



Oliver Stedman Government Center
4808 Tower Hill Road; Suite 116
Wakefield, RI 02879
401-783-3370

PUBLIC NOTICE

File Number: 2021-03-090

Date: April 13, 2021

This office has under consideration the application of:

**The RI Commerce Corporation
95 Cripe Street
North Kingstown, RI 02852**

for a State of Rhode Island Assent to establish: *A 21.9-acre paved area in Quonset Business Park for parking and a future laydown area for port operations. Two new water quality infiltration basins are proposed to meet State stormwater management requirements. Approximately 10,000 cubic yards of excess material will be used to create 5' high berms located east of the paved area and within the coastal buffer zone. A maximum 122' buffer zone variance from the 150' buffer zone standard is required for fill berms, pavement and stormwater features within the 150' buffer zone.*

Project Location:	Quonset Business Park/Quonset Airport Area
City/Town:	North Kingstown
Plat/Lot:	Plat 192 Lots 1, 2 & 8
Waterway:	Narragansett Bay

Plans of the proposed work may be seen at the CRMC office in Wakefield.

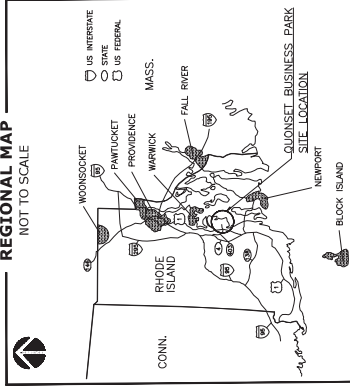
In accordance with the Administrative Procedures Act (Chapter 42-35 of the Rhode Island General Laws) you may request a hearing on this matter.

You are advised that if you have good reason to enter protests against the proposed work it is your privilege to do so. It is expected that objectors will review the application and plans thoroughly, visit site of proposed work if necessary, to familiarize themselves with the conditions and cite what law or laws, if any, would in their opinion be violated by the work proposed.

If you desire to protest, you must attend the scheduled hearing and give sworn testimony. A notice of the time and place of such hearing will be furnished you as soon as possible after receipt of your request for hearing. If you desire to request a hearing, to receive consideration, it should be in writing (**with your correct mailing address, e-mail address and valid contact number**) and be received at this office on or before May 13, 2021.

REGIONAL MAP

NOT TO SCALE



INDEX OF DRAWINGS

SHEET No.	DESCRIPTION
C-0	COVER SHEET
C-1	EXISTING CONDITIONS PLAN-1
C-2	EXISTING CONDITIONS PLAN-2
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C-4	SOIL EROSION & SEDIMENT CONTROL PLAN-2
C-5	SITE IMPROVEMENT PLAN-1
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C-8	DETAIL SHEET-2

QDC PORT OF DAVISVILLE LAYDOWN EXPANSION

AT

QUONSET BUSINESS PARK

QDC PARCEL 27 & 28

AP 192 LOTS 1, 2 & 8

THOMPSON ROAD

NORTH KINGSTOWN, RHODE ISLAND

MARCH 2021

QUONSET BUSINESS PARK PROJECT AREA



PREPARED FOR:



Development Services
95 Crisp Street
North Kingstown, RI 02852
Tel: (401) 295-0044
(401) 268-9885

PREPARED BY:



DiPrete Engineering

Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-464-6006 www.diprete-eng.com

SESC / O&M
The Soil Erosion and Sediment Control Plan (SESC) and Stormwater Operation and Maintenance Plan (O&M) are required documents with this plan set and must be maintained by the contractor and owner on site.



DiPrete Engineering
Engineers • Planners • Surveyors
Granston, RI 401-941-1000 www.DiPrete-Eng.com

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QDC PORT OF DAVISVILLE LAYDOWN EXPANSION

Existing Conditions Plan-1

QDC PARCEL 27 & 28
AP 192 LOTS 1, 2 & 8

THOMPSON ROAD
North Davisville District

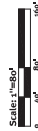
NO.	DRAWING NO.
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C-1	26722
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ELEVATIONS SHOWN HEREON, IN U.S. SURVEY FEET, ARE REFERENCED TO THE QUONSET VERTICAL DATUM (QVD).

NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS

[illegible]



DiPrete Engineering
Engineers • Planners • Surveyors
Granston, RI 401-943-1000 www.DiPrete-Eng.com

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**QDC PORT OF
DAVISVILLE LAYDOWN
EXPANSION**

Existing Conditions Plan-2

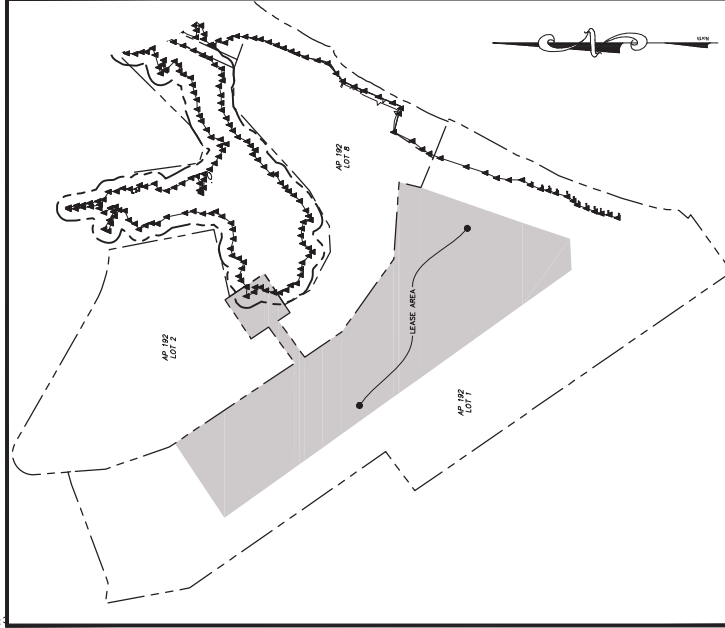
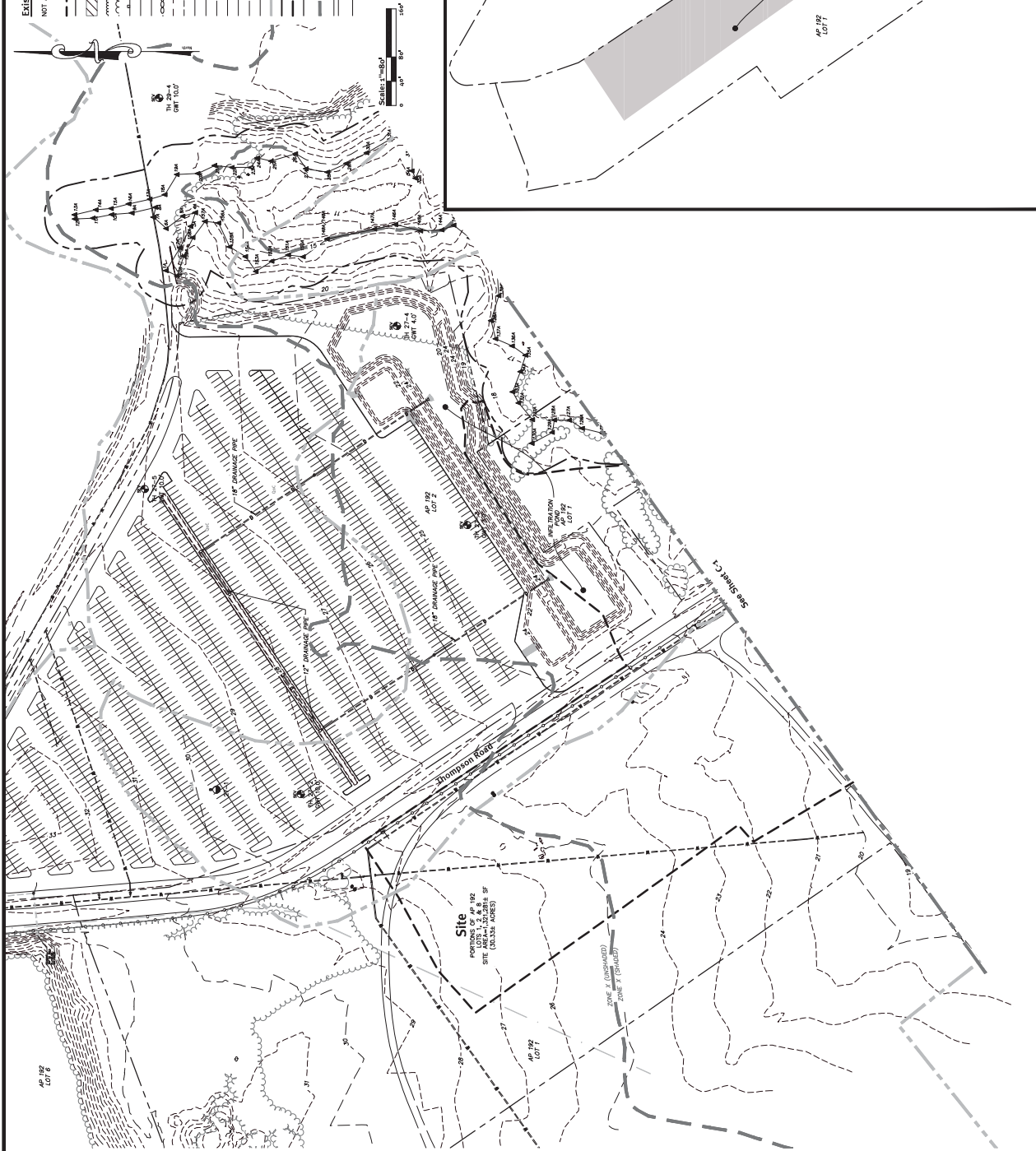
QDC PARCEL 27 & 28
AP 192 LOTS 1, 2 & 8
THOMPSON ROAD
North Davisville District
Quonset Business Park

SHEET NO.	DRAWING NO.
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C-2

26722

EXISTING LEGEND	
	UNIT OF WORK ASSESSORS LINE
	BRUSHLINE
	RETAINING WALL
	STONE WALL
	MAJOR CONTOUR LINE
	MINOR CONTOUR LINE
	SEWER LINE
	GAS LINE
	ELECTRIC LINE
	OVERHEAD WIRES
	SOILS LINES
	50' PERIMETER WIRE
	150' GRATIC BUFFER
	250' GRATIC BUFFER
	FEMA BOUNDARY
	STREAM



Scale: 1"=250'

0 125' 250' 500'

Lease Map

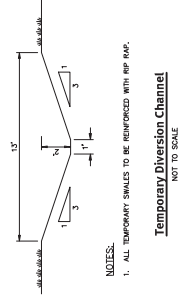
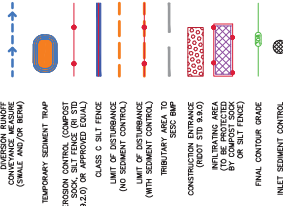
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**QDC PORT OF
DAVISVILLE LAYDOWN
EXPANSION**

**Soil Erosion & Sediment
Control Plan-2**
QDC PARCEL 27 & 28
AP 192 LOTS 1, 2 & 8
THOMPSON ROAD
North Davisville District
Quonset Business Park,

SHEET NO.	C-4	DRAWING NO.	26722
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Soil Erosion Control Legend:



Temporary Diversion Channel

NOT TO SCALE

NOTES:

1. ALL TEMPORARY SWALES TO BE REINFORCED WITH RIP RAP.

GENERAL NOTES:

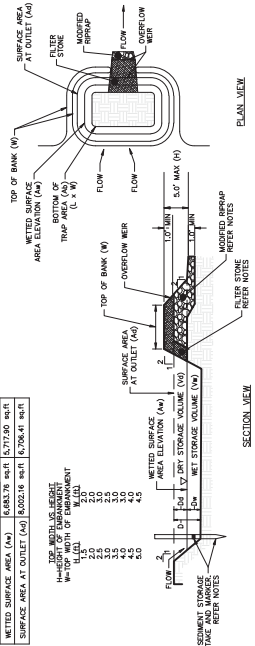
1. THE TEMPORARY SEGMENT TRAIL SHALL MEET ALL REQUIREMENTS FOR TEMPORARY SEGMENT TRAILS OUTLINED IN THE ROAD BOUNDARY CONTROL SEGMENT TRAIL OUTLINE (LATEST REVISION) SECTION 5.01. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
2. THE TEMPORARY SEGMENT TRAIL SHALL HAVE AN INTERNAL DRAINAGE VOLUME OF 100 CUBIC YARDS PER LINEAL FOOT OF ROAD PAVEMENT.
3. THE TEMPORARY SEGMENT TRAIL SHALL BE DESIGNED TO BE SUFFICIENT FOR THE EXHAUSTED WET STORAGE AREA WHEN SLOPES SHALL NOT EXCEED 1:1.5.
4. THE TRAIL SHALL BE LOCATED AT THE MOST DISTANT HYDRAULIC POINT FROM THE INLET.
5. THE TRAIL SHALL BE A PERMANENT STONE RILL WITH A CROWN OF MODIFIED BURNED AND PAVED ON THE UPRAMP SIDE WITH STRONG, DURABLE MATERIALS.
6. TEMPORARY SEGMENT TRAILS MUST OUTLINE STABILIZED ZONE.
7. MAXIMUM HEIGHT OF A TEMPORARY SEGMENT TRAIL EMBANKMENT IS LIMITED TO 5 FEET.
8. SLOPES OF THE EMBANKMENT SHALL BE 2:1 OR FLATTER.
9. SLOPES SHALL BE PROTECTED WITH 12" OR 18" ROLLER MATS AND GEOTEXTILES FOR ROAD AND BRIDGE CONSTRUCTION SUBSECTION M10.03.2.
10. SLOPES SHALL BE PROTECTED WITH 12" OR 18" ROLLER MATS AND GEOTEXTILES FOR ROAD AND BRIDGE CONSTRUCTION SUBSECTION M10.03.3.

INSTALLATION NOTES:

1. **CLEAN, GRUB AND STOP** ANY VEGETATION AND ROOT MAT FROM ANY PROPOSED EMBANKMENT AND OUTLET AREA.
2. **REMOVE** STONES AND ROCKS WHOSE DIAMETER IS GREATER THAN THREE (3) INCHES AND OTHER DEBRIS.
3. **EXCAVATE** NET STORAGE AND CONSTRUCT THE EMBANKMENT AND/OR OUTLET AS NEEDED TO ATTAIN THE NECESSARY STORAGE REQUIREMENTS.
4. **USE** ONLY FILL MATERIAL FOR THE EMBANKMENT THAT IS FREE FROM EXCESSIVE ORGANICS, DEBRIS, LARGE ROCKS (OVER SIX (6) INCHES) OR OTHER UNDESIRABLE MATERIALS THAT MAY BE HARMFUL TO THE GROWTH OF OTHER PLANTS AND ANIMALS THAT ARE COMMON TO THE WATERSHED.
5. **STABILIZE** THE EMBANKMENT USING ANY OF THE FOLLOWING MEASURES: SEEDING FOR TEMPORARY VEGETATION COVER; SEEDING FOR PERMANENT VEGETATIVE COVER; OR SLOPE PROTECTION, IMMEDIATELY AFTER CONSTRUCTION.

SEDIMENT TRAP DIMENSIONS	TRAP A	TRAP B
TRIBUTARY DRAINAGE AREA	4.93 ac	4.99 ac
WET STORAGE DEPTH (Dw)	2.00 ft	2.00 ft
WET STORAGE DEPTH (Dw)	1.00 ft	1.50 ft
DAILY STORAGE (Q)	3.00 ft	3.50 ft
BOTTOM OF TRAP AREA (Ab)	4,122.37 sq ft	4,897.85 sq ft
WETTED SURFACE AREA (Aw)	6,683.76 sq ft	5,775.00 sq ft
SURFACE AREA AT OUTLET (Ao)	8,002.46 sq ft	6,706.41 sq ft

TOP WIDTH VS. HEIGHT
H=HEIGHT OF EMBANKMENT
W=TOP WIDTH OF EMBANKMENT



SECTION VIEW

Temporary Sediment Trap Details

NOT TO SCALE





Development Services
North Kingstown, RI 02852
Tel: (401) 295-0444
Fax: (401) 268-0885

DiPrete Engineering
Engineers & Planners
300 Main Street, Suite 200
North Kingstown, RI 02852
Tel: (401) 295-0444
Fax: (401) 268-0885
www.diprete.com



1	CRMC & RDEM SUBMISSION	5/16/21	CRMC
2	REVISION	DATE	BY
DESIGN BY	DRN	CHECKED BY	SRG
DRAWN BY	KED	ENGINEER	DRN
SCALE	AS NOTED	PROJECT NO.	1791-001-418
CONTRACT NO.			
FILE NAME	C:\Users\jdi\Documents\1791-001-418\1791-001-418.dwg		
APPROVED			

QDC PORT OF DAVISVILLE LAYDOWN EXPANSION

Site Improvement Plan-1

QDC PARCEL 27 & 28
AP 192 LOTS 1, 2 & 8
THOMPSON ROAD
North Davisville District
Quonset Business Park

SHEET NO. C-5
DRAWING NO. 26722

General Notes:

- THE SITE DOES NOT REQUIRE ANY WATER OR SEWER SERVICES.
- ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DEPTH, AND TYPE OF ALL UTILITIES PRIOR TO CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY LOCAL PERMITS PRIOR TO CONSTRUCTION.
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Grading and Utility Notes:

- THE CONTRACTOR MUST COORDINATE WITH ALL OF THE APPROPRIATE UTILITY COMPANIES FOR AGREEMENTS TO SERVICE THE PROPOSED BUILDING. THIS MUST BE DONE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
- PRIOR TO START OF CONSTRUCTION, CONTRACTOR MUST VERIFY EXISTING ELEVATIONS AND LOCATIONS OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
- ALL CUT AND FILL AREAS ARE TO BE DONE UNDER THE DIRECTION OF A PROFESSIONAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
- ALL EXCESS SOIL, TREES, ROCKS, Boulders, AND OTHER REFUSE MUST BE DISCARDED OFF SITE OR RECYCLED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
- NO STUMP DAMPS ARE PROPOSED ON SITE.
- ALL EXCESS SOIL, TREES, ROCKS, Boulders, AND OTHER REFUSE MUST BE DISCARDED OFF SITE OR RECYCLED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
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CRMC Notes:

- THE LIMIT OF DISTURBANCE IS AS SHOWN ON PLANS.
- CONSTRUCTION IS AUTHORIZED TO BEGIN ONLY AFTER RECEIPT OF ALL NECESSARY PERMITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.

Proposed Legend

- NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS
- BUILDING SETBACKS
- EXISTING CONTOUR LINE
- MAJOR CONTOUR LINE
- SPOT ELEVATION
- EDGE OF PAVEMENT
- SWAMP LINE
- LIMIT OF DISTURBANCE/ LIMIT OF CLEARING
- RELOCATED 100' CRMC BUFFER
- ASPHALT PAVEMENT





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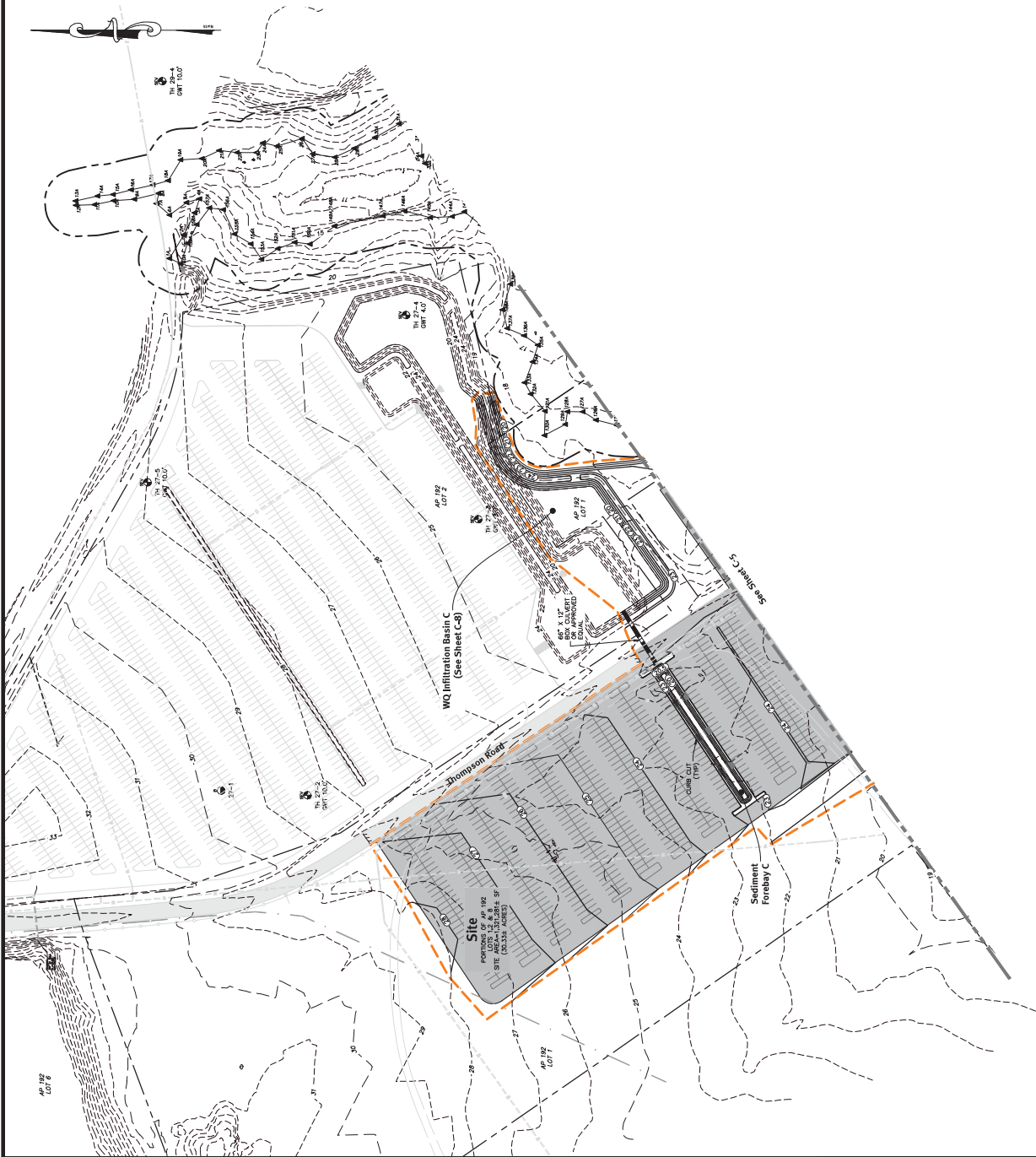
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100	5/16/21	CHD

**QDC PORT OF
DAVISVILLE LAYDOWN
EXPANSION**

Site Improvement Plan-2

QDC PARCEL 27 & 28
AP 192 LOTS 1, 2 & 8
THOMPSON ROAD
North Davisville District
Quonset Business Park₄

SHEET NO. **C-6** DRAWING NO. **26722**



Proposed Legend
NOT ALL ITEMS SHOWN WILL
APPEAR ON PLANS
BUILDING SETBACKS
EXISTING CONTOUR LINE
MAJOR CONTOUR LINE
SPOT ELEVATION
H-GRID
EDGE OF PAVEMENT
LIMIT OF CLEARANCE/
LIMIT OF CLEARING
RELOCATED 100' CNIC BUFFER
ASPHALT PAVEMENT



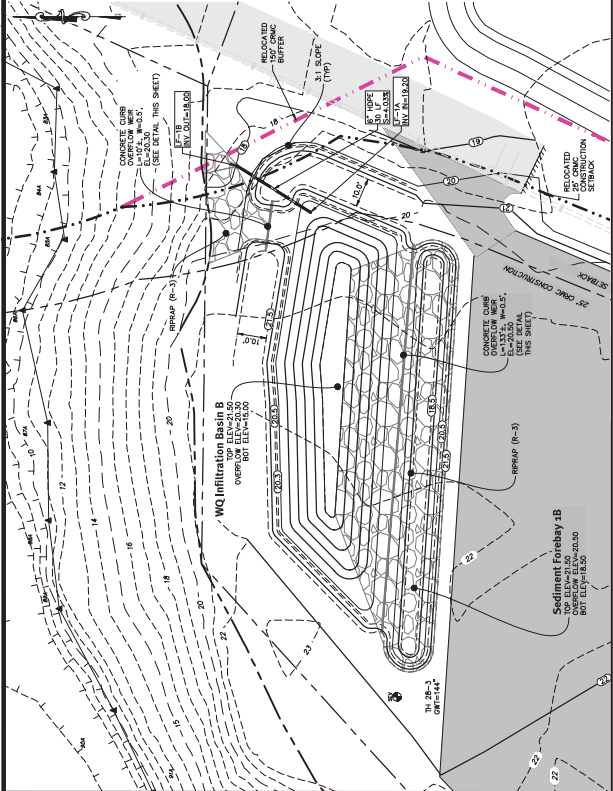
NO.	REVISION	DATE	BY
1	CRMC & RDM SUBMISSION	5/16/21	CHD
2	DESIGN BY	DRN	SEG
3	CHECKED BY	DRN	SEG
4	DRAWN BY	KED	DRN
5	SCALE	AS NOTED	PROJECT NO. 791-001-418
6	CONTRACT NO.		
7	FILE NAME		
8	APPROVED		

**QDC PORT OF
DAVISVILLE LAYDOWN
EXPANSION**

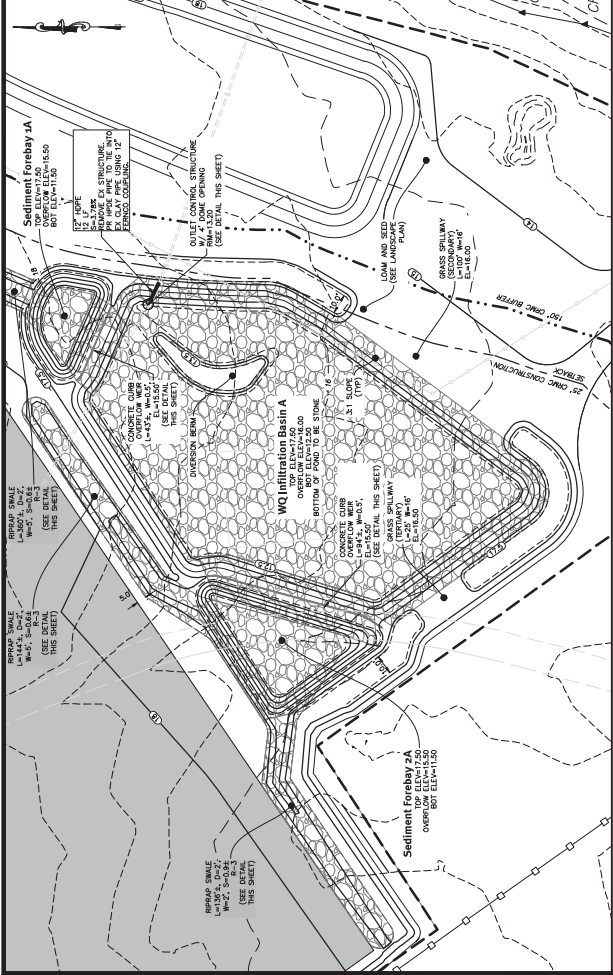
Detail Sheet-1

QDC PARCEL 27 & 28
AD 192 LOTS 1, 2 & 8
THOMPSON ROAD
North Davisville District
Quonset Business Park

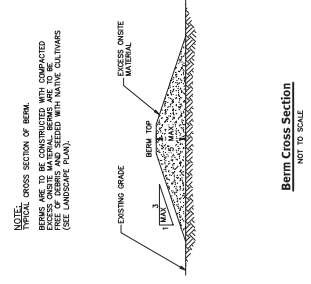
SHEET NO. **C-7**
DRAWING NO. **26722**



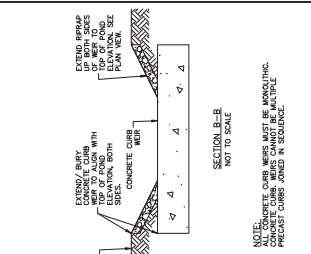
Water Quality Infiltration Basin B



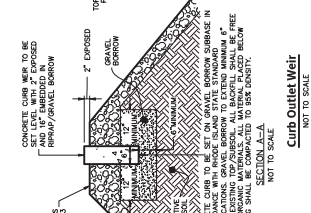
Water Quality Infiltration Basin A



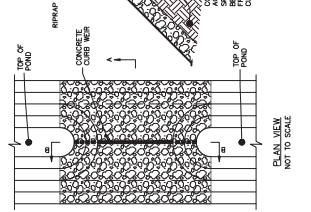
Berm Cross Section
NOT TO SCALE



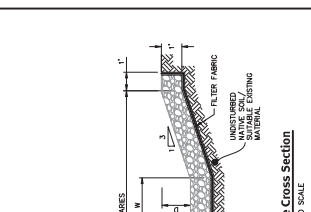
SECTION B-B
NOT TO SCALE



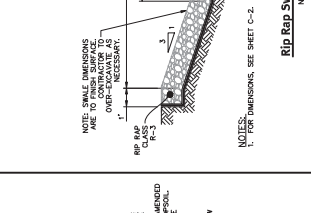
Section A-A
NOT TO SCALE



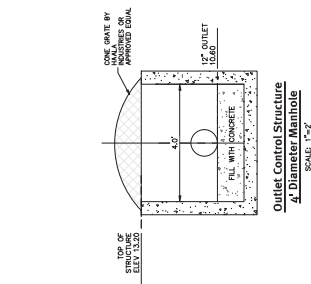
Elev. View
NOT TO SCALE



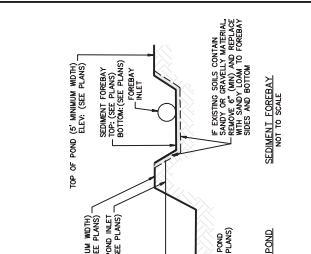
Rip Rap Slope Cross Section
NOT TO SCALE



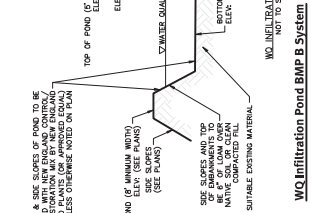
Grass Swale (Wide Bottom) Cross Section
NOT TO SCALE



Outlet Control Structure
& Diameter Manhole
SCALE: 1"=30'



WQ Infiltration Pond BMP B System
NOT TO SCALE



WQ Infiltration Pond BMP A System
NOT TO SCALE

[illegible]

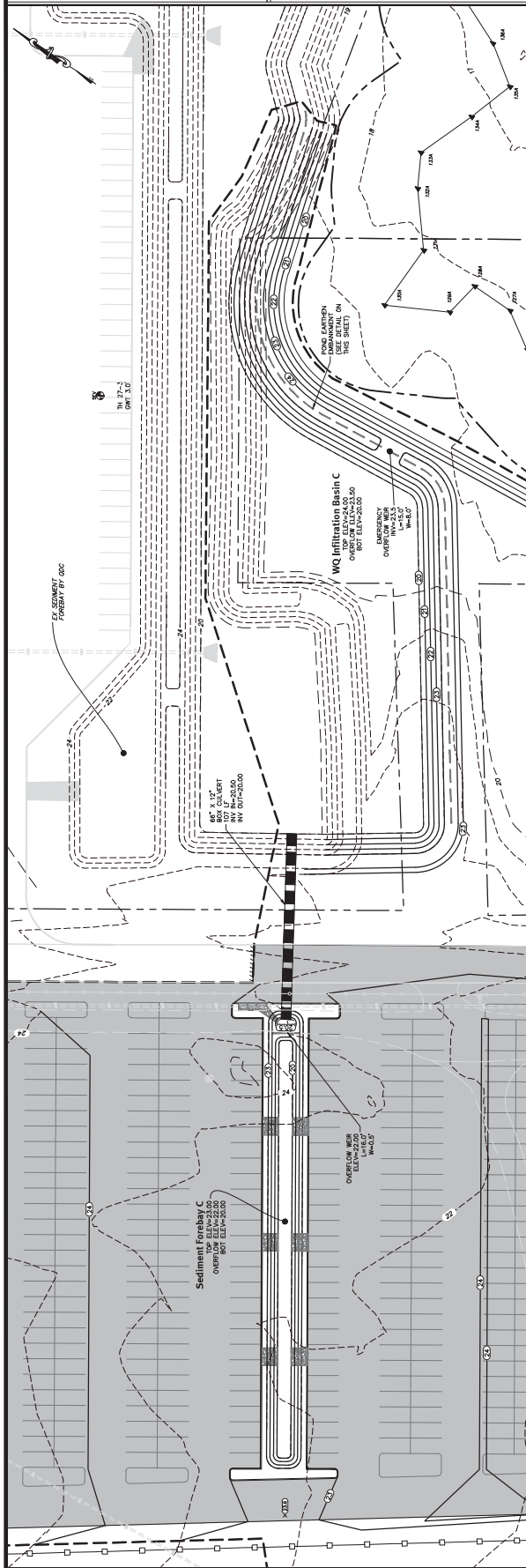
**QDC PORT OF
DAVISVILLE LAYDOWN
EXPANSION**

Detail Sheet-2

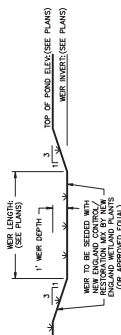
QDC PARCEL 27 & 28
AP 192 LOTS 1, 2 & 8
THOMPSON ROAD

North Davisville District
Onset Business Park

	DRAWING NO.
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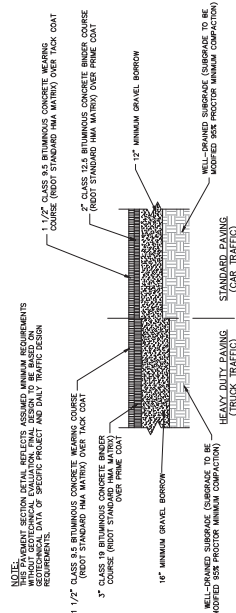
26722
-8

Water Quality Infiltration Basin C



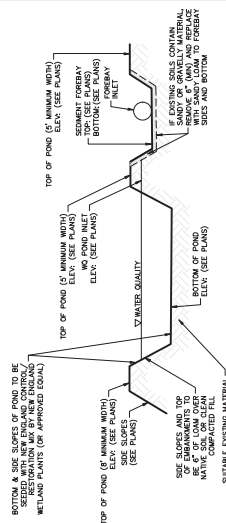
Emergency Overflow Weir

NOT TO SCALE



Typical Pavement Section

NOT TO SCALE



WMO INFILTRATION POND

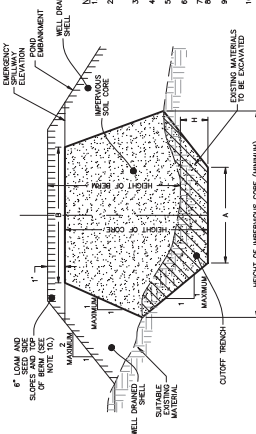
NOT TO SCALE



on Pond BMP System

BERM HEIGHT (FT)	TOP WIDTH OF CORE - B (FT)
0-6.5	8.2
6.6-9.8	9.2
9.9-13.1	9.8
13.2-16.4	10.8
16.5-19.7	11.5

- [illegible]



Pond Earthen Embankment

WANT TO COME

DESCRIPTION	WD-C
TOP OF POND ELEVATION	24.00
100 YEAR STORM ELEVATION	23.69
10 YEAR STORM ELEVATION	21.71
1 YEAR STORM ELEVATION	20.48
WD STORM ELEVATION	20.01
BOTTOM OF POND ELEVATION	20.00
SEASONAL HIGH GWL ELEVATION	4.00
SOIL EVALUATION	TH-27-4

NOTE: LIMITS OF INFILTRATION POND TO BE STAKED OUT AND NOT USED AS A TEMPORARY SEDIMENT BASIN DURING CONSTRUCTION (NO CONSTRUCTION TRAFFIC ALLOWED WITHIN FILTER LIMITS)