCKS TO PREVENT
FLOAT FROM RESTING
ON BOTTOM 6 REQ'D

1

GREENWICH BAY
TYPE 2 WATER
FLOOD EBB

BENCHMARK: CORNER
CONCRETE WALL
EL=10.0 MLW

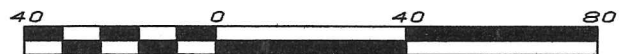


LEGEND

FND FOUND
IP IRON PIPE
GBND GRANITE BOUND
M MAPLE
F COASTAL FEATURE FLAG
CVR COVER

NOTE:

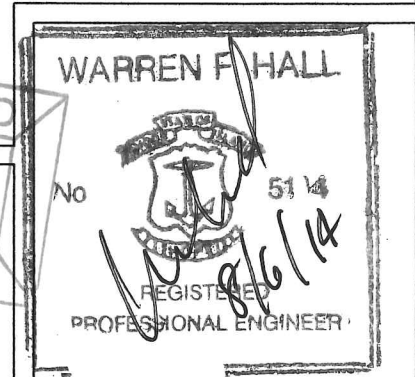
- 1) PLAN REFERENCE: SURVEY PLAN SHOWING LAND IN WARWICK ASSESSORS PLAT 201, LOT 20 BY: FLYNN SURVEYS INC., DATED MAY 13, 2013 REVISED MAY 22, 2013
- 2) ELEVATIONS REFERENCE MEAN LOW WATER
- 3) COASTAL FEATURE FLAGGED BY NATURAL RESOURCE SERVICES



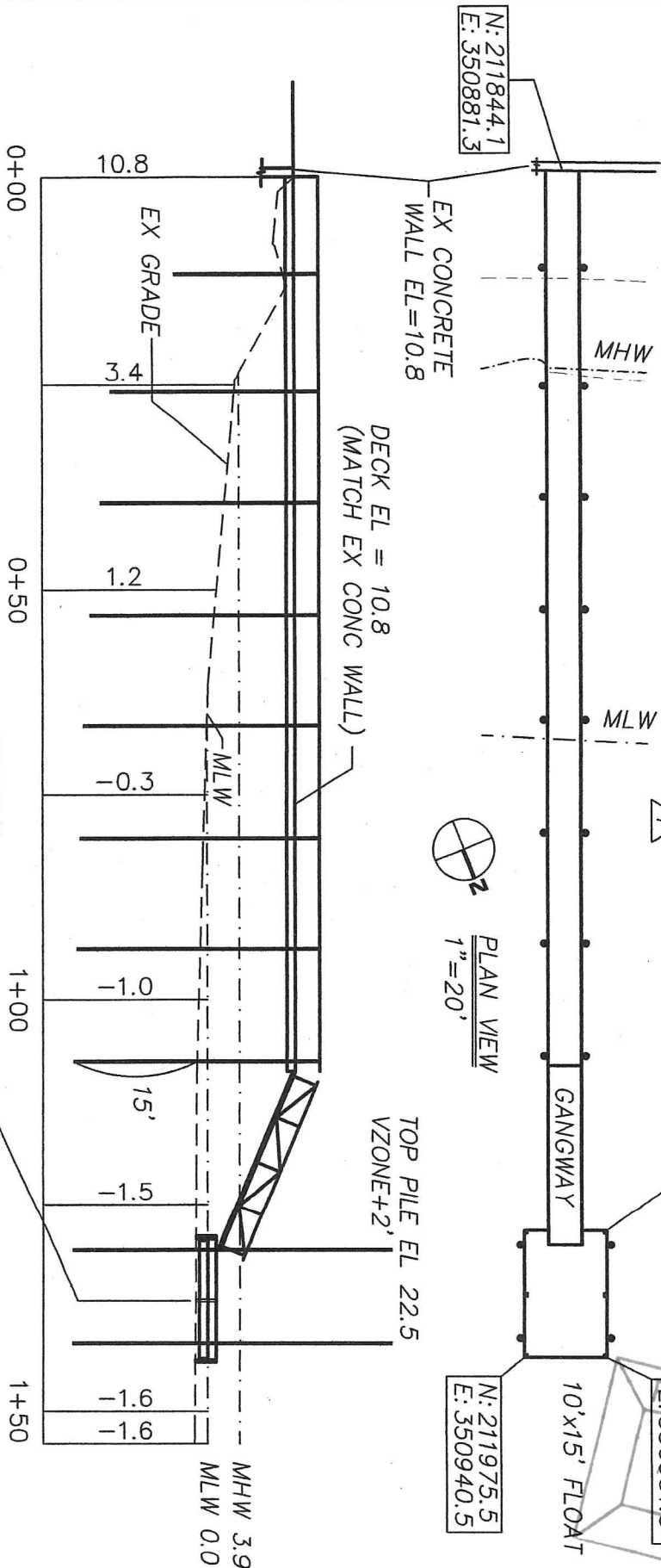
Scale 1" = 40'

1

PROPOSED RESIDENTIAL DOCK
FOR: UNIVERSAL REALTY, LLC
219 CHARLOTTE DRIVE, WARWICK RI 02881
AP 201, LOT 20
BY: WARREN HALL, CIVIL ENGINEER
SEPTEMBER 10, 2013 1"=40' SHEET 1 OF 3
REVISION 1: 7-21-14, ADD 4x4 STOPS AT FLOAT, CHANGE NAME



COORDINATES REFERENCE
RI STATE PLANE NAD83
ELEV REF MEAN LOW
WATER



4x4 BLOCKS TO PREVENT
FLOAT FROM RESTING
ON BOTTOM 6 REQ'D

TIE OFF PILES

RECEIVED
07 2014
C.R.M.C.

PLAN VIEW
1"=20'

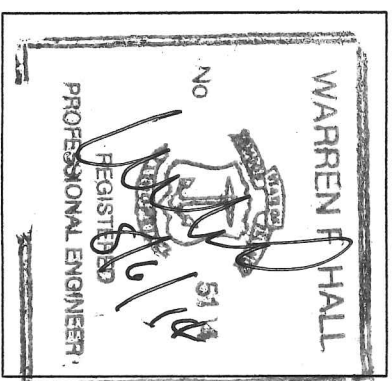
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E: 350881.3

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E: 350940.5



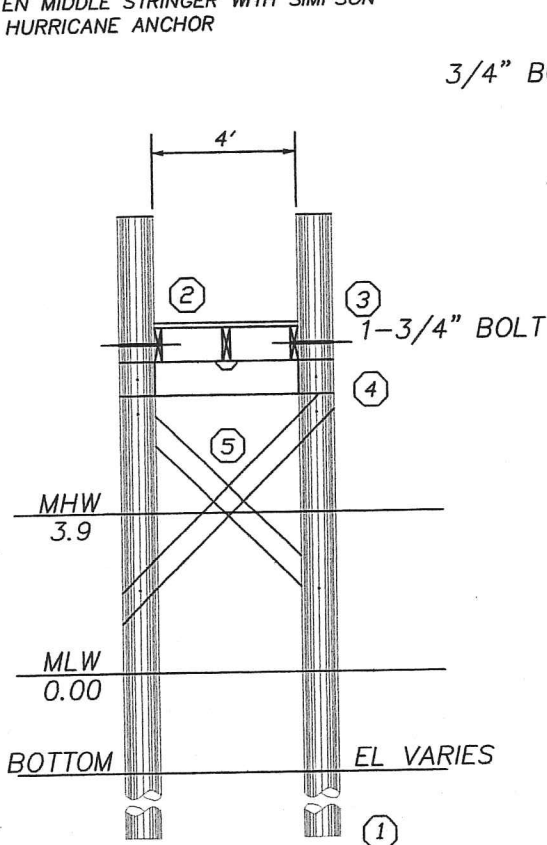
PROPOSED RESIDENTIAL DOCK
FOR: UNIVERSAL REALTY, LLC
219 CHARLOTTE DRIVE, WARWICK RI 02881
AP 201, LOT 20
BY: WARREN HALL, CIVIL ENGINEER
SEPTEMBER 10, 2013 1"=20' SHEET 2 OF 3
REVISION A: 7-21-14, ADD 4x4 STOPS AT FLOAT, CHANGE NAME

4x4 BLOCKS TO PREVENT
FLOAT FROM RESTING
ON BOTTOM 6 REQ'D



- ① 10" TIP ACQ TREATED WOOD PILES
TREAT TO 2.5 PCF (1.0 ALLOWED WITH
OWNER CONSENT)
- ② 2x6 DECKING ACQ TREATED TO .6 PCF
FASTEN TO STRINGERS WITH 2 16d
SPIRAL SHANK NAIL
- ③ 3x12 STRINGER, THRU BOLT AT PILE
FASTEN MIDDLE STRINGER WITH SIMPSON
H-1 HURRICANE ANCHOR

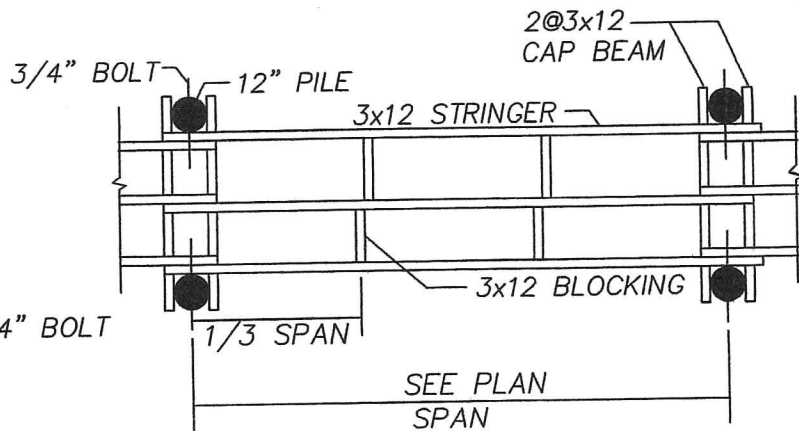
- ④ 2-3x12 CAP BEAM, ACQ TREATED TO
.6 PCF
- ⑤ 3x10 CROSS BRACE, ACQ TREATED TO
.8 PCF



TRANSVERSE SECTION @ PILE BENT

GENERAL NOTES:

- 1) ALL BOLTS, CONNECTORS, WASHERS, NAILS, ECT
SHALL BE HOT DIPPED GALVANIZED
- 2) CONTRACTOR SHALL ADHERE TO ALL OSHA RULES
AND REGULATIONS THROUGHOUT ALL PHASES OF
CONSTRUCTION
- 3) CONTRACTOR SHALL BE AWARE THAT THE STRATA INTO WHICH
THE PILES ARE TO BE DRIVEN MAY VARY FROM THE ASSUMPTION
THAT THESE PILES WILL PENETRATE 10' INTO SUITABLE MATERIAL

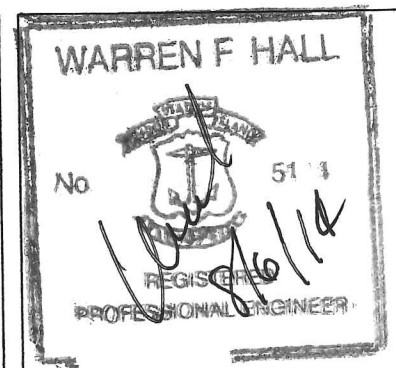


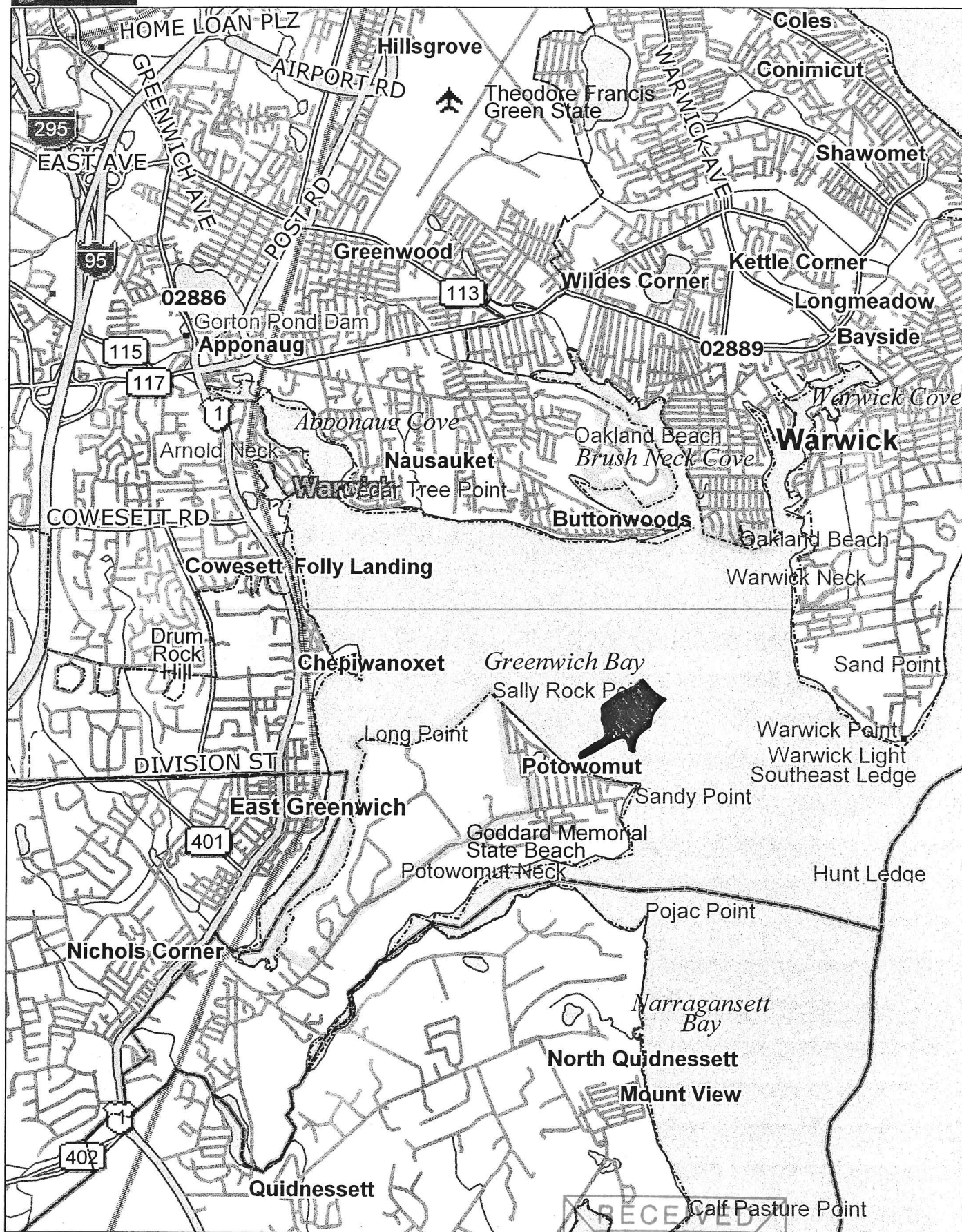
PLAN VIEW TYPICAL FRAMING



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Locus Plan
 David Cesario 219 Charlotte Dr. Warwick