



Oliver Stedman Government Center
4808 Tower Hill Road; Suite 116
Wakefield, RI 02879
401-783-3370

PUBLIC NOTICE

File Number: 2015-01-033

Date: February 20, 2015

This office has under consideration the application of:

Douglas Caffrey
14 West Fountain street
Milford, MA 01757

for a State of Rhode Island Assent to construct and maintain: a residential boating facility consisting of a 4' x 60' fixed pier, a 4' x 25' ramp, and a 8' x 18.65' terminal float. The facility is proposed to extend 50' seaward of the cited MLW mark to achieve a depth of 1.7' at the terminus. In addition, a 14.67' x 28' deck with stairs to the pier is proposed.

Project Location:	1 Bay Street
City/Town:	Portsmouth
Plat/Lot:	20 / 164
Waterway:	The Cove


Plans of the proposed work may be seen at the CRMC office in Wakefield.

In accordance with the Administrative Procedures Act (Chapter 42-35 of the Rhode Island General Laws) you may request a hearing on this matter.

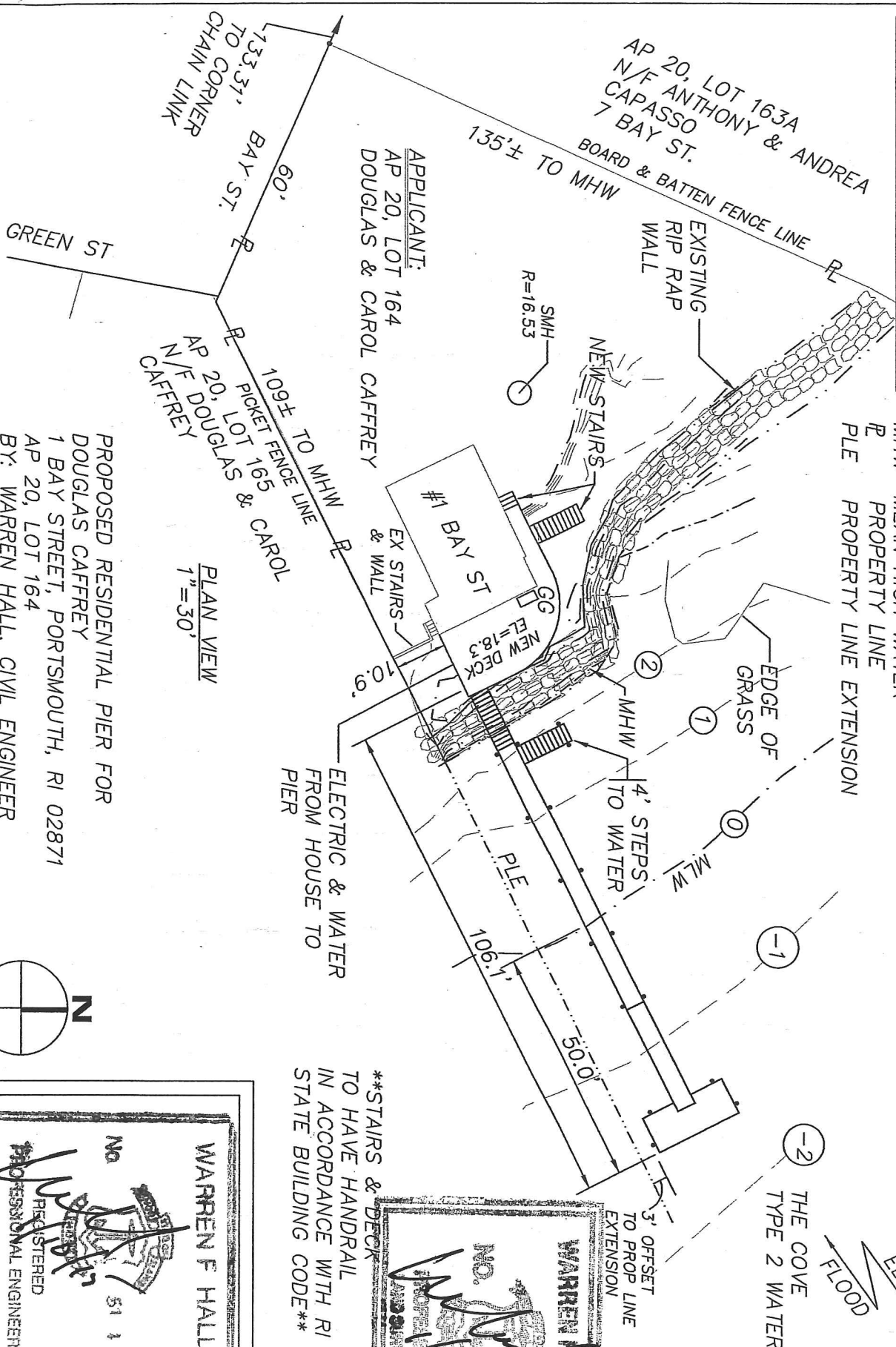
You are advised that if you have good reason to enter protests against the proposed work it is your privilege to do so. It is expected that objectors will review the application and plans thoroughly, visit site of proposed work if necessary, to familiarize themselves with the conditions and cite what law or laws, if any, would in their opinion be violated by the work proposed.

If you desire to protest, you must attend the scheduled hearing and give sworn testimony. A notice of the time and place of such hearing will be furnished you as soon as possible after receipt of your request for hearing. If you desire to request a hearing, to receive consideration, it should be in writing (**with your correct mailing address, e-mail address and valid contact number**) and be received at this office on or before March 20, 2015.

LEGEND

□	GG	GAS GRILL		30
	MLW	MEAN LOW WATER		
	MHW	MEAN HIGH WATER		
R		PROPERTY LINE		
PLE		PROPERTY LINE EXTENSION		

Scale 1" = 30'



PROPOSED RESIDENTIAL PIER FOR
DOUGLAS CAFFREY
1 BAY STREET, PORTSMOUTH, RI 02871
AP 20, LOT 164
BY: WARREN HALL, CIVIL ENGINEER
DECEMBER 23, 2014 SHEET 1 OF 3



****STAIRS & DECK
TO HAVE HANDRAIL
IN ACCORDANCE WITH RI
STATE BUILDING CODE****

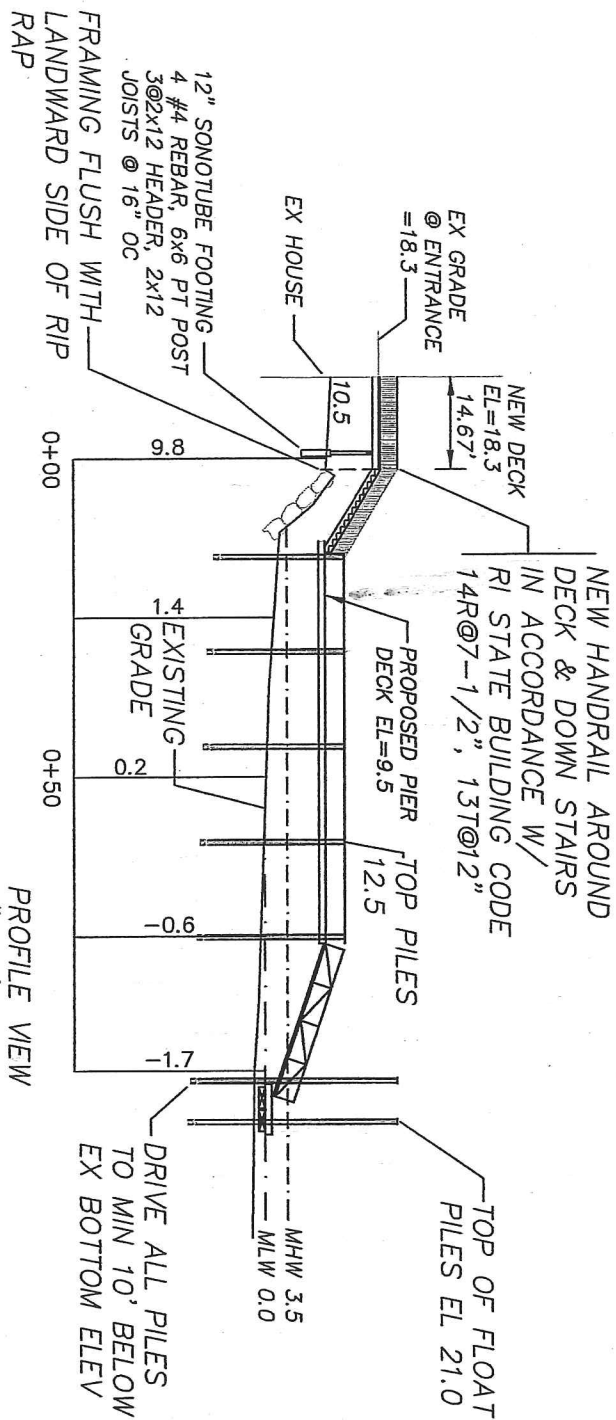
WARREN F HALL

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PROFESSIONAL ENGINEER

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JAN 14 2015

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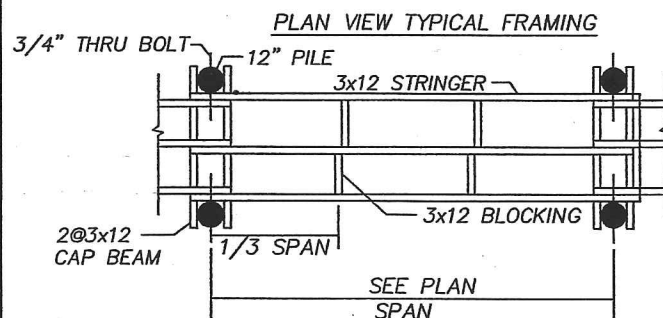
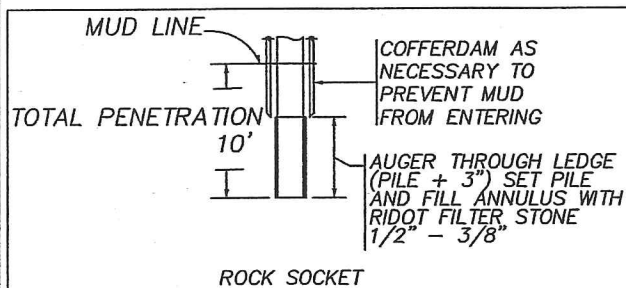
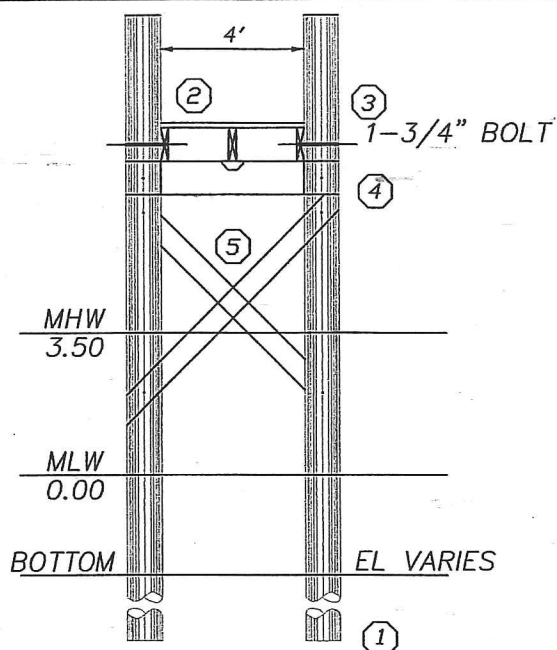
WARREN F HALL

No. 54

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COASTAL RESOURCES
MANAGEMENT COUNCIL

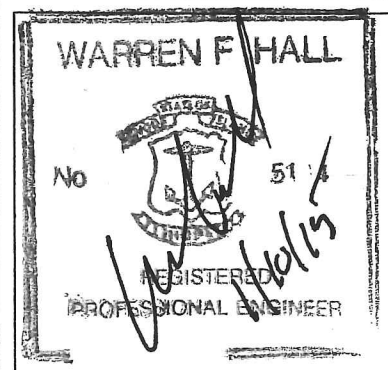
- ① 10" TIP ACQ TREATED WOOD PILES
TREAT TO 2.5 PCF (1.0 ALLOWED WITH
OWNER CONSENT)
- ② 2x6 DECKING ACQ TREATED TO .6 PCF
FASTEN TO STRINGERS WITH 2 16d
SPIRAL SHANK NAIL
- ③ 3x12 STRINGER, THRU BOLT AT PILE
FASTEN MIDDLE STRINGER WITH SIMPSON
H-1 HURRICANE ANCHOR
- ④ 2-3x12 CAP BEAM, ACQ TREATED TO
.6 PCF
- ⑤ 3x10 CROSS BRACE, ACQ TREATED TO
.8 PCF



GENERAL NOTES:

- 1) ALL BOLTS, CONNECTORS, WASHERS, NAILS, ECT
SHALL BE HOT DIPPED GALVANIZED
- 2) CONTRACTOR SHALL ADHERE TO ALL OSHA RULES
AND REGULATIONS THROUGHOUT ALL PHASES OF
CONSTRUCTION
- 3) CONTRACTOR SHALL BE AWARE THAT THE STRATA INTO WHICH
THE PILES ARE TO BE DRIVEN MAY VARY FROM THE ASSUMPTION
THAT THESE PILES WILL PENETRATE 10' INTO SUITABLE MATERIAL

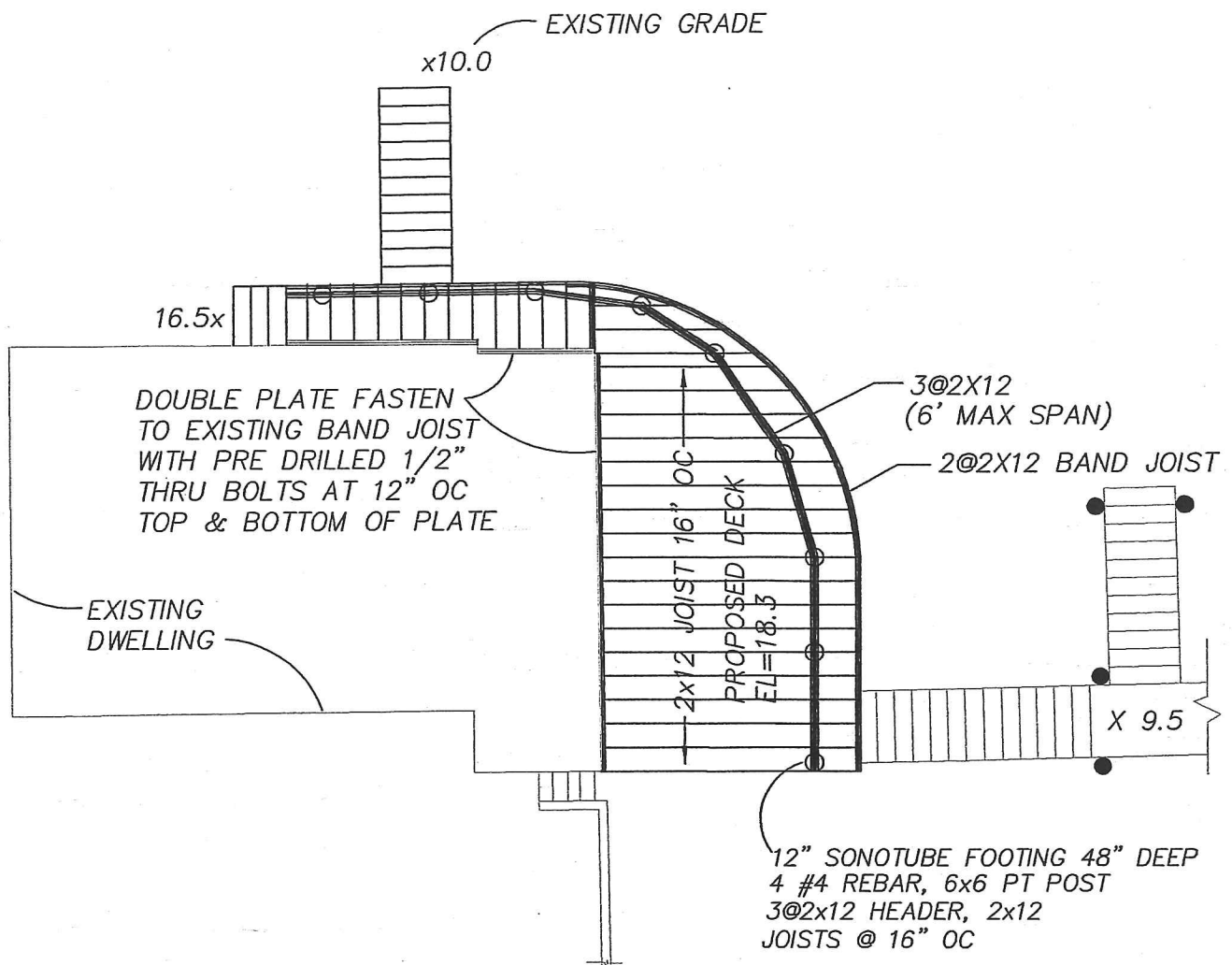
PROPOSED RESIDENTIAL PIER FOR
DOUGLAS CAFFREY
1 BAY STREET, PORTSMOUTH, RI 02871
AP 20, LOT 164
BY: WARREN HALL, CIVIL ENGINEER
DECEMBER 23, 2014 SHEET 3 OF 3



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FASTENING SCHEDULE:

2x12 JOIST TO BAND JOIST & LEDGER: U210

6X6 POST TO FOOTING: ABA66

6X6 POST TO 3@3X12 BEAM: AC6MAX

ALL FASTENERS TO BE HOT DIPPED GALVANIZED

DECKING: TO JOIST WITH 3@3"NO. 10 316 SS SCREWS

ALL SCREWS TO BE STAINLESS STEEL

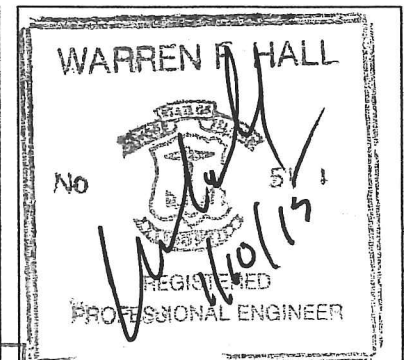
SK-1 PROFILE THRU PROPOSED DECK AND BEGIN PIER
DOUGLAS CAFFREY

1 BAY STREET, PORTSMOUTH, RI 02871

AP 20, LOT 164

BY: WARREN HALL, CIVIL ENGINEER

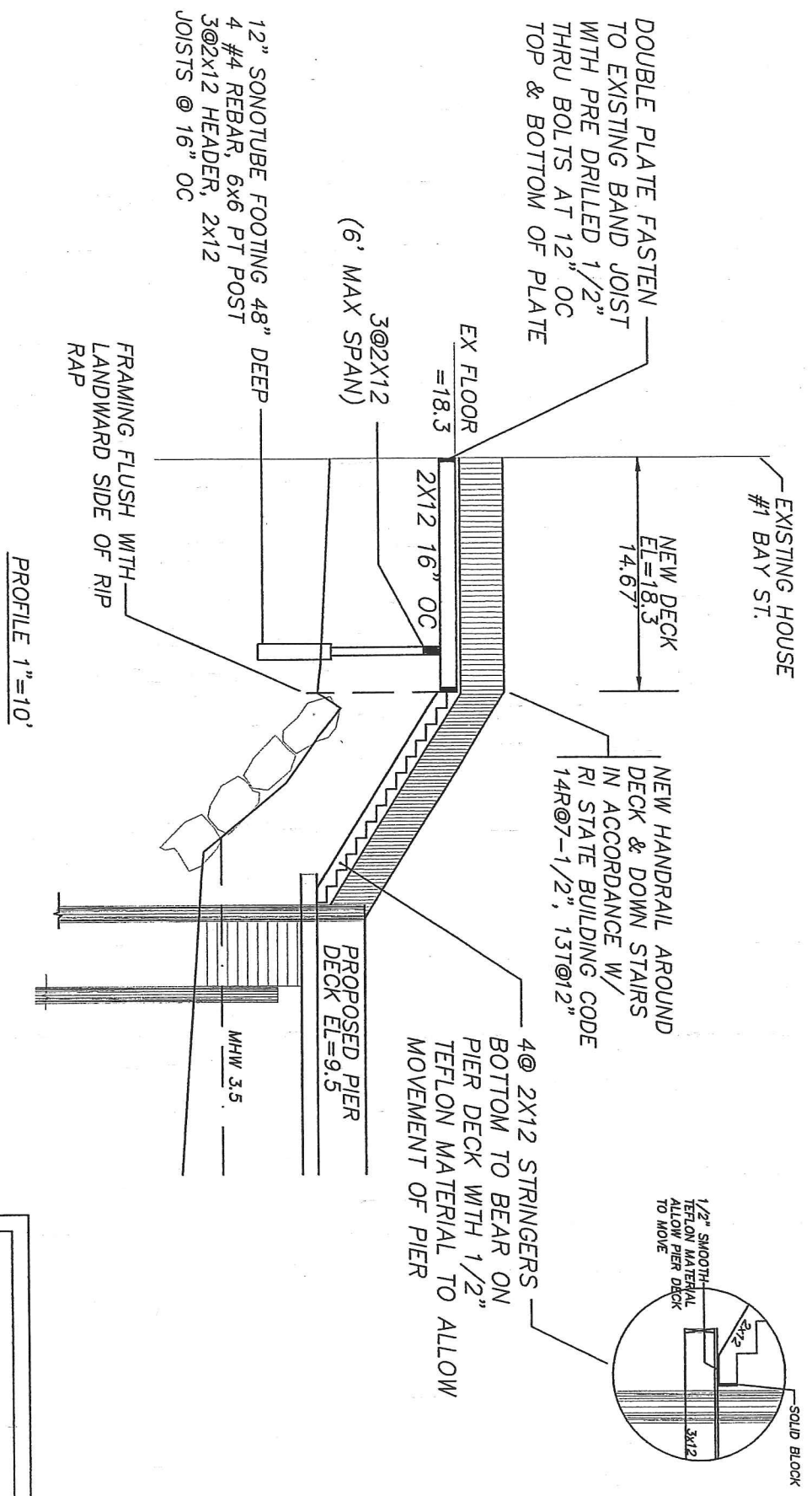
DECEMBER 23, 2014 SHEET 1 OF 1



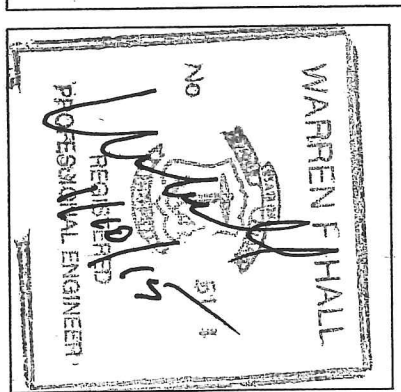
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SK-2 PROFILE THRU PROPOSED DECK AND BEGIN PIER
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