



State of Rhode Island
Coastal Resources Management Council
Oliver H. Stedman Government Center
4808 Tower Hill Road, Suite 3
Wakefield, RI 02879-1900

(401) 783-3370
Fax (401) 783-2069

PUBLIC NOTICE

File Number: 2023-02-002 Date: June 21, 2023

This office has under consideration the application of:

Timothy & Emily Spurrell
10 Seaview Avenue
Cranston, RI 02905

for a State of Rhode Island Assent to construct and maintain:

A residential boating facility consisting of a 4'x 130' pier with an 8'x18.75' float. The dock will extend 75-feet beyond mean low water where 50' is allowed. Variance is requested from Section 1.3.1(D)(6)(f)(3) of the RI Coastal Resource Management Program.

Project Location:	10 Seaview Avenue
City/Town:	Cranston
Plat/Lot:	1 / 138
Waterway:	Providence River

Plans of the proposed work can be requested at Cstaff1@crmc.ri.gov.

In accordance with the Administrative Procedures Act (Chapter 42-35 of the Rhode Island General Laws) you may request a hearing on this matter.

You are advised that if you have good reason to enter protests against the proposed work it is your privilege to do so. It is expected that objectors will review the application and plans thoroughly, visit site of proposed work if necessary, to familiarize themselves with the conditions and cite what law or laws, if any, would in their opinion be violated by the work proposed.

If you desire to protest, you must attend the scheduled hearing and give sworn testimony. A notice of the time and place of such hearing will be furnished you as soon as possible after receipt of your request for hearing. If you desire to request a hearing, to receive consideration, it should be in writing (**with your correct mailing address, e-mail address and valid contact number**) and be received at this office on or before July 21, 2023.

Please email your comments/hearing requests to: cstaff1@crmc.ri.gov; or mail via USPS to: Coastal Resources Management Council; O. S. Government Center, 4808 Tower Hill Road, Rm 116; Wakefield, RI 02879.

/lat

NARRATIVE OF CONSTRUCTION
RESIDENTIAL PIER
FOR
TIMOTHY P. & EMILY B. SPURRELL
AP 1, LOT 138
10 SEAVIEW AVE., CRANSTON, RI 02905
Type 4 water

January 26, 2023

As proposed the project will consist of a new 4' x 130' residential pier. Pier to extend 75' seaward of mean low water, a variance is requested from 1.3.1.D.6.f.3. Extension of pier will mitigate wave action from large vessel wake generated waves. Water depths in the area of proposed float vary from 3.4' at mean low water to 7.4' at mean high water, considering a breaking wave height of .78 x depth, the increase allows for non-breaking waves to pass by the float. It is estimated at low water a 2.6' wave and at high tide a 5.8' wave will pass by the area of the float.

Equipment that will be used during construction will consist of a barge mounted pile drive, utility trucks, and general tools used by dock builders. Access for the equipment will be over the water and public roads.

Materials to be used on this pier have been used in the past on similar projects, they include: timbers (Alkaline Copper Quaternary treated), piles will be CCA (Copper Chromated Arsenic) treated to 2.5 pcf, metal connectors (hot dipped galvanized and stainless steel). The ACQ & CCA treatment is a non-leaching preservative.

As called for on the plans pile driving operations will be limited to a soft start.

Cut from the Plan:

"A "soft start" is required to allow animals an opportunity to leave the project vicinity before sound pressure levels increase. In addition to using a soft start at the beginning of the work day for pile driving, one must also be used at any time following cessation of pile driving for a period of 30 minutes or longer. For impact pile driving: pile driving will commence with an initial set of three strikes by the hammer at 40% energy, followed by a one-minute wait period, then two subsequent 3-strike sets at 40% energy, with one-minute waiting periods, before initiating continuous impact driving."

Work is scheduled to begin as soon as permits are secured or in the spring of 2023, and is expected to take 3 weeks to complete.


Warren Hall, PE, PLS



CATEGORY B REQUIREMENTS: RESIDENTIAL PIER
TIMOTHY P. & EMILY B. SPURRELL
AP 1, LOT 138, 10 SEAVIEW AVE., CRANSTON, RI 02905
Type 4 water

January 26, 2023

- 1) The proposed activity is a residential pier, with associated residential use.
- 2) Local building permit is secured by the contractor.
- 3) The proposed pier will extend into the Providence River. As shown on the Cranston water use map the water in this area is classified as Type 4.
- 4) As this activity will occur over the water and surrounding land area, there will be no change to the erosion and deposition process in this area.
- 5) As proposed the pier will provide clearance above the marine bottom, prevent the scouring of boat / prop wash out and bottom chaffing. Minor displacement of plant and animal life during construction will be minimized by the "soft start" pile driving operation. Wave action from large vessel wakes will be mitigated. A variance is requested to extend 75' beyond mean low water, increasing water depths and minimizing breaking wave action.
- 6) Proposed pier begins on private property, there is no public access over this property.
- 7) As proposed the pier and lift will be supported by 12" diameter piles, as shown with past similar projects, there has been no effect on the water circulation, flushing, turbidity, or sedimentation processes.
- 8) All of these materials have been used in the past on similar projects, resulting in no deterioration of the water quality in the area.
- 9) There are no known areas of historic or archeological significance in the area of the pier.
- 10) As proposed this pier will be located 75' seaward of mean low water where depths are 42" and as in the past have caused no conflict with any uses such as recreational boating, fishing, navigation, or commerce activities. Wave action from large vessel wakes will be mitigated.
- 11) This pier is similar to piers adjacent to the property, is backed up by a tall bank, elevation at elevation 23, and will have minimum impact to the view scape.


Warren Hall, PE, PLS



Warren Hall, Civil Engineer
63 Elmwood Ave.
Middletown, RI 02842
PE #5114, PLS #1917

January 26, 2023
Variance request

Applicant:

TIMOTHY P. & EMILY B. SPURRELL
AP 1, LOT 138
10 SEAVIEW AVE., CRANSTON, RI 02905

Type 4 water

RE: Section 1.1.7 VARIANCE requested from:

650 RICR-20-00-1 1.3.1(D)(6)(f)(3); pier to extend 75' beyond mean low water where 50' is allowed

A):

1) Council policies and goals of sections two and three are addressed as follows:

a) Water type in this area is type four, where the council allows residential piers. As proposed this pier will be elevated a minimum 5.25' above mean high water to allow for public access laterally along the shoreline.

b) In order to mitigate impacts of breaking waves, this design provides 3' water depth, compared to 2' at 50' beyond mean low water, and accommodate large commercial vessel wake waves, a variance is requested to extend the pier an additional 25' beyond mean low water. This location has an increased water depth of 9" compared to water depth at 50' beyond mean low water. This increase will minimize impacts to the marine bottom and damage to boats.

2) Proposed alteration will not result in use conflicts or adverse environmental impacts:

a) The proposed pier is very similar to other piers that have been permitted and constructed. As proposed the design provides a 3' water depth during low tide and also provides 5.25' clearance to the stringer from mean high water, allowing all uses to continue laterally along the shoreline.

RECEIVED

1/30/2023

COASTAL RESOURCES
MANAGEMENT COUNCIL

b) All of the proposed materials have been used in the past and resulted in no effect on the marine environment. Water depths obstruct any intense use of this area including fishing, navigation, and commerce.

3) Due to site conditions the standard cannot be met:

a) Pre-existing limited depth condition, large commercial vessel wake waves, and natural shoaling, are being mitigated by taking advantage of the increased length providing for a pier that is functional during periods of lower tides. Existing site conditions at 50' beyond mean low water provide 2' of water depth while at 75' beyond mean low water an additional 9" of depth is provided. An additional 9" minimizes impacts to the marine bottom and float structure.

4) Modification is minimum necessary:

a) The proposed extension will provide 3.75' of water depth, allowing use and clearance to marine bottom during periods of lower tides, and minimizing breaking wave action.

5) Hardship is not the result of any action by the applicant or predecessor in title:

a) Limiting water depths and shoaling are present at the site and are a natural condition.

6) Due to conditions at the site, the standard will cause the applicant an undue hardship:

a) Existing natural shoaling and 2' water depth at 50' limit use of the facility. Large vessel wake wave action is being mitigated by proposed location into deeper water.

B): NA

C): All other program requirements have been met.

D): NA


Warren Hall, PE, PLS



10 Seaview Ave. Cranston RI
Timothy P & Emily B. Spurrnell



Looking North

Pictures
by: WFA

1-22-23



Looking South from property owner



Looking South



Looking South

Sheet 1/2

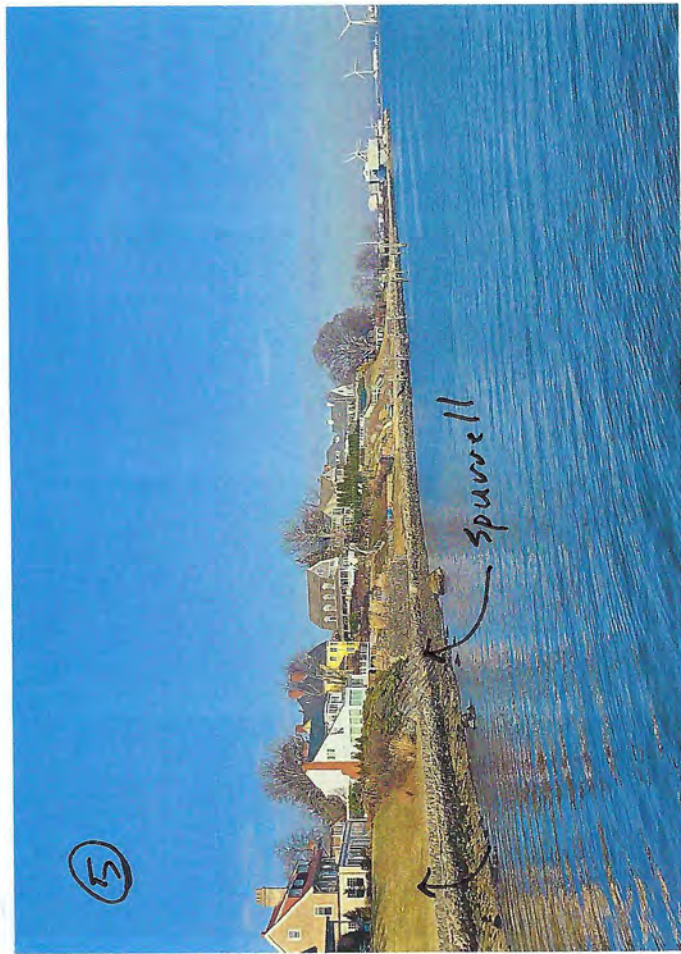
RECEIVED

1/30/2023

COASTAL RESOURCES
MANAGEMENT COUNCIL

Pictures by: WPH

(5)



Looking Northwest

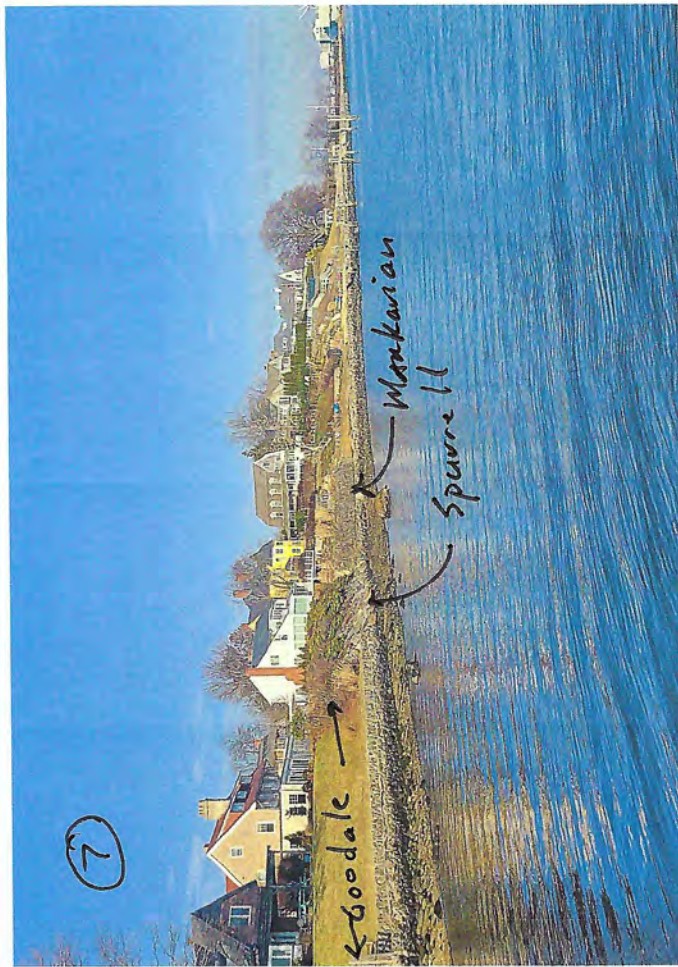
(6)



Looking Northeast

10 Seaview Ave Cranston
Proposed Pier
Timothy P & Emily B Spurrell
1/22/23

(7)



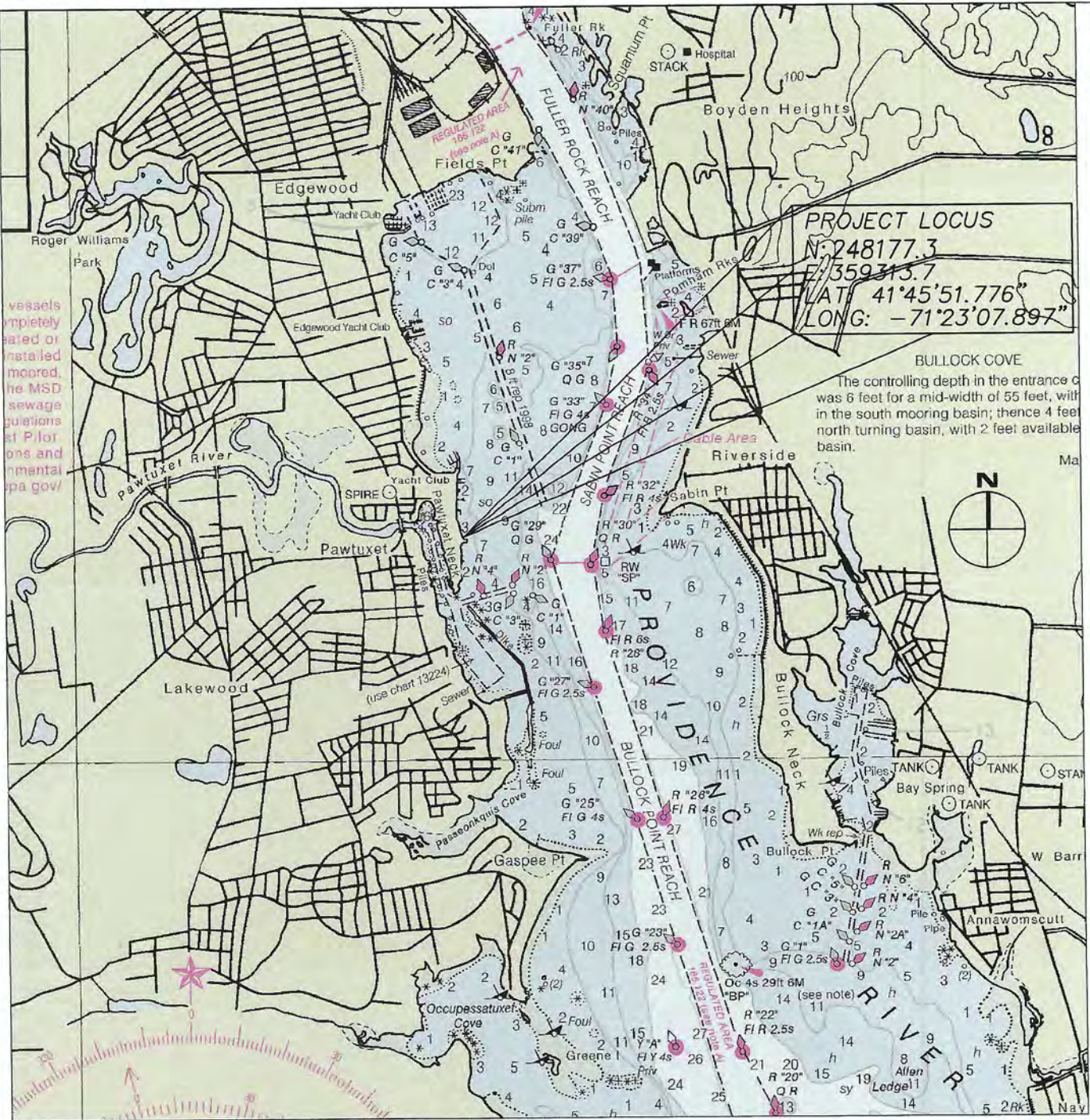
Looking Northwest

sheet 2/2

RECEIVED

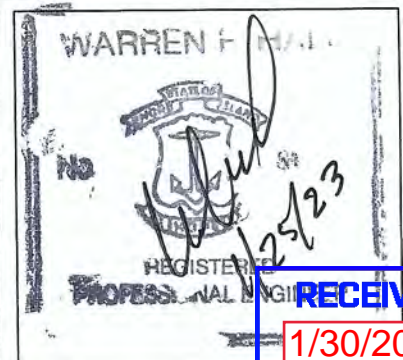
1/30/2023

COASTAL RESOURCES
MANAGEMENT COUNCIL

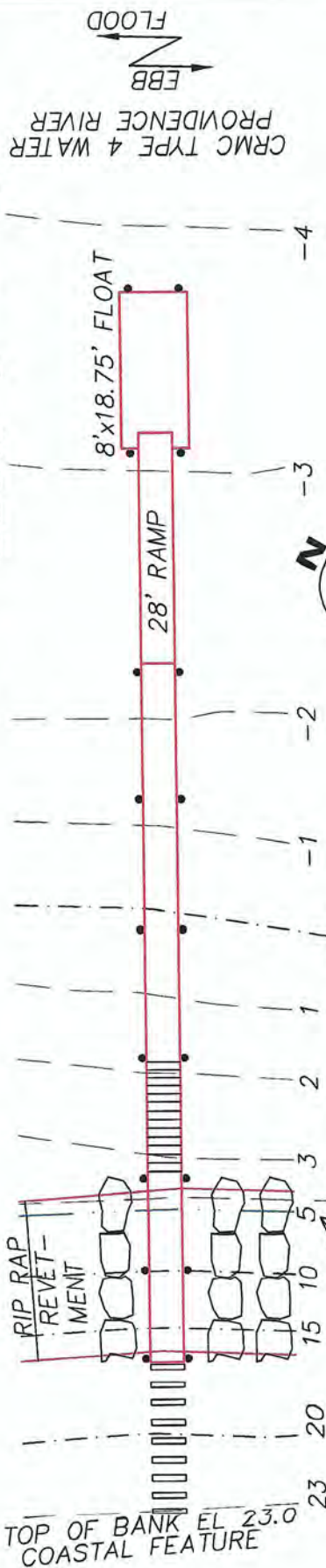


PORTION OF NOAA 13221

PROPOSED RESIDENTIAL PIER FOR:
TIMOTHY P. & EMILY B. SPURRELL
10 SEAVIEW AVE
AP 1, LOT 138
CRANSTON, RI 02905
BY: WARREN HALL, CIVIL ENGINEER
JANUARY 22, 2023 SHEET 1 OF 4



RECEIVED
1/30/2023
COASTAL RESOURCES
MANAGEMENT COUNCIL



PLAN VIEW
1"=20'

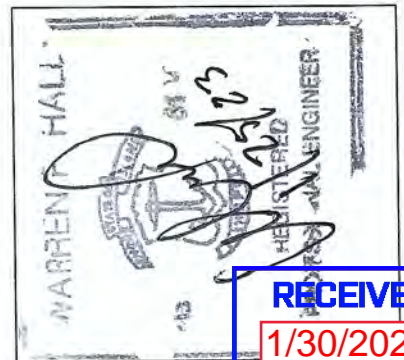


PROFILE VIEW
1"=20'

PROPOSED RESIDENTIAL PIER FOR:
TIMOTHY P. & EMILY B. SPURRELL
10 SEAVIEW AVE
AP 1, LOT 138
CRANSTON, RI 02905
BY: WARREN HALL, CIVIL ENGINEER
JANUARY 22, 2023 SHEET 3 OF 4

WOOD PILE FASTEN WITH
ROCK ANCHOR OR 6x6 POST
FASTEN WITH SIMPSON AB66
TO EXISTING RIP RAP STONE

1



REFERENCE CRMC
PERMIT 1979-04-027

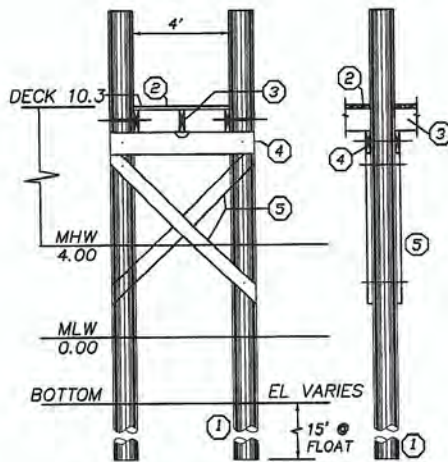
RECEIVED
1/30/2023

COASTAL RESOURCES
MANAGEMENT COUNCIL

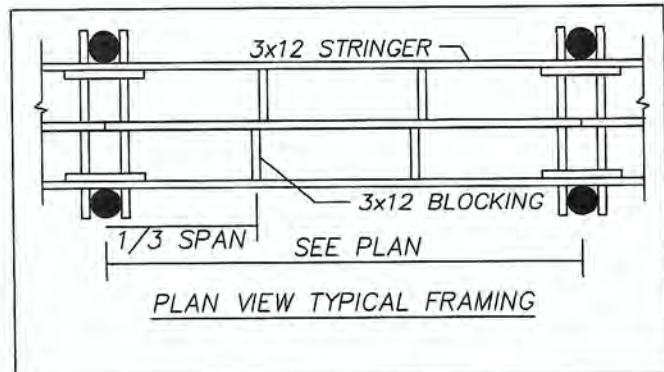
PILE DRIVING NOTE:

A "soft start" is required to allow animals an opportunity to leave the project vicinity before sound pressure levels increase. In addition to using a soft start at the beginning of the work day for pile driving, one must also be used at any time following cessation of pile driving for a period of 30 minutes or longer. For impact pile driving: pile driving will commence with an initial set of three strikes by the hammer at 40% energy, followed by a one minute wait period, then two subsequent 3-strike sets at 40 % energy, with one minute waiting periods, before initiating continuous impact driving.

DRIVE ALL PILES TO MINIMUM 10', CONTRACTOR TO KEEP RECORD OF LOCATION, ORIGINAL PILE LENGTH AND CUT OFF LENGTH ALL PILES TO BE PRE MARKED AT 1' INTERVALS FOR EMBEDMENT VERIFICATION



TYPICAL SECTION 1/8"=1'-0"



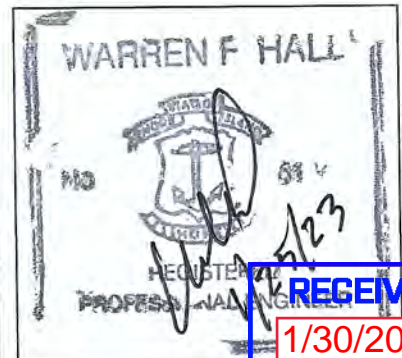
PLAN VIEW TYPICAL FRAMING

- ① 10" TIP CCA TREATED WOOD PILES
TREAT TO 2.5 PCF (1.0 ALLOWED WITH OWNER CONSENT) GREENHEART AT FLOAT
- ② 5/4x6 DECKING ACQ TREATED TO .6 PCF
FASTEN TO STRINGERS WITH 3 @ 3-1/2" NO. 10 316 STAINLESS STEEL SCREWS
- ③ 3x12 STRINGER, ACQ TREATED THRU BOLT AT PILE
FASTEN MIDDLE STRINGER WITH SIMPSON H-1 HURRICANE ANCHOR
- ④ 2-3x12 CAP BEAM, ACQ TREATED TO .6 PCF
- ⑤ 3x10 CROSS BRACE, ACQ TREATED TO 2.5 PCF

GENERAL NOTES:

- 1) ALL BOLTS, CONNECTORS, WASHERS, NAILS, ECT SHALL BE HOT DIPPED GALVANIZED
- 2) CONTRACTOR SHALL ADHERE TO ALL OSHA RULES AND REGULATIONS THROUGHOUT ALL PHASES OF CONSTRUCTION
- 3) CONTRACTOR SHALL BE AWARE THAT THE STRATA INTO WHICH THESE PILES ARE TO BE DRIVEN MAY REQUIRE DRILLING TO ENSURE A MINIMUM 10' PENETRATION BELOW EXISTING GRADE

PROPOSED RESIDENTIAL PIER FOR:
TIMOTHY P. & EMILY B. SPURRELL
10 SEAVIEW AVE
AP 1, LOT 138
CRANSTON, RI 02905
BY: WARREN HALL, CIVIL ENGINEER
JANUARY 22, 2023 SHEET 4 OF 4



RECEIVED

1/30/2023

COASTAL RESOURCES
MANAGEMENT COUNCIL