



Oliver Stedman Government Center
4808 Tower Hill Road; Suite 116
Wakefield, RI 02879
401-783-3370

PUBLIC NOTICE

File Number: 2016-10-048 Date: October 25, 2016

This office has under consideration the application of:

RS Acquisitions LLC
858 Washington Street
#309
Dedham, MA 02026

for a State of Rhode Island Assent to construct and maintain: shoreline protection consisting of 60 linear feet of riprap protection along an eroding coastal bluff.

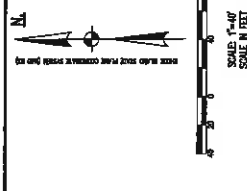
Project Location:	Pitman Street and Waterman Avenue
City/Town:	Providence
Plat/Lot:	15 / 10,451,467,6
Waterway:	Seekonk River

Plans of the proposed work may be seen at the CRMC office in Wakefield.

In accordance with the Administrative Procedures Act (Chapter 42-35 of the Rhode Island General Laws) you may request a hearing on this matter.

You are advised that if you have good reason to enter protests against the proposed work it is your privilege to do so. It is expected that objectors will review the application and plans thoroughly, visit site of proposed work if necessary, to familiarize themselves with the conditions and cite what law or laws, if any, would in their opinion be violated by the work proposed.

If you desire to protest, you must attend the scheduled hearing and give sworn testimony. A notice of the time and place of such hearing will be furnished you as soon as possible after receipt of your request for hearing. If you desire to request a hearing, to receive consideration, it should be in writing (**with your correct mailing address, e-mail address and valid contact number**) and be received at this office on or before November 25, 2016.

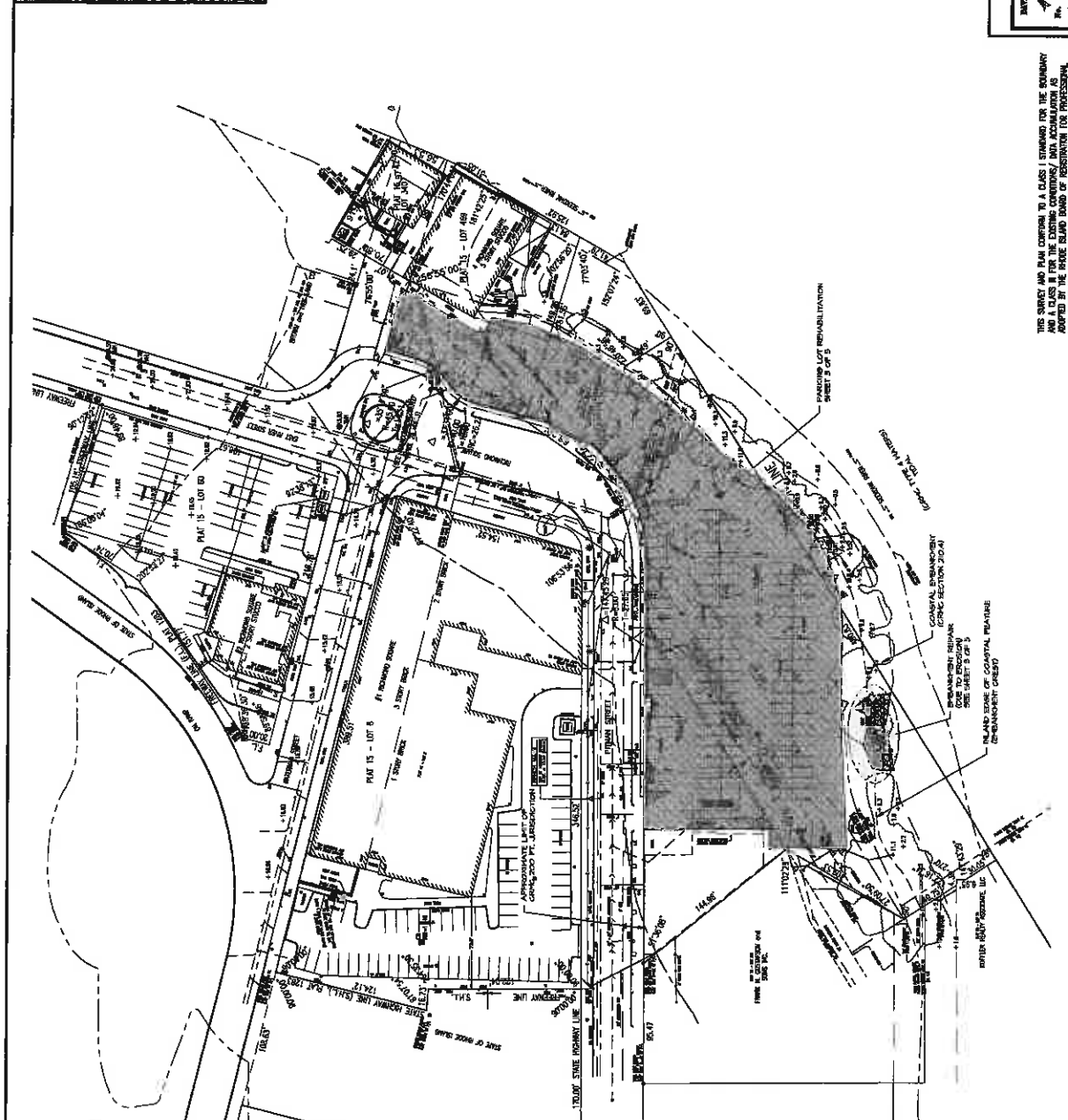


SCALE: 1/4" = 1' IN FEET

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SHEET 1 OF 5
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LEGEND

CG	CONCRETE	1	1.00
DR	DRIVE	2	2.00
EP	EPISODE	3	3.00
EX	EXPOSED	4	4.00
FM	FORM	5	5.00
GL	GLASS	6	6.00
GR	GRASS	7	7.00
GRD	GRADE	8	8.00
H	HARD	9	9.00
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COVER SHEET

REHABILITATION OF
 PARALLEL LOT
 REHABILITATION PROJECT
 PROVIDENCE, RI

RS ACQUISITIONS LLC
 REHABILITATION
 PROVIDENCE, RI

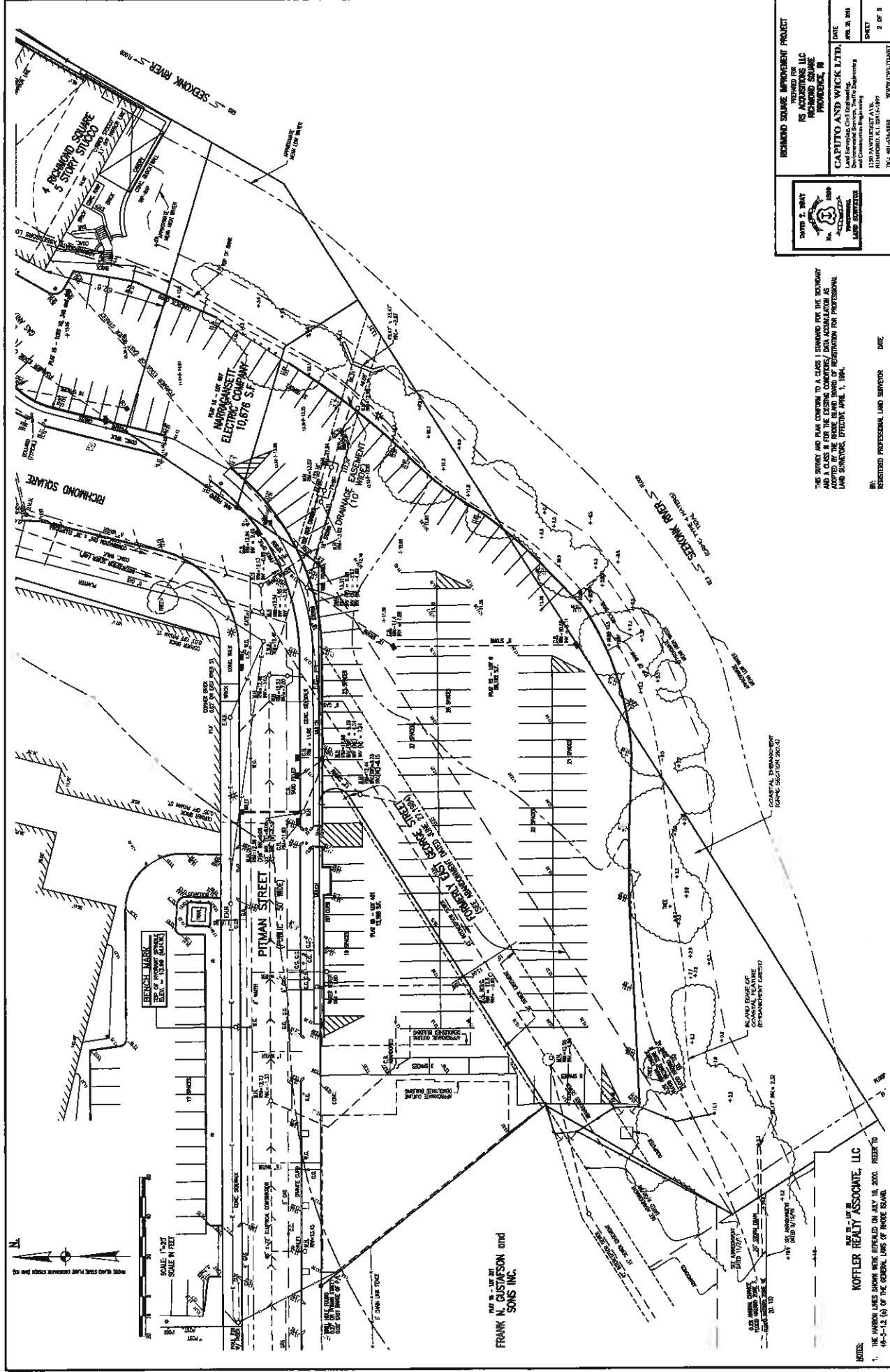
CAPUTO AND WICK LTD.
 Lead Surveyors, Civil Engineers,
 Surveyors, Professional Land Surveyors
 100 PAVLOVICH AVE.
 PROVIDENCE, RI 02916-1867
 TEL: 401-458-9899

DATE: APRIL 14, 2008
 SHEET: 1 OF 5

THIS SURVEY AND PLAN CONFORM TO A CLASS I STANDARD FOR THE SURVEY AND A CLASS II FOR THE EXISTING CONDITIONS/ DATA ACCUMULATED AS ADOPTED BY THE BOARD OF ENGINEERS AND SURVEYORS FOR PROFESSIONAL LAND SURVEYORS, EFFECTIVE APRIL 1, 1994.

BY: REGISTERED PROFESSIONAL LAND SURVEYOR DATE: _____

1. THE NUMBER LINES SHOWN WERE REPEATED ON JULY 16, 2008 AFTER TO 44-5-1.2 (A) OF THE GENERAL LAWS OF RHODE ISLAND.



RICHMOND SQUARE IMPROVEMENT PROJECT

PREPARED FOR
RS ACQUISITIONS, LLC
 RICHMOND SQUARE
 PRINCIDENCE, IN

DATE
 APR. 28, 2019

SHEET
 2 OF 5

WWW.PCW.COM

THE SURVEY AND PLAN CONFORM TO A CLASS I STANDARD FOR THE BOUNDARY AND A CLASS II FOR THE EXISTING CONDITIONS/DATA ACCUMULATION AS ADOPTED BY THE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS, EFFECTIVE APRIL 1, 2014.

BY: REGISTERED PROFESSIONAL LAND SURVEYOR DATE

NOTES:

1. THE BOUNDARY LINES SHOWN WERE DERIVED ON JULY 18, 2000. REFER TO 46-5-12 (A) OF THE GENERAL LAWS OF INDIANA.

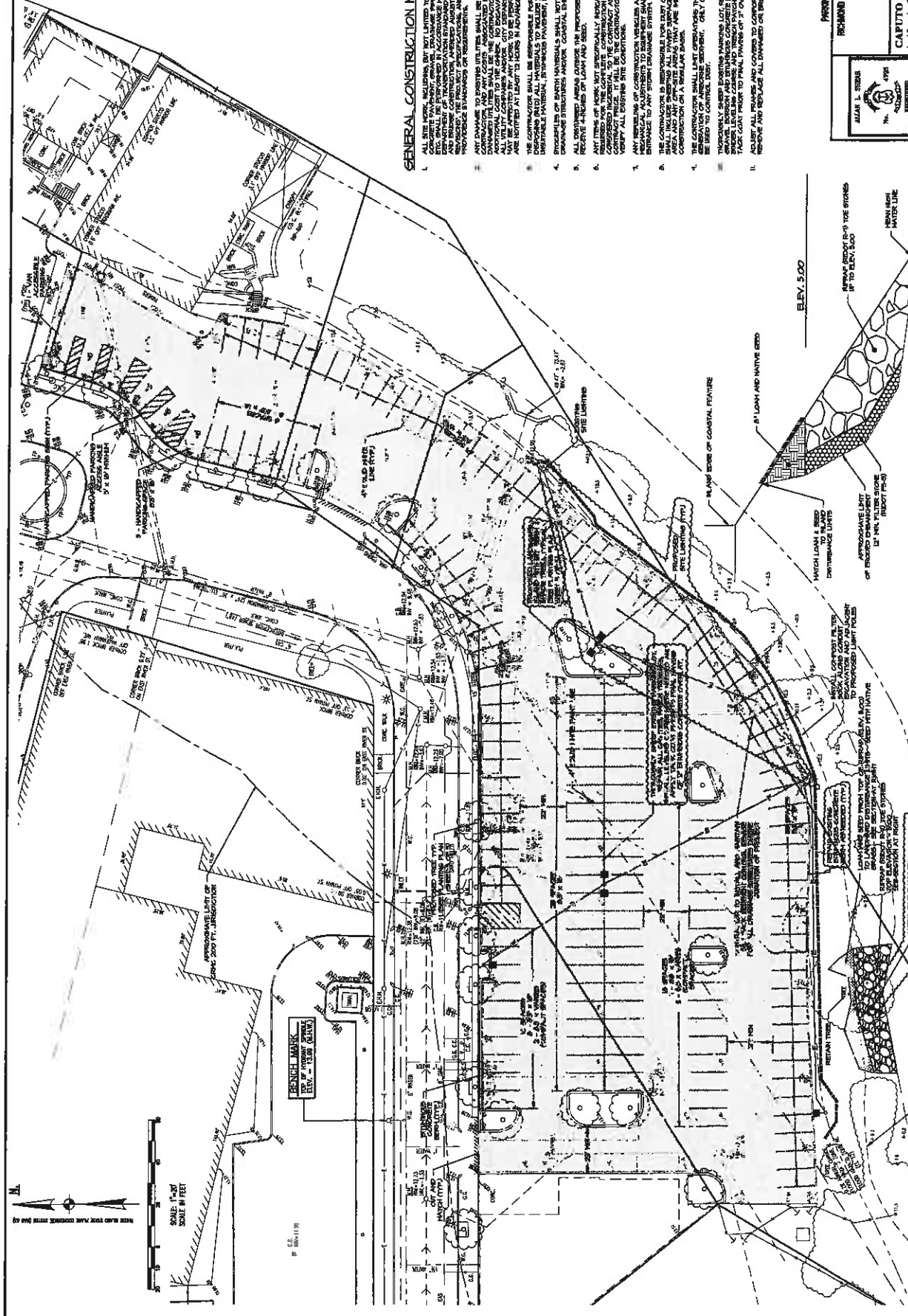
KOFFLER REALTY ASSOCIATE, LLC

DATE: MAY 18, 2017 BY: [Signature]

FRANK N. GUSTAFSON and
 SONS INC.



SCALE: 1" = 20'
 SCALE: 1" = 100'



GENERAL CONSTRUCTION NOTES

1. ALL SITE WORK INCLUDING BUT NOT LIMITED TO: EXISTING PAVED CONCRETE TO BE REMOVED, GRAVEL TO BE PLACED, PAVEMENT RECONSTRUCTION, CURB AND GUTTER RECONSTRUCTION, EROSION CONTROL MEASURES, AND ALL OTHER WORK SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2009 EDITION, AS APPLICABLE, CITY OF PROVIDENCE STANDARDS OR REQUIREMENTS.
2. ANY CHANGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. ANY UTILITIES NOT SHOWN ON THE PLAN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE AND MARK THEM PRIOR TO CONSTRUCTION. ALL UTILITIES SHALL BE PROTECTED AND SHALL REMAIN AT LEAST 18 INCHES FROM ANY EXCAVATION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND INSTALLING NECESSARY PERMITS FROM THE CITY OF PROVIDENCE AND ANY OTHER AGENCIES THAT MAY BE AFFECTED BY THE PROJECT. ALL PERMITS SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
4. PROTECTION OF EXISTING UTILITIES, STRUCTURES, AND ADJACENT TO PROPOSED CONSTRUCTION SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
5. ALL EXISTING AREAS OUTSIDE THE PROPOSED PAVED AREAS SHALL RECEIVE A MINIMUM OF 2 INCHES OF LOAM AND SEED.
6. ANY TREES OF 4 INCHES OR MORE DBH, NOT SPECIFICALLY NOTED ON THE PLAN BUT CONSIDERED NECESSARY TO THE CONTRACT AND INCLUDED IN THE CONTRACT SHALL BE PROTECTED BY THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS.
7. ANY REMEDIATION OF CONSTRUCTION VESICULES AND BODIES AND OTHER DEFECTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ONLY CLEAN, POTABLE WATER SHALL BE USED TO CONTROL DUST.
8. THE CONTRACTOR IS RESPONSIBLE FOR BEST CONTROL. THE OPERATION SHALL INCLUDE SHIELDING ALL PAVED SURFACES LOCATED IN THE SITE CONSTRUCTION OR A BREAKING BANK.
9. THE CONTRACTOR SHALL LIMIT OPERATIONS THAT RESULT IN THE EXPOSURE OF SOIL TO THE AIR. ONLY CLEAN, POTABLE WATER SHALL BE USED TO CONTROL DUST.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF PROVIDENCE AND ANY OTHER AGENCIES THAT MAY BE AFFECTED BY THE PROJECT. ALL PERMITS SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
11. ADJUST ALL FRAMES AND COVERS TO MATCH WITH FINAL GRADE BEFORE AND REPLACE ALL DAMAGED OR BROKEN STRUCTURES.

FERRIS LOT REHABILITATION PLAN

RICHMOND SQUARE IMPROVEMENT PROJECT

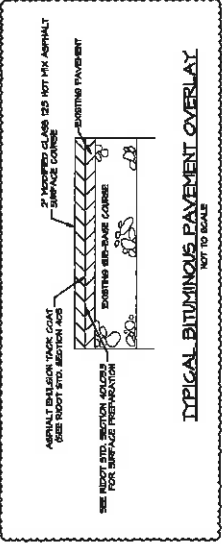
RS ACQUISITION LLC
 RICHMOND SQUARE
 PROVIDENCE, RI

CARUTO AND WICK LTD.
 ONE
 150 PAVEMENT AVE.
 PROVIDENCE, RI 02902-1502
 TEL: 401-444-8888
 WWW.CAWLTD.COM

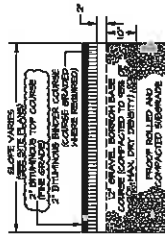
ALAN L. SIBER
 PE
 150 PAVEMENT AVE.
 PROVIDENCE, RI 02902-1502
 TEL: 401-444-8888
 WWW.CAWLTD.COM

DATE: 08/08/18 1:58 PM
 SHEET: 3 OF 5

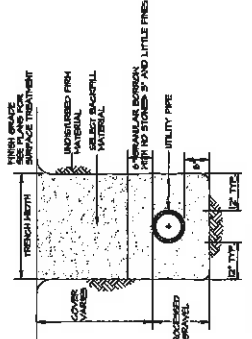
SECTION - EROSION REPAIR
 NOT TO SCALE



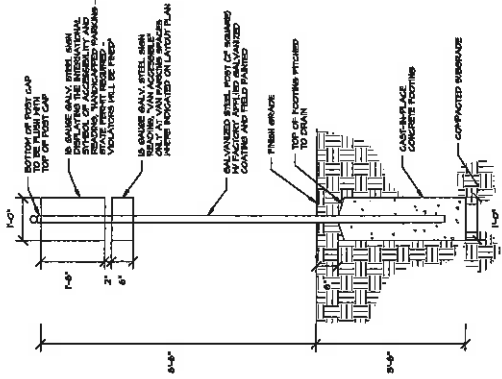
TYPICAL BITUMINOUS PAVEMENT OVERLAY
NOT TO SCALE



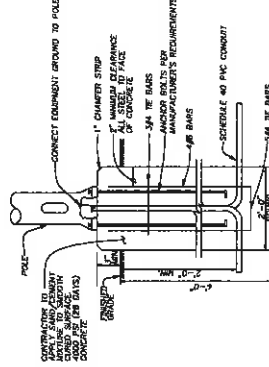
TYPICAL DETAIL FOR FULL DEPTH BITUMINOUS CONCRETE PAVEMENT PATCH/REPAIR
NOT TO SCALE



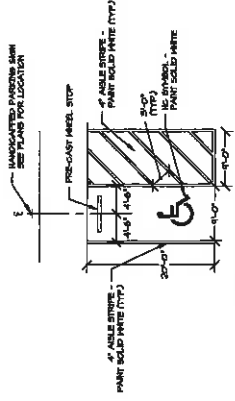
UTILITY TRENCH DETAIL
NOT TO SCALE



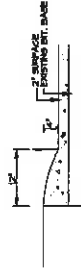
HANDICAPPED PARKING SIGN
SCALE 3/4\"/>



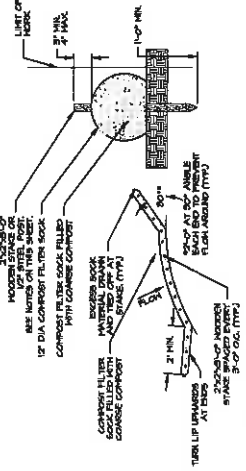
STANDARD LIGHT POLE BASE DETAIL
SCALE 3/4\"/>



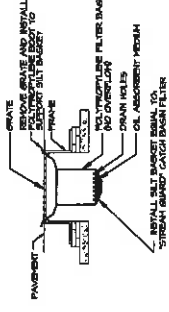
PARKING SPACE DETAIL
NOT TO SCALE



BULB DETAIL
SCALE 1\"/>



COMPOSITE FILTER SOCK
NOT TO SCALE



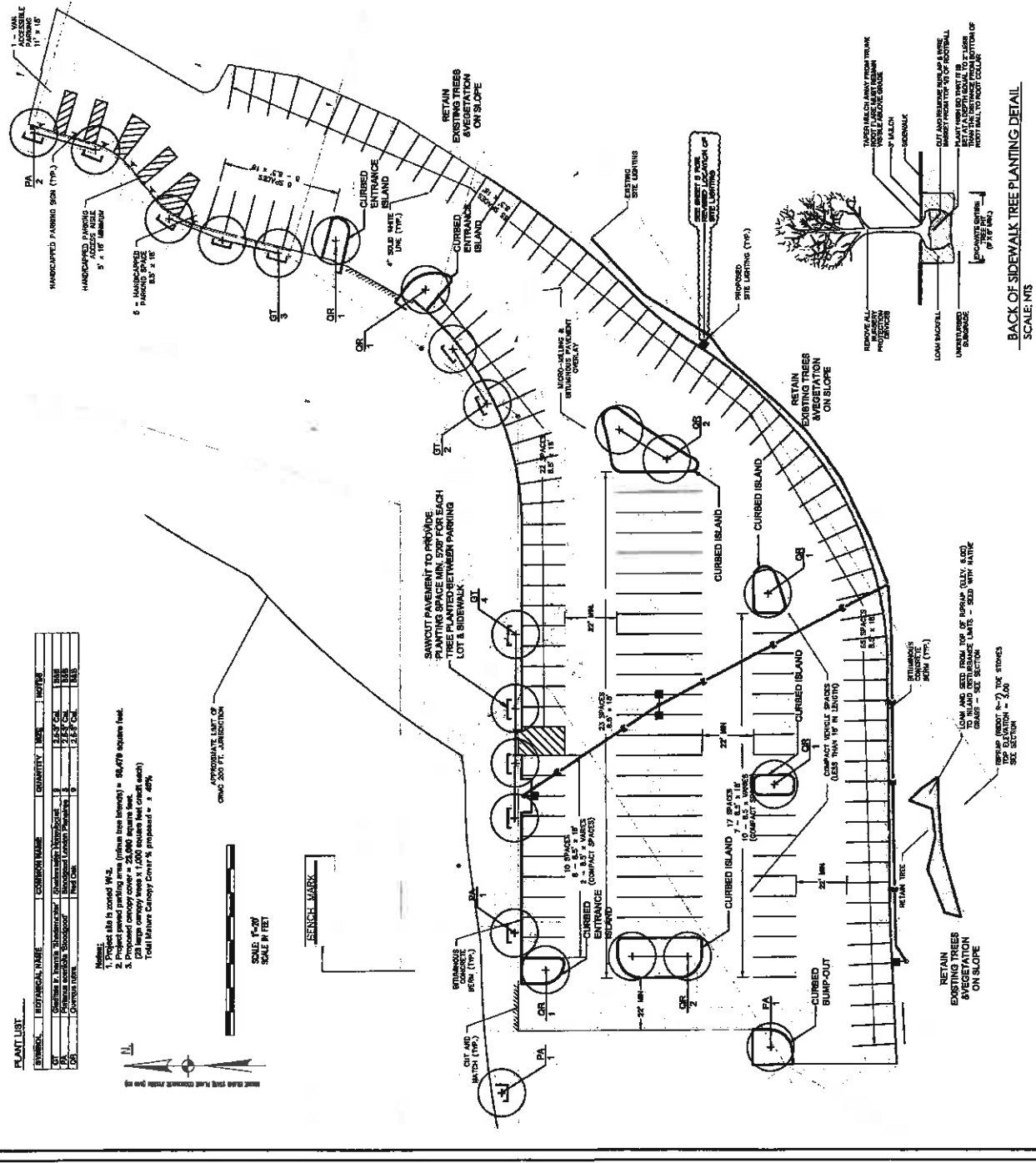
CATCH BASIN SILT BASKET DETAIL
NOT TO SCALE

CONSTRUCTION DETAILS RICHMOND SQUARE IMPROVEMENT PROJECT PREPARED FOR: RICHMOND SQUARE PRINCEDALE, NJ		DATE:
JULIAN S. STEAR P.E. 4710 PRINCEDALE, NJ 07098	Lead Supervising Civil Engineering Civil and Structural Engineering 1189 FANTAUZZI AVE. RUMFORDS, N.J. 08063-0287 TEL: 908-986-8888 www.cwtjtd.com	APR. 26, 2019 SHEET 4 OF 5

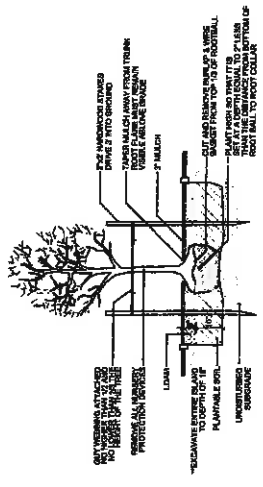
PLANT LIST

SYMBOL	botanical name	COMMON NAME	QUANTITY	SIZE	NOTES
OT	Quercus laevis	White Oak	3	3.5" CAL.	18" H
PA	Prunella americana	Blackberry	3	2.5" CAL.	18" H
OR	Quercus laevis	White Oak	3	2.5" CAL.	18" H

Notes:
 1. Project site to be zoned W-2.
 2. Proposed paved parking area (median tree length) = 81,478 square feet.
 3. Proposed canopy cover = 20,800 square feet.
 4. Proposed canopy cover = 25.5% (minimum 20% required).
 5. Total Median Canopy Cover = 3.46%.



Notes:
 Contractor shall determine the exact location of all existing utilities prior to commencing work and agrees to be fully responsible for any and all damages which may be occasioned by any and all underground utilities. The contractor shall contact DCA, State at 1-888-544-7223, (48) hours prior to any excavation performed on site.



PARKING LOT ISLAND-TREE PLANTING DETAIL
 SCALE: NTS

PLANTING NOTES:

- Planting Dates:**
 April 15 to June 15, August 15 to Oct. 15. Extended only with approval of the owner's representative.
- Products:**
- A. Tree/Plant Size:**
 - 1. Plant material shall be healthy, fresh, medium (terminal, secondary, or tertiary), well established, with or without roots, and free from diseases, insect damage, and other defects.
 - 2. All plants shall be a minimum of 18" in height and have a caliper of 0.5" to 2.5".
 - B. Planting Methods:**
 - 1. All plants shall be planted at a level that after settlement they are in relationship to the surrounding ground as shown on drawings. Soil must be high enough under the plant to allow for the root flare to be visible above the soil grade.
 - 2. Remove container and break apart outer roots of root ball. Do not return roots of B & B material. Do not return roots of B & B material.
 - 3. Backfill with topsoil and water thoroughly.
 - 4. Match with top and water thoroughly.
 - C. Planting:**
 - 1. Plants shall be planted in the ground and shall be watered and mulched. Any damaged plants or any trees in which the leader has been damaged or removed shall not be accepted.
 - 2. Plants shall be watered and mulched. Any damaged plants or any trees in which the leader has been damaged or removed shall not be accepted.
 - D. Observation:**
 - 1. The contractor shall observe and record the condition of all plants at the time of planting and at the time of observation. The contractor shall be responsible for the maintenance of all plants until they are established. The contractor shall be responsible for the maintenance of all plants until they are established.

CONSTRUCTION DETAILS

REHOBOTH SQUARE IMPROVEMENT PROJECT
 PHASE III
 REHOBOTH SQUARE
 REHOBOTH, FL

CARUTO AND WICK LTD.
 Land Surveying, Civil Engineering,
 Planning, and Construction Management
 1182 PONTIAC BLVD.
 JUMPER, FL 32051-1807
 TEL: 904-344-8888
 FAX: 904-344-8888

DATE:
 REV. NO. 1, 08/15/18
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BACK OF SIDEWALK TREE PLANTING DETAIL
 SCALE: NTS

