



State of Rhode Island and Providence Plantations
Coastal Resources Management Council
 Oliver H. Stedman Government Center
 4808 Tower Hill Road, Suite 3
 Wakefield, RI 02879-1900

(401) 783-3370
 Fax (401) 783-2069

PUBLIC NOTICE

File Number: 2017-02-048 Date: March 29, 2017

This office has under consideration the application of:

Keith D. Strickland
 10 Royal Avenue
 Warwick, RI 02889

for a State of Rhode Island Assent to construct and maintain: a residential boating facility consisting of a 55'x4' fixed pier, a 20' aluminum ramp, and a 10'x15'terminal float. In addition a boat lift on the south side of the terminal float is proposed. The facility is proposed to extend 75' beyond mean low water to achieve a water depth of 18" at its terminus. A variance to RICRMP 300.4.E.3(L) is required (standard beyond MLW is 50').

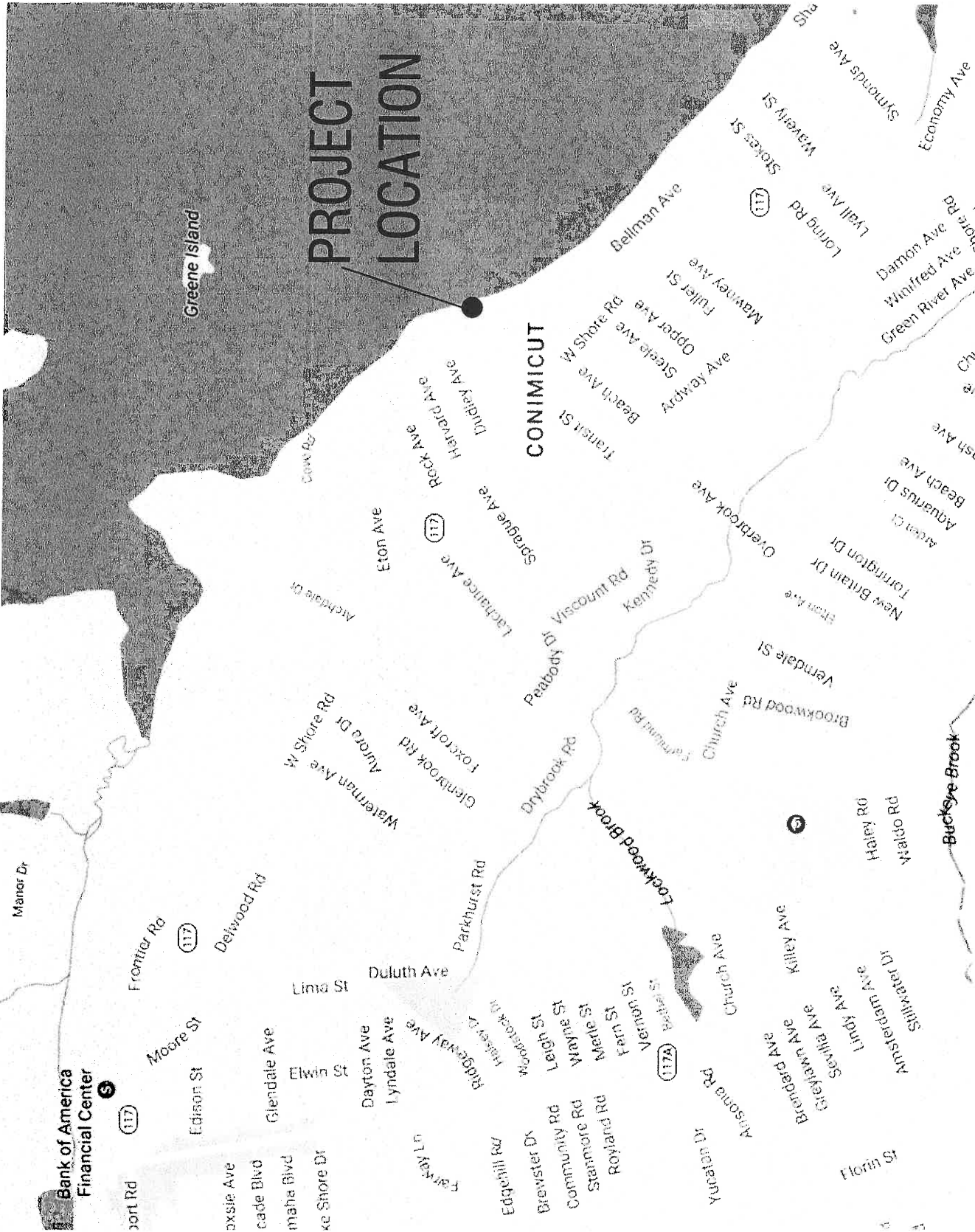
Project Location:	10 Royal Drive
City/Town:	Warwick
Plat/Lot:	317 / 257
Waterway:	Narragansett Bay

Plans of the proposed work may be seen at the CRMC office in Wakefield.

In accordance with the Administrative Procedures Act (Chapter 42-35 of the Rhode Island General Laws) you may request a hearing on this matter.

You are advised that if you have good reason to enter protests against the proposed work it is your privilege to do so. It is expected that objectors will review the application and plans thoroughly, visit site of proposed work if necessary, to familiarize themselves with the conditions and cite what law or laws, if any, would in their opinion be violated by the work proposed.

If you desire to protest, you must attend the scheduled hearing and give sworn testimony. A notice of the time and place of such hearing will be furnished you as soon as possible after receipt of your request for hearing. If you desire to request a hearing, to receive consideration, it should be in writing (**with your correct mailing address, e-mail address and valid contact number**) and be received at this office on or before April 29, 2017.



**PROJECT
LOCATION**

CONIMICUT

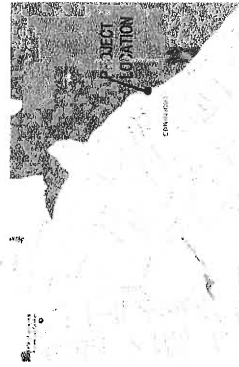
LOCUS PLAN

NTS

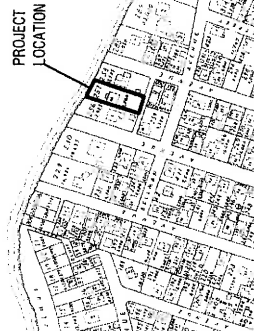
NO.	DATE	BY	REVISIONS
002	12/9/16	DR, VS	DATE: 12/9/16
001		CHK, RB	DATE: 12/9/16
		DSGN, RB	



AERIAL PHOTO



LOCUS PLAN



PLAT PLAN

THIS SITE PLAN IS THE RESULT OF A LAND SURVEY MADE BY THE SEI ENGINEERING INC. ENGINEERS AND SURVEYORS. ALL DISTANCES, BEARS, AND ALIQUOTS ARE GIVEN IN DECIMALS. THE SURVEY HAS BEEN MADE IN ACCORDANCE WITH THE PROVISIONS OF THE GENERAL LAWS OF THE STATE OF RHODE ISLAND, AND THE SURVEY HAS BEEN REGISTERED AT THE OFFICE OF THE REGISTRAR OF LANDS.



OWNER/SITE ADDRESS:
415 WEST WIND
10 ROYAL AVE.
WARWICK, RI 02889

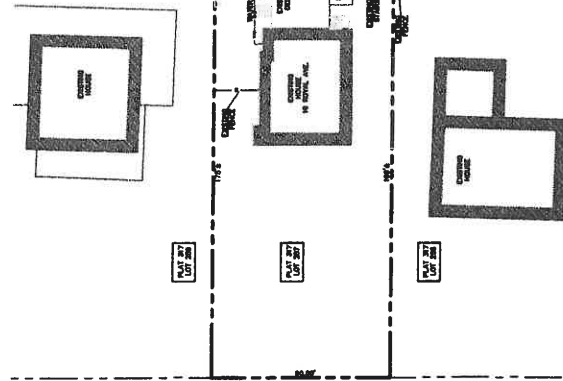
LEGEND:
PROPERTY LINE
EXISTING LOT LINES
EXISTING CURB LINE
NEW DRIVE (SEE PLAN)
NEW DRIVE (SEE PLAN)
NEW DRIVE (SEE PLAN)

REFERENCE PLAN:
PLAN OF
SUBDIVISION
FOR RICH STRICKLAND
A.P. 317, LOT 257
BY: DAVID D. GARDNER &
ASSOCIATES, INC.
DATED: 4/21/15

GENERAL SPECIFICATIONS:

THE CONTRACTOR SHALL OBTAIN THE LATEST REVISIONS OF ALL APPLICABLE CODES, ORDINANCES, REGULATIONS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OBTAINING AND INTERPRETING ALL APPLICABLE CODES, ORDINANCES, REGULATIONS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND INTERPRETING ALL APPLICABLE CODES, ORDINANCES, REGULATIONS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND INTERPRETING ALL APPLICABLE CODES, ORDINANCES, REGULATIONS AND SPECIFICATIONS.

ALL STRUCTURES SHALL BE CONSTRUCTED WITH CONCRETE OR BRICK OR BLOCK. ALL EXTERIOR FINISHES SHALL BE MASONRY OR PLASTER. ALL INTERIOR FINISHES SHALL BE PLASTER OR GYP. ALL ROOFS SHALL BE ASPH/FLY OR METAL. ALL WINDOWS SHALL BE DOUBLE GLAZED. ALL DOORS SHALL BE SOLID CORE. ALL LIGHT FIXTURES SHALL BE ENERGY EFFICIENT. ALL ELECTRICAL WIRING SHALL BE CONCEALED. ALL PLUMBING SHALL BE CONCEALED. ALL MECHANICAL EQUIPMENT SHALL BE CONCEALED. ALL FINISHES SHALL BE TO THE CONTRACTOR'S STANDARD. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF ALL APPLICABLE CODES, ORDINANCES, REGULATIONS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND INTERPRETING ALL APPLICABLE CODES, ORDINANCES, REGULATIONS AND SPECIFICATIONS.



SITE PLAN

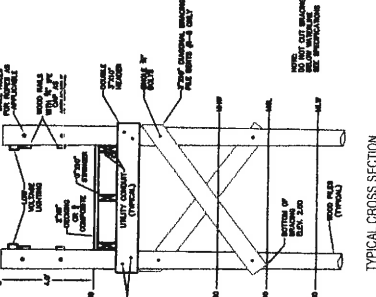
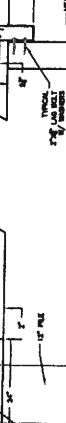
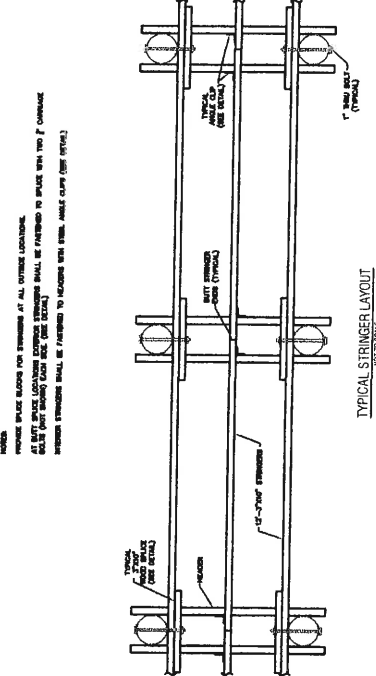
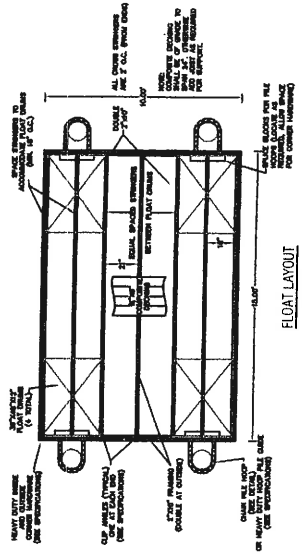
DATUM:
REFERENCE DATUM IS MEAN
LOW WATER

NOTE:
ALL MOORINGS FOUND WITHIN
50' OF END OF PROPOSED DOCK
HAVE BEEN SHOWN ON PLAN

REVISIONS	
NO.	DATE



OWNER/SITE ADDRESS:
10374 STOCKLAND
WARWICK, RI 02880



NOTES:
1. ALL DIMENSIONS ARE IN FEET UNLESS OTHERWISE SPECIFIED.
2. ALL MATERIALS SHALL BE AS SPECIFIED IN THE MATERIALS LIST.
3. ALL CONNECTIONS SHALL BE AS SHOWN OR APPROVED BY THE ENGINEER.
4. THE DOCK SHALL BE INSTALLED ON A FLAT, LEVEL SURFACE.
5. THE DOCK SHALL BE MAINTAINED IN GOOD REPAIR AT ALL TIMES.

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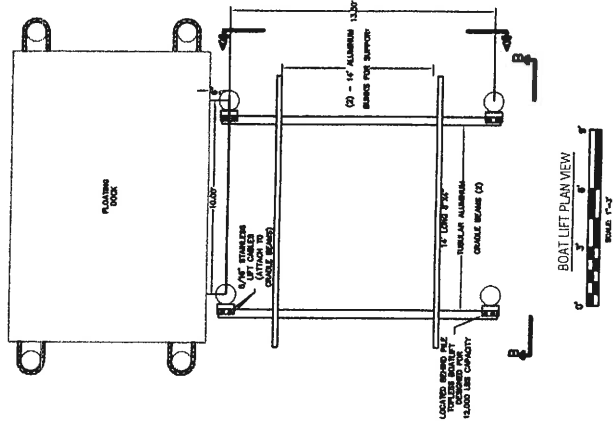


OWNER/SITE ADDRESS:
KEITH STRICKLAND
10 ROYAL AVE.
WARWICK, RI 02888

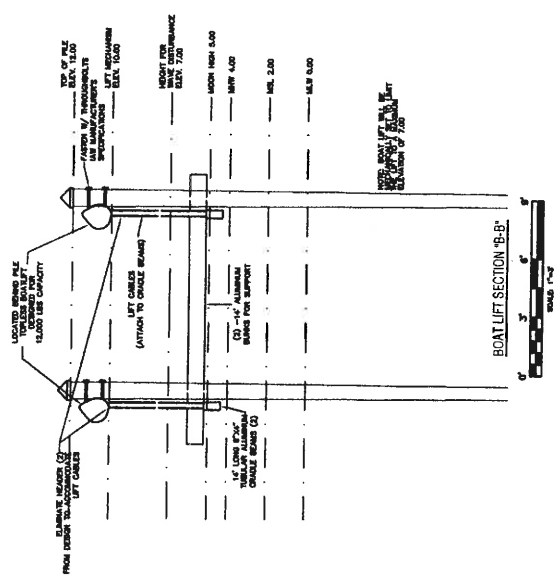
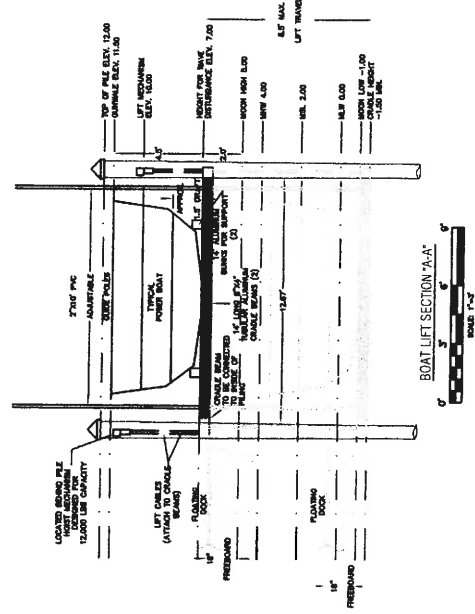
WARWICK, RHODE ISLAND
RESIDENTIAL BOATING FACILITY
PLAT 317, LOT 257
BOAT LIFT DETAILS

SEI
SITE ENGINEERING INC.
ENGINEERS - ARCHITECTS - SURVEYORS
75 ROAD STREET
WARWICK, RHODE ISLAND 02888
PHONE: (401) 885-0881

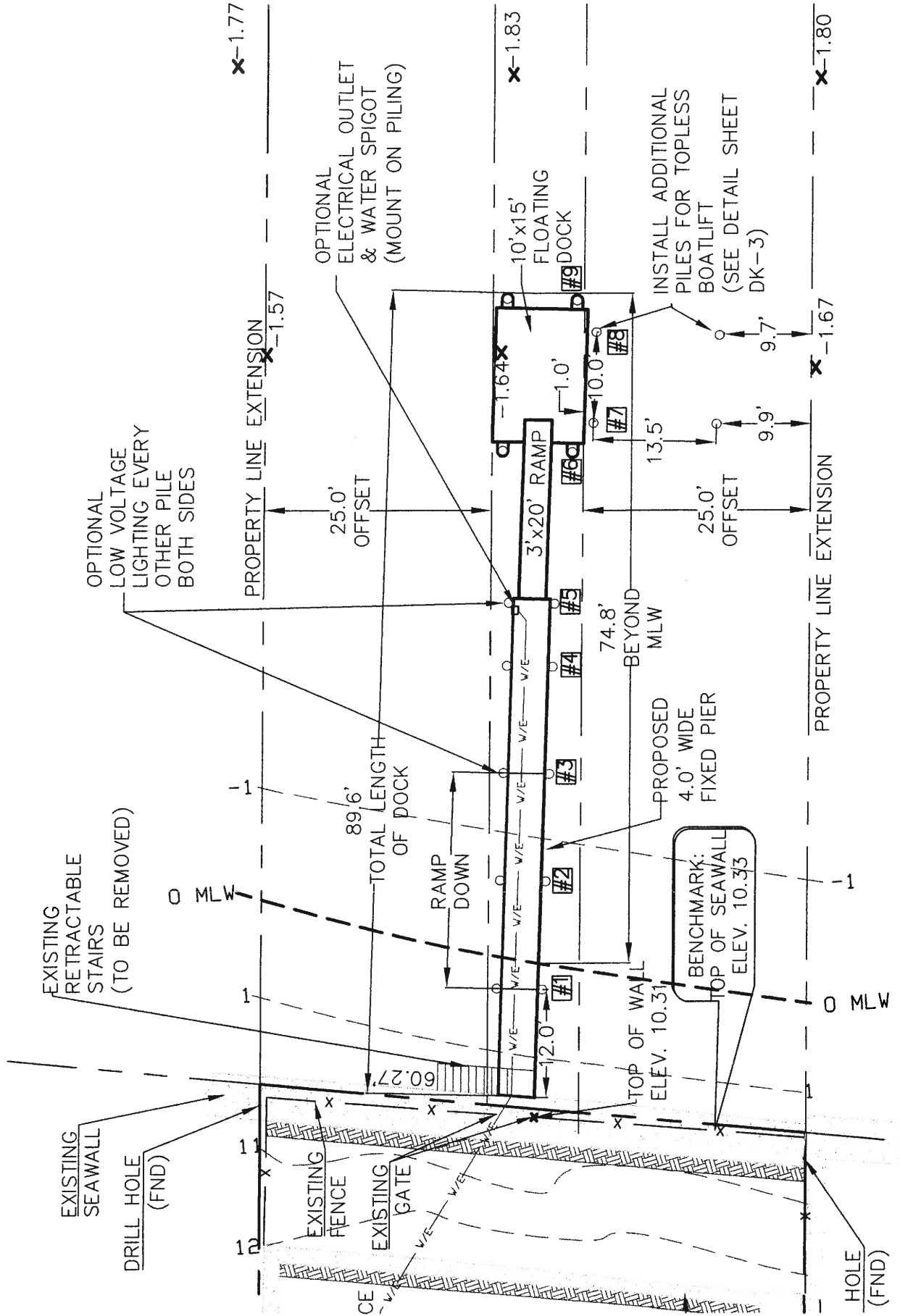
NO.	DATE	DESCRIPTION	BY	APP'D
01	1/11/17	ISSUE FOR PERMIT	RB	
02			VS	
03			RB	

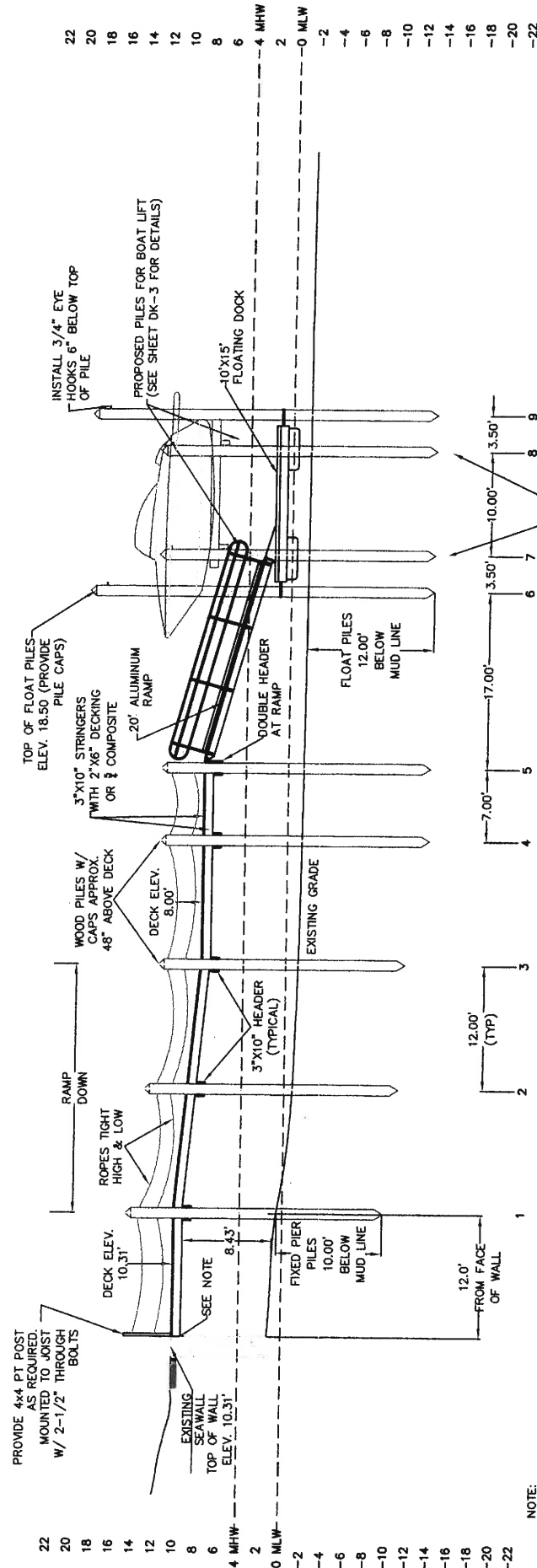


NOTE: BOATLIFT DESIGN IS FOR TOPLESS* WITH 12,000LB CAPACITY.
MANUFACTURER IS:
HIGH RISE ADVANTAGE
1400 SHERWOOD ROAD
FORT PIERCE, FL 34981
1-800-544-0735
WWW.HI-TIDE.COM



NARRAGANSETT BAY





NOTE:
 ALL FIXED PIER PILES SHALL BE
 DRIVEN 10' BELOW MUDLINE.
 ALL FLOAT PILES SHALL BE DRIVEN
 12' BELOW MUDLINE.

NOTE:
 LIFT PILES MUST BE
 DRIVEN TO REFUSAL
 W/ MIN. OF 8' PENETRATION

NOTE:
 FLOOD ZONE IS VE (EL 14) MSL.
 HEIGHT OF FLOAT PILES=14+2(MLW TO MSL)+1.5(FREEBOARD)+1=18.50

NOTE:
 INSTALL 4" x 4" x 1/4" STEEL
 ANGLES (GALVANIZED) TO SUPPORT
 JOIST AT EXISTING CONCRETE
 SEAWALL. FASTEN INTO CONCRETE W/
 1/2" x 4" EXPANSION BOLTS & INTO
 EACH JOIST W/ 2- 1/4" x 3" LAG
 BOLTS

DOCK PROFILE

