



State of Rhode Island and Providence Plantations
Coastal Resources Management Council
Oliver H. Stedman Government Center
4808 Tower Hill Road, Suite 3
Wakefield, RI 02879-1900

(401) 783-3370
Fax (401) 783-2069

PUBLIC NOTICE

File Number: 2017-03-010

Date: March 21, 2017

This office has under consideration the application of:

Glen & Karen Corsetti
45 Central Street
Wakefield, RI 02879

for a State of Rhode Island Assent to construct and maintain: re-subdivision of Lot 16-4 into two lots. Total lots within the subdivision to total 6

Project Location:	Kings Factory Road
City/Town:	Charlestown
Plat/Lot:	19 / 16-4
Waterway:	SAMP Activity

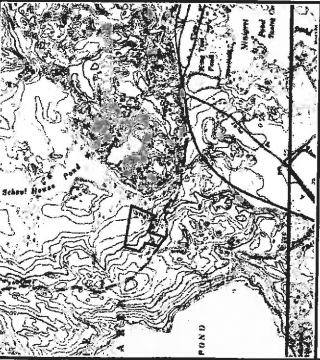
Plans of the proposed work may be seen at the CRMC office in Wakefield.

In accordance with the Administrative Procedures Act (Chapter 42-35 of the Rhode Island General Laws) you may request a hearing on this matter.

You are advised that if you have good reason to enter protests against the proposed work it is your privilege to do so. It is expected that objectors will review the application and plans thoroughly, visit site of proposed work if necessary, to familiarize themselves with the conditions and cite what law or laws, if any, would in their opinion be violated by the work proposed.

If you desire to protest, you must attend the scheduled hearing and give sworn testimony. A notice of the time and place of such hearing will be furnished you as soon as possible after receipt of your request for hearing. If you desire to request a hearing, to receive consideration, it should be in writing (**with your correct mailing address, e-mail address and valid contact number**) and be received at this office on or before April 21, 2017.

/lat



LOCUS MAP USGS QUADRANGLE

Approx. Scale 1" = 2,000'

REFERENCE

1. PLAT RECORDED IN THE TOWN OF CHARLESTOWN LAND EVIDENCE RECORDS IN 1:1 DIMENSIONAL DEED VERIFICATION - Parcel No. 14,003
2. RECORD OF DEEDS FOR THE TOWN OF CHARLESTOWN RECORDS IN 1:1 DIMENSIONAL DEED VERIFICATION - Parcel No. 14,003
3. RI DMN DEEDS APPROVAL FOR ORIGINAL LOT 2 OF COCKUMPAUG WOODS II, Parcel No. 1054-018E
4. RI DMN DEEDS APPROVAL FOR ORIGINAL LOT 2 OF COCKUMPAUG WOODS II, Parcel No. 1054-018E
5. Charleston, RI 02813, May 2016. Scale: 1" = 80' Prepared by Jackson Surveying, Inc.
6. DEED FOR THE TOWN OF CHARLESTOWN RECORDS IN 1:1 DIMENSIONAL DEED VERIFICATION - Parcel No. 14,003
7. DEED FOR THE TOWN OF CHARLESTOWN RECORDS IN 1:1 DIMENSIONAL DEED VERIFICATION - Parcel No. 14,003
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STATE OF RHODE ISLAND APPROVALS

1. RI DMN DEEDS APPROVAL FOR ORIGINAL LOT 2 OF COCKUMPAUG WOODS II, Parcel No. 1054-018E
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50' NO CLEAR CUT BUFFER

Permit to the Charlestown Planning Commission for Subdivision Approval, on April 27, 2016 for Cockumpaug Woods II, 674.71 sq. ft. of land, located in the town of Charlestown, Rhode Island. The property is located on Kings Factory Road and is zoned R-1. The property is bounded by Kings Factory Road to the north, Crosser Trail to the east, and Kings Factory Road to the west. The property is bounded by Kings Factory Road to the north, Crosser Trail to the east, and Kings Factory Road to the west. The property is bounded by Kings Factory Road to the north, Crosser Trail to the east, and Kings Factory Road to the west.

NOTES

1. THE ENTIRE PARCEL IS 29.80 AC.
2. THE ENTIRE PARCEL IS LOCATED WITHIN A R2A ZONING CLASSIFICATION AS DISMANTLED ON THE CHARLESTOWN ZONING MAP. THE ENTIRE PARCEL IS LOCATED WITHIN A R2A ZONING CLASSIFICATION AS DISMANTLED ON THE CHARLESTOWN ZONING MAP.
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5. THERE ARE NO KNOWN EXISTING AGRICULTURAL USES ON THE PARCEL.
6. THERE ARE NO KNOWN HISTORIC CEMETERY USES ON THIS PARCEL.
7. THE EASTERN HALF OF THIS PARCEL IS LOCATED WITHIN A R2A ZONING CLASSIFICATION AS DISMANTLED ON THE CHARLESTOWN ZONING MAP.
8. THE WESTERN HALF OF THIS PARCEL IS LOCATED WITHIN A R2A ZONING CLASSIFICATION AS DISMANTLED ON THE CHARLESTOWN ZONING MAP.
9. THIS PARCEL IS LOCATED WITHIN THE DMN CRITICAL RESOURCE ZONING DISTRICT.
10. THIS PARCEL IS LOCATED WITHIN THE DMN CRITICAL RESOURCE ZONING DISTRICT.
11. THE MAJORITY OF THIS PARCEL IS NOT LOCATED WITHIN ANY ZONING DISTRICT AS DISMANTLED ON THE CHARLESTOWN ZONING MAP.
12. THE PROPOSED LOTS WILL BE SERVED WITH ON-STREET WELLS AND CURBSIDE SANITATION SYSTEMS WITH PRIVATE SEWER TREATMENT SYSTEMS TO VERTICAL DRAINAGE NATHAN AND WERE CREATED FROM HIS LOTS.
13. THE MAJORITY OF THIS PARCEL IS CLASSIFIED AS AN OAK FOREST HARBOR. THE WETLAND AREAS ARE CLASSIFIED AS FORESTED WETLANDS.

CBMC DENSITY

SAMP Lot 1 = 2.57 AC (29,800 sq. ft.)
 SAMP Density Requirement = 80,000 sq. ft. (18.38 ac.)
 Total Lot Area prior to Subdivision = 2,213 sq. ft. (0.51 ac.)
 Total Lot Area prior to Subdivision per SAMP = 2,213 sq. ft. (0.51 ac.)
 Total Unsubdivided Lot Area = 2,213 sq. ft. (0.51 ac.)
 Number Density Lots Allowed = 2,213 sq. ft. (0.51 ac.) ÷ 11,111 sq. ft. (2.57 ac.) = 0.20
 Proposed Actual Density = 2,213 sq. ft. (0.51 ac.) ÷ 4.0 ac. (174,240 sq. ft.) = 0.55

COMPARISON

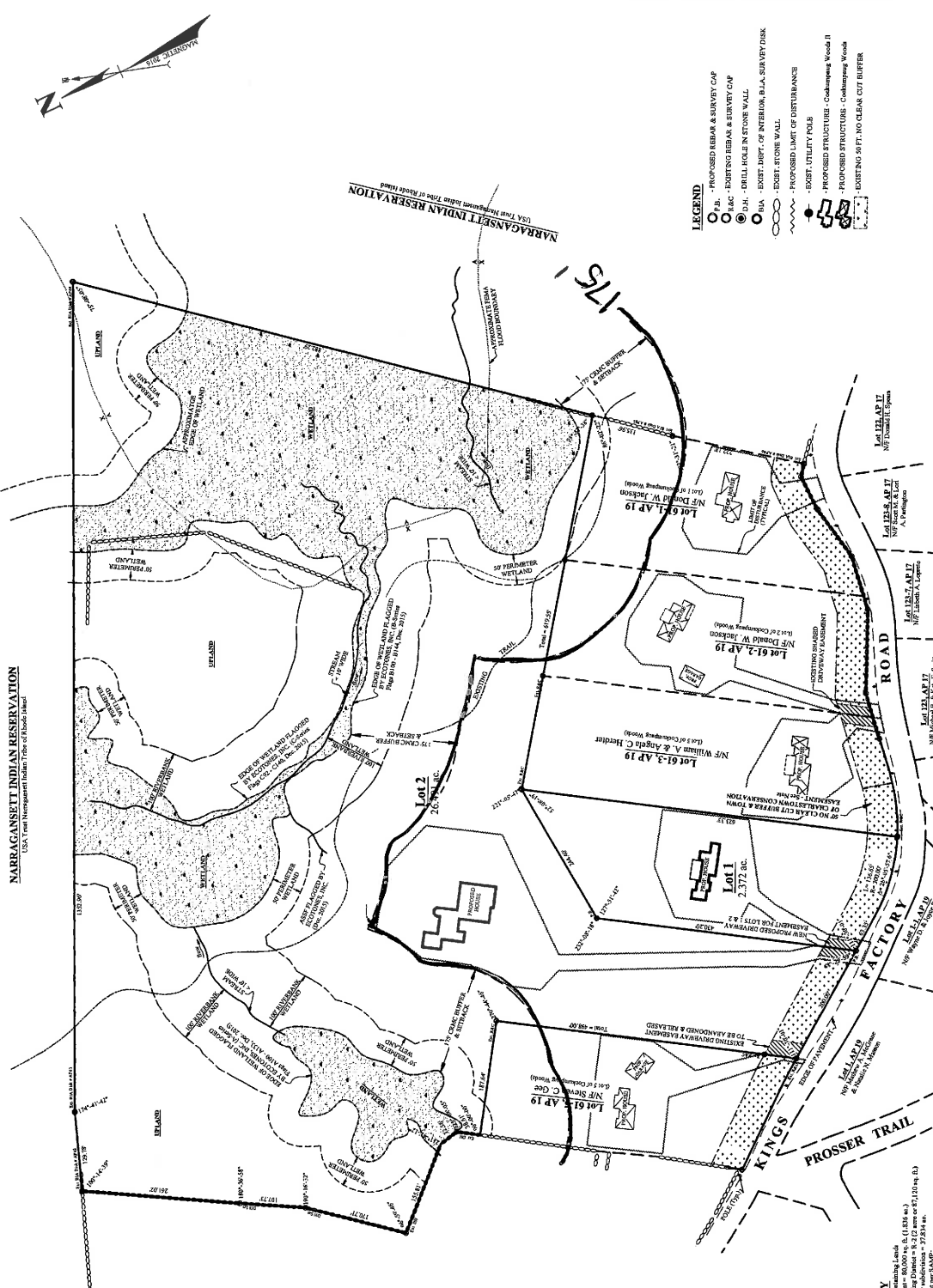
Lot 1 = 2,107 sq. ft.
 Lot 2 = 2,298 sq. ft.
 Lot 3 = 2,213 sq. ft.
 Lot 4 = 2,213 sq. ft.
 Lot 5 = 2,213 sq. ft.
 Lot 6 = 2,213 sq. ft.
 Lot 7 = 2,213 sq. ft.

JACKSON SURVEYING, Inc.

SURVEYING & ENGINEERING
 P.O. BOX 664 CHARLESTOWN, RI 02813 PH: (401) 946-3300



JOB NO. E-5604 E-5605



LEGEND	
	PROPOSED REBAR & SURVEY CAP
	EXISTING REBAR & SURVEY CAP
	DRILL HOLE IN STONE WALL
	DRIFT, SHEET PILING, P.A. SURVEY DISK
	DRIFT, SHEET PILING, P.A. SURVEY DISK
	PROPOSED LIMIT OF DISTURBANCE
	EXISTING UTILITY POLE
	PROPOSED STRUCTURE - Chalmers Woods II
	PROPOSED STRUCTURE - Chalmers Woods I
	EXISTING SOFT, NO CLEAR CUT BUFFER

CBMC ASSENT SITE PLAN
 Lot 61-4 on AP 19 in Charlestown, RI
 (Lots of Cockumpaug Woods II)

CONSENT APPROVED
 Glen L. & Karra Peppas Corrao
 41 South Street, Charlestown, RI
 MARCH 2017

SCALE: 1" = 50'
 SHEET: C1



Donald W. Jackson
 Licensed Professional Engineer
 No. 2808
 State of Rhode Island
 Expiration Date: 03/31/2017

LIMIT OF DISTURBANCE
 ALL LIMITS OF DISTURBANCE AS SHOWN HEREON HAVE BEEN APPROVED AND ARE
 RESTRICTED BY DEED AND CONTROLLED BY BOTH THE TOWN OF CHARLESTOWN AND
 THE STATE OF RHODE ISLAND. CONSTRUCTION ON THE LOTS IS LOCATED WITHIN THESE LIMITS OF DISTURBANCE.