



Oliver Stedman Government Center
4808 Tower Hill Road; Suite 116
Wakefield, RI 02879
401-783-3370

PUBLIC NOTICE

File Number: 2015-10-018

Date: October 30, 2015

This office has under consideration the application of:

Charles & Sheila Botka
158C Botka Drive
Charlestown, RI 02813

for a State of Rhode Island Assent to construct and maintain: a 5-lot subdivision . The proposed site work includes the construction of an access road totaling 1238 lf and the construction of a stormwater management system. The project is located within the Salt Pond Special Area Management Plan's "Self-Sustaining Lands".

Project Location:	Kings Factory Road
City/Town:	Charlestown
Plat/Lot:	19 / 57

Plans of the proposed work may be seen at the CRMC office in Wakefield.

In accordance with the Administrative Procedures Act (Chapter 42-35 of the Rhode Island General Laws) you may request a hearing on this matter.

You are advised that if you have good reason to enter protests against the proposed work it is your privilege to do so. It is expected that objectors will review the application and plans thoroughly, visit site of proposed work if necessary, to familiarize themselves with the conditions and cite what law or laws, if any, would in their opinion be violated by the work proposed.

If you desire to protest, you must attend the scheduled hearing and give sworn testimony. A notice of the time and place of such hearing will be furnished you as soon as possible after receipt of your request for hearing. If you desire to request a hearing, to receive consideration, it should be in writing (**with your correct mailing address, e-mail address and valid contact number**) and be received at this office on or before November 30, 2015.

General Notes:

1. THE SITE IS PROPOSED TO BE SERVED BY PRIVATE WELLS, DEWATERING PUMPS, AND UNDERGROUND STORAGE TANKS.
2. CURRENT ZONING: RES-1B.
3. PROPOSED ROWWAYS ARE TO BE 40' WIDE GRAVEL ROAD ROWWAYS. PROPOSED PRIVATE ROWS TO BE 50' WIDE.
4. THE DEVELOPMENT SHALL BE SUBJECT TO THE ZONING AND SUBDIVISION OF LANDS ACTS, SUBDIVISION ACTS, CHARTER OF THE TOWN OF CHARLESTON, MASSACHUSETTS, AND ANY LOCAL ORDINANCES AND REGULATIONS THAT MAY BE APPLICABLE AT THE TIME OF THE PROJECT.
5. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE STATE OF MASSACHUSETTS AND THE TOWN OF CHARLESTON, MASSACHUSETTS.
6. SOIL MAPS OBTAINED FROM THE MASSACHUSETTS DEPARTMENT OF AGRICULTURE AND CONSERVATION SERVICES.
7. THE PLANNING COMMISSION AND CONSERVATION BOARD OF THE TOWN OF CHARLESTON, MASSACHUSETTS, SHALL REVIEW AND APPROVE THE PROJECT PLAN AND THE CONTRACTOR/OWNER MUST MAINTAIN THESE DOCUMENTS AS PART OF A FULL PLAN SET.
8. CONTAIN THE FOLLOWING INFORMATION:
 - a. SHORT TERM MAINTENANCE PLAN
 - b. WETLAND RESTORATION PLAN
 - c. SEQUENCE OF CONSTRUCTION
 - d. DRAINAGE MANAGEMENT PLAN (DAMP)
 - e. LONG TERM MAINTENANCE PLAN
9. THE LIMITS OF DISTURBANCE AS INDICATED ON EACH LOT INDICATE THE REQUIRED BUFFER DISTANCE FROM THE PERMANENT PROTECTIVE BOUNDARY. THE OWNER SHALL NOT TAKE RESPONSIBILITY FOR ANY DISTURBANCE TO WETLANDS.
10. DELICATE OR THEIR RESPECTIVE LOT. THERE SHALL BE NO CHANGE OF DISTURBANCE BY ANY LOT WITHOUT APPROPRIATE NOTIFICATION TO THE TOWN ENGINEER AND PRIVATE WELLS.
11. THE DEVELOPER SHALL OBTAIN AND MAINTAINANCE PLAN FOR THE LONG TERM MAINTENANCE AND OPERATION OF THE PERMANENT BOUNDARY.

State Permits Required:

- 1. DRAINAGE MANAGEMENT PLAN (DAMP)
- 2. WETLAND RESTORATION PLAN
- 3. SEQUENCE OF CONSTRUCTION
- 4. DRAINAGE MANAGEMENT PLAN (DAMP)
- 5. LONG TERM MAINTENANCE PLAN

Owners of Record:

LOT 51, 53-1, 57-4, 57-5, 57-6, 57-8, 57-9, 57-10, 57-11, 57-12, 57-13, 57-14, AND 57-16
CHARTER OF THE TOWN OF CHARLESTON, MASSACHUSETTS

LOT 52, 54, 56, 58, 60, 62, 64, 66, 68, 70, 72, 74, 76, 78, 80, 82, 84, 86, 88, 90, 92, 94, 96, 98, 100
CHARTER OF THE TOWN OF CHARLESTON, MASSACHUSETTS

Dimensional Regulations:

UNDERLYING ZONING: RES-1B

MINIMUM LOT AREA	3.5 AC	EXISTING REGULATIONS
MINIMUM FRONT YARD SETBACK	30' FT	MINIMUM FRONT YARD SETBACK
MINIMUM SIDE YARD SETBACK	10' FT	MINIMUM SIDE YARD SETBACK
MINIMUM REAR YARD SETBACK	10' FT	MINIMUM REAR YARD SETBACK
MINIMUM CORNER SETBACK	10' FT	MINIMUM CORNER SETBACK
MINIMUM DRIVEWAY SETBACK	10' FT	MINIMUM DRIVEWAY SETBACK
MINIMUM DISTANCE BETWEEN STRUCTURES	10' FT	MINIMUM DISTANCE BETWEEN STRUCTURES

Design Data:

EXISTING REGULATIONS

MINIMUM RADIUS OF CURVE	100'
MINIMUM INTERSECTION OFFSET	10'
MINIMUM INTERSECTION OFFSET	10'
MINIMUM INTERSECTION OFFSET	10'
MINIMUM INTERSECTION OFFSET	10'
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MINIMUM INTERSECTION OFFSET	10'

Development Data:

TOTAL SITE AREA	23.61 ACRES
TOTAL LOT AREA	22.07 ACRES
PERCENT COVERED	4.7%
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Contributor to Developments:

- 1. LAND LOCATED IN VARIOUS ZONES, AS SET FORTH BY THE TOWN OF CHARLESTON, MASSACHUSETTS.
- 2. LAND WITH HISTORICAL OR ARCHAEOLOGICAL VALUE.
- 3. LAND WITH WETLANDS OR OTHER SENSITIVE FEATURES.
- 4. LAND WITH HIGH WINDS OR OTHER HAZARDOUS CONDITIONS.
- 5. LAND WITH HIGH WINDS OR OTHER HAZARDOUS CONDITIONS.
- 6. LAND WITH HIGH WINDS OR OTHER HAZARDOUS CONDITIONS.
- 7. LAND WITH HIGH WINDS OR OTHER HAZARDOUS CONDITIONS.
- 8. LAND WITH HIGH WINDS OR OTHER HAZARDOUS CONDITIONS.
- 9. LAND WITH HIGH WINDS OR OTHER HAZARDOUS CONDITIONS.
- 10. LAND WITH HIGH WINDS OR OTHER HAZARDOUS CONDITIONS.

Density Analysis:

TOTAL SITE AREA	23.61 AC
PERCENT COVERED	4.7%
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Variances Requested:

214-240-6 LOT SET AVERAGE REQUIRED PROVIDED

2.5 TIMES MINIMUM LOT AREA REQUIRED PROVIDED

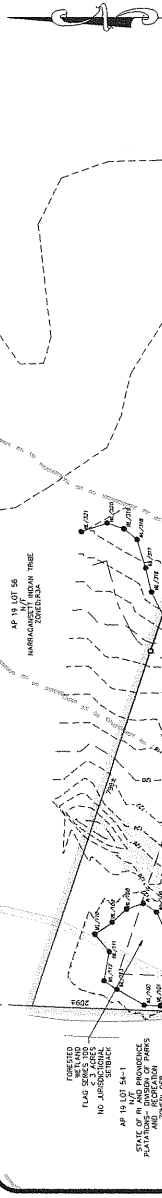
Charlestown Zoning Ordinance Residential Compound:

SECTION 214-241 RESTRICTIONS

(1) EACH RESIDENTIAL LOT MUST BE USED ONLY FOR RESIDENTIAL PURPOSES AND NOT BE USED FOR BUSINESS OR COMMERCIAL PURPOSES.

(2) THE PRIVATE WAY SHALL BE PROVIDED PERMANENTLY AND SHALL REMAIN PERMANENTLY OPEN TO THE PUBLIC AT ALL TIMES. THE PRIVATE WAY SHALL BE ACCESSED INTO THE HIGHWAY SYSTEM OF THE TOWN OF CHARLESTON.

(3) NO PORTION OF ANY LOT SHALL BE USED FOR ANY OTHER PURPOSE THAN THAT FOR WHICH IT WAS DESIGNED AND SHALL BE USED IN ACCORDANCE WITH THE ZONING ORDINANCE.



Lot 3: Area=557,735 sf (12.68 acres), Suitable=11 acres

Lot 4: Area=467,738 sf (10.63 acres), Suitable=2.25 acres

Lot 5: Area=1,454,541 sf (33.23 acres), Suitable=3.00 acres

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AP 19 LOT 5B
AP 19 LOT 5C
AP 19 LOT 5D
AP 19 LOT 5E
AP 19 LOT 5F

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AP 19 LOT 5A
AP 19 LOT 5B
AP 19 LOT 5C
AP 19 LOT 5D
AP 19 LOT 5E
AP 19 LOT 5F

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Site Plan

Hillside Acres

315 Hillside Street, Charlestown, MA 01928
Tel: 978-254-4000, Fax: 978-254-4005, www.Diprete-Eng.com

Diprete Engineering

Town of Charlestown, Charlestown, MA
315 Hillside Street, Charlestown, MA 01928
Tel: 978-254-4000, Fax: 978-254-4005, www.Diprete-Eng.com

Hillside, LLC
315 Hillside Street, Charlestown, MA 01928
Tel: 978-254-4000, Fax: 978-254-4005, www.Diprete-Eng.com

PROPOSED LOTS	
LOT	AREA (AC)
1	0.25
2	0.25
3	0.25
4	0.25
5	0.25
6	0.25
7	0.25
8	0.25
9	0.25
10	0.25
11	0.25
12	0.25
13	0.25
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97	0.25
98	0.25
99	0.25
100	0.25