



State of Rhode Island  
Coastal Resources Management Council  
Oliver H. Stedman Government Center  
4808 Tower Hill Road, Suite 3  
Wakefield, RI 02879-1900

(401) 783-3370  
Fax (401) 783-2069

### **PUBLIC NOTICE**

(\*Corrected 08-07-2020)

File Number: 2020-07-031 Date: August 6, 2020

This office has under consideration the application of:

\*Paul and Christine Grady  
2 Shell Road  
Warren, RI 02885

\*Patrick Lebeau & Meghan Rawson  
4 Shell Road  
Warren, RI 02885

for a State of Rhode Island Assent to construct and maintain: a shared residential boating facility consisting of a 4ft x 121ft fixed pier, a 3ft x 30ft aluminum gangway, and a 10ft x 20ft terminal float. The facility is proposed to extend 108 ft past mean low water to achieve water depth of 2.5ft. This design requires a 58ft length variance to RICRMP Section 1.3.1(D)(11)(I)

Project Location:	2 & 4 Shell Road
City/Town:	Warren
Plat/Lot:	16 / 195,196
Waterway:	Mount Hope Bay

Plans of the proposed work may be seen at the CRMC office in Wakefield.

In accordance with the Administrative Procedures Act (Chapter 42-35 of the Rhode Island General Laws) you may request a hearing on this matter.

You are advised that if you have good reason to enter protests against the proposed work it is your privilege to do so. It is expected that objectors will review the application and plans thoroughly, visit site of proposed work if necessary, to familiarize themselves with the conditions and cite what law or laws, if any, would in their opinion be violated by the work proposed.

If you desire to protest, you must attend the scheduled hearing and give sworn testimony. A notice of the time and place of such hearing will be furnished you as soon as possible after receipt of your request for hearing. If you desire to request a hearing, to receive consideration, it should be in writing (**with your correct mailing address, e-mail address and valid contact number**) and be received at this office on or before September 6, 2020.

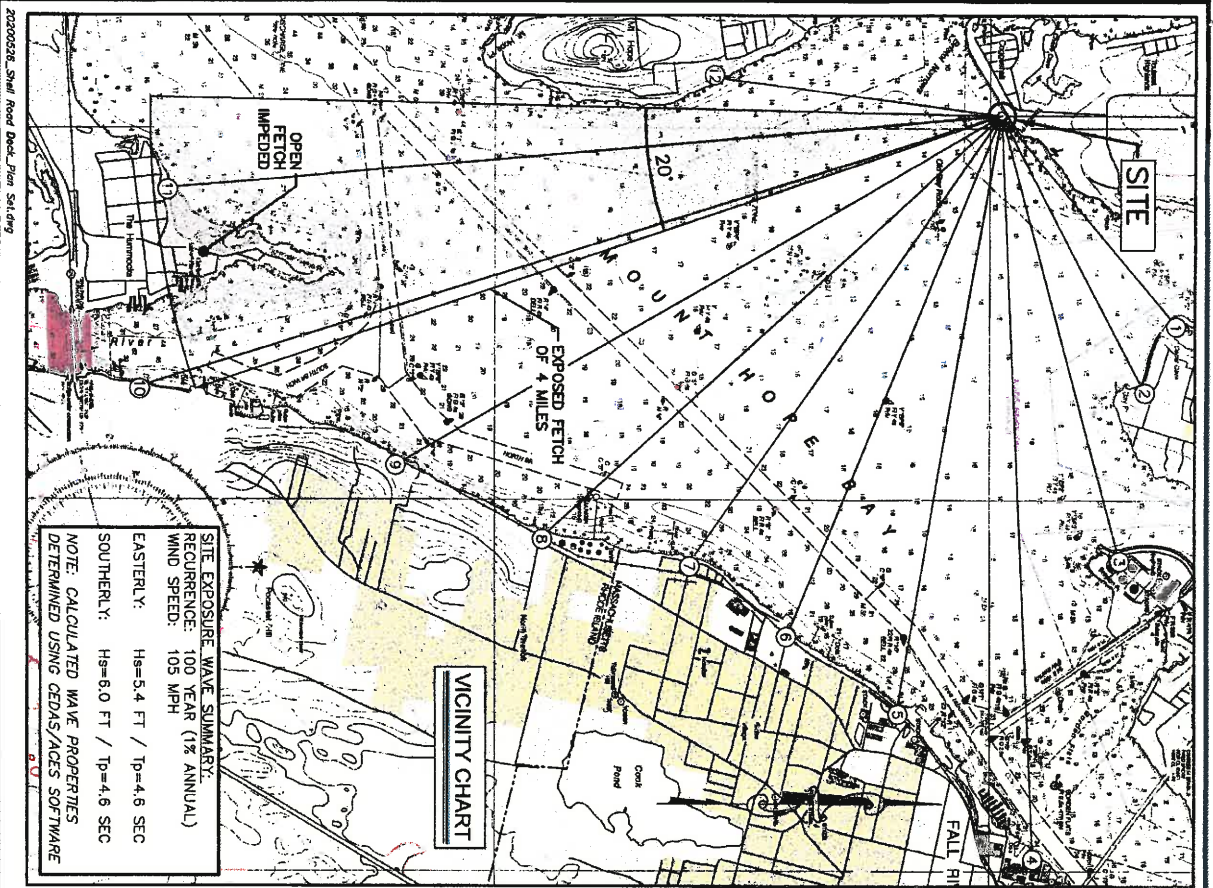


TABLE 1: SITE EXPOSURE			
ANGLE	FETTER	MILES	
1	50	6.408	1.2
2	62	7.316	1.4
3	75	11.009	2.1
4	87	18.035	3.4
5	100	14.678	2.8
6	112	13.601	2.6
7	125	13.197	2.5
8	137	15.136	2.9
9	150	16.950	3.2
10	162	22.023	4.2
11	175	20.394	3.9
12	187	6.838	1.3

TABLE 2: TIDAL AND STORM SURGE BENCHMARKS IN FEET		
BENCHMARK	ELEVATION (MLWD)	
FEMA BASE FLOOD ELEVATION (BFE)	+24.4	
FEMA 1% RECURRENT (100YR) SWL	+13.6	
FEMA 2% RECURRENT (50YR) SWL	+11.8	
FEMA 10% RECURRENT (10YR) SWL	+8.9	
MEAN HIGHER HIGH WATER (MHHW)	+4.7	
MEAN HIGH WATER (MHW)	+4.4	
NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88)	+2.4	
MEAN LOW WATER (MLW)	+0.2	
MEAN LOWER LOW WATER (MLLW)	0.0	

- REFERENCES:
- NAVIGATION CHART PRESENTED HEREIN WAS OBTAINED FROM NOAA CHART #13226 FOR MOUNT HOPE BAY. SOUNDINGS INCLUDED ON THE CHART REFER TO MEAN LOWER LOW WATER (MLW) DATUM.
  - STORM SURGE STILL WATER LEVEL (SWL) ELEVATIONS WERE OBTAINED FROM TRANSECT #20 FROM THE FLOOD INSURANCE STUDY (FIS) FOR BRISTOL COUNTY, RHODE ISLAND [STUDY #4400(CV0008)] PREPARED BY FEMA DATED 7/7/2014. SWL ELEVATIONS DO NOT INCLUDE WAVE ACTION.
  - BASE FLOOD ELEVATION, INCLUDING STORM SURGE AND ASSOCIATED WAVE ACTION, WAS OBTAINED FROM THE FLOOD INSURANCE RATE MAP (FIRM) #4400(C0012H) FOR BRISTOL COUNTY, RHODE ISLAND PREPARED BY FEMA DATED 7/7/2014. THE ELEVATION OF THE BASE FLOOD ELEVATION WAS CONVERTED FROM NAVD88 TO MLW.
  - TOTAL ELEVATIONS WERE OBTAINED FROM NOAA DATUM ONLINE TOOL USING LAT/LONG COORDINATES IN THE VICINITY OF THE PROJECT AREA.

**HARBOR ENGINEERING, LLC**  
 26 BOSWORTH STREET  
 BARRINGTON, RI 02806  
 (401) 828-4870  
 harboreng.com

No.	Revision	Date	App.



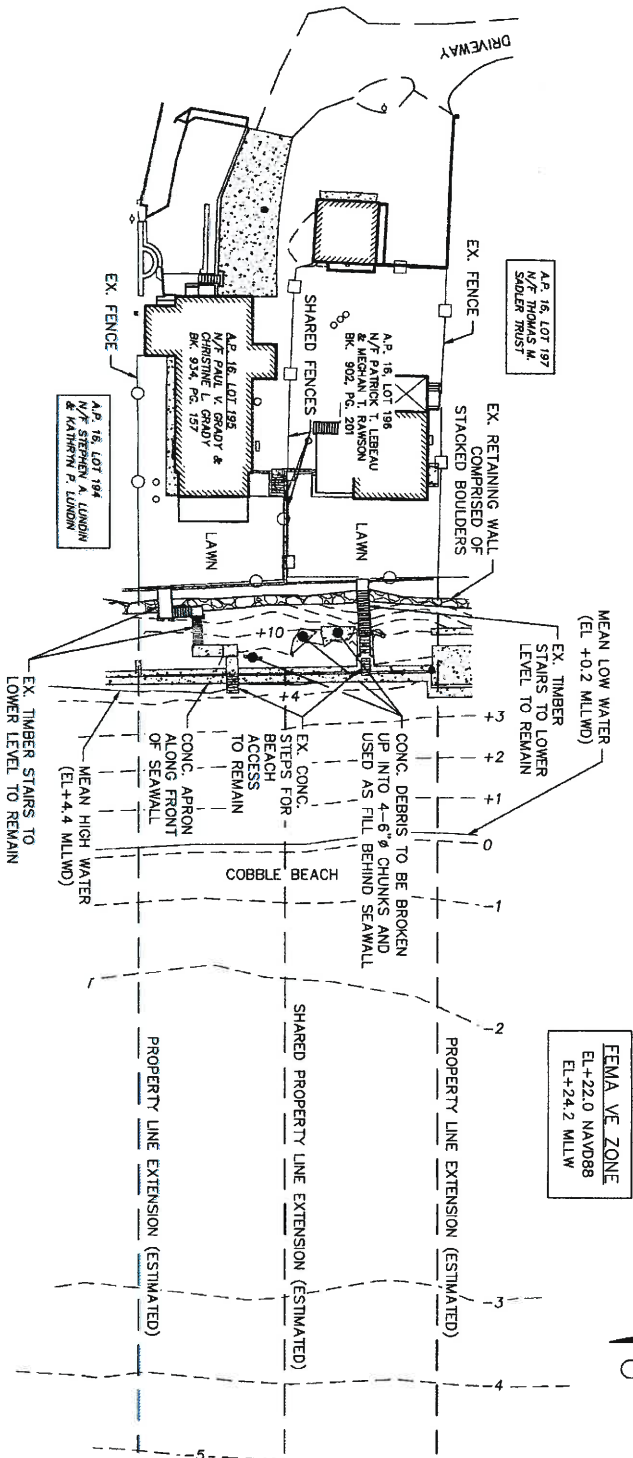
Client/Owner: PAUL & CHRISTINE GRADY  
 2 SHELL ROAD  
 WARREN, RI 02885  
 PATRICK LEBEAU & MEGHAN RAMSON  
 4 SHELL ROAD  
 WARREN, RI 02885

Issued for: REGULATORY REVIEW & CONSTRUCTION

Drawing Title: SHARED RESIDENTIAL DOCK  
 VICINITY CHART & SITE EXPOSURE INFORMATION  
 FETCHES, TIDES & COASTAL FLOODING

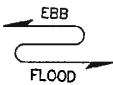
AUGUST J. KREUZKAMP III  
 7949  
 REGISTERED PROFESSIONAL ENGINEER  
 CIVIL 6/5/10  
 Date: 5/28/2020  
 Scale: 1"=3,000 FT  
 Designed by: AUKANG  
 Drawn by: AUKANG  
 Checked by: AUKANG  
 Project Number: 202003  
 Sheet: 1 of 1  
 Drawing Number: V-1  
 Date: JUL 20 2020  
 Coastal Resources Incorporated

- SITE PLAN NOTES:**
1. PLAN INFORMATION PRESENTED HEREIN IS BASED ON THE SITE PLAN PREPARED BY SOUTH COUNTY SURVEY COMPANY TITLED "EXISTING CONDITIONS SITE PLAN INCLUDING TOPOGRAPHY & BATHYMETRY IN THE TOWN OF WARREN, RHODE ISLAND A.P. 16 LOTS 195 & 196 ~ 2 & 4 SHELL ROAD" DATED APRIL 3, 2020 AND CAN ONLY REFLECT THE CONDITIONS OF THE SITE AT THAT TIME.
  2. NO PROPERTY SURVEY WAS CONDUCTED. THE PROPERTY LINE EXTENSIONS WERE APPROXIMATED BASED ON THE EXISTING FENCE LOCATIONS FOR EACH PROPERTY.
  3. THE SURVEY VERTICAL DATUM REFERS TO MEAN LOWER LOW WATER (MLLW) DATUM, 2.4 FEET BELOW NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88).
  4. BATHYMETRIC CONTOURS ARE NEGATIVE UNLESS DENOTED WITH A PLUS (+).



### EXISTING CONDITIONS

**MOUNT HOPE BAY**  
RICRMC TYPE 2



No.	Revision	Date	App.

0 40 FT 80 FT  
GRAPHIC SCALE

Client/Owner: PAUL & CHRISTINE GRADY  
2 SHELL ROAD  
WARREN, RI 02885  
PATRICK LEBEAU & MEGHAN RAMSON  
4 SHELL ROAD  
WARREN, RI 02885

Drawing Title: SHARED RESIDENTIAL DOCK  
EXISTING SITE PLAN  
MLLWD

Date: 5/26/2020  
Scale: 1"=40 FT

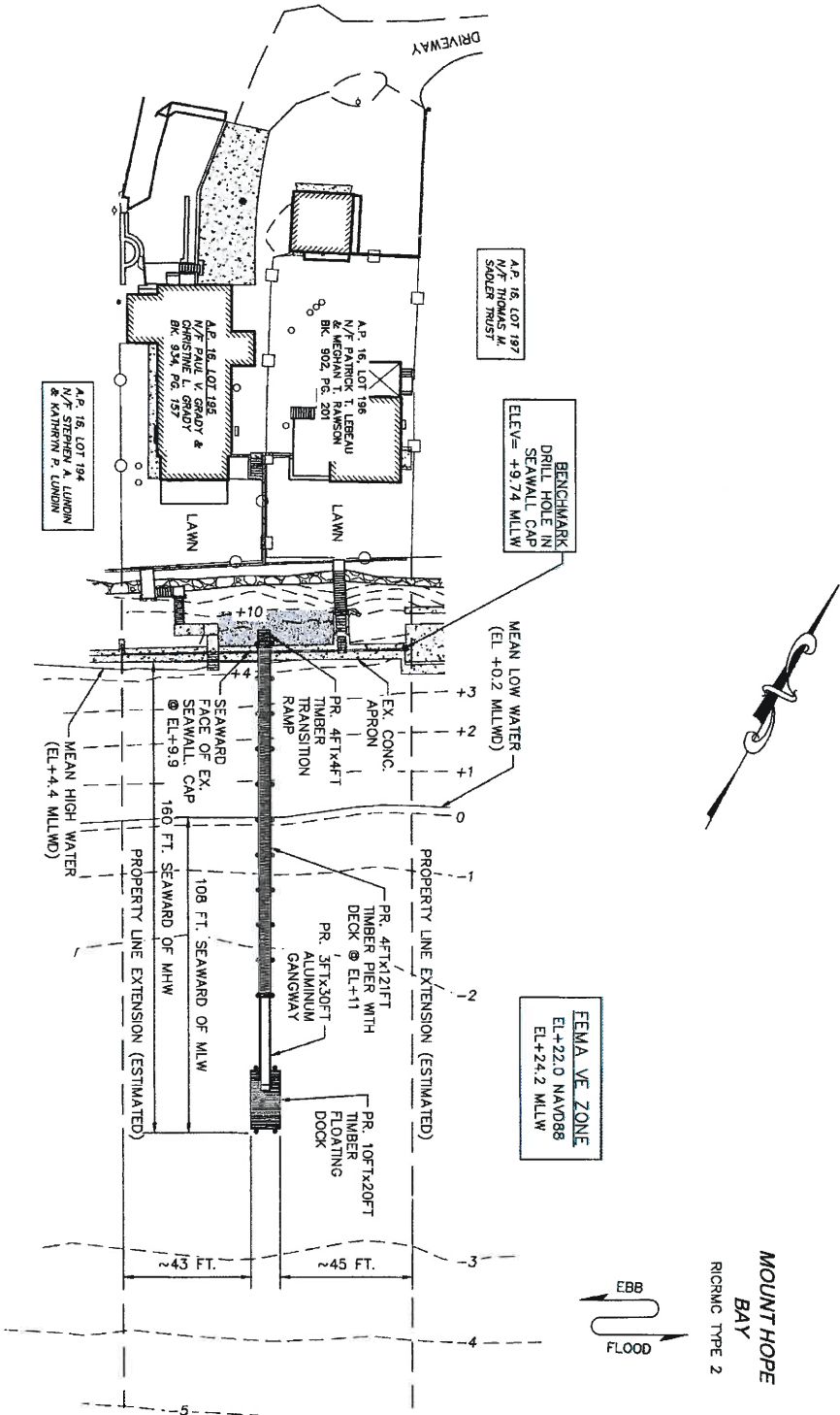
Designed By: ALVING  
Drawn By: ASK  
Checked by: ASK  
Project Number: 2021-03  
Sheet: 2 of 2  
Date: 7/10/2020  
Drawing Number: EXD

REGISTERED PROFESSIONAL ENGINEER  
CIVIL 6/5/20  
7949

AUGUST J. KREUZKAMP III

**HARBOR ENGINEERING, LLC**  
26 BOSWORTH STREET  
BARRINGTON, RI 02806  
(401) 828-4870  
harboreng.com

NOTES:  
1. FOR SITE PLAN INFORMATION, SEE SHEET EX-1.



**PROPOSED CONDITIONS**

**MOUNT HOPE BAY**  
RCRMC TYPE 2



**HARBOR ENGINEERING, LLC**  
28 BOSMORTH STREET  
BARRINGTON, RI 02808  
(401) 829-4870  
harboreng.com

No.	Revision	Date	App.



Client/Owner: **PAUL & CHRISTINE GRADY**  
2 SHELL ROAD  
WARREN, RI 02885  
**PATRICK LEBEAU & MEGHAN RAMSON**  
4 SHELL ROAD  
WARREN, RI 02885

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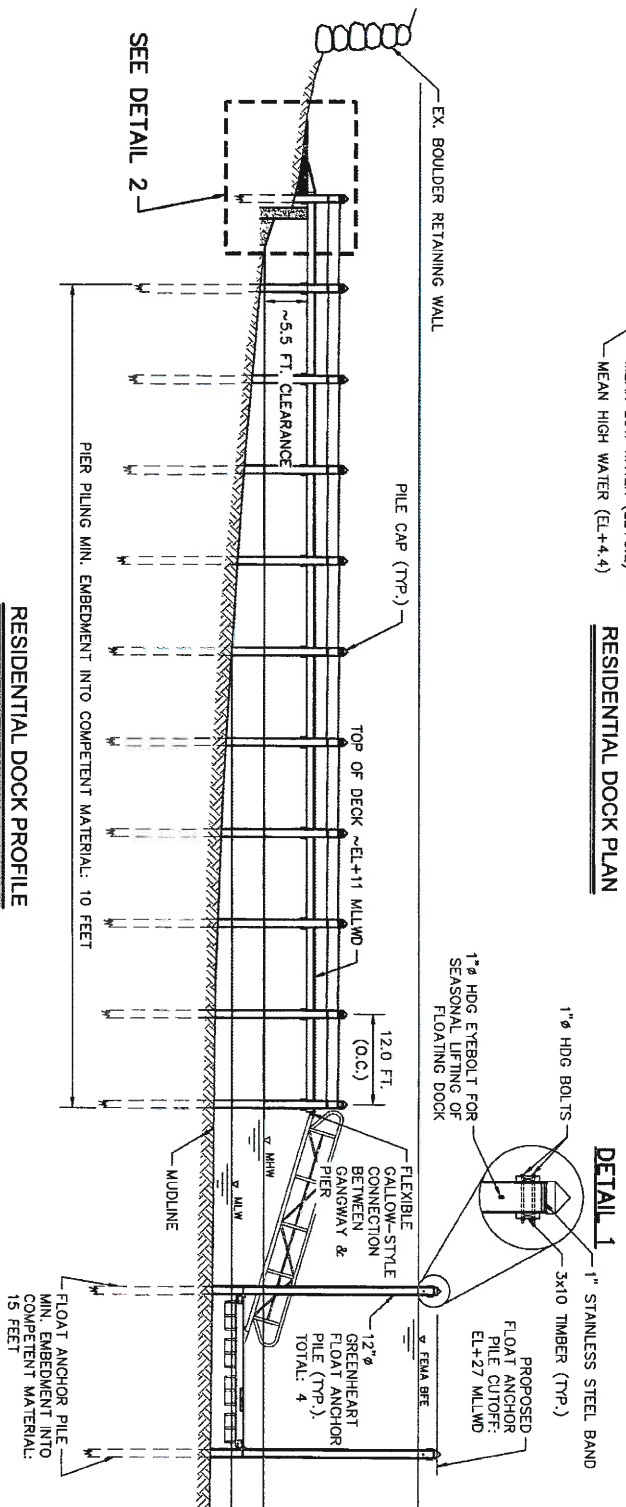
Drawing Title: **SHARED RESIDENTIAL DOCK**  
PROPOSED SITE PLAN  
MLWD

**AUGUST J. KREUZKAMP III**  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL 6/5/16  
7949

No. 7949

DESIGNED BY: **ALIK**  
DRAWN BY: **ALIK**  
CHECKED BY: **ALIK**  
PROJECT NUMBER: **2020-03**  
SHEET: **3** OF **7**  
DATE: **JUL 01 2020**





AUGUST J. KREUTZKAMP, III  
No. 7949  
REGISTERED  
PROFESSIONAL ENGINEER  
CIVIL 6/5/90

[illegible]

**HARBOR ENGINEERING, LLC**  
26 BOSWORTH STREET  
BARRINGTON, RI 02806  
(401) 829-4870  
harboreng.com

**Client/Owner:**

Owner: PAUL & CHRISTINE GRADY  
2 SHELL ROAD  
WARREN, RI 02885

---

PATRICK LEBEAU & MEGHAN RAWSON  
4 SHELL ROAD  
WARREN, RI 02885

**Issued for:**

REGULATORY REVIEW &amp; CONSTRUCTION

**Drawing Title:**

## SHARED RESIDENTIAL DOCK

# PROPOSED PIER PLAN & PROFILE MLLWD

AUGUST J. KREUZKAMP, III

Scale: 1"=16'-11"



Designed By: AJKMMG

7049

Checked by:                     

Recheck Number:                     

2023-03-20

REGISTERED

Describe: Physical

CIVIL 6/5/20

24

10



HARBOR ENGINEERING, LLC  
26 BOSWORTH STREET  
BARRINGTON, RI 02806  
(401) 829-4870  
harboeng.com

No.	Revision	Date	App.



Client/Owner: PAUL & CHRISTINE GRADY  
2 SHELL ROAD  
WARREN, RI 02885

Patrick LeBeau & Meghan Rawson  
4 SHELL ROAD  
WARREN, RI 02885

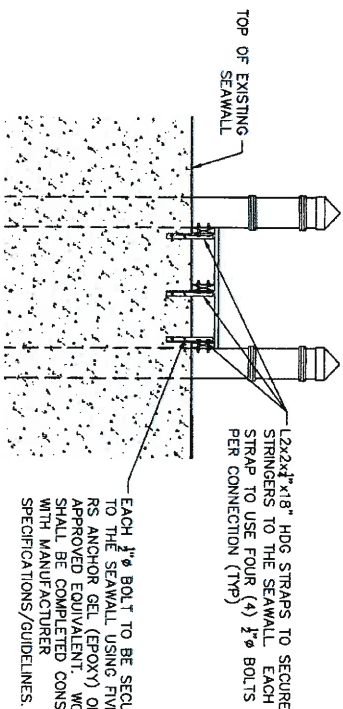
Issued for: REGULATORY REVIEW & CONSTRUCTION

Drawing Title:

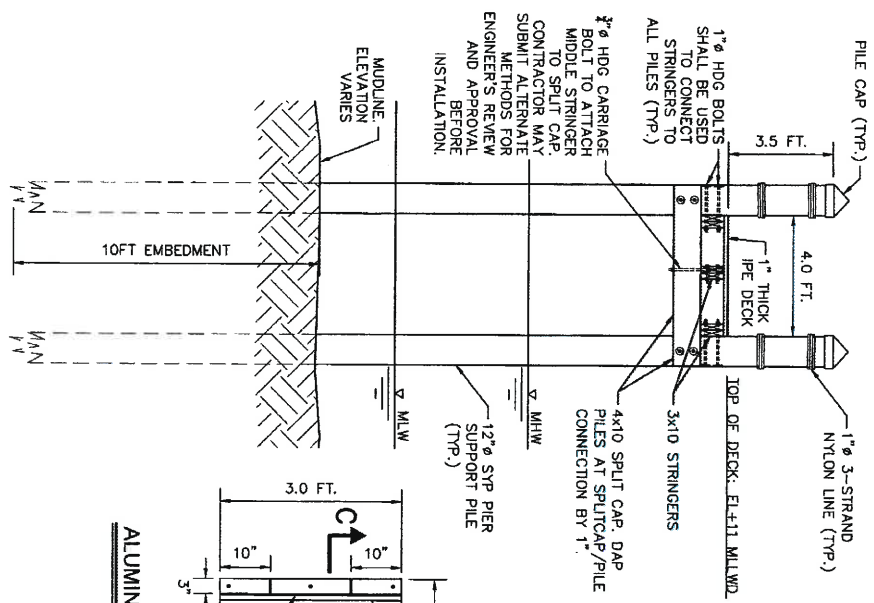
SHARED RESIDENTIAL DOCK  
PROPOSED PIER PLAN  
& PROFILE

AUGUST J. KREUZKAMP III	
REGISTERED PROFESSIONAL ENGINEER	
CIVIL 6/5/90	
7949	
Date:	5/26/2020
Scale:	VARIES
Drawn by:	AKJ
Checked by:	AKJ
Project Number:	2020-03
Sheet:	5 of 7
Drawing Number:	PR-3

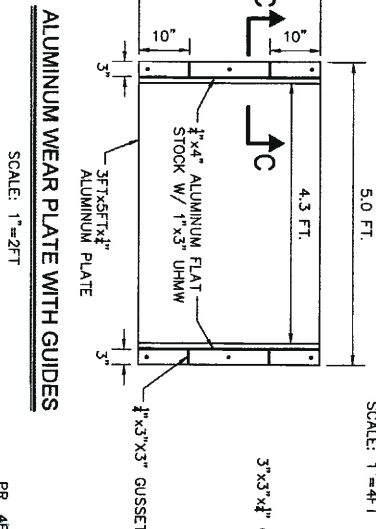
WORKING RESOURCES  
MANAGEMENT COMPANY



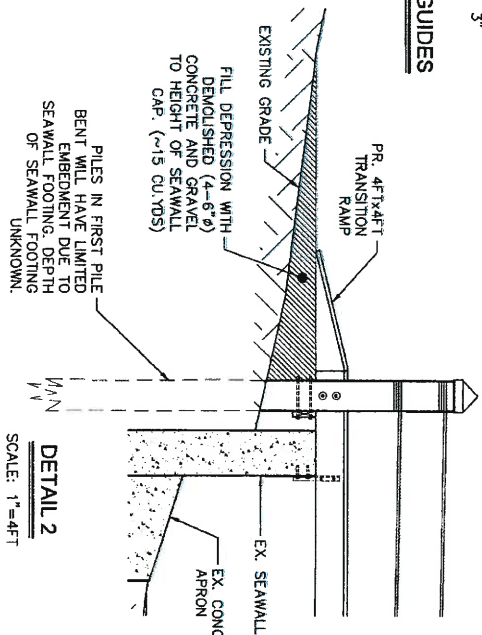
SECTION B-B  
SCALE: 1"=4FT



SECTION A-A  
SCALE: 1"=4FT



SECTION C-C  
SCALE: 1"=1FT



DETAIL 2  
SCALE: 1"=4FT

# GENERAL NOTES:

- DRAWING AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF HARBOR ENGINEERING, LLC. DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR IN PART, FOR OTHER PROJECTS OR PURPOSES OR BY ANY OTHER PARTIES THAN THOSE AUTHORIZED BY CONTRACT WITHOUT THE SPECIFIC WRITTEN AUTHORIZATION OF HARBOR ENGINEERING, LLC. THE USE OF THIS DOCUMENT IS CONTINGENT UPON PAYMENT TO HARBOR ENGINEERING, LLC. FOR SERVICES RENDERED. NON-PAYMENT SHALL GIVE HARBOR ENGINEERING, LLC, THE AUTHORITY TO BAR DOCUMENT USE BY ANY AND ALL PARTIES.

# GENERAL CONSTRUCTION NOTES:

- ALL WORK SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS AS SHOWN IN THESE PLANS AND SPECIFICATIONS.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE CONDITIONS SHOWN HEREIN AND NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES IN DIMENSIONS AND/OR SITE CONDITIONS PRIOR TO THE FABRICATION AND/OR ORDERING OF ANY CONSTRUCTION MATERIALS. THE CONTRACTOR SHALL NOT BEGIN CONSTRUCTION IN ANY SUCH AFFECTED AREA UNTIL THE DISCREPANCY HAS BEEN RESOLVED BY THE CONTRACTOR AND APPROVED BY THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR BRINGING ALL ELEMENTS OF THE PROJECT IN CONFORMANCE WITH THESE PLANS AND SPECIFICATIONS. IF ANY MODIFICATIONS ARE REQUIRED IN ANY ELEMENT, THE CONTRACTOR SHALL SUBMIT PROPOSED CHANGES IN WRITING TO THE ENGINEER FOR REVIEW.
- ALL SAFETY REGULATIONS ARE TO BE STRICTLY FOLLOWED. METHODS OF CONSTRUCTION AND ERECTION OF STRUCTURAL MATERIAL ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL WORK SHALL COMPLY WITH FEDERAL LAWS, STATE REGULATIONS, AND LOCAL LAWS AND STATUTES AND THE REQUIREMENTS AND CONDITIONS OF ALL REGULATORY PERMITS ISSUED FOR THE WORK.
- ALL WORK SHALL CONFORM TO THE LATEST EDITION OF THE OSHA CODE, THE RHODE ISLAND STATE BUILDING CODE, AND THE REFERENCED STANDARDS INCLUDED THEREIN THAT ARE APPLICABLE TO THIS PROJECT.
- IT SHALL BE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE SURVEY SUPPORT NEEDED TO COMPLETE THE WORK, INCLUDING STAKEOUT, TO ENSURE THE WORK IS COMPLETED CONSISTENT WITH PROJECT PLANS AND ASSOCIATED REGULATORY APPROVALS.
- ALL MATERIAL STORAGE SHALL BE DONE VIA BARGE.
- DAMAGE TO ANY PROPERTY, PRIVATE OR OF PUBLIC TRUST, OCCURRING DURING THE CONSTRUCTION BY THE CONTRACTOR, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER AT THE EXPENSE OF THE CONTRACTOR.
- PILE DRIVING:**
  - THE CONTRACTOR SHALL USE EQUIPMENT ADEQUATE IN SIZE, CAPACITY, AND NUMBERS, AND MAINTAINED TO THE REQUIREMENTS OF ALL FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS TO ACCOMPLISH THE WORK.
  - PILES SHALL BE DRIVEN AS SPECIFIED ON THE PRECEDING SHEETS. CONTRACTOR SHALL POINT PILES AND BE PREPARED TO USE STEEL PILE TIPS OR SOCKET PILES TO ACHIEVE THE REQUIRED EMBEDMENT.
  - THE CONTRACTOR SHALL KEEP AN ACCURATE SET OF PILE INSTALLATION/DRIVING LOGS. ALL PILES BEING INSTALLED SHALL BE CLEARLY MARKED IN 1 FOOT INCREMENTS PRIOR TO INSTALLATION TO SUPPORT MONITORING/RECORDING EFFORTS. ALL LOGS SHALL BE CERTIFIED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER PRIOR TO PAYMENT. PILE LOGS SHALL INCLUDE: PILE ID, LOCATION, DEPTH TO MUDLINE (INCLUDING DATE & TIME RECORDED) AND TOTAL EMBEDMENT.
- PILE CAPS:**
  - PILE CAPS SHALL BE WHITE, ROUND CONE, LOW DENSITY POLYETHYLENE CAPS.
  - PILE CAPS SHALL BE SIZED APPROPRIATELY TO ACCOMMODATE THE UNIQUE SIZE OF EACH PILE BUTT.
  - PILE CAPS SHALL BE ATTACHED USING FOUR (4) STAINLESS STEEL SCREWS.

# TIMBER NOTES:

- DESIGN LIVE LOAD FOR FIXED PIER: 40PSF UNIFORM DISTRIBUTED LOAD.
  - DECKING ON PIER AND FLOATING DOCK SHALL BE 1" NOM. IPE FASTENED TO STRINGERS USING STAINLESS STEEL SCREWS.
  - PIER SUPPORT PILES SHALL BE 12" SOUTHERN YELLOW PINE (SYP) WITH 10FT EMBEDMENT INTO COMPETENT MATERIAL.
  - FLOAT ANCHOR PILES SHALL BE 12" GREENHEART WITH 15FT EMBEDMENT INTO COMPETENT MATERIAL. GREENHEART PILES SHALL BE Banded USING ONE 1" STAINLESS STEEL BAND AT EACH PILE BUTT TO PREVENT FUTURE BROOMING.
  - UNLESS NOTED OTHERWISE, ALL TIMBER MATERIAL (INCLUDING STRINGERS, SPLUT CAPS AND OTHER FRAMING) SHALL BE SOLID SAWN LUMBER (S&S) SOUTHERN YELLOW PINE (SYP) GRADE NO. 2 OR BETTER IN ACCORDANCE WITH EITHER THE SOUTHERN PINE INSPECTION BUREAU OR THE TIMBER PRODUCTS INSPECTION BUREAU GRADING RULES.
  - UNLESS NOTED OTHERWISE, SYP TIMBER MATERIALS SHALL BE TREATED WITH CCA PRESERVATIVE SUFFICIENT FOR MARINE CONSTRUCTION WITH THE FOLLOWING MINIMUM RETENTIONS:
    - SYP TIMBER PILES: 2.5 LBS PER CUBIC FOOT
    - SYP TIMBER FRAMING: 0.6 LBS PER CUBIC FOOT.
  - BRUSH APPLY TWO (2) COATS OF WOOD PRESERVATIVE TO SURFACE OF PRESERVATIVE TREATED MATERIALS WHICH HAVE BEEN FIELD CUT, DRESSED OR DRILLED.
  - SPLICING OF STRINGERS SHOULD OCCUR EXCLUSIVELY OVER THE CENTER OF A PILE BENT (OVER THE SPLUT CAP) WITH A 3FT BUTT SPLICE. EACH SPLICE SHALL INCLUDE A 3FT LONG 3X10 SCAB AND 18-INCH OVERLAP WITH THE BUTTING STRINGERS.
  - TIMBER BLOCKING IS REQUIRED BETWEEN ALL STRINGERS AT MID-SPAN USING 3X10 TIMBERS AND 1" HDG LAG BOLTS.
- HARDWARE:**
- ALL BOLTS SHALL BE ASTM A307 OR BETTER SIZED NO LESS THAN 1", UNLESS NOTED OTHERWISE, ACCOMPANIED BY APPROPRIATELY SIZED NUTS AND WASHERS.
  - ALL HARDWARE INCLUDING NAILS, SCREWS, BOLTS, NUTS AND WASHERS SHALL BE HOT-DIPPED GALVANIZED (HDG) STEEL, UNLESS NOTED OTHERWISE.
  - COUNTER SINK AREAS WHERE HARDWARE INTERFERES WITH CONSTRUCTION OR VESSEL BERTHING AREAS.
  - CONTRACTOR TO SUBMIT DETAILS OF THE FLEXIBLE (GALLOW-STYLE) GANGWAY CONNECTION TO ENGINEER FOR REVIEW AND APPROVAL BEFORE FABRICATING.
- FLOATING DOCK:**
- FLOATING DOCKS SHALL BE CONSTRUCTED USING CCA TREATED TIMBER FRAMING, ENCAPSULATED PERMAFLOAT FLATATION OR APPROVED EQUAL TUBS AND CCA SYP TIMBER DECKING.
  - FLOAT FRAMING SHALL BE CONSTRUCTED SUCH THAT IT CAN ADEQUATELY MANAGE BEING LIFTED USING CHAINS CONNECTED TO THE BUTTS OF THE FLOAT ANCHOR PILES EACH WINTER FOR SEASONAL STORAGE.
  - CONTRACTOR TO INSTALL A TOTAL OF SIX (6) HOT-DIPPED GALVANIZED STEEL CLEATS ON THE FLOATING DOCK, ATTACHED TO THE FRAMING OF THE FLOATING DOCK USING THROUGH BOLTS. CLEATS SHALL BE NO LESS THAN 10 INCHES IN LENGTH.
  - DOCK FENDER SHALL BE EXTRUDED, NON-MARRING, MARINE GRADE VINYL, CONSISTENT SHADE OF GRAY IN COLOR INCLUDING BUMPER STRIP ALONG THE TWO (2) BERTHING SIDES OF THE FLOAT AND FOUR (4) CORNER BUMPERS.
  - MODIFY FLOAT ANCHOR PILE GUIDES TO INCLUDE 1-INCH THICK UHMW PAD ATTACHED TO FACE OF DOCK/GUIDE IN ADDITION TO STANDARD GUIDE ROLLER.
- FLOAT DESIGN CRITERIA:**
- LIVE LOAD=40 PSF
  - DEAD LOAD FREEBOARD=20"

**HARBOR ENGINEERING, LLC**  
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No.	Revision	Date	App.

Client/Owner: PAUL & CHRISTINE GRADY  
2 SHELL ROAD  
WARREN, RI 02885  
PATRICK LEBEAU & MEGHAN RAMSON  
4 SHELL ROAD  
WARREN, RI 02885

Issued for: REGULATORY REVIEW & CONSTRUCTION

Drawing Title: SHARED RESIDENTIAL DOCK  
PROJECT NOTES

AUGUST J. KREUZKAMP III REGISTERED PROFESSIONAL ENGINEER (LIV) 61510 7949		Date: 5/28/2020 Scale: Designed BY: AKK Drawn BY: AKK Checked BY: AKK Project Number: 2020-015 Sheet 6 of N-1 Drawing Number: N-1
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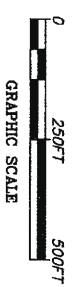




TABLE 3: NEARBY RESIDENTIAL BOATING FACILITIES					
ADDRESS	A	B	C	D	F
4 BROWNELL ST	8 BROWNELL ST	26 BROWNELL ST	40 BROWNELL ST	2 & 4 SHELL RD	1 NORTH ST
RICHIE FILE #	1985-07-098	2001-07-090	2005-08-051	1998-06-073	2017-03-063
DESCRIPTION OF FACILITY	4FTx200FT PIER	4FTx121FT PIER, 3FTx22FT RAMP & 8FTx18.5FT FLOAT	4FTx121FT PIER, 3FTx38FT RAMP & 8FTx18.5FT FLOAT	5-8FTx280FT PIER	4FTx140FT PIER, 3FTx25FT RAMP & 6FTx25FT FLOAT WITH FLOAT LIFT & MOORING PILES
LENGTH OF TOTAL STRUCTURE SEAWARD OF MLW	96 FEET (ESTIMATED)	66 FEET	68 FEET	214 FEET (ESTIMATED)	108 FEET (PROPOSED)
LENGTH OF TOTAL STRUCTURE SEAWARD OF MNW	160 FEET (ESTIMATED)	129 FEET	135 FEET	248 FEET (ESTIMATED)	180 FEET (PROPOSED)
					193 FEET

- NOTES:**
1. THE ORTHOPHOTOGRAPH PRESENTED HEREIN WAS OBTAINED FROM GOOGLE EARTH. PHOTOGRAPH WAS TAKEN FEBRUARY 28, 2018.
  2. THE INFORMATION INCLUDED IN TABLE 3 WAS OBTAINED FROM REGULATORY FILES ASSOCIATED WITH EACH LOCATION. MEASUREMENTS THAT WERE NOT INCLUDED IN THE REGULATORY DOCUMENTS WERE MEASURED USING GOOGLE EARTH AND SHOULD BE CONSIDERED APPROXIMATE.
  3. LINEWORK ASSOCIATED WITH 1 NORTH STREET IS BASED ON THE PROPOSED PLAN INFORMATION AND NOT THE RESULT OF A POST-CONSTRUCTION SURVEY.

**HARBOR ENGINEERING, LLC**  
 28 BOSWORTH STREET  
 BARRINGTON, RI 02806  
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Client/Owner: PAUL & CHRISTINE GRADY  
 2 SHELL ROAD  
 WARREN, RI 02885  
 PATRICK LEBEAU & MEGHAN RAWSON  
 4 SHELL ROAD  
 WARREN, RI 02885

Issued for: REGULATORY REVIEW & CONSTRUCTION

**SHARED RESIDENTIAL DOCK**  
 AREA RESIDENTIAL BOATING FACILITIES SUMMARY

August J. Kreul Kamp III  
 AUGUST J. KREULKAMP III  
 7949  
 REGISTERED PROFESSIONAL ENGINEER  
 CIVIL 6/5/10

Date: 5/28/2020  
 Scale: 1"=250FT  
 Drawn by: BAKKING  
 Checked by: A.K.  
 Project Number: 2021013  
 Sheet: 7 of 7  
 Drawing Number: A-1  
 JUL 1 2020