



State of Rhode Island  
**Coastal Resources Management Council**  
Oliver H. Stedman Government Center  
4808 Tower Hill Road, Suite 3  
Wakefield, RI 02879-1900

(401) 783-3370  
Fax (401) 783-2069

## **PUBLIC NOTICE**

File Number: 2023-01-065 Date: May 31, 2023

This office has under consideration the application of:

**William & Linda Maaia**  
**349 Warren Avenue**  
**East Providence, RI 02914**

for a State of Rhode Island Assent to construct and maintain:

a shoreline protection facility consisting of riprap stone backed by an area to be vegetated.

Project Location:	14 Brownell Street
City/Town:	Warren
Plat/Lot:	plat 16, lot 166
Waterway:	Mount Hope Bay

Plans of the proposed work can be requested at [Cstaff1@crmc.ri.gov](mailto:Cstaff1@crmc.ri.gov).

In accordance with the Administrative Procedures Act (Chapter 42-35 of the Rhode Island General Laws) you may request a hearing on this matter.

You are advised that if you have good reason to enter protests against the proposed work it is your privilege to do so. It is expected that objectors will review the application and plans thoroughly, visit site of proposed work if necessary, to familiarize themselves with the conditions and cite what law or laws, if any, would in their opinion be violated by the work proposed.

If you desire to protest, you must attend the scheduled hearing and give sworn testimony. A notice of the time and place of such hearing will be furnished you as soon as possible after receipt of your request for hearing. If you desire to request a hearing, to receive consideration, it should be in writing (**with your correct mailing address, e-mail address and valid contact number**) and be received at this office on or before June 30, 2023.

Please email your comments/hearing requests to: [cstaff1@crmc.ri.gov](mailto:cstaff1@crmc.ri.gov); or mail via USPS to: Coastal Resources Management Council; O. S. Government Center, 4808 Tower Hill Road, Rm 116; Wakefield, RI 02879.

/lat

14 BROWNELL STREET (PLAT 16, LOT 166)  
WARREN, RHODE ISLAND  
MAY 8, 2023

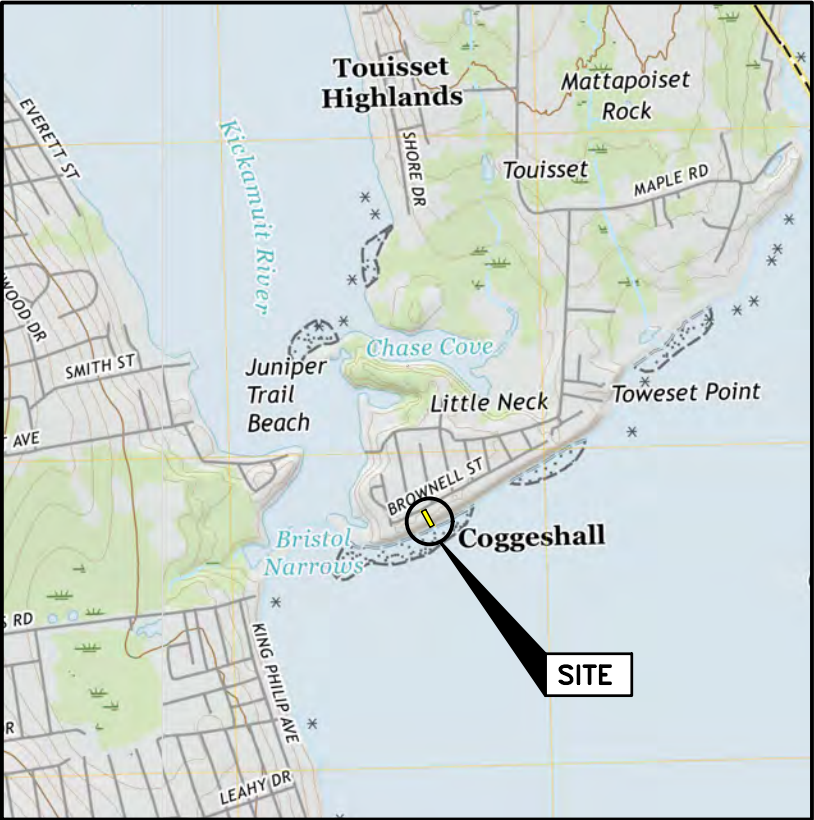
PREPARED FOR:

WILLIAM MAAIA  
14 BROWNELL STREET (PLAT 16, LOT 166)  
WARREN, RHODE ISLAND

DESIGNED BY:



GZA GEOENVIRONMENTAL, INC.  
188 VALLEY ST. SUITE 300  
PROVIDENCE RHODE ISLAND, 02909



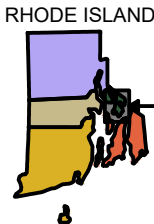
LOCUS MAP:



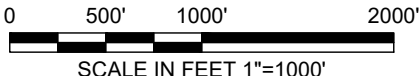
SCALE IN FEET 1"=2000'

BASE MAP FROM THE FOLLOWING USGS  
QUADRANGLE MAP: BRISTOL, RI (2021)

DIGITAL TOPOGRAPHIC MAPS PROVIDED BY USGSSTORE.GOV.  
CONTOUR ELEVATIONS REFERENCE NAVD 88,  
CONTOURS ARE SHOWN IN FEET AT 10' INTERVALS



AERIAL MAP



SCALE IN FEET 1"=1000'

BASE MAP DEVELOPED FROM RIGIS AERIAL  
IMAGERY PUBLISHED IN APRIL 2020.

SHEET LIST TABLE

SHEET NO.	SHEET TITLE
1	COVER
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5	EXISTING CONDITIONS SECTION B-B'
6	PROPOSED CONDITIONS SECTION C-C'

14 BROWNELL STREET (PLAT 16, LOT 166)  
WARREN, RHODE ISLAND

COVER

PREPARED BY:

GZA GeoEnvironmental, Inc.  
Engineers and Scientists  
www.gza.com

PREPARED FOR:

WILLIAM MAAIA  
WARREN, RHODE ISLAND

PROJ MGR:

IR

REVIEWED BY:

IR

CHECKED BY:

MEA

DRAWING

DESIGNED BY:

MP

DRAWN BY:

GRB

SCALE:

AS NOTED

DATE:

MAY 8, 2023

PROJECT NO.

35208.00

REVISION NO.

0

1

SHEET NO. 1 OF 6

RECEIVED  
5/8/2023  
COASTAL RESOURCES  
MANAGEMENT COUNCIL

© 2023 - GZA GeoEnvironmental, Inc. GZA-J: GEO\35208.IR\FIGURES\CAD\DWGS\35208\_FIG 1-6.DWG NOTES\_FIG-2 MAY 5, 2023 GARY BASTIEN

GENERAL NOTES:

1. BASE MAP DEVELOPED FROM AN ELECTRONIC CAD FILE “21-071\_SUI\_EMAIL.DWG” PROVIDED BY WATERMAN ENGINEERING COMPANY ENTITLED “BOUNDARY & TOPOGRAPHIC SURVEY PLAN,” DATED NOVEMBER 19, 2021, ORIGINAL SCALE 1” = 10’, DRAWING NO. SU1, TRANSMITTED TO GZA ON APRIL 6, 2023.
2. HORIZONTAL DATUM IS BASED ON NAD 1983.
3. ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM (NAVD) 1988.

NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR THE SAFE AND PROPER DISPOSAL OF ALL MATERIALS AND SHALL OBTAIN ALL NECESSARY LICENSES AND PERMITS FOR DISPOSAL.
2. ALL CONSTRUCTION MATERIALS AND STOCKPILES SHALL BE PLACED UPLAND OF THE COASTAL FEATURE.
3. NO DISTURBANCE, EXCAVATION, OR PLACEMENT OF MATERIALS SHALL BE PERFORMED BEYOND THE LIMITS SHOWN ON THE DRAWINGS.
4. 1% ANNUAL CHANCE (100-YEAR) FLOOD CONSIDERED TO BE 1% CHANCE STILL WATER LEVEL (SWL) FROM "FEMA FLOOD INSURANCE STUDY (FIS) 44001CV0008 FOR BRISTOL COUNTY, RHODE ISLAND," DATED JULY 7, 2014.

RIP RAP GRADATION REQUIREMENTS			
PRIMARY ARMOR LAYER		INTERMEDIATE LAYER	
RIDOT R-8		RIDOT R-3	
% LESS THAN	STONE SIZE (IN.)	% LESS THAN	STONE SIZE (IN.)
0-15%	18	0-15%	2
0-50%	24	0-50%	4
100%	50	100%	8

3/4" CRUSHED STONE GRADATION REQUIREMENTS

% LESS THAN	SIEVE SIZE
100	3/4 INCH
90-100	1/2 INCH
30-60	3/8 INCH
0-15	No. 4
0-5	No. 8

LEGEND:

MEAN HIGH WATER

(SWL) STILL WATER LEVEL AND PREDICTED SEA LEVEL RISE (SEE NOTE #5)

LIMIT OF WORK

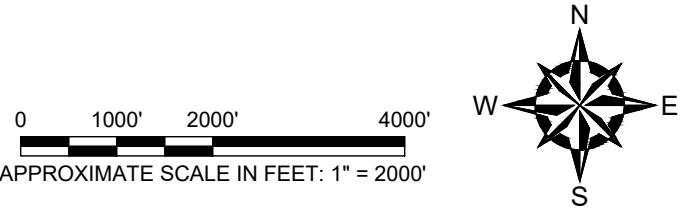
RIDOT R-8 RIP-RAP IN FRONT OF WALL

TIDAL DATUM

NOTE:

1. TO CONVERT FROM NAVD88 TO MLW ADD 2.26 FT.
2. TIDAL DATUM BASED UPON NOAA STATION 8447386.


NAVD 88	MLW
+2.34' (MHHW)	+4.6' (MHHW)
+2.1' (MHW)	+4.36' (MHW)
0.0' (NAVD 88)	+2.26'
-2.26' (MLW)	0.0' (MLW)
-2.43' (MLLW)	-0.17' (MLLW)



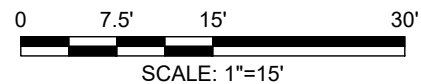
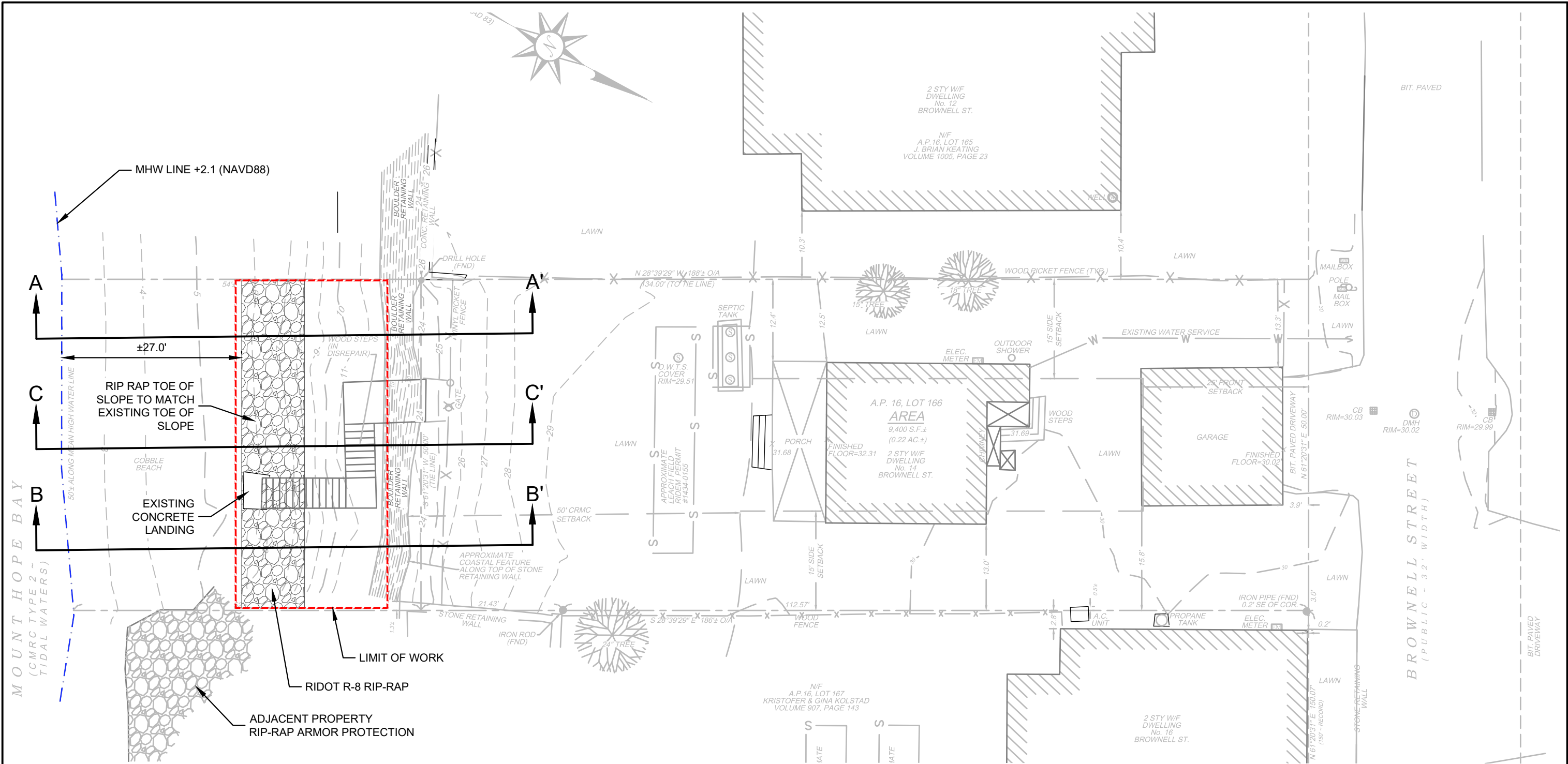
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14 BROWNELL STREET (PLAT 16, LOT 166)  
WARREN, RHODE ISLAND

NOTES

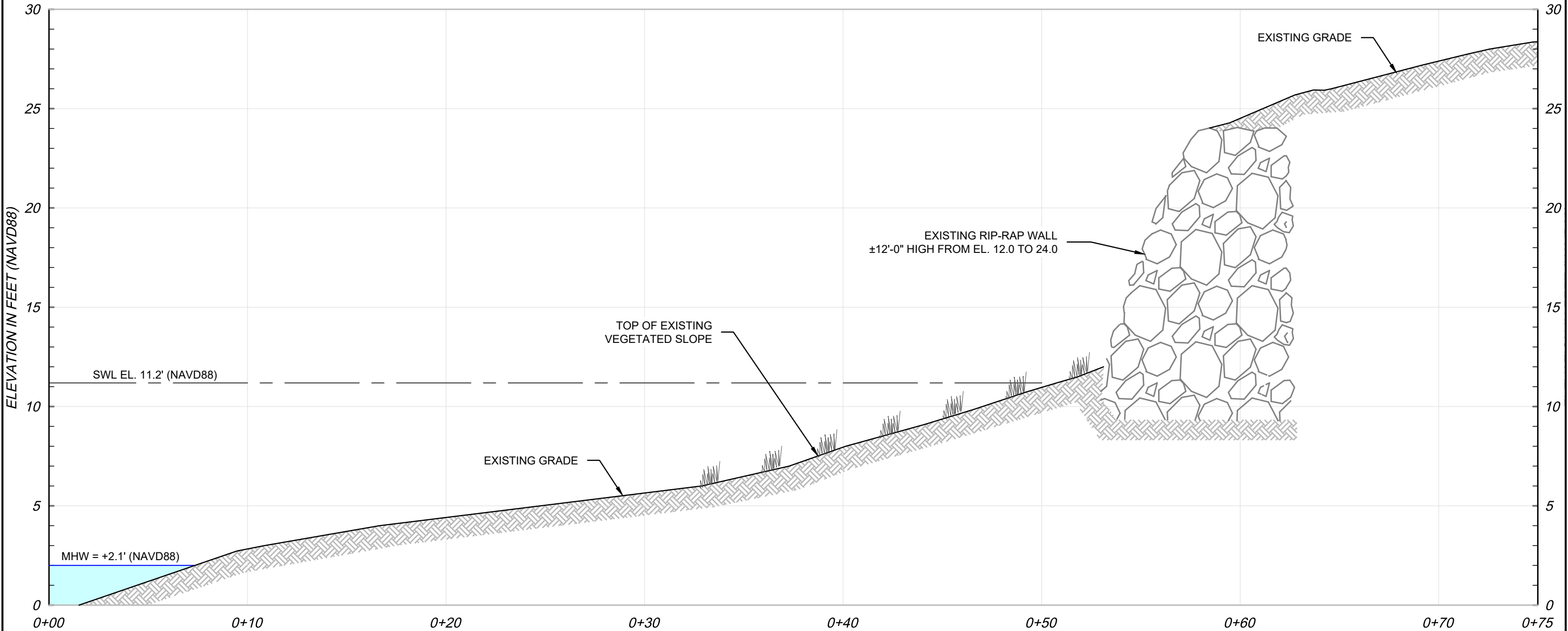
PREPARED BY:  <b>GZA</b> GeoEnvironmental, Inc. Engineers and Scientists www.gza.com		PREPARED FOR:  WILLIAM MAAIA WARREN, RHODE ISLAND	
PROJ MGR: IR	REVIEWED BY: IR	CHECKED BY: MEA	DRAWING  2  SHEET NO. 2 OF 6
DESIGNED BY: MP	DRAWN BY: GRB	SCALE: AS NOTED	
DATE: MAY 8, 2023	PROJECT NO. 35208.00	REVISION NO. 0	



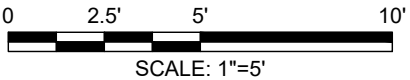




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SECTION A-A'  
SCALE: 1"=5'



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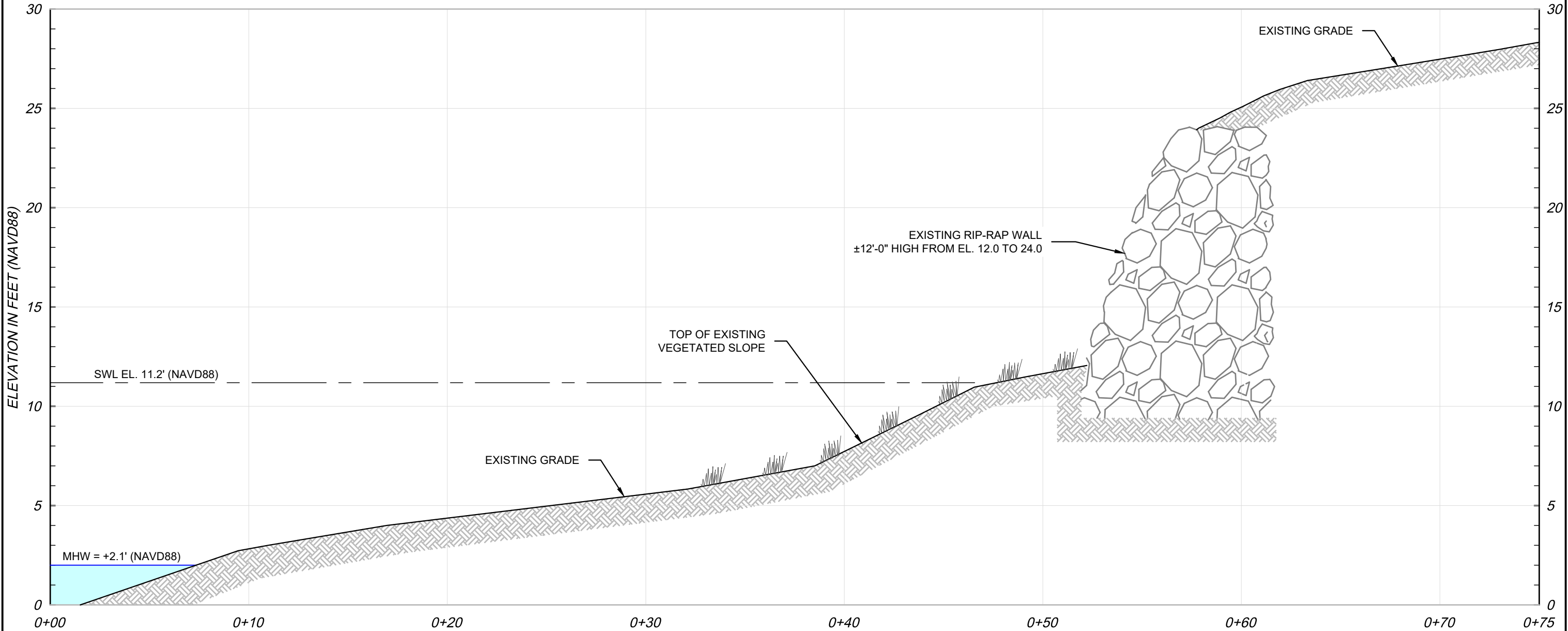
14 BROWNELL STREET (PLAT 16, LOT 166)  
WARREN, RHODE ISLAND

EXISTING CONDITIONS SECTION A-A'

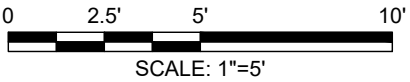
PREPARED BY:  <b>GZA</b> GeoEnvironmental, Inc. Engineers and Scientists www.gza.com		PREPARED FOR:  WILLIAM MAAIA WARREN, RHODE ISLAND	
PROJ MGR: IR	REVIEWED BY: IR	CHECKED BY: MEA	DRAWING  4  SHEET NO. 4 OF 6
DESIGNED BY: MP	DRAWN BY: GRB	SCALE: AS NOTED	
DATE: MAY 8, 2023	PROJECT NO. 35208.00	REVISION NO. 0	



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SECTION B-B'  
SCALE: 1"=5'



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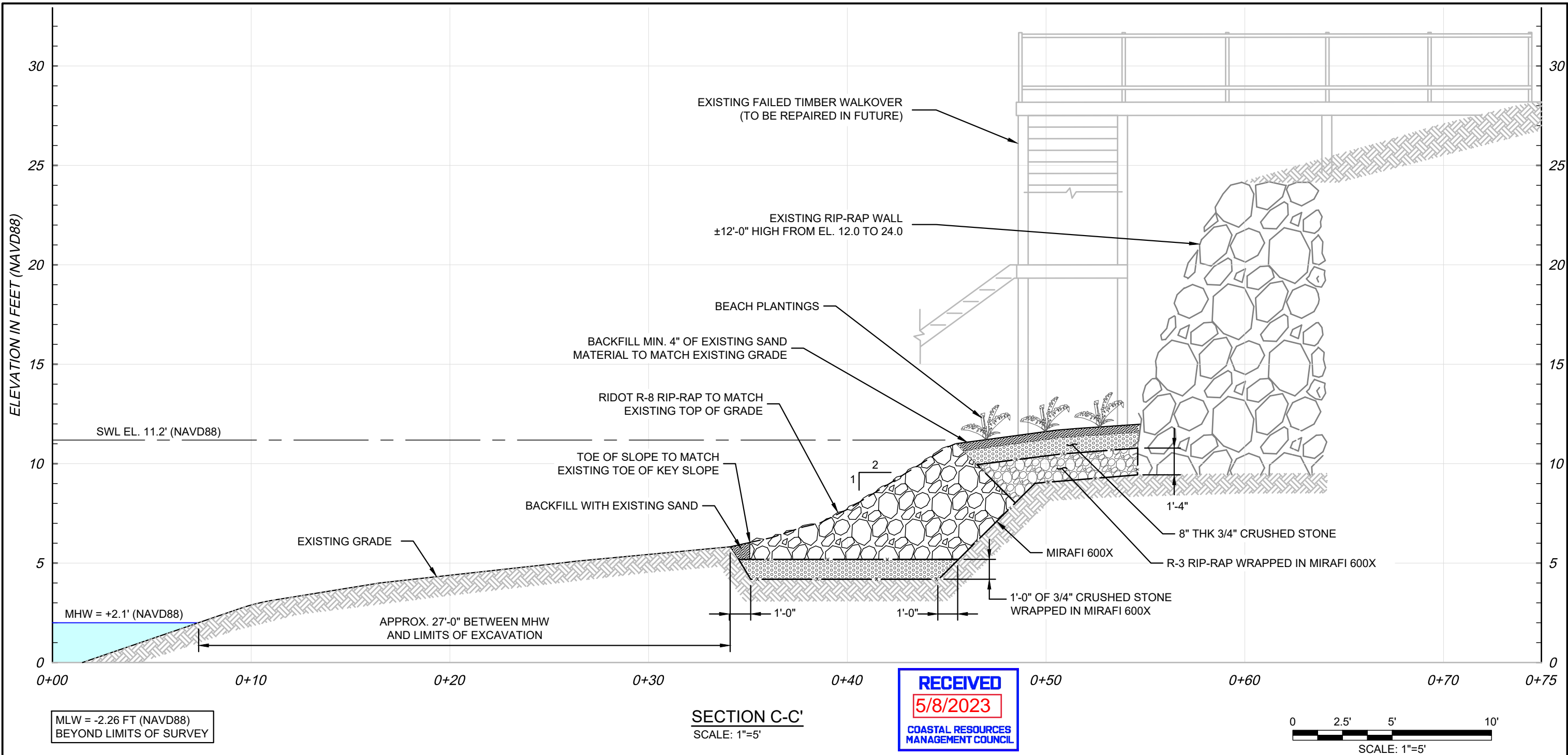
14 BROWNELL STREET (PLAT 16, LOT 166)  
WARREN, RHODE ISLAND

EXISTING CONDITIONS SECTION B-B'

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PROJ MGR: IR	REVIEWED BY: IR	CHECKED BY: MEA	DRAWING  5  SHEET NO. 5 OF 6
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WARREN, RHODE ISLAND

**PROPOSED CONDITIONS SECTION C-C'**

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PROJ MGR: IR	REVIEWED BY: IR	CHECKED BY: MEA	DRAWING
DESIGNED BY: MP	DRAWN BY: GRB	SCALE: AS NOTED	6
DATE: MAY 8, 2023	PROJECT NO. 35208.00	REVISION NO. 0	

SHEET NO. 6 OF 6