



Oliver Stedman Government Center
4808 Tower Hill Road; Suite 116
Wakefield, RI 02879
401-783-3370

PUBLIC NOTICE

File Number: 2014-06-127

Date: June 12, 2015

This office has under consideration the application of:

Joseph Zenga
10 Prospect Street
East Greenwich, RI 02818

for a State of Rhode Island Assent to construct and maintain: a commercial building and 40 unit multifamily housing with parking, roadway and associated utilities.

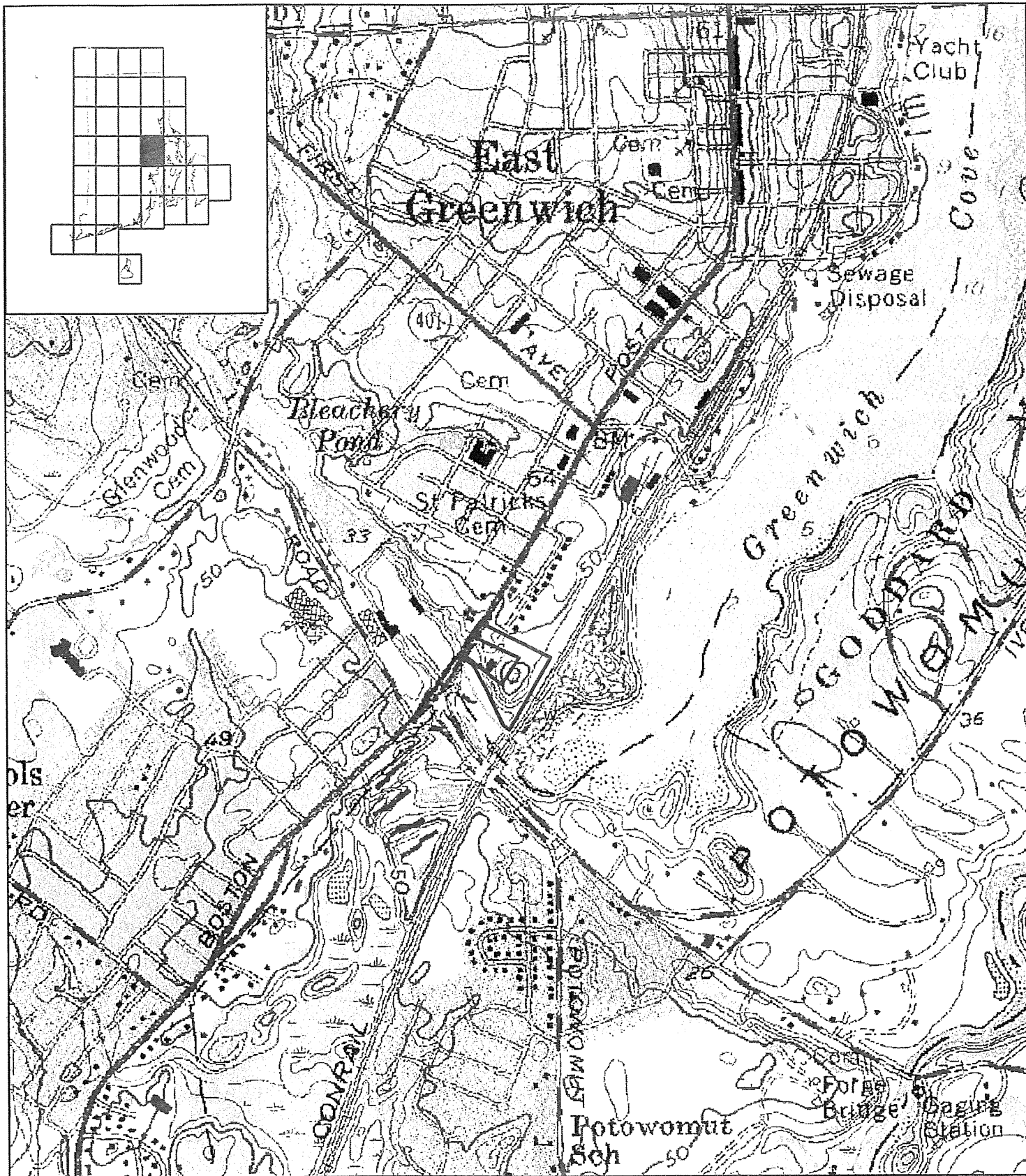
Project Location:	Intersection of Main Street and Greenwich Blvd.
City/Town:	East Greenwich
Plat/Lot:	5 / 149,158,219
Waterway:	Maskerchugg River and Greenwich Cove

Plans of the proposed work may be seen at the CRMC office in Wakefield.

In accordance with the Administrative Procedures Act (Chapter 42-35 of the Rhode Island General Laws) you may request a hearing on this matter.

You are advised that if you have good reason to enter protests against the proposed work it is your privilege to do so. It is expected that objectors will review the application and plans thoroughly, visit site of proposed work if necessary, to familiarize themselves with the conditions and cite what law or laws, if any, would in their opinion be violated by the work proposed.

If you desire to protest, you must attend the scheduled hearing and give sworn testimony. A notice of the time and place of such hearing will be furnished you as soon as possible after receipt of your request for hearing. If you desire to request a hearing, to receive consideration, it should be in writing (**with your correct mailing address, e-mail address and valid contact number**) and be received at this office on or before July 12, 2015.



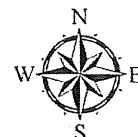
USGS Topographic Map

Greenwich Boulevard
A.P. 5, Lots 149, 158 & 219
East Greenwich, Rhode Island

— Approximate Site Location

USGS Topographic Series
Contour Interval 10 Feet
National Geodetic Vertical Datum of 1929

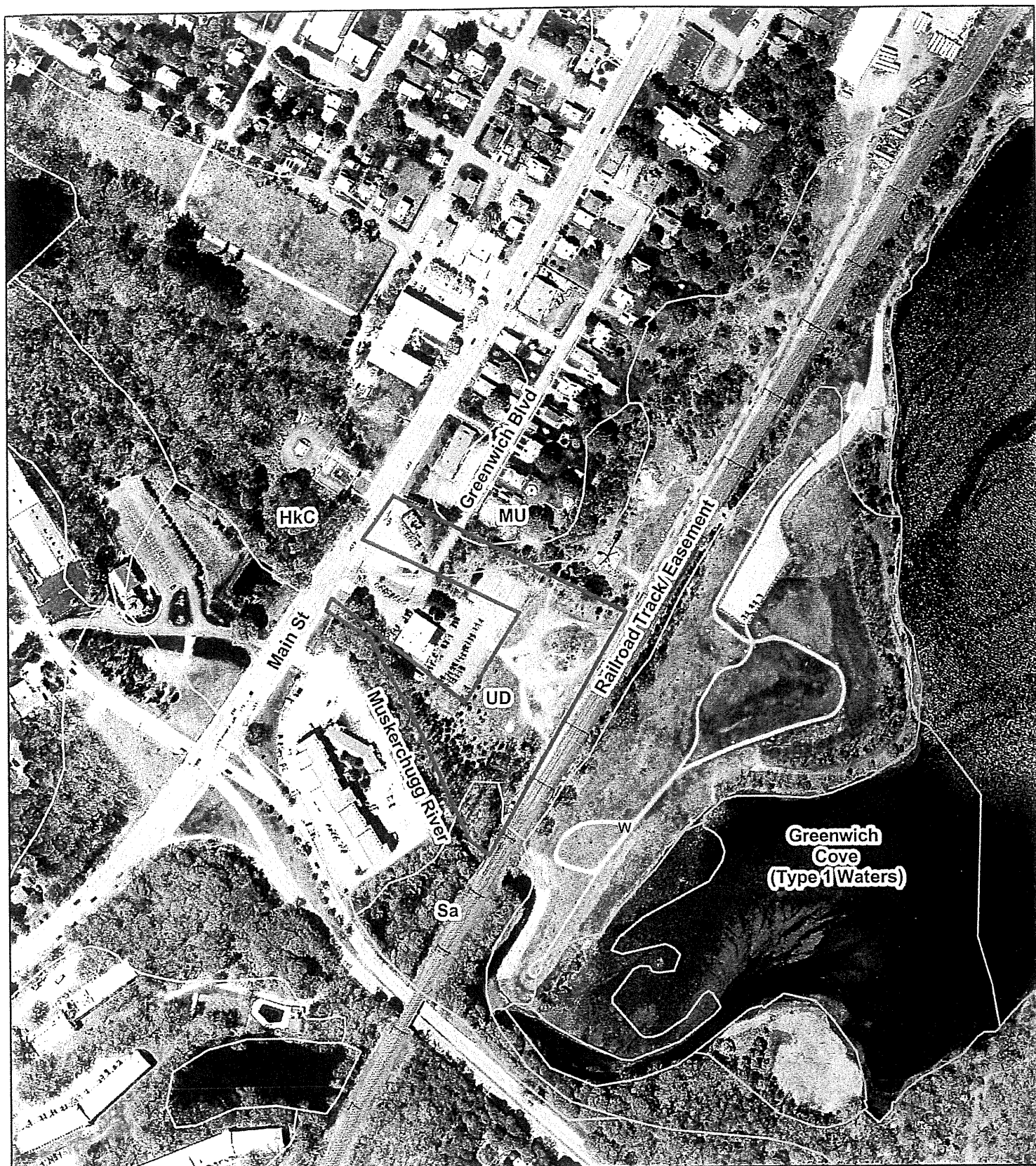
0 500 1,000 2,000 Feet



East Greenwich Quad Map
Natural Resource Services, Inc.

PO Box 311
190 Tinkham Lane
Narragansett, RI 02882

p (401) 568-7290
f (401) 568-7490
(c) 1990 RIGIS



**USDA Soil Survey /
CRMC Water Class Map**

Greenwich Boulevard
A.P. 5, Lots 149, 158 & 219
East Greenwich, Rhode Island

— Approximate Site Location
Soils

HkC = Hinckley : Nonhyddric
MU = Merrimac-Urban : Nonhydic
Sa = Sandyhook : Hydric
UD = Udorthents-Urban: Nonhydic

0 150 300 600 Feet



2011 RIDEM Multispectral
Orthophotography of RI (c) RIGIS
Natural Resource Services, Inc.
P.O. Box 311
300 Trinkham Lane
Hampton, RI 02840
(c) 1990 RIGIS

SITE PLANS FOR A PROPOSED
40-UNIT MIXED USE RESIDENTIAL DEVELOPMENT
(WITH 25% AFFORDABLE HOUSING)

GREENWICH BOULEVARD

AP 5, LOTS 149, 158 & 219

EAST GREENWICH, RHODE ISLAND

ZONING DISTRICTS: MUPD, M/LIO & CH

APPROVALS:

TOWN OF EAST GREENWICH - COMPREHENSIVE PERMIT MASTER PLAN (JUNE 6, 2012)
COASTAL RESOURCE MANAGEMENT COUNCIL (CRM/C) - PRELIMINARY DETERMINATION (MAY 7, 2012)
RHODE ISLAND DEPARTMENT OF TRANSPORTATION - PHYSICAL ALTERATION PERMIT NO. 131106 (FEBRUARY 11, 2014)
KENT COUNTY WATER AUTHORITY (KCWA) (FEBRUARY 20, 2014)

SUBMITTED TO:

COASTAL RESOURCES MANAGEMENT COUNCIL (CRM/C) - ASSENT
RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT (RIDEM)-WATER QUALITY CERTIFICATION

PROJECT TEAM

OWNER/APPLICANT:
MR. JOSEPH ZENGA
10 PROSPECT STREET
EAST GREENWICH, RI 02818

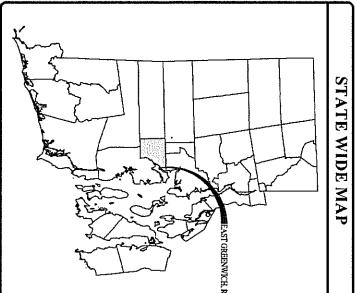
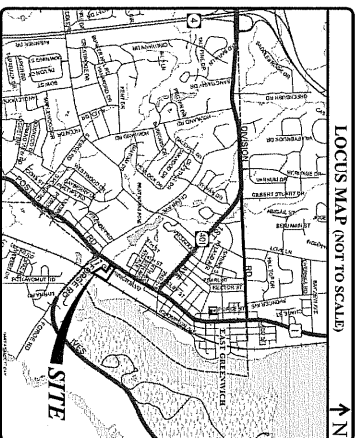
ARCHITECT:
UNION STUDIO
140 UNION STREET
PROVIDENCE, RI 02903
PHONE: 401-272-4824
FAX: 401-272-4825

CIVIL ENGINEER:
JOE CASALI ENGINEERING, INC.
WARWICK, RI 02888
PHONE: 401-944-1300
FAX: 401-944-1313

SURVEYOR:
ALPHA ASSOCIATES, LTD.
35 ROCKY HOLLOW ROAD
EAST GREENWICH, RI 02818
PHONE: 401-586-7747
FAX: 401-586-7747

TRAFFIC ENGINEER:
PAGE CORPORATION
1000 ALLEY PLACE
LINCOLN, RI 02866
PHONE: 401-334-4100
FAX: 401-334-4108

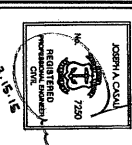
HYDROLOGIST:
NATURAL RESOURCE SERVICES
86 HARRISVILLE MAIN ST.
HARRISVILLE, RI 02830
PHONE: 401-586-7390
FAX: 401-586-7390



SHEET NO.	PLAN
1	GENERAL NOTES & LEGEND
2	SITE PREPARATION PLAN
3	SITE PLAN
4	GRADING PLAN I
5	GRADING PLAN II
6	DRAINAGE PLAN I
7	DRAINAGE PLAN II
8	DRILL PATTERN PLAN
9	UTILITY PLAN & PROFILE I
10	UTILITY PLAN & PROFILE II
11	UTILITY PLAN & PROFILE III
12	DRAINAGE DETAILS I
13	DRAINAGE DETAILS II
14	SEWER DETAILS
15	WATER PROFILES
16	KCWA DETAILS
17	KCWA NOTES
18	REFERENCE PLANS:
19	SHEET 1 OF 1 SURVEY AND SITE PLAN (PREPARED BY ALPHA ASSOCIATES, LTD.)

INDEX OF DRAWINGS

GREENWICH BOULEVARD
AP 5, LOTS 149, 158, & 219
EAST GREENWICH, RHODE ISLAND



JCE
JOE CASALI ENGINEERING, INC.
Civil, Site Development, Transportation
DRAINAGE, WETLANDS, SOIL, TRAFFIC, FLOODPLAIN
300 FORT ROAD, WARWICK, RI 02888
(401) 944-1300 (401) 944-1313 FAX WWW.JOECASALI.COM

COVER SHEET
SHEET 1 OF 22

PROJECT DATA	
TOTAL LOT AREA: 106,417.42 S.F.	106,417.42 S.F.
TOTAL LOT AREA: 2.43 ACRES	2.43 ACRES
AREA OF COMMERCE: 1,000 S.F.	1,000 S.F.
AREA OF RESIDENCE: 1,000 S.F.	1,000 S.F.
MINIMUM FRONT YARD SETBACK: 20 FT (FOR 1000 S.F.)	20 FT (FOR 1000 S.F.)
MINIMUM SIDE YARD SETBACK: 5 FT	5 FT
MINIMUM REAR YARD SETBACK: 5 FT	5 FT

ZONING DATA	
MINIMUM LOT SIZE	10,000 S.F.
MINIMUM LOT COVERAGE (STREETING)	10%
MINIMUM FRONT YARD SETBACK	20 FT
MINIMUM SIDE YARD SETBACK	5 FT
MINIMUM REAR YARD SETBACK	5 FT
MINIMUM STREET FRONTAGE	35 FT

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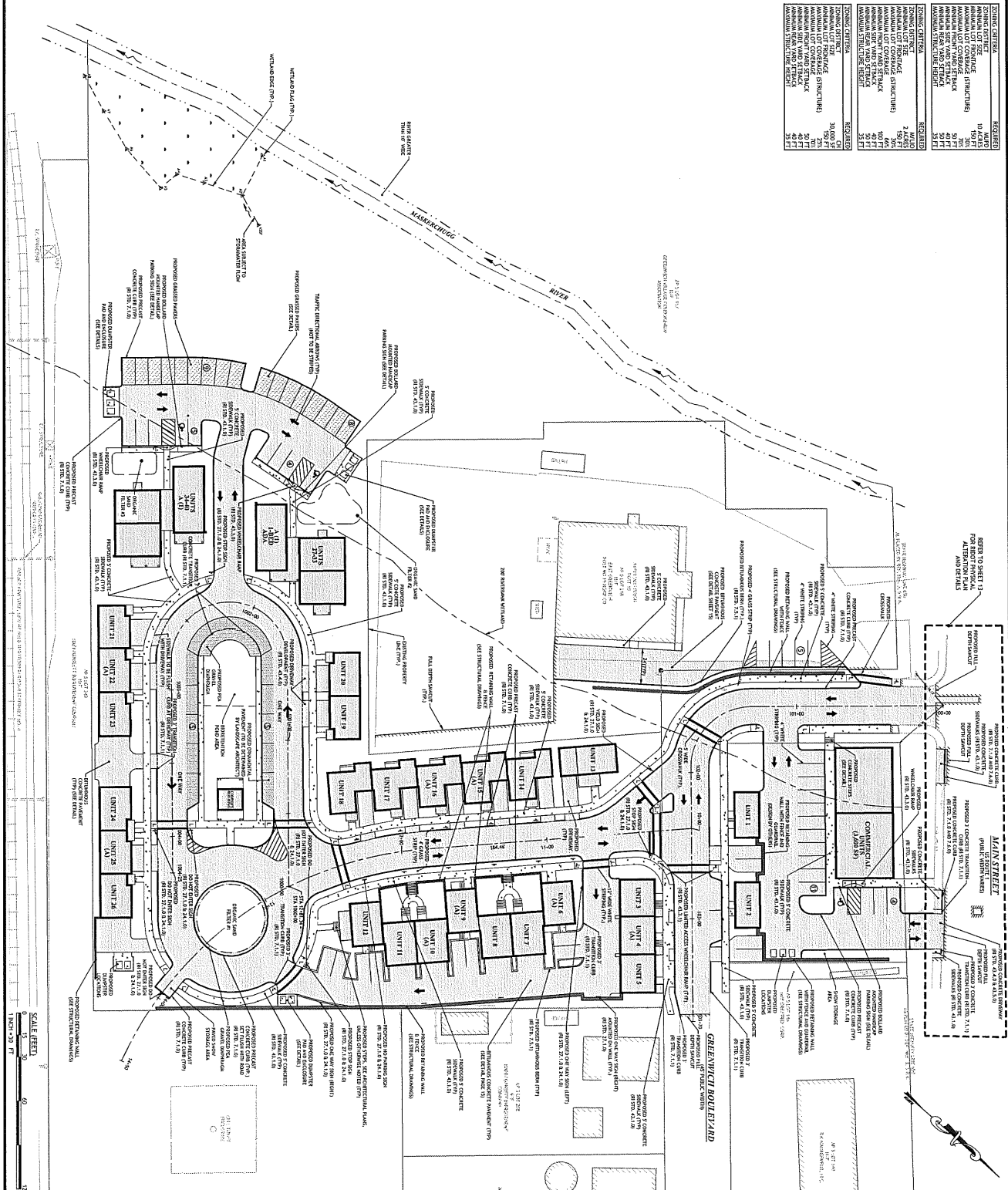
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GREENWICH BOULEVARD

AP 5, LOTS 149, 158, & 219
EAST GREENWICH, RHODE ISLAND

JCE
JOE CASALI ENGINEERING, INC.
CIVIL, SITE DEVELOPMENT, TRANSPORTATION
1000 WEST MAIN STREET, SUITE 200
EAST GREENWICH, RHODE ISLAND 02883
TEL: 401-885-1111 FAX: 401-885-1112 WWW.JCE-RI.COM

REVISIONS

NO.	DATE	DESCRIPTION
1	01/15/20	ISSUED FOR PERMIT

PRELIMINARY, NOT FOR CONSTRUCTION

SHEET
4 OF 22