



State of Rhode Island
Coastal Resources Management Council
Oliver H. Stedman Government Center
4808 Tower Hill Road, Suite 3
Wakefield, RI 02879-1900

(401) 783-3370
Fax (401) 783-2069

PUBLIC NOTICE

File Number: 2022-08-058 Date: October 3, 2022

This office has under consideration the application of:

ODI Realty LLC
76 Jefferson Blvd
Warwick, RI 02888

for a State of Rhode Island Assent to construct and maintain a shoreline protection facility consisting of a 152 foot long riprap revetment. No variance is required

Project Location:	605 Budlong Farm Road
City/Town:	Warwick
Plat/Lot:	369 / 108
Waterway:	Greenwich Bay

Plans of the proposed work can be requested at Cstaff1@crmc.ri.gov.

In accordance with the Administrative Procedures Act (Chapter 42-35 of the Rhode Island General Laws) you may request a hearing on this matter.

You are advised that if you have good reason to enter protests against the proposed work it is your privilege to do so. It is expected that objectors will review the application and plans thoroughly, visit site of proposed work if necessary, to familiarize themselves with the conditions and cite what law or laws, if any, would in their opinion be violated by the work proposed.

If you desire to protest, you must attend the scheduled hearing and give sworn testimony. A notice of the time and place of such hearing will be furnished you as soon as possible after receipt of your request for hearing. If you desire to request a hearing, to receive consideration, it should be in writing (**with your correct mailing address, e-mail address and valid contact number**) and be received at this office on or before **November 2, 2022**.

Please email your comments/hearing requests to: cstaff1@crmc.ri.gov; or mail via USPS to: Coastal Resources Management Council; O. S. Government Center, 4808 Tower Hill Road, Rm 116; Wakefield, RI 02879.

/ajt

CRMC Mailing List for ODI Realty LLC
CRMC File Number 2022-08-058

ODI Realty LLC
76 Jefferson Blvd
Warwick, RI 02888

Abutters:

Norman W & Margaret Leard III
53 Budlong Farm Road
Warwick RI 02886

Leonard T Maynard Trust
597 Buttonwoods Ave
Warwick RI 02886

CRMC (2022-08-058)
O. S. Government Center
4808 Tower Hill Road
Wakefield, RI 02879

SITE IMPROVEMENT PLANS for a PROPOSED

RIPRAP REVETMENT

605 BUDLONG FARM ROAD
WARWICK, RHODE ISLAND
AP 369, LOT 108

ZONING DISTRICT: A-15

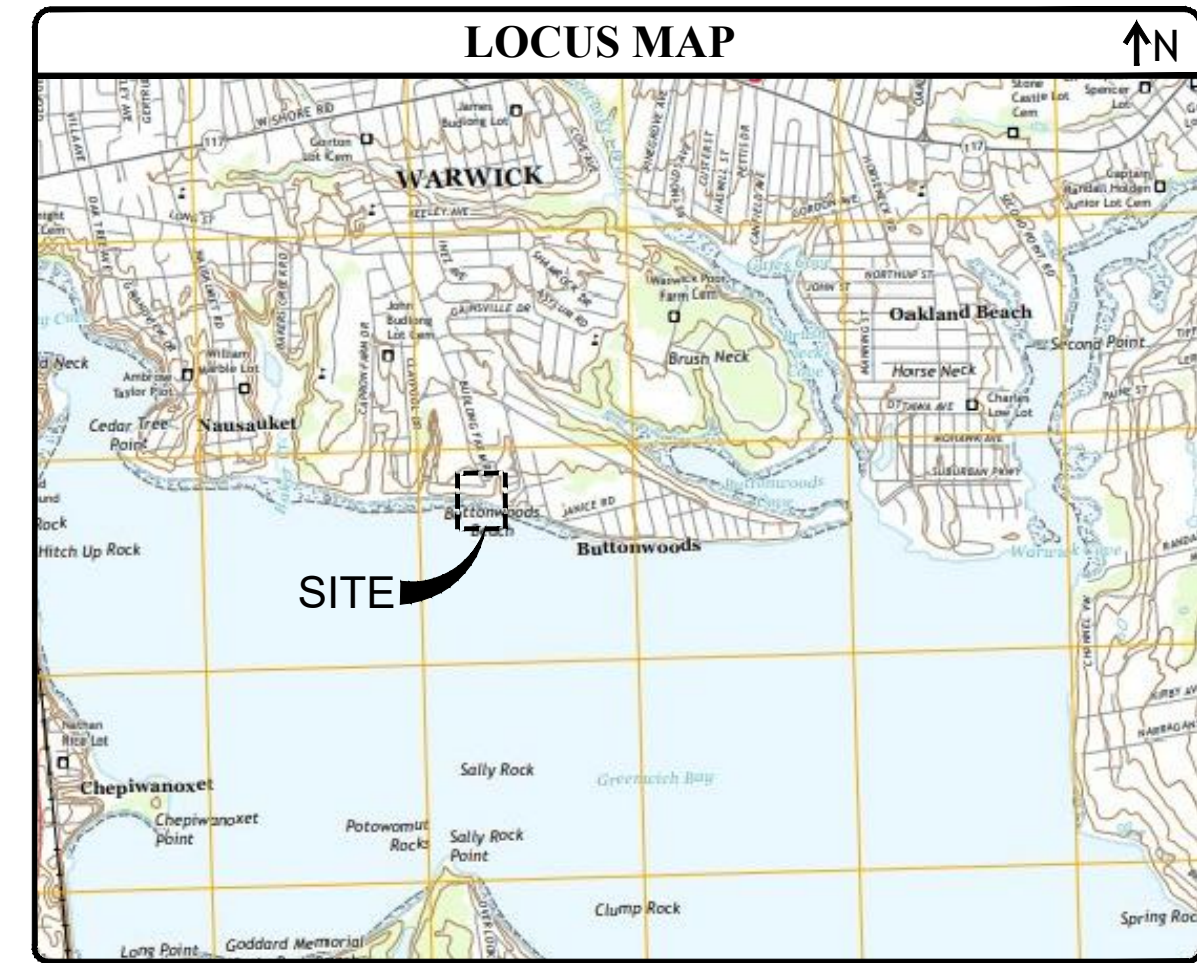


TABLE 1: TIDAL AND STORM SURGE BENCHMARKS

BENCHMARK	ELEVATION (FT-MLLW)	ELEVATION (FT-NAVD88)
MEAN LOW WATER (MLW)	0.17 ⁽¹⁾	-2.17 ⁽¹⁾
MEAN HIGH WATER (MHW)	4.33 ⁽¹⁾	1.99 ⁽¹⁾
10-YEAR STILLWATER EL.	--	6.9 ⁽²⁾
50-YEAR STILLWATER EL.	--	11.2 ⁽²⁾
100-YEAR STILLWATER EL.	--	13.2 ⁽²⁾

NOTES:
1. TIDAL BENCHMARKS OBTAINED FROM NOAA TIDAL ELEVATIONS FOR CONIMICUT LIGHT, RI (STATION 8452944), ACCEPTED MAY 6, 2020.
2. STORM SURGE ELEVATIONS OBTAINED FROM NATIONAL FLOOD INSURANCE PROGRAM, FIRM FLOOD INSURANCE RATE MAP, KENT COUNTY, RHODE ISLAND (ALL JURISDICTIONS) PANEL 141 AND 251, CITY OF WARWICK, MAP NO. 44003C0141H, MAP REVISED: SEPTEMBER 18, 2013. FEDERAL EMERGENCY MANAGEMENT AGENCY.

OWNER/APPLICANT	CIVIL ENGINEER	SURVEYOR
ODI REALTY LLC ATTN: SALI SIHARAJ 76 JEFFERSON BLVD. WARWICK, RI 02888	JOE CASALI ENGINEERING, INC. 300 POST ROAD WARWICK, RI 02888 (401) 944-1300 phone (401) 944-1313 fax	WATERMAN ENGINEERING CO. 46 SUTTON AVENUE EAST PROVIDENCE, RI 02914 (401) 438-5775 phone (401) 438-5773 fax

- GENERAL NOTES:**
- CLASS I LIMITED CONTENT BOUNDARY AND PARTIAL CLASS III TOPOGRAPHIC/EXISTING CONDITIONS SURVEY COMPLETED BY WATERMAN ENGINEERING CO., INC., 46 SUTTON AVENUE, EAST PROVIDENCE, RI IN OCTOBER 2021 (SEE REFERENCE PLAN 1).
 - THE LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND "DIG-SAFE" MUST BE NOTIFIED PRIOR TO COMMENCING ANY CONSTRUCTION OPERATIONS. RESTORATION AND REPAIR OF DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO ADDITIONAL COST TO THE OWNER. NO EXCAVATION SHALL COMMENCE UNTIL ALL UTILITY COMPANIES AND/OR TOWN STAKEHOLDERS, WHOSE FACILITIES MIGHT BE AFFECTED BY ANY WORK, TO BE PERFORMED BY THE CONTRACTOR, ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCE.
 - ELEVATIONS FOR TIDAL BENCHMARKS (MLW & MHW) WERE OBTAINED FROM THE NOAA TIDAL GAUGE FOR CONIMICUT LIGHT BASED ON 1983-2001 TIDAL EPOCH. ELEVATIONS FOR STORM SURGE WERE OBTAINED FROM THE FEMA FLOOD INSURANCE STUDY FOR KENT COUNTY DATED DECEMBER 3, 2010.
 - ALL ELEVATIONS REFERENCE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). THE HORIZONTAL DATUM FOR THIS PROJECT IS RHODE ISLAND STATE PLANE COORDINATE SYSTEM (NAD 83).
 - THIS SITE LIES PARTIALLY IN ZONE 'VE' (EL. 15), ZONE 'AE' (EL. 13 & 11) AND IN ZONE X (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD), AS DESIGNATED ON THE NATIONAL FLOOD INSURANCE PROGRAM, FIRM FLOOD INSURANCE RATE MAP, KENT COUNTY, RHODE ISLAND (ALL JURISDICTIONS) PANEL 141 AND 251, CITY OF WARWICK, MAP NO. 44003C0141H, MAP REVISED: SEPTEMBER 18, 2013. FEDERAL EMERGENCY MANAGEMENT AGENCY.
 - SOILS EXISTING ON THE SITE CONSIST OF CANTON AND CHARLTON FINE SANDY LOAMS, 0 TO 3 PERCENT SLOPES (CeC) AND RIDGE BURY LEICESTER, AND WHITMAN SOILS, 0 TO 8 PERCENT SLOPES, EXTREMELY STONY (Rf).

LEGEND:

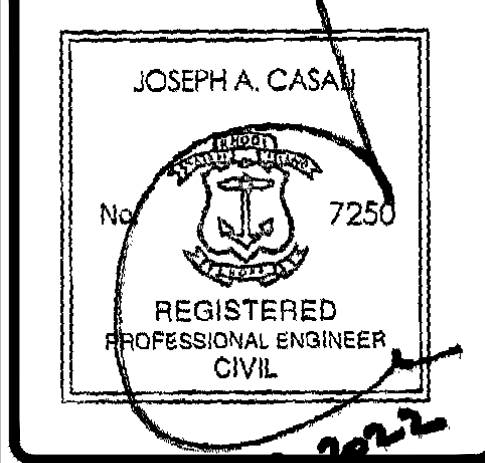
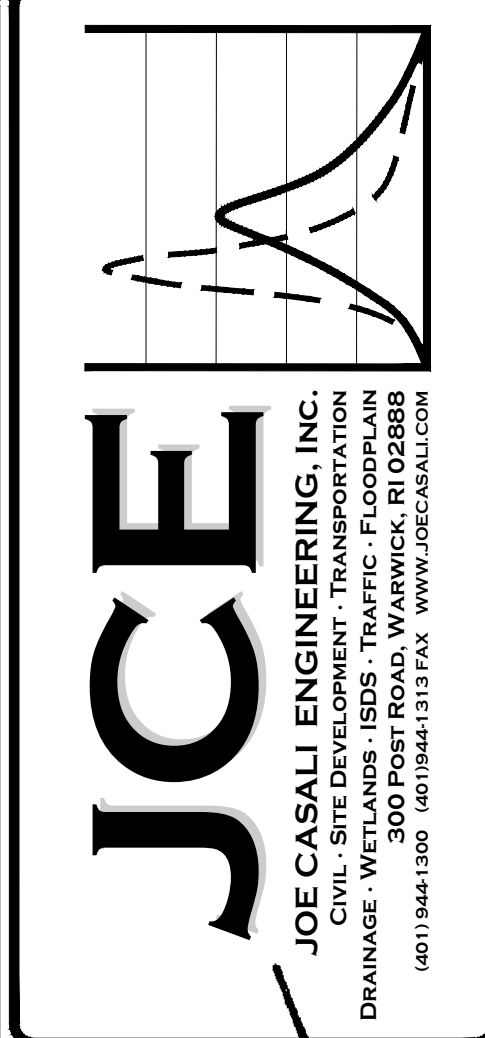
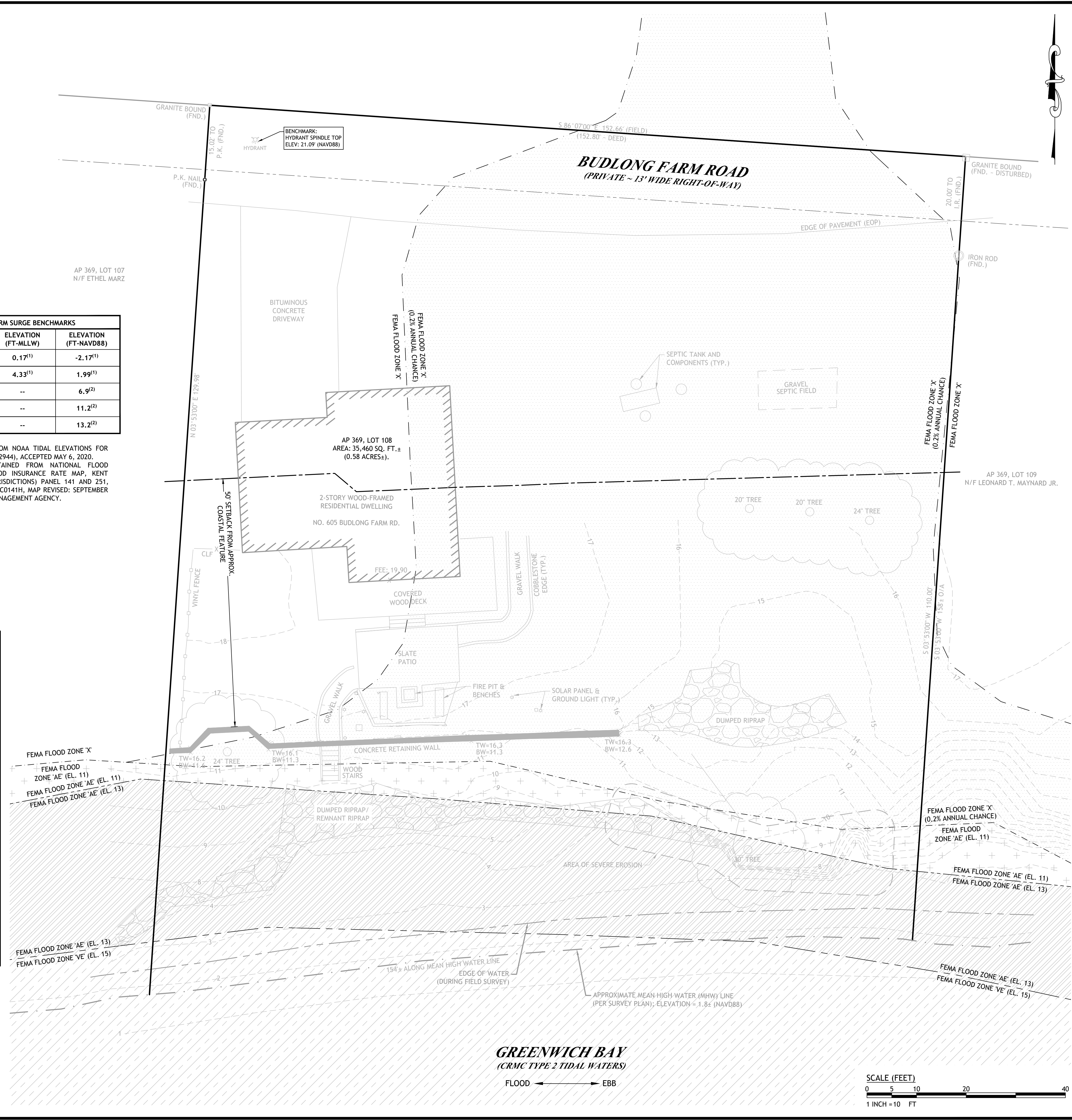
---	EXISTING PROPERTY LINE
---	WETLAND EDGE
WF-B8	WETLAND FLAG
---	50' PERIMETER WETLAND
---	100' RIVERBANK WETLAND
---	EXISTING EASEMENT
163.8x	EXISTING SPOT ELEVATION
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	EXISTING STONE WALL
---	EXISTING CURB
---	PROPOSED CURB
---	EXISTING FENCE
---	EXISTING DRAIN LINE
---	PROPOSED DRAIN LINE
---	EXISTING DRAINAGE MANHOLE
---	PROPOSED DRAINAGE MANHOLE
---	EXISTING CATCH BASIN
---	PROPOSED CATCH BASIN
UPFT2	EXISTING UTILITY POLE
TEL	EXISTING TELECOM DUCTBANK
E	EXISTING ELECTRIC DUCTBANK
GAS	EXISTING GAS LINE
W	EXISTING WATER LINE
WG	WATER GATE
S	EXISTING SEWER LINE
---	EXISTING SEWER MANHOLE
N/F	NOW OR FORMERLY
---	TREELINE
---	SILT FENCE/STRAW WATTLE
---	LIMIT OF DISTURBANCE

INDEX OF DRAWINGS

SHEET NO.	PLAN
1	OVERALL EXISTING CONDITIONS PLAN
2	SITE PREPARATION PLAN
3	PROPOSED REVETMENT PLAN
4	NOTES & DETAILS

REFERENCE PLAN

1 of 1	BOUNDARY & PARTIAL TOPOGRAPHIC SURVEY PLAN (DRAWING #: SU1), PREPARED BY WATERMAN ENGINEERING COMPANY, OCTOBER 2021.
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PROPOSED RIPRAP REVETMENT
605 BUDLONG FARM ROAD
WARWICK, RHODE ISLAND
AP 369, LOT 108

REVISIONS:

NO.	DATE	DESCRIPTION

DESIGNED BY: DRD
DRAWN BY: SP/SD
CHECKED BY: JAC
DATE: MARCH 2022
PROJECT NO: 21-51

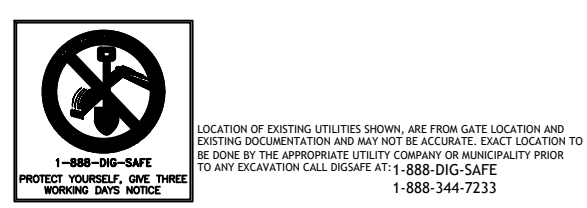
PRELIMINARY, NOT FOR CONSTRUCTION

OVERALL EXISTING CONDITIONS PLAN

SHEET 1 OF 4



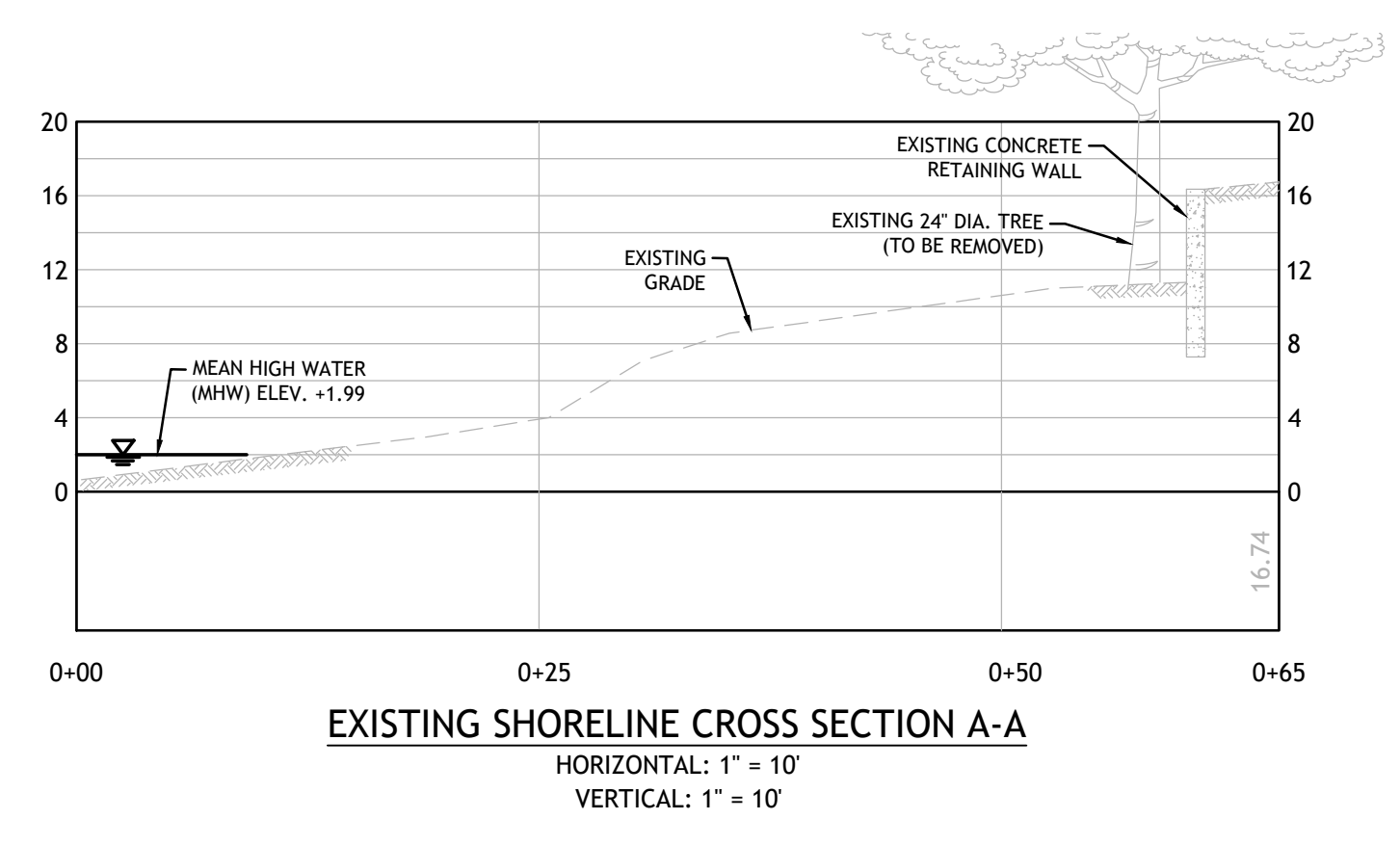
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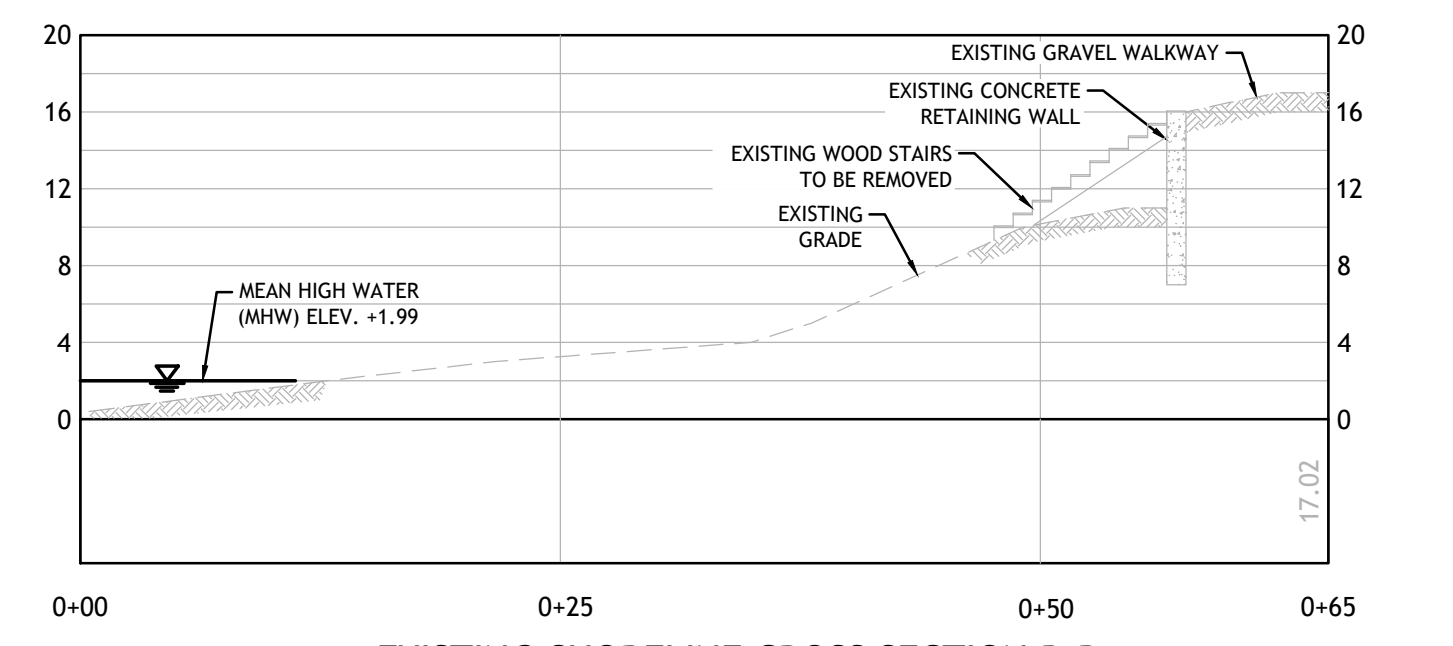
GREENWICH BAY
(CRMC TYPE 2 TIDAL WATERS)

FLOOD ← → EBB

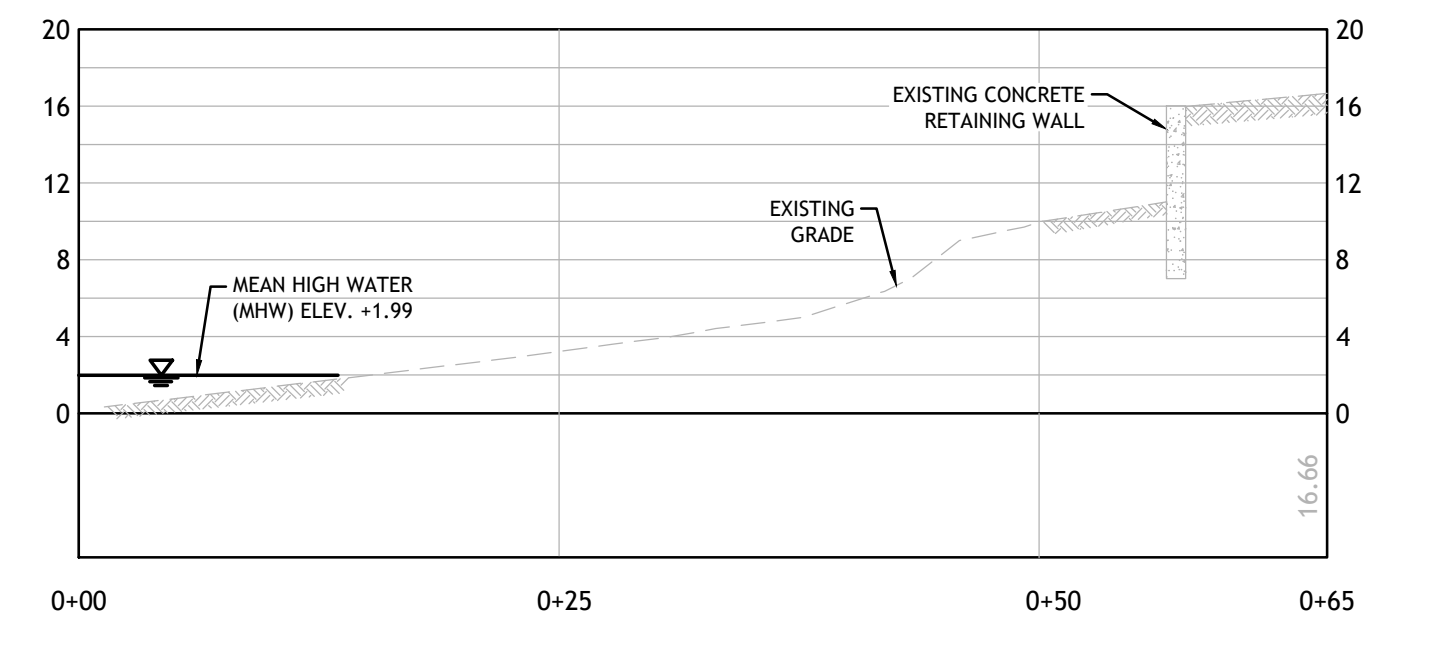




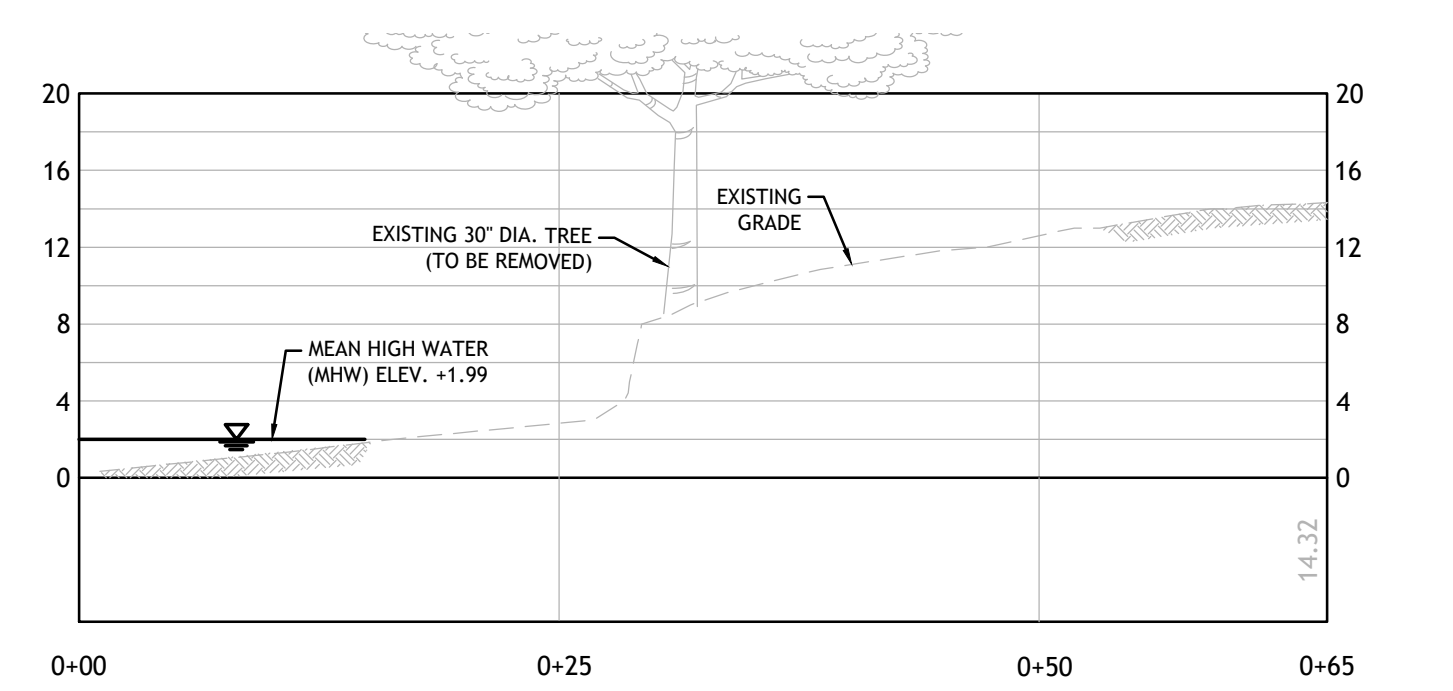
EXISTING SHORELINE CROSS SECTION A-A
HORIZONTAL: 1" = 10'
VERTICAL: 1" = 10'



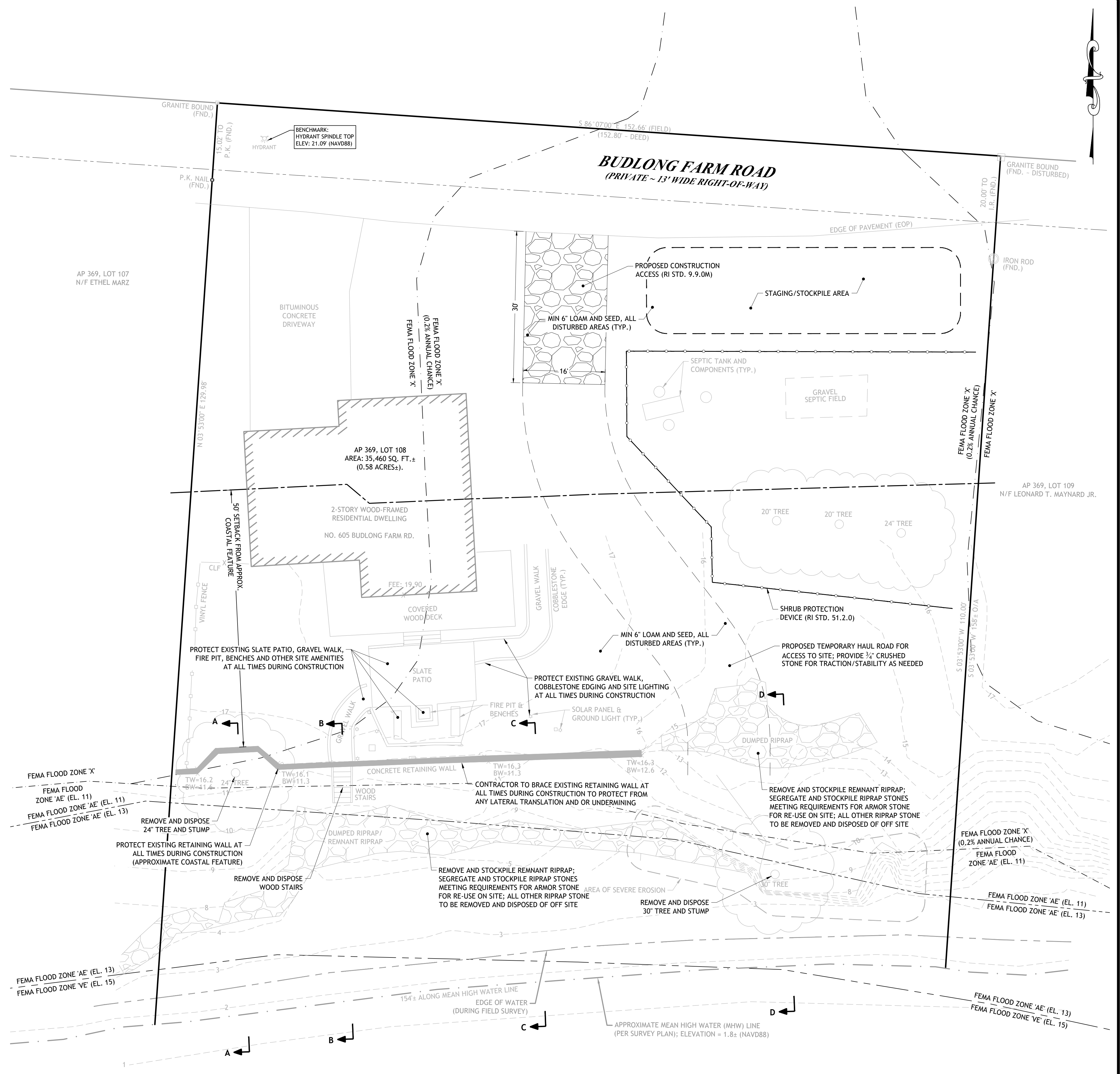
EXISTING SHORELINE CROSS SECTION B-B
HORIZONTAL: 1" = 10'
VERTICAL: 1" = 10'



EXISTING SHORELINE CROSS SECTION C-C
HORIZONTAL: 1" = 10'
VERTICAL: 1" = 10'

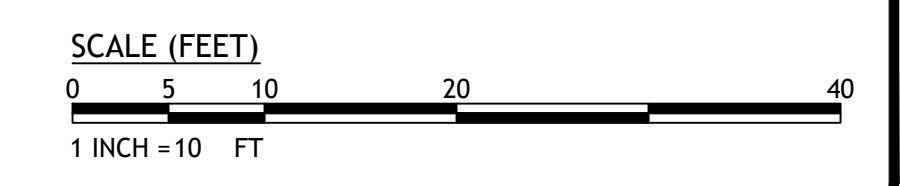


EXISTING SHORELINE CROSS SECTION D-D
HORIZONTAL: 1" = 10'
VERTICAL: 1" = 10'



GREENWICH BAY
(CRMC TYPE 2 TIDAL WATERS)

FLOOD ← → EBB



JOSEPH A. CASALI
No. 7250
REGISTERED PROFESSIONAL ENGINEER
CIVIL

PROPOSED RIPRAP REVELTMENT
605 BUDLONG FARM ROAD
WARWICK, RHODE ISLAND
AP 369, LOT 108

REVISIONS:

NO.	DATE	DESCRIPTION

DESIGNED BY:	DRD
DRAWN BY:	SP/SD
CHECKED BY:	JAC
DATE:	MARCH 2022
PROJECT NO.:	21-51

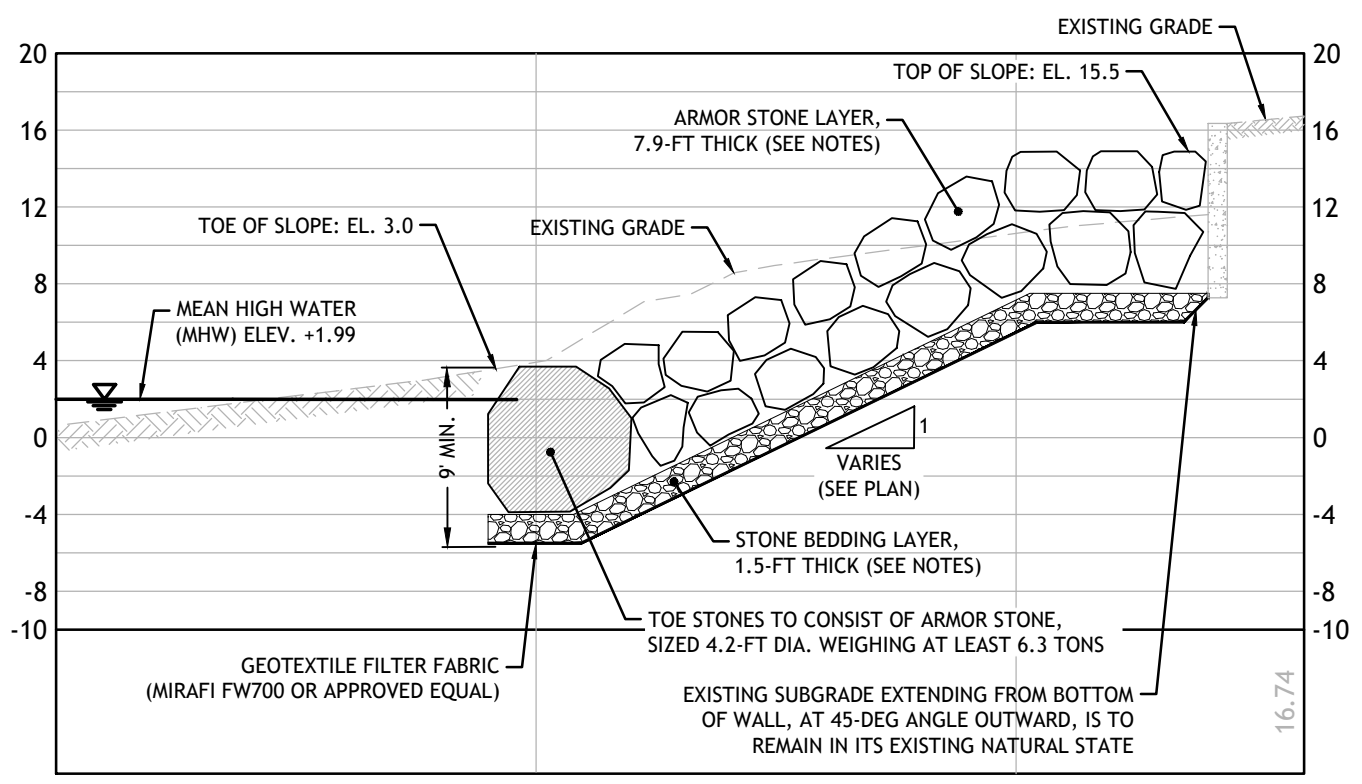
PRELIMINARY, NOT FOR CONSTRUCTION

SITE PREPARATION PLAN

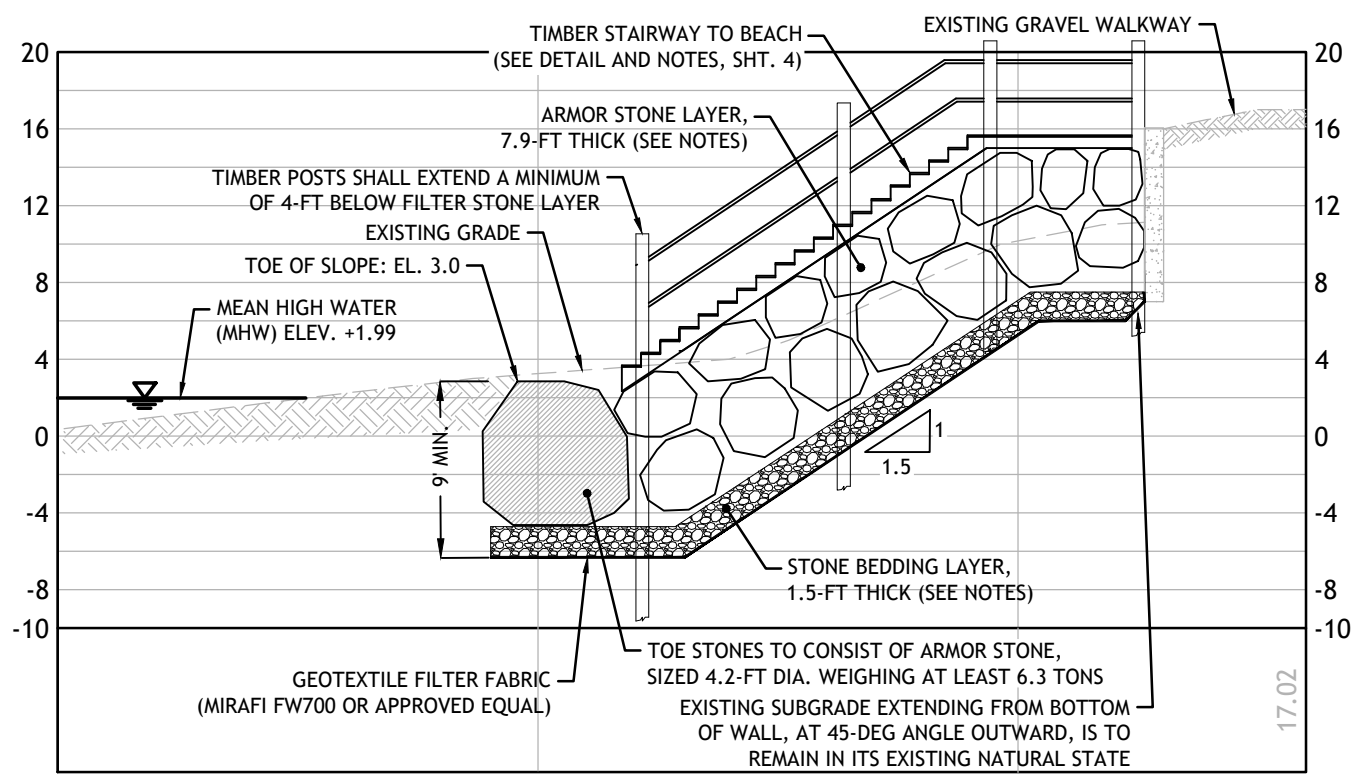
SHEET 2 OF 4



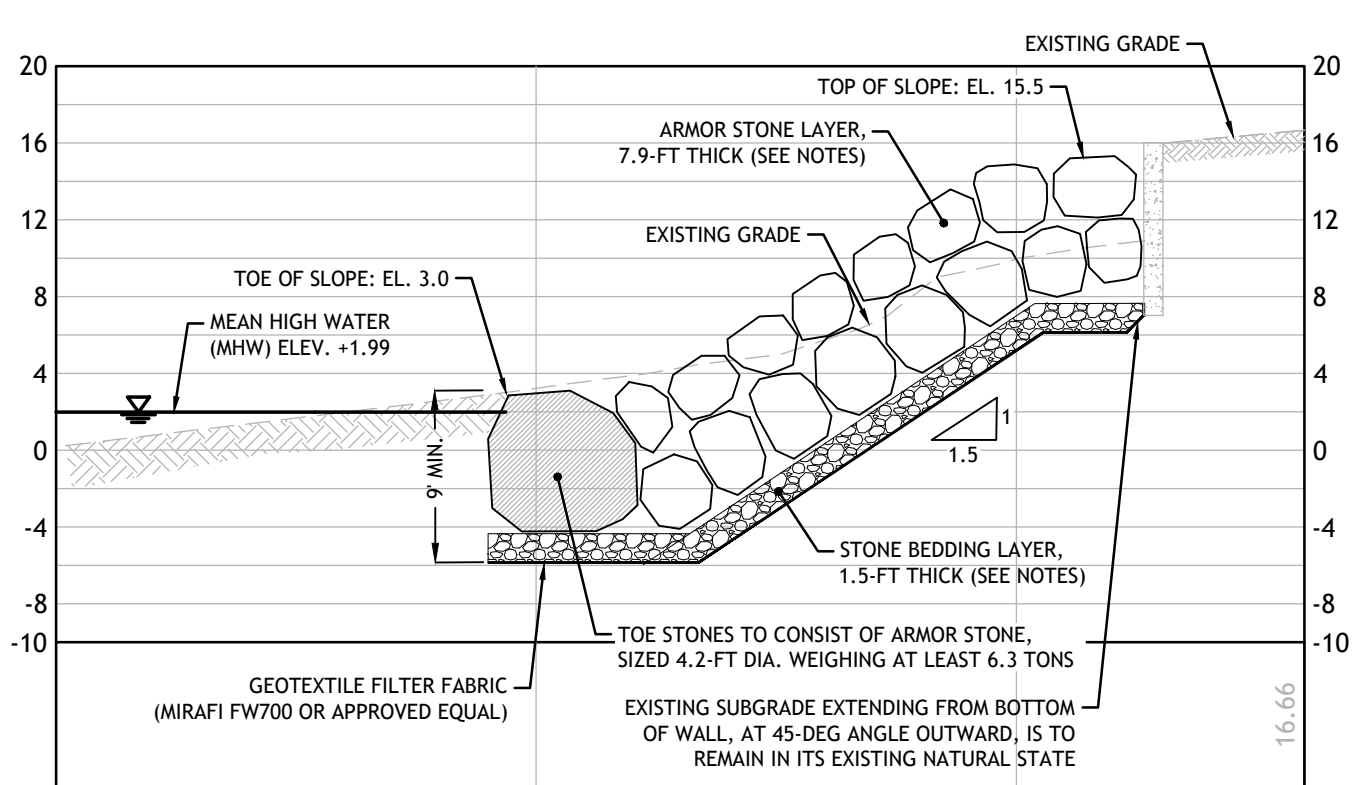
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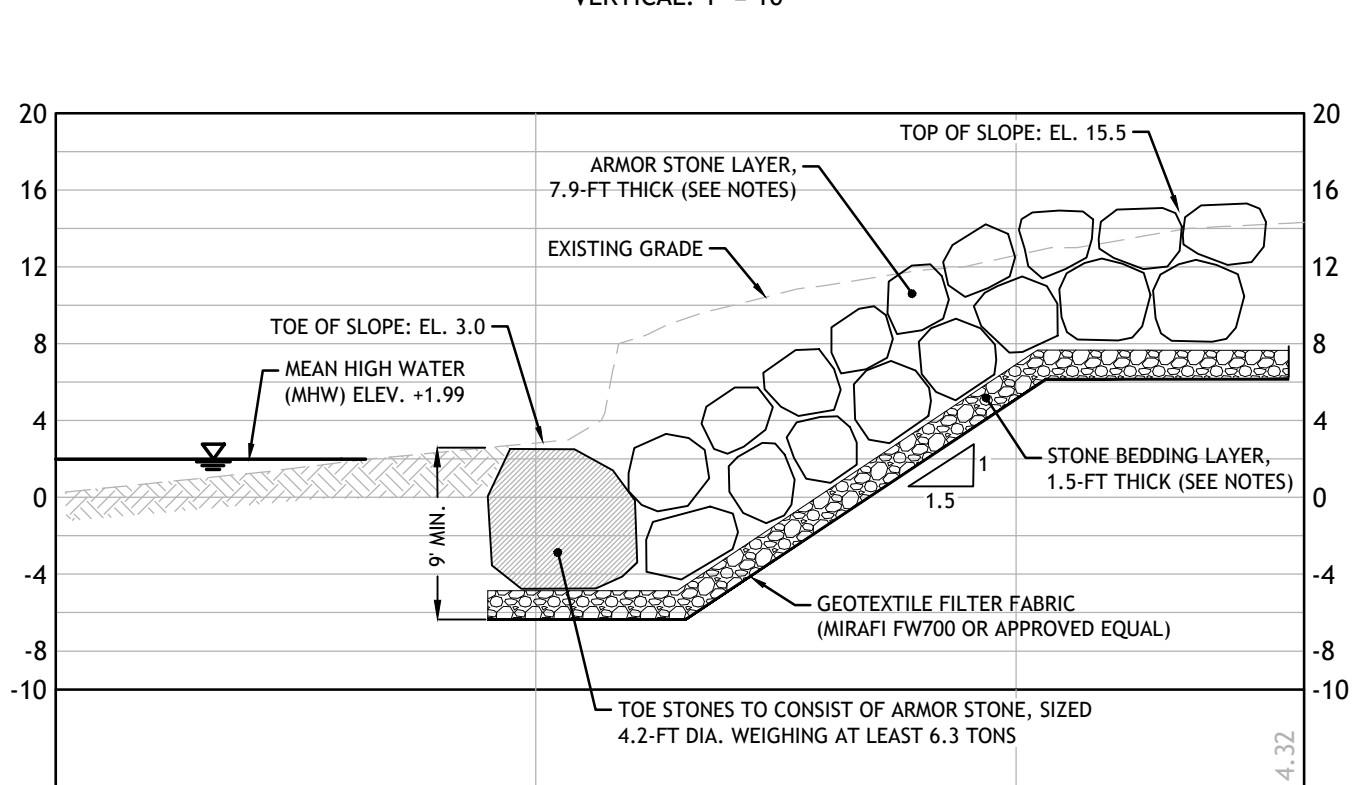
PROPOSED SHORELINE CROSS SECTION A-A
HORIZONTAL: 1" = 10'
VERTICAL: 1" = 10'



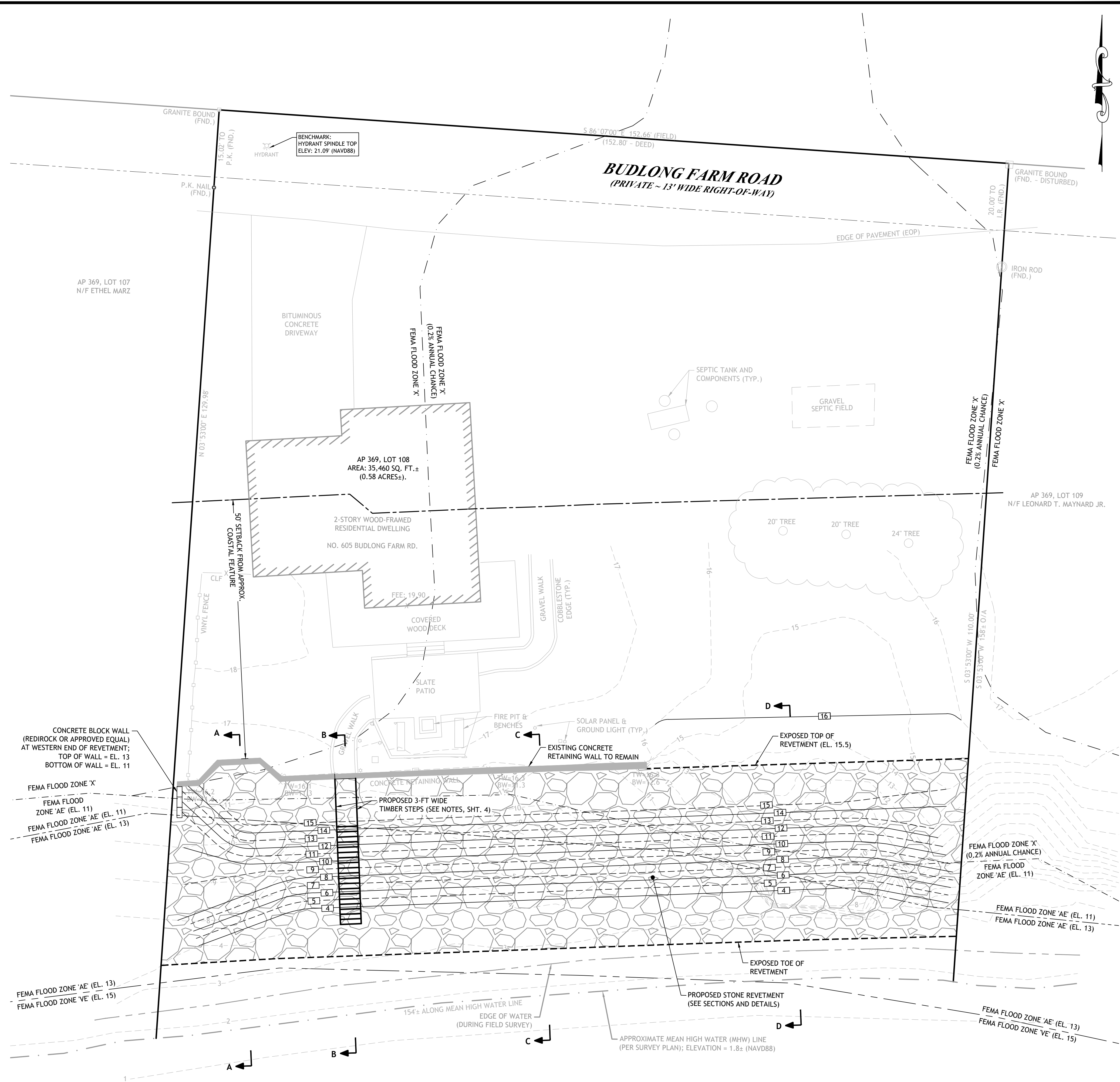
PROPOSED SHORELINE CROSS SECTION B-B
HORIZONTAL: 1" = 10'
VERTICAL: 1" = 10'



PROPOSED SHORELINE CROSS SECTION C-C
HORIZONTAL: 1" = 10'
VERTICAL: 1" = 10'



PROPOSED SHORELINE CROSS SECTION D-D
HORIZONTAL: 1" = 10'
VERTICAL: 1" = 10'



GREENWICH BAY
(CRMC TYPE 2 TIDAL WATERS)

FLOOD ← → EBB



JCE
JOE CASALI ENGINEERING, INC.
CIVIL SITE DEVELOPMENT - TRANSPORTATION
1505 W. STATE ST. SUITE 100
3000 POST ROAD, WARWICK, RI 02888
(401) 944-1300 (401) 944-1313 FAX WWW.JCEENGINEERING.COM

JOSEPH A. CASALI
No. 7250
REGISTERED PROFESSIONAL ENGINEER
CIVIL

PROPOSED RIPRAP REVETMENT
605 BUDLONG FARM ROAD
WARWICK, RHODE ISLAND
AP 369, LOT 108

REVISIONS:

NO.	DATE	DESCRIPTION

DESIGNED BY: DRD
DRAWN BY: SP/SD
CHECKED BY: JAC
DATE: MARCH 2022
PROJECT NO: 21-51

PRELIMINARY, NOT FOR CONSTRUCTION

PROPOSED REVETMENT PLAN

SHEET 3 OF 4
RECEIVED 8/10/2022
COASTAL RESOURCES MANAGEMENT COUNCIL

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SOIL EROSION AND SEDIMENTATION CONTROL NOTES

1. THE SILT FENCE ILLUSTRATED ON THESE PLANS SHALL SERVE AS THE STRICT LIMIT OF DISTURBANCE FOR THE PROJECT.
2. THE LIMITS OF CLEARING, GRADING, AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE OF THESE LIMITS, AS DEPICTED ON THE PLAN SHALL BE TOTALLY UNDISTURBED, TO REMAIN IN NATURAL CONDITION.
3. ALL DISTURBED SLOPES EITHER NEWLY CREATED OR CURRENTLY EXPOSED SHALL BE SEEDED, PROTECTED AND MAINTAINED BY THE CONTRACTOR. THE CONTRACTOR SHALL REGULARLY CHECK ALL SEEDED AREAS TO ENSURE THAT A GOOD STANDING OF VEGETATION IS MAINTAINED.
4. ALL SILT FENCE, TEMPORARY TREATMENT (HAY, STRAW, ETC.) AND TEMPORARY EROSION PROTECTION SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
5. STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS. THEY SHALL HAVE SIDE SLOPES OF NO GREATER THAN 2:1 AND SHALL BE TEMPORARILY SEEDED AND/OR STABILIZED PER CONTRACT SPECIFICATIONS.
6. THE SILT FENCE/HAYBALES SHALL BE CHECKED BY THE CONTRACTOR ON A WEEKLY BASIS AND AFTER EACH STORM FOR UNDERMINING OR DETRIORATION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY SILT FENCE/HAYBALES AS NEEDED. THE CONTRACTOR SHALL CLEAN THE ACCUMULATED SEDIMENT IF HALF OF THE ORIGINAL HEIGHT OF THE HAY-BALES BECOMES FILLED WITH SEDIMENTS.
7. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL SOIL EROSION AND SEDIMENT CONTROLS ON THE PROJECT SITE FOR THE ENTIRE DURATION OF THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL FOLLOW THE DIRECTION OF THE RESIDENT ENGINEER, TOWN ENGINEER, OR OWNER WITH REGARD TO INSTALLATION, MAINTENANCE, AND REPAIR OF ALL SOIL EROSION AND SEDIMENTATION CONTROLS ON THE PROJECT SITE. TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROLS (HAYBALES, SILT FENCE, ETC.) SHALL BE MAINTAINED UNTIL ALL EXPOSED SOILS ARE SATISFACTORILY STABILIZED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AND/OR RESEEDING ALL AREAS THAT DO NOT DEVELOP WITHIN ONE YEAR FROM THE COMPLETION OF CONSTRUCTION.
8. ALL REFERENCED SOIL EROSION AND SEDIMENTATION CONTROLS INCLUDING MATERIALS USED, APPLICATION RATES AND THE INSTALLATION PROCEDURES SHALL BE PERFORMED PER THE "RHODE ISLAND EROSION AND SEDIMENTATION HANDBOOK", DATED 1993 AMENDED 2014.

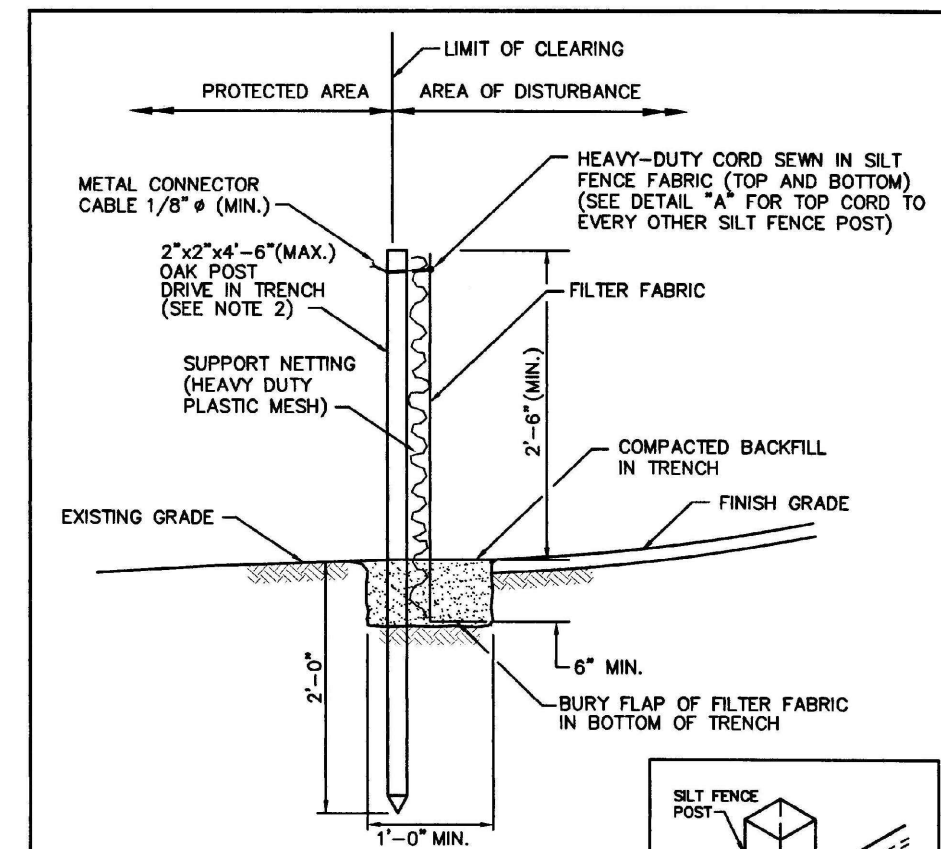
SEQUENCE & STAGING OF PROPOSED CONSTRUCTION ACTIVITIES:

THIS IS A GENERAL SEQUENCE AND STAGING OF CONSTRUCTION ACTIVITIES. A DETAILED SEQUENCE WITH TIME LINES SHALL BE ESTABLISHED BY THE CONTRACTOR IN COORDINATION WITH THE OWNER AND ENGINEER PRIOR TO THE START OF CONSTRUCTION.

1. PLACE SEDIMENTATION BARRIERS (SILT FENCE) AS SHOWN ON THE PLANS AND AS STAKED OUT IN THE FIELD. IN NO CASE IS THE LIMIT OF WORK TO EXTEND BEYOND THE SEDIMENTATION BARRIERS.
2. BEGIN SITE WORK (CLEARING AND GRUBBING, EXCAVATING AND GRADING ETC.). ANY TOPSOIL IS TO STRIPPED AND STOCKPILED WITHIN DISTURBANCE LIMITS. THE STOCKPILES ARE TO BE PROTECTED BY A ROW OF SEDIMENTATION BARRIERS. STOCKPILES TO BE COVERED OR TEMPORARILY SEEDED.
3. PERFORM DEMOLITION AS DEPICTED ON THE SITE PREPARATION PLAN. DIVERT ALL THE RUNOFF FROM DISTURBED AREAS TO THE PROPOSED STORMWATER STORAGE AREA.
4. BEGIN PROPOSED GRADING; BRING REVETMENT TO BOTTOM OF BEDDING LAYER. SEED ALL DISTURBED AREAS.
5. INSTALL GEOTEXTILE FILTER FABRIC, STONE BEDDING AND ARMOR STONE. INSTALL STAIRS.
6. MAINTAIN SEDIMENT AND EROSIONS CONTROLS THROUGHOUT CONSTRUCTION, UNTIL PERMANENT STABILIZATION IS ACHIEVED.
7. FINISH LANDSCAPING AND PERMANENT STABILIZATION.
8. REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ONCE VEGETATION HAS BEEN ESTABLISHED TO ALL DISTURBED AREAS.

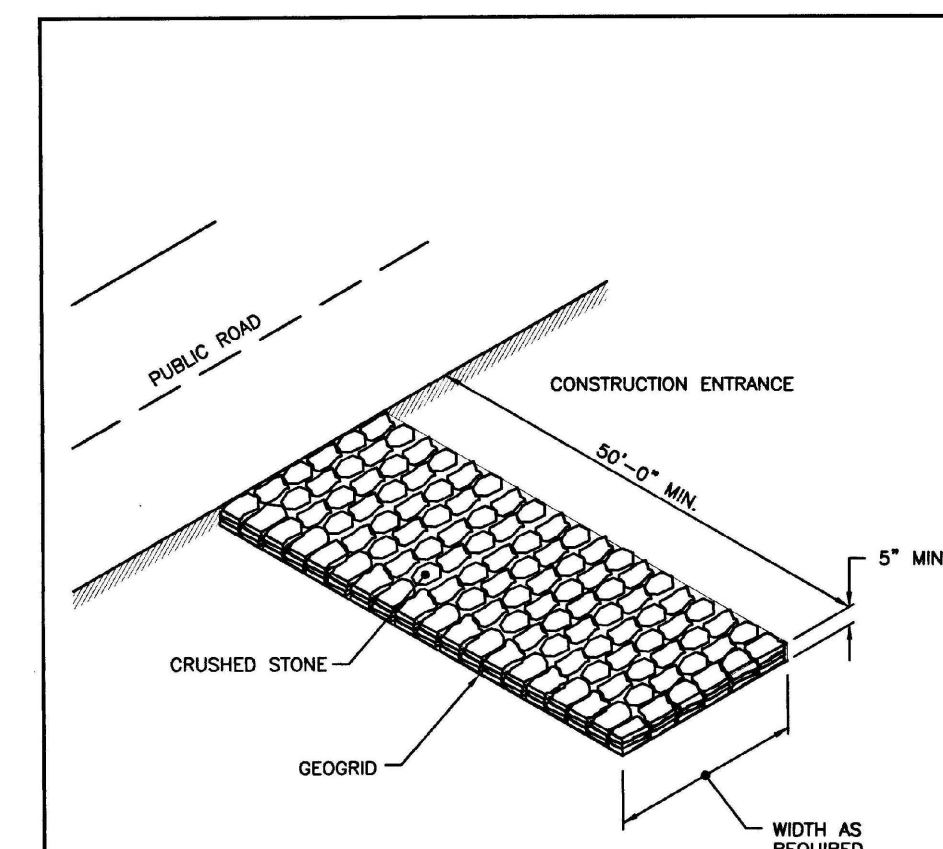
ARMOR STONES NOTES

1. THE CONTRACTOR SHALL LIMIT THE AMOUNT OF EXPOSED SHORELINE DURING CONSTRUCTION SO AS TO MINIMIZE THE CHANCE OF SHORELINE RESSION SHOULD A LARGE STORM EVENT OCCUR DURING THE CONSTRUCTION. IF SUCH AN EVENT IS FORECASTED, THE CONTRACTOR SHALL TEMPORARILY PLACE ARMOR STONE MATERIAL ALONG ANY EXPOSED AREA OF SHORELINE AS A TEMPORARY PROTECTION MEASURE.
2. ARMOR STONE SHALL BE DENSE, SOUND GNEISS, DIORITE, OR BASALT, HAVING A MINIMUM DENSITY OF 165 POUNDS PER CUBIC FOOT.
3. ARMOR STONES SHALL HAVE AN AVERAGE WEIGHT OF NO LESS THAN 10,000 POUNDS (5 TONS), WITH AN AVERAGE DIAMETER OF APPROXIMATELY 4-FT; 50-PERCENT OF STONES SHALL BE LARGER THAN THESE LIMITS. ARMOR STONES SHALL BE NO LESS THAN 7,500 POUNDS (3.8 TONS), AND NO LESS THAN 3.8-FT IN DIAMETER. ARMOR STONES SHALL BE NO LARGER THAN 12,500 POUNDS (6.3 TONS), AND NO LARGER THAN 4.2-FT IN DIAMETER.
4. ARMOR STONE SHALL BE PLACED SUCH THAT THEY DO NOT PROTRUDE SHARPLY FROM THE SLOPE FACE; HOWEVER, THE SLOPE FACE SHALL NOT BE EXCESSIVELY FLAT AND STONES SHALL NOT BE EXCESSIVELY TIGHT.
5. FILTER STONE SHALL CONSIST OF CRUSHED DURABLE STONE, HAVING A MINIMUM DENSITY OF 165 PCF. FILTER STONE SHALL CONFORM TO THE GRADATION REQUIREMENTS FOR NATIONAL STONE ASSOCIATION MODIFIED NSA NO. R-3 RIPRAP STONE, AS PER SECTION M.10.03 OF THE RHODE ISLAND STANDARD DETAILS FOR ROAD AND BRIDGE CONSTRUCTION, WITH ALL LATEST REVISIONS AND AMENDMENTS.
6. THREE POINTS OF CONTACT ARE REQUIRED BETWEEN A STONE AND OTHER STONES WITHIN THE SAME LAYER. STONES SHOULD BE KEVED AND FITTED, MAXIMIZING CONTACT ON ALL SIDES.
7. CONTRACTOR MUST SUBMIT QUARRY SOURCE TO THE OWNER AND ENGINEER FOR ALL STONE MATERIALS PRIOR TO ORDERING OR SHIPPING TO THE SITE.
8. FILTER FABRIC SHALL BE WRAPPED BACK INTO FILTER STONE AT ALL TERMINATIONS.



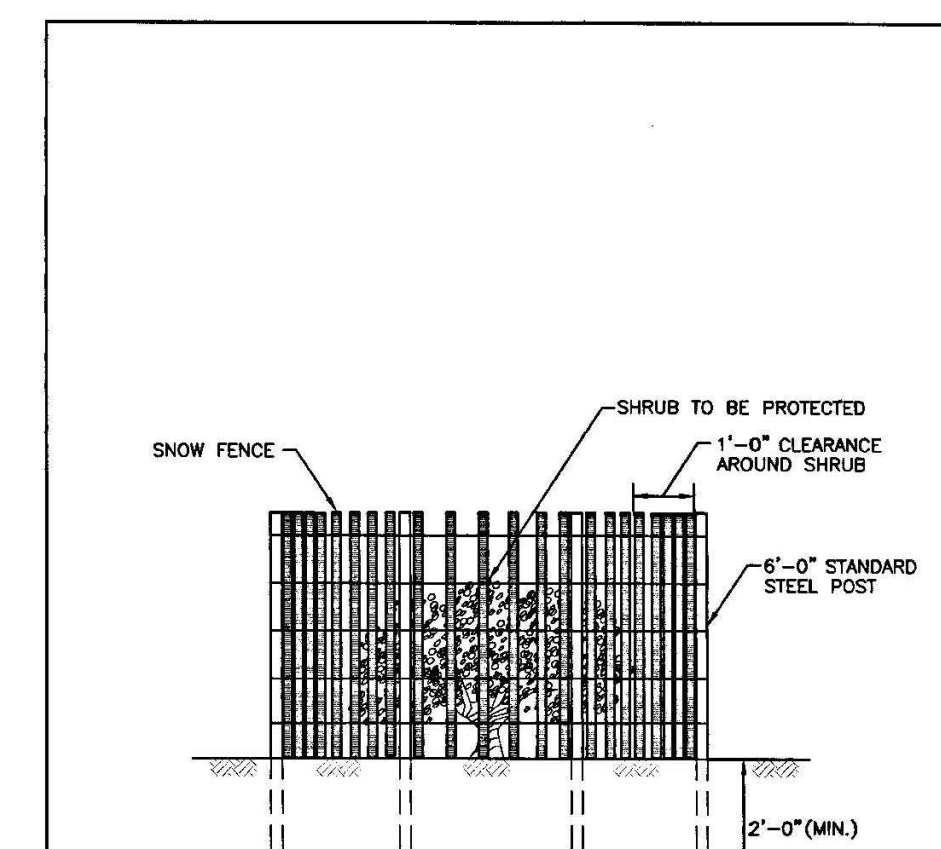
NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE R.I. STANDARD SPECIFICATIONS.
 2. 2"x2"x4'-6" (MAX.) OAK POSTS FOR SILT FENCE SHALL BE LOCATED 8'-0" (MAX.) O.C. IN WETLAND AREAS AND 4'-0" (MAX.) O.C. IN WETLAND RAVINE, GULLY OR DROP-OFF AREAS AS SHOWN ON PLANS.
 3. 1"x1"x4'-6" (MIN.) POSTS PERMITTED FOR PRE-FABRICATED SILT FENCE.
 4. SILT FENCE SHALL BE INSTALLED BEFORE ANY GRUBBING OR EARTH EXCAVATION TAKES PLACE.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION			
SILT FENCE DETAIL			
NO.	BY	DATE	R.I. STANDARD
			9.2.0



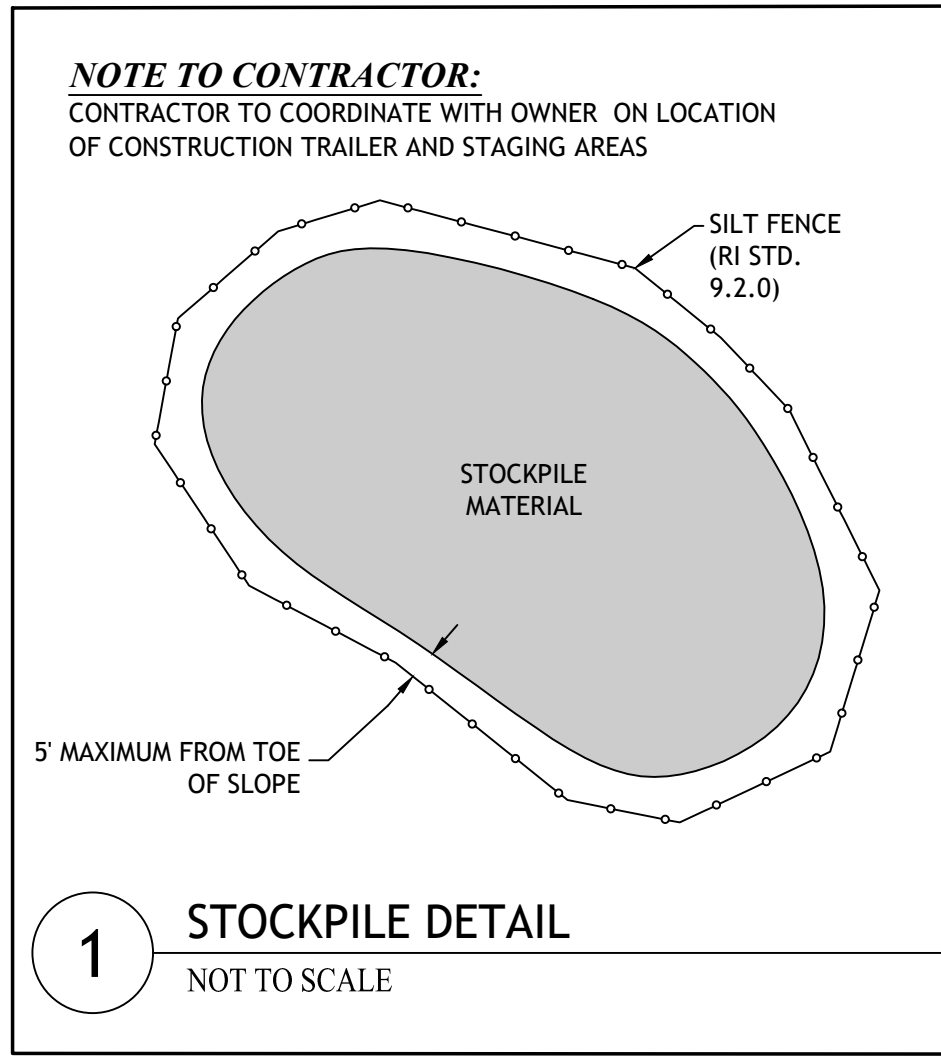
NOTES:
 SHALL BE IN ACCORDANCE WITH SECTION 211 OF THE R.I. STANDARD SPECIFICATIONS.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION			
CONSTRUCTION ACCESS			
NO.	BY	DATE	R.I. STANDARD
			9.9.0

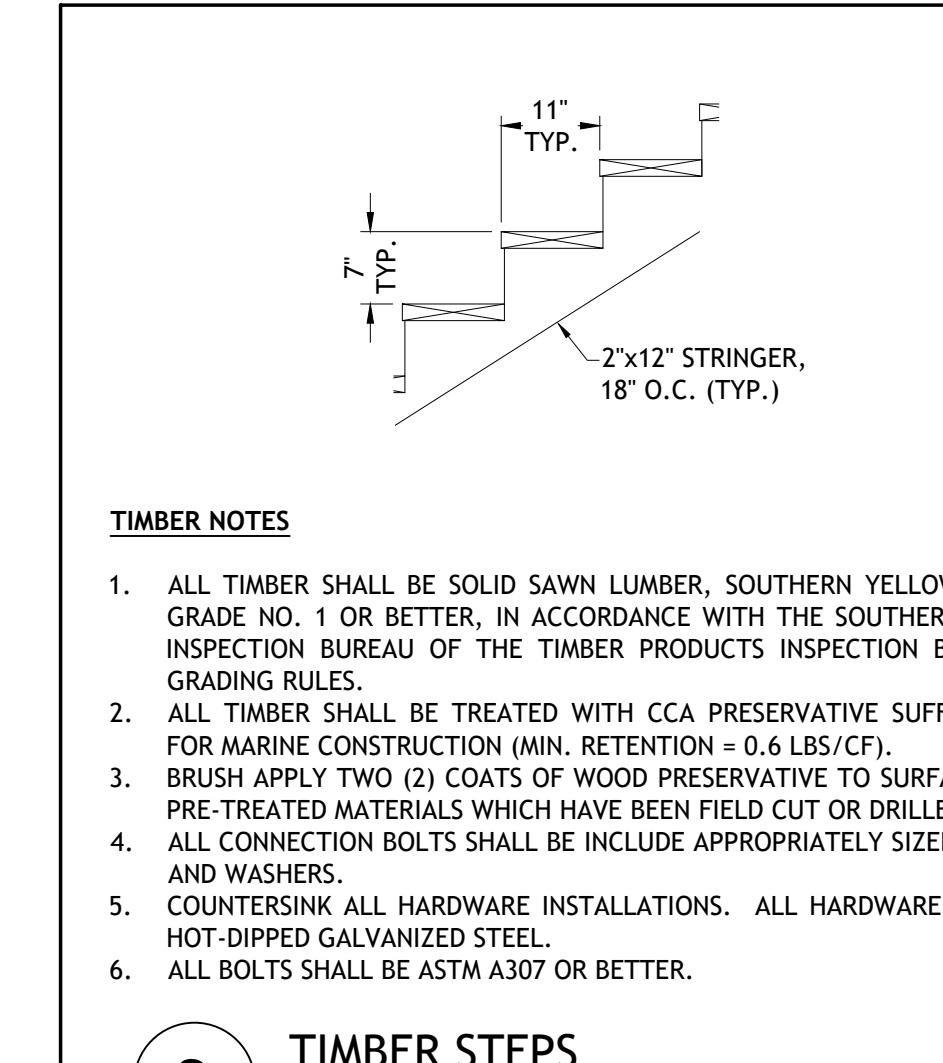


NOTES:
 SHALL BE IN ACCORDANCE WITH SECTION L.11 OF THE R.I. STANDARD SPECIFICATIONS.

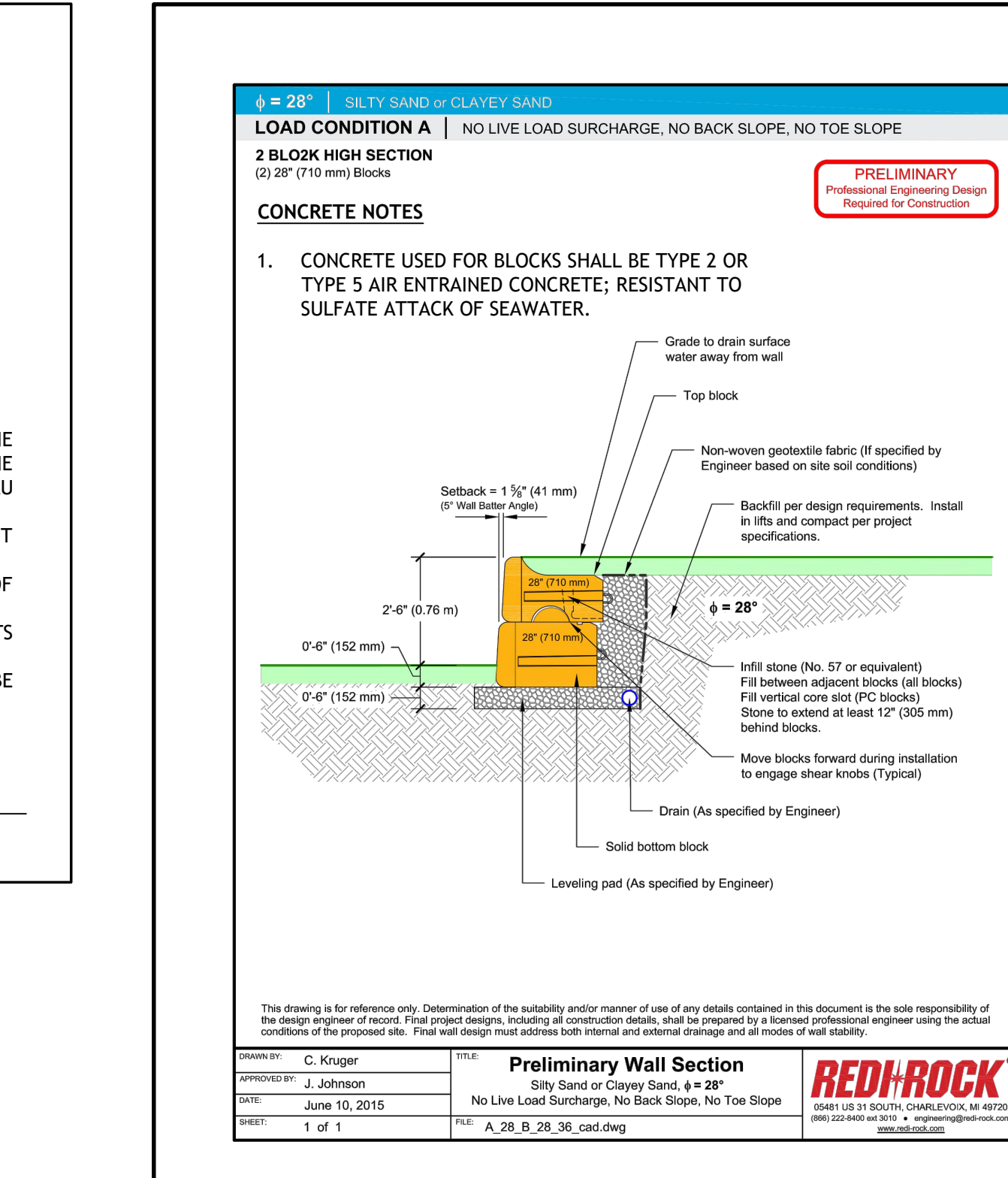
RHODE ISLAND DEPARTMENT OF TRANSPORTATION			
SHRUB PROTECTION DEVICE			
NO.	BY	DATE	R.I. STANDARD
			51.2.0



1 STOCKPILE DETAIL
NOT TO SCALE



2 TIMBER STEPS
NOT TO SCALE



NO.	BY	DATE	R.I. STANDARD

G:\21-51_Soil_Shrub\ACCA\0505 BFR Revetment [PERMIT SET] - R1.dwg May 16, 2022 10:48am

JOE CASALI ENGINEERING, INC.
 CIVIL SITE DEVELOPMENT - TRANSPORTATION
 300 POST ROAD, WARWICK, RI 02888
 (401) 844-1300 (401) 944-1313 FAX WWW.JOECASALI.COM

JOSEPH A. CASALI
 No. 7250
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

PROPOSED RIPRAP REVETMENT
 605 BUDLONG FARM ROAD
 WARWICK, RHODE ISLAND
 AP 369, LOT 108

NO.	DATE	DESCRIPTION

DESIGNED BY: DRD
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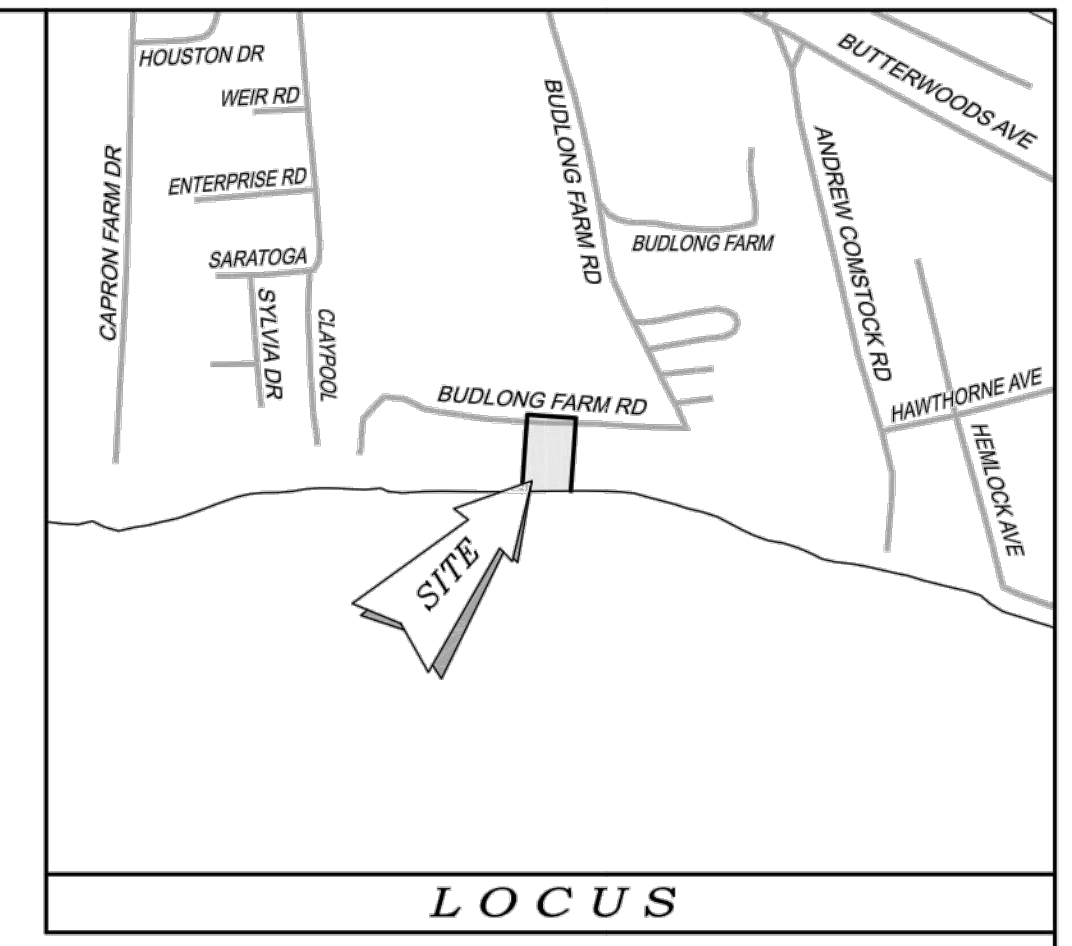
PRELIMINARY, NOT FOR CONSTRUCTION

NOTES & DETAILS

SHEET 4 OF 4 RECEIVED 8/10/2022
 COASTAL RESOURCES MANAGEMENT COUNCIL

LEGEND & ABBREVIATIONS

NF	- NOW OR FORMERLY	---	- PROPERTY LINE
A.P.	- ASSESSORS PLAT	---	- ZONING SETBACK LINE
S.F.	- SQUARE FEET	---	- EXISTING CONTOUR
AC.	- ACRES	---	- NEW CONTOUR
±	- PLUS OR MINUS	---	- STONE WALL
STY	- STORY	---	- FENCE
WF	- WOOD FRAMED	---	- SEWER LINE
SHP	- STATE HIGHWAY PLAT	---	- DRAIN LINE
RET.	- RETAINING WALL	---	- WATER LINE
PED.	- PEDESTRIAN	---	- GAS LINE
(FND.)	- FOUND	---	- ELECTRIC LINE
RMB	- RI HIGHWAY BOUND	---	- SANITARY SEWER MANHOLE
PK NAIL	- MASONRY NAIL	---	- CATCH BASIN
FE.	- FLARED END	---	- STORM DRAIN MANHOLE
RCP	- REINFORCED CONCRETE PIPE	---	- WATER GATE
CLF	- CHAIN LINK FENCE	---	- GAS VALVE
INV.	- INVERT	---	- ELECTRIC MANHOLE
x 10.80	- EXISTING SPOT GRADE	---	- GRANITE BOUND
x 10.80	- NEW SPOT GRADE	---	- DRILL HOLE
		---	- IRON PIPE

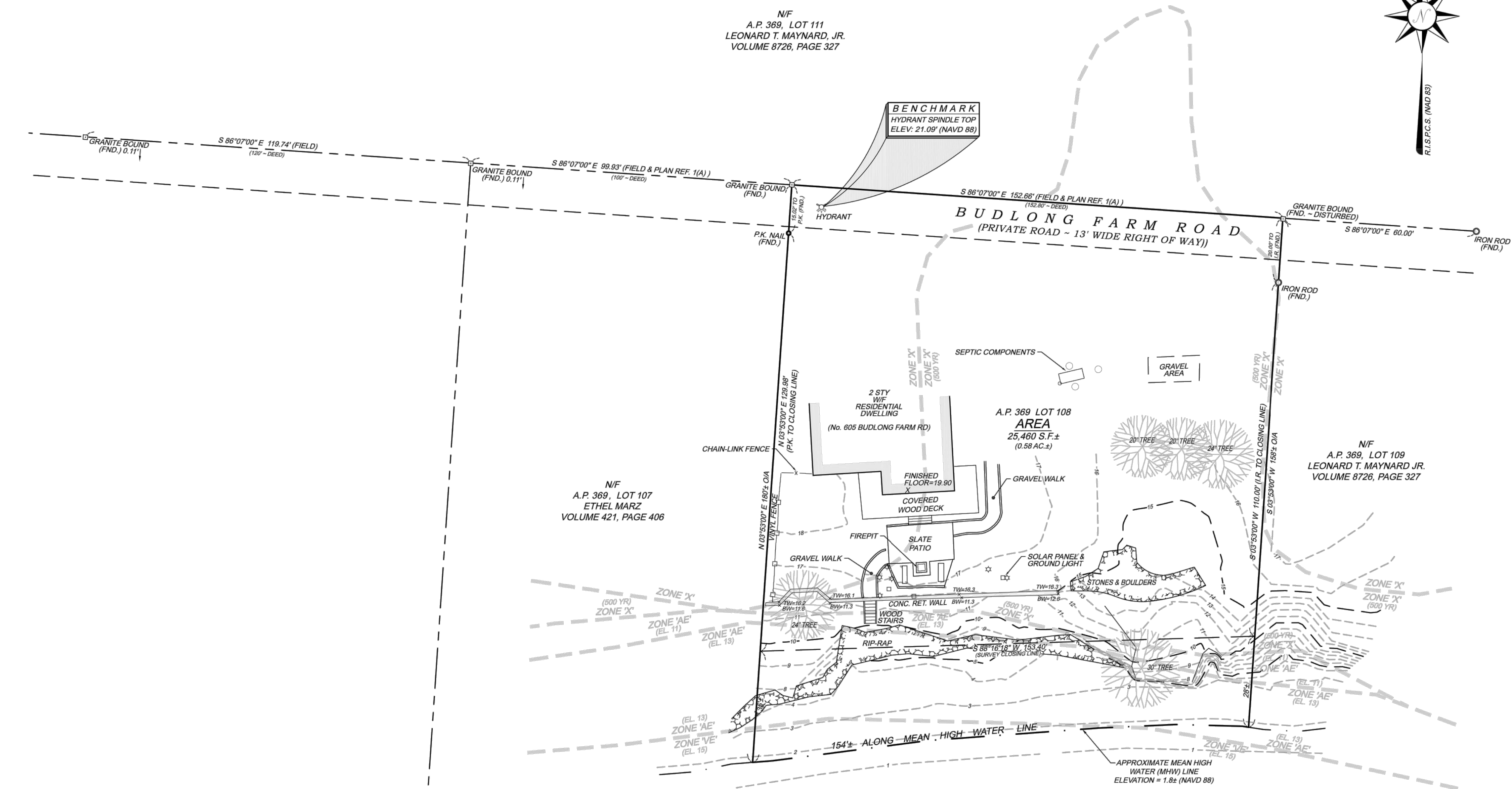


NOTES / REFERENCES

- REFERENCE IS MADE TO THE FOLLOWING MAPS AND PLANS OF RECORD:
 - A) PLAN ENTITLED "CRMC SITE PLAN, PROJECT: DR. NORMAN LEARD, A.P. 369, LOT 107, 48 BUDLONG FARM RD., WARWICK, R.I., PREPARED BY: WATERMAN ENGINEERING CO., PROJECT NO. P95.096, SCALE: 1" = 20', DATED: JULY 98, LAST REVISED: 12/09/98."
 - B) PLAN ENTITLED "SITE PLAN FOR A.P. 369, LOT 243, POLE #6 BUDLONG FARM ROAD IN WARWICK, RHODE ISLAND, PREPARED FOR: EDWARD W. CERIO, PREPARED BY: S.F.M. ENGINEERING ASSOCIATES, DATE: AUG. 28, 1996, SCALE: 1" = 20', LAST REVISED: 07-23-97."
- REFERENCE IS MADE TO THE FOLLOWING CITY OF WARWICK LAND EVIDENCE RECORDS REGARDING RECORDED TITLE TO THE PREMISES SURVEYED:
 - A) ASSESSORS PLAT 369, LOT 108 - ODI REALTY, LLC - VOLUME 7405, PAGE 104
- THESE PREMISES MAY BE SUBJECT TO THE FOLLOWING EASEMENTS, RIGHTS OF WAY OR AGREEMENTS OF RECORD:
 - A) SUBJECT TO RIGHTS OF OTHERS TO USE A PRIVATE WAY AS DESCRIBED IN VOLUME 7405, PAGE 104
- THESE PREMISES ARE SITUATED IN AN 'A-15 ZONE'

DIMENSIONAL REQUIREMENTS	
MIN. LOT AREA	= 15,000 S.F.
MIN. FRONTAGE / WIDTH	= 125 FT.
MIN. S/B FRONT & CORNER SIDE YARD	= 30 FT.
MIN. S/B REAR YARD	= 30 FT.
MIN. S/B SIDE YARD	= 20 FT.
MAX. STRUCTURE HEIGHT	= 35 FT.
MIN. LANDSCAPED OPEN SPACE	= 15%

NOTE - ZONING INFORMATION IS FROM CURRENT ZONING AND MAY NOT REFLECT THE CONDITIONS AT THE TIME OF CONSTRUCTION OR ANY VARIANCES GRANTED.
- THESE PREMISES ARE PARTLY SITUATED IN A ZONE 'VE' (EL. 15), ZONE 'AE' (EL. 13 & 11) & ZONE 'X' (AREAS DETERMINED TO BE BOTH WITHIN & OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS DESIGNATED ON THE "NATIONAL FLOOD INSURANCE PROGRAM, FIRM FLOOD INSURANCE RATE MAP, KENT COUNTY, RHODE ISLAND (ALL JURISDICTIONS) PANEL 141 OF 251, CITY OF WARWICK, MAP NUMBER 44030041H, MAP REVISED: SEPTEMBER 18, 2013, FEDERAL EMERGENCY MANAGEMENT AGENCY".
- ANY UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING PLANS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH OR ABANDONED. THE SURVEYOR DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM ALL AVAILABLE INFORMATION. (PLEASE CONTACT DIG SAFE 72 HOURS PRIOR TO CONSTRUCTION AT PHONE NO. 1-888-DIG-SAFE AND/OR ALL LOCAL UTILITY COMPANIES.)
- THE HORIZONTAL DATUM FOR THIS PROJECT IS R.I.S.P.C.S. (NAD 83) AND THE VERTICAL DATUM FOR THIS PROJECT IS NAVD 88. THE PROJECT DATUMS WERE ESTABLISHED FROM REFERENCE STATIONS AND GNSS CORRECTIONS RECEIVED FROM THE LEICA SMARTNET NORTH AMERICA RTK NETWORK VIA CARLSON BRX6 GNSS ANTENNAS / RECEIVERS.



GREENWICH BAY
(C.R.M.C. TYPE 2 - TIDAL WATERS)

** SIGNATURES MUST BE IN BLUE INK TO CONSTITUTE AN ORIGINAL PLAN

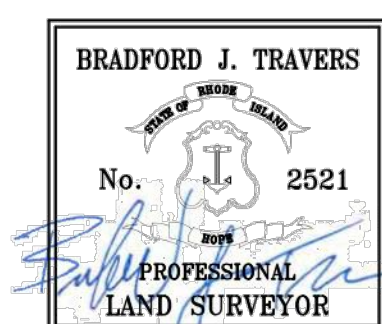
CERTIFICATION

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON APRIL 28, 2019, AS FOLLOWS:

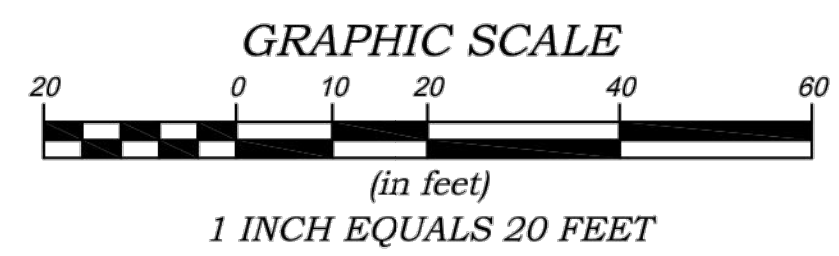
TYPE OF BOUNDARY SURVEY: LIMITED CONTENT BOUNDARY SURVEY
MEASUREMENT / ACCURACY SPECIFICATION: I

OTHER TYPE OF SURVEY: DATA ACCUMULATION
TOPOGRAPHIC SURVEY T-1 (PARTIAL TOPOGRAPHIC SURVEY AS SHOWN)

THE PURPOSE FOR CONDUCTING THIS SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
BOUNDARY & PARTIAL TOPOGRAPHIC SURVEY FOR THE FUTURE DEVELOPMENT OF THE SUBJECT PROPERTY.



BY: *Bradford J. Travers* 2521 10/28/2021
BRADFORD J. TRAVERS, P.L.S. REG. NO. 2521
WATERMAN ENGINEERING COMPANY (COA NO. LS.0004483) DATE



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NO.	DATE	REVISION	CHECKED BY
BOUNDARY & PARTIAL TOPOGRAPHIC SURVEY PLAN ASSESSORS PLAT 369, LOT 108 #605 BUDLONG FARM ROAD WARWICK, RHODE ISLAND 02886			PROJECT NO. 21-062 SCALE: 1" = 20' DATE: 10/21/2021 DRAWN BY: EBP CHECKED BY: BJT
JOE CASALI ENGINEERING, INC. 300 POST ROAD WARWICK, RHODE ISLAND			FILENAME: 21-062_SU1 1 of 1 SHEETS DRAWING # SU1
			46 Sutton Avenue East Providence, RI Phone: (401) - 438 - 5775 Fax: (401) - 438 - 5773 www.watermanengineering.net

RECEIVED 8/10/2022
COASTAL RESOURCES MANAGEMENT COUNCIL