



Oliver Stedman Government Center
4808 Tower Hill Road; Suite 116
Wakefield, RI 02879
401-783-3370

15 DAY PUBLIC NOTICE

File Number: 2020-08-041 Date: February 11, 2021

This office has under consideration the application of:

**H.V. Collins Properties, Inc.
99 Gano Street
Providence, RI 02906**

for a State of Rhode Island Assent to construct and maintain: A 5-story, 61 Unit residential apartment building, with ground floor parking garage, new utility connections including a connection to the Narragansett Bay Commission sewer system and an on-site stormwater management system.

Project Location:	99 Gano Street
City/Town:	Providence
Plat/Lot:	Plat 17 Lot 416
Waterway:	Seekonk River

Plans of the proposed work may be seen at the CRMC office in Wakefield.

In accordance with the Administrative Procedures Act (Chapter 42-35 of the Rhode Island General Laws) you may request a hearing on this matter.

You are advised that if you have good reason to enter protests against the proposed work it is your privilege to do so. It is expected that objectors will review the application and plans thoroughly, visit site of proposed work if necessary, to familiarize themselves with the conditions and cite what law or laws, if any, would in their opinion be violated by the work proposed.

If you desire to protest, you must attend the scheduled hearing and give sworn testimony. A notice of the time and place of such hearing will be furnished you as soon as possible after receipt of your request for hearing. If you desire to request a hearing, to receive consideration, it should be in writing (**with your correct mailing address, e-mail address and valid contact number**) and be received at this office on or before February 26, 2021.



SITE LOCATION MAP

SCALE: 1"=2,000'



8 BLACKSTONE VALLEY PLACE
LINCOLN, RI 02865
(401) 334-4100

10 LINCOLN ROAD, SUITE 210
FOXBORO, MA 02035
(508) 543-1755

PARE PROJECT No. 19084.00

June 2019

FIGURE 1

H.V. Collins 99 Gano Street
Providence, RI

Received by CRMC
1/22/2021

ZONING TABLE		
ZONE: C-2 GENERAL COMMERCIAL DISTRICT		
EXISTING USE: OFFICE		
PROPOSED USE: MULTI-FAMILY+		
TOTAL LOT AREA AP 17 LOT 418 = 0.75 ACRES		
BUILDING AREA	RESIDENTIAL = 25,000± SF	
	REQUIRED (C-2)	PROVIDED
BUILDING SETBACK		
FRONT SETBACK	0-5 FT	0 FT
CORNER SIDE SETBACK	0-5 FT	1 FT
REAR SETBACK	0 FT	27 FT
MAX. BUILDING HEIGHT++	50'/4 STORIES	60'/5 STORIES
MAX. BUILDING COVERAGE	NONE	67%
MINIMUM LOT AREA	NONE	32,701 SF
MAX. IMPERVIOUS SURFACE COVERAGE	NONE	-
SHADE CANOPY COVERAGE	15%	37.5%

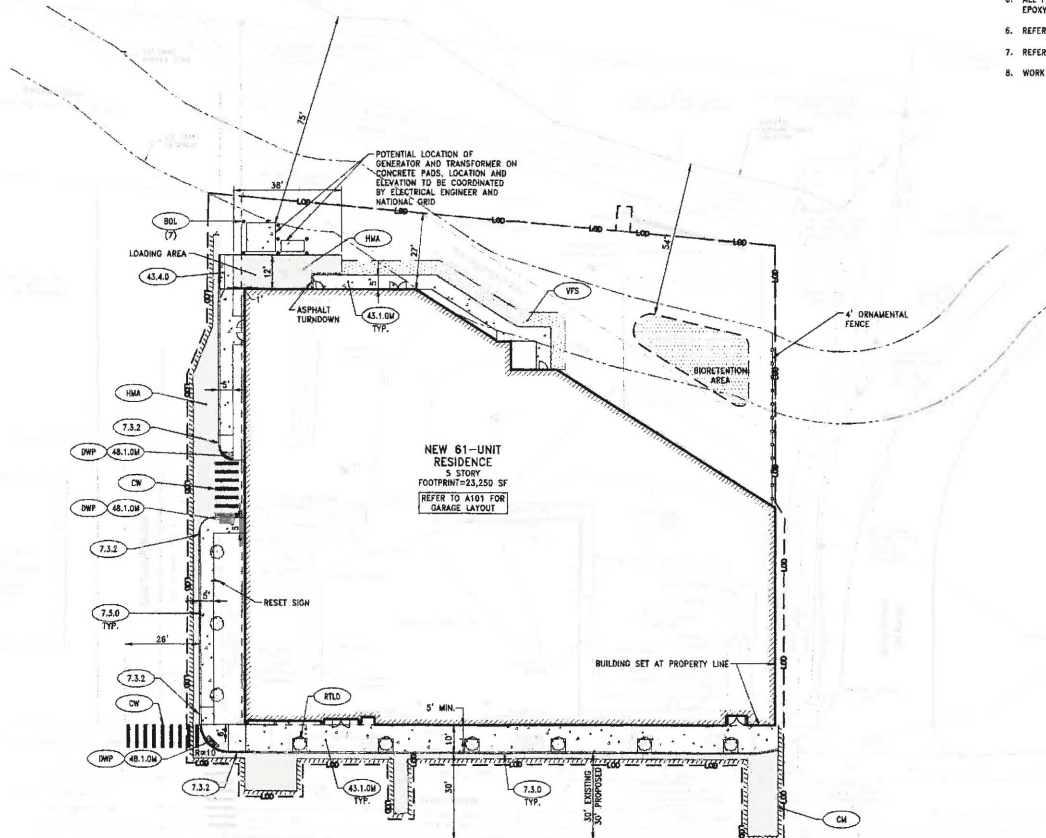
+ MULTI-FAMILY IS A PERMITTED USE IN THE C-2 ZONING DISTRICT
++ DIMENSIONAL ADJUSTMENT FOR TWO ADDITIONAL STORIES +2D' IS REQUESTED

PARKING SUMMARY		
	REQUIRED*	PROVIDED
STANDARD SPACES (9'x18')	56	56
ACCESSIBLE SPACES**	3	3
TOTAL SPACES	61	61
COMPACT SPACES (10'x MAX)	6	4
BICYCLE SPACES	13	27

* MULTI-FAMILY DWELLING: 1 SPACE PER DWELLING UNIT
61 DWELLING UNITS
1 SPACE/UNIT = 61 SPACES

** ADA REQUIREMENT FOR PARKING LOT 51 TO 75 TOTAL SPACES = 3 SPACES

PRELIMINARY PLAN APPROVAL BY THE PROVIDENCE CITY PLANNING COMMISSION
WAS GRANTED ON MAY 20, 2020



NOTES:

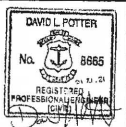
1. ALL ACCESSIBLE RAMPS SHALL BE CONSTRUCTED WITH DETECTABLE WARNING PAVES.
2. PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL EMPLOY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF RHODE ISLAND TO ESTABLISH CONTROL ON THE SITE AND TO PERFORM FIELD MEASUREMENTS AS REQUIRED TO LAYOUT THE PROPOSED BUILDING AND SITE IMPROVEMENTS. THE CONTRACTOR'S SURVEYOR SHALL COORDINATE THE BUILDING LAYOUT WITH THE PROJECT LAND SURVEYOR TO ACCURATELY LOCATE THE BUILDING ON THE SITE.
3. EXPANSION JOINTS (E.J.) 20 FEET O.C. (MAX.) UNLESS OTHERWISE NOTED.
4. CONTROL JOINTS (C.J.) 5 FEET O.C. (MAX.) UNLESS OTHERWISE NOTED.
5. ALL PARKING SPACES AND ISLANDS ARE TO BE MARKED WITH 4" THICK WHITE EPOXY PAVEMENT MARKING UNLESS OTHERWISE NOTED.
6. REFER TO LANDSCAPE DRAWINGS FOR SURFACE COVER IN LANDSCAPE AREAS.
7. REFER TO "CIVIL NOTES AND LEGEND" FOR ADDITIONAL NOTES.
8. WORK WITHIN STATE RIGHT-OF-WAY SHALL BE COORDINATED WITH RHOT.

Scale: 1"=20'



Residential Development
AP 17, LOT 418
99 Gano Street
Providence, Rhode Island

Received by CRMC
1/22/2021

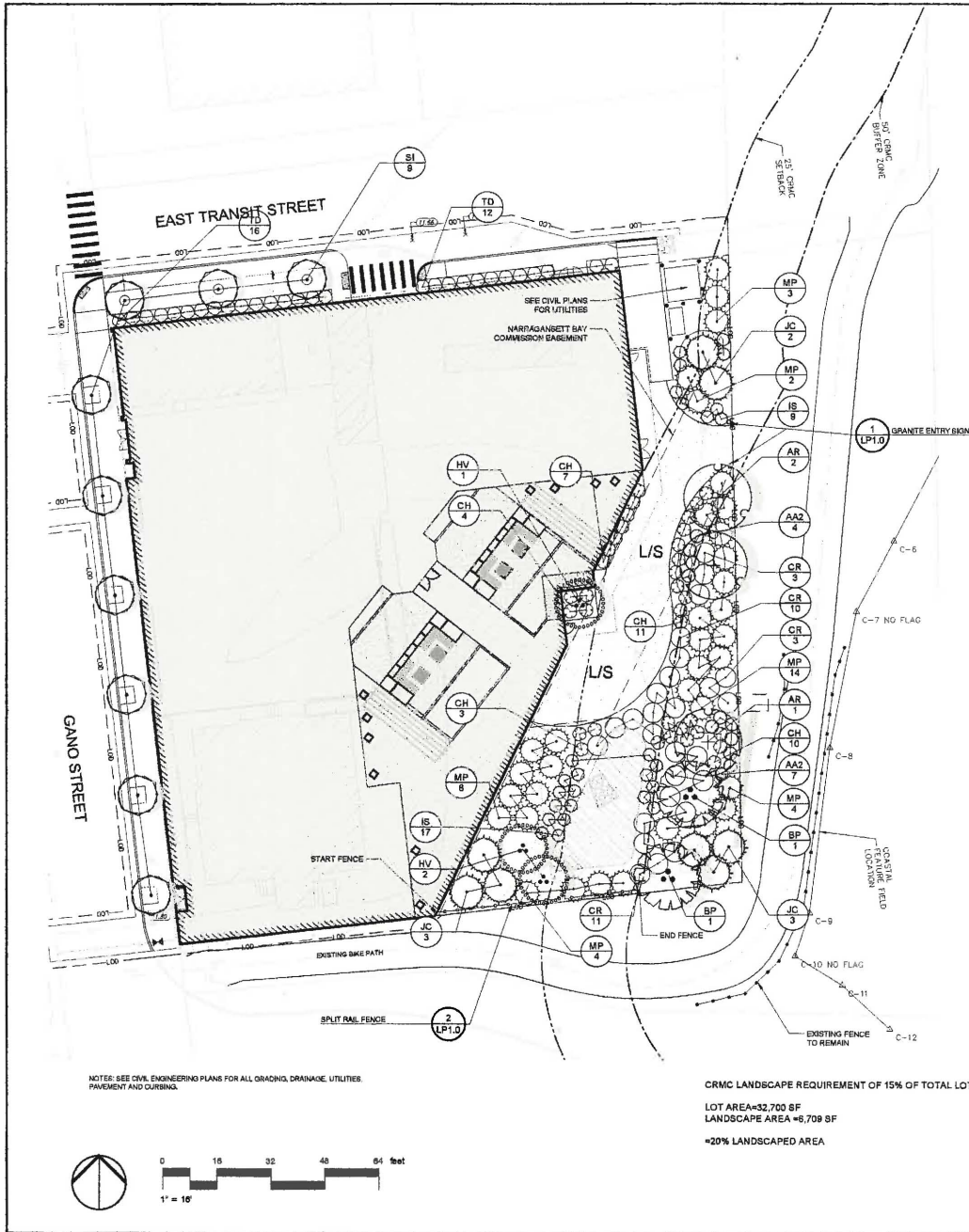


REVISIONS:
1 10-18-20 CRMC COMMENTS
2 1-21-21 CRMC COMMENTS

PROJECT NO.: 19084.01
DATE: AUGUST 14, 2020
SCALE: 1"=20'
DESIGNED BY: MA
CHECKED BY: CLP
DRAWN BY: AKL
APPROVED BY: CLP
DRAWING TITLE:

GENERAL PLAN

DRAWING NO.:
C3.1
SHEET NO. 5 OF 18



PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY	REMARKS
AR	Acer rubrum / Red Maple	BAR	2'-2.5' Cal.		3	
BP	Betula populifolia / Gray Birch	BAR	Multi-stem	10'12"	2	
HV	Hamelis virginiana / Common Witch Hazel	BAR	Multi-stem	7'8"	3	
JC	Juniperus virginiana 'Carette' / Caneberry Juniper	BAR	Multi-stem	7'8"	8	
SI	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac	BAR	2'-2.5' Cal.		9	
SHRUBS	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY	REMARKS
AA2	Aronia melanocarpa 'Autumn Magic' / Autumn Magic Black Chokeberry	#3			11	
CH	Clethra alnifolia 'Hummingbird' / Hummingbird Summerweet	#3			35	
CR	Cornus sericea / Red Twig Dogwood	#3			27	
IS	Ilex glabra 'Shamrock' / Shamrock Inkberry Holly	#3			28	
MP	Myrica pensylvanica / Northern Bayberry	#3			35	
TD	Tieria x media / Dense Yew	#3			28	

LOAM AND SEED	1,500 SF
SEED MIX FOR BIORETENTION	470 SF

BIORETENTION SEED MIX SPECIES: ROCK SEDGE (CAREX LUPINULOIDES), LUND SEDGE (CAREX LUNDA), BLUNT BROOM SEDGE (CAREX SCOPARIA), BLUE VERNIAN (VERBENA HASTATA), FOXY BLUEGRASS (POA PALMISTRO), HOP SEDGE (CAREX LUPULOIDES), BURNING BUSH (EUROPA ATRORUBRA), DROPPED SPIKE RUSS (ELIOCHORDA PALATINA), PRINCE SEDGE (CAREX CRISTATA), SOFT RUSS (ANJUS EFFUSUS), SPOTTED JOE PYE WED (EUPATORIUM MACULATUM), RATTLEBRAKE GRASS (GLYCERHIA CANADENSIS), SNOW AFTER (ASTER FLAMMULA), BLUE-JO (IRS VIRIDICOLOR), SNOW MAJORITY (ANGLICA INCARNATA), SQUARE STEMMED MONKEY FLOWER (MAMMILLARIA TENNISIENSIS), WETLAND SEED MIX BY NEW ENGLAND PLANTS

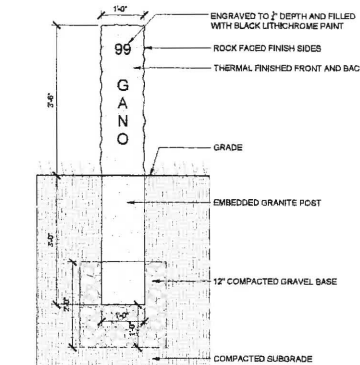
TREE SHADE COVERAGE CALCULATIONS

PER THE CITY OF PROVIDENCE GUIDELINES

STANDARD	CALCULATIONS
LARGE TREE=1000 SF	LARGE TREE=3 (3000 SF)
MEDIUM TREE=700 SF	MEDIUM TREE=2 (1,400 SF)
SMALL TREE=300 SF	SMALL TREE=9 (2,700 SF)
TOTAL LOT SIZE (SF)=32,700	TOTAL TREE=10 (21.7% OF TOTAL LOT)
PROPERTY ZONE: C-3	
% SHADE PER ZONE: 15% SF OF THE LOT	

GENERAL NOTES:

- All plant material must be tagged in the ground, at the nursery by the Landscaper. All plant material must be commercially obtained and shall meet the American Association of Nurserymen standards for nursery stock, latest edition, and its amendments. Plant only during season normal to the particular variety. All plant inspections will be at the expense of the contractor. Permanent tags will be required.
- Planting beds shall be excavated to a minimum depth of 12" and new loam and compost (50/50 mix) shall be incorporated into the planting bed to meet surrounding grades unless otherwise noted or detailed. Cover all planting beds with 3" shredded hardwood bark mulch within a seventy-two hour period after planting. See plan for bed layout.
- All existing and proposed trees shown in lawn areas shall receive a 5' diameter mulch bed which shall be placed to a depth of 3". Remove all soil, roots, sticks and stones prior to placement of mulch.
- All plant materials furnished by the contractor shall be guaranteed for a period of one year from final acceptance of landscape work.
- Stake all trees over 5' as shown on plans. Remove stakes at the end of the guarantee period.
- The contractor is responsible for keeping the site clean of miscellaneous debris throughout the construction period. All waste material is to be disposed of immediately to an off-site location, unless otherwise indicated on the plans.
- The contractor shall perform all work in accordance with all local, state, and federal regulations, and shall obtain all necessary permits for this project.
- Loam: Loam moved during the course of construction shall be retained and distributed within the site in accordance with the landscape plan. Stockpiled loam shall not be mixed with any subsoil, refuse waste or undesirable material. All excess loam shall remain on the property of the owner. New loam if required to provide the specified depth, shall be a fertile, friable medium textured sandy loam free of material likely to restrict plant growth. Loam shall also be free of oil stumps, roots, stones and other extraneous matter: on inch (1") or greater in diameter. The pH shall be between 6.5 and 7.5. Organic content shall be a minimum of 2%.
- Lawn Preparation: Remove all debris and other inorganic materials on the prepared subgrade, reshape and dress any damaged or eroded area prior to spreading the loam. Scarify and loosen subgrade in any areas where compaction may have occurred. Spread stockpiled and off-site loam on all disturbed areas to produce a depth of 4" unless otherwise noted on the plans. Five grade loamed areas to produce a smooth and unbroken finish grade to the required depth. Apply a starter fertilizer (10-20-10) at a rate of 20 lbs. per 1000 square feet and time at a rate of 40 lbs. per 1000 square feet unless otherwise noted on the plans or in the specifications. Once spread, the fertilizer and time shall be thoroughly incorporated into the loam. The loam shall be rolled, and depression shall be top dressed and rolled to create a smooth surface.
- Seeding: Seeding shall take place between March 15 and May 31 or August 15 and October 15 only. Seed shall be pure, live, fresh seed from commercial sources meeting and labeled in accordance with State and Federal rules and regulations. The seed mixture shall be as noted on this sheet.
- Sodded areas shall, at a minimum, include all areas of the site that have been disturbed or are barren unless otherwise noted on the plans. Seed shall be applied at the rates indicated per seed mix.
- Protection of Existing Plantings: Maximum effort should be made to save trees or other plant specimens which are large for their species, rare to the area, or of special horticultural or landscape value. Contact owner/landscape architect before removing any specimen of this type unless otherwise noted on the plans. No material or temporary soil deposits shall be placed within the drip line of shrubs or trees designated on the landscape plan to be retained. Protective barriers are to be installed around each plant and/or group of plants that are to remain on the site. Barriers shall not be supported by the plants they are protecting, but shall be self supporting. They shall be a minimum of four feet (4') high and constructed of a durable material, such as snow or all fence, that will last until construction is completed.
- Pruning: The contractor shall employ a certified arborist to prune any existing roots or branches carefully prune branches in the way of construction by using only approved methods and tools. The use of axes for trimming or spurs for climbing will not be permitted.
- Existing Utilities: In accordance with Dig-Safe law (1-800-225-4877), the contractor shall contact all applicable utility companies and verify utility line locations. The contractor shall be solely responsible for any/all utility damage. Record locations of Dig-Safe utility line markings on project record documents.
- Disturbed Areas: Any areas disturbed during the course of construction are to be restored to original (or better) condition by contractor before completion of the project, and are subject to approval by landscape architect and owner. All grass areas disturbed during construction shall be yolk rolled to remove stones and loamed and seeded as per specifications.
- Layout: All notes and dimensions are typical unless otherwise noted. All dimensions are square (parallel or perpendicular) unless otherwise noted. The contractor shall notify the owner/owner's representative immediately in the event of any discrepancies found in the contract documents and/or in the field, or of conditions uncovered in the work which are not reflected in the plans.
- Drainage Systems: Contractor is responsible for general clean-out of all catch basins, manholes, and/or other drainage features on the site when now occurring and remediation as a result of construction activities.
- Cleaning: Contractor is responsible for keeping site clean of miscellaneous debris throughout the construction period. All waste material is to be disposed of immediately to an off-site location, unless otherwise indicated on the plan.



1 GRANITE ENTRY SIGN



2 SPLIT RAIL FENCE

NOTE:
1. SPLIT RAIL FENCE MATERIAL AND DIMENSIONS SHALL MATCH EXISTING SPLIT RAIL FENCING IN MADE BY RHODE ISLAND DEPARTMENT OF TRANSPORTATION, FENCE IN IMAGE IS LOCATED AT BIRCH PATH ADJACENT TO PROJECT SITE.
2. REFER TO UP1.0 FOR SPLIT RAIL FENCING LOCATION.

PARE
PARE CORPORATION
GENERAL CONTRACTORS
18 GARDEN VALLEY ROAD
LITTLETON, CO 80120

TRAVERSE
ARCHITECTS

SCALE ADJUSTMENT GUIDE
1" = 16'
BAR IS ONE INCH ON ORIGINAL DRAWING

Residential Development
AP 17, LOT 416
99 Gano Street
Providence, Rhode Island

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11/22/2021

REVISIONS

NO.	DATE	CRMC COMMENTS
1	1-21-21	CRMC COMMENTS

PROJECT NO.: 18084.01
DATE: AUGUST 14, 2020
SCALE:
DESIGNED BY: JL
CHECKED BY: KB
DRAWN BY: JL
APPROVED BY: KB
DRAWING TITLE:
PLANTING PLAN

DRAWING NO.: LP1.0
SHEET NO.: 18 OF 18