



State of Rhode Island
Coastal Resources Management Council
Oliver H. Stedman Government Center
4808 Tower Hill Road, Suite 3
Wakefield, RI 02879-1900

(401) 783-3370
Fax (401) 783-2069

PUBLIC NOTICE

File Number: 2023-02-043 Date: June 21, 2023

This office has under consideration the application of:

Ann Murphy
52 Conant Road
Westwood, MA 02090

for a State of Rhode Island Assent to construct and maintain: A Residential Boating Facility consisting of a fixed pier, ramp and float totaling 113.33' in length. The facility is proposed to extend to 75' beyond Mean Low Water (MLW) and 4+ feet of water, requiring a Variance to Section 1.3.1(D)(11)(1)(2) – 50' MLW Standard

| | |
|-------------------|-----------------|
| Project Location: | 50 Cliff Avenue |
| City/Town: | Portsmouth |
| Plat/Lot: | Plat 10, lot 16 |
| Waterway: | Sakonnet River |

Plans of the proposed work can be requested at Cstaff1@crmc.ri.gov.

In accordance with the Administrative Procedures Act (Chapter 42-35 of the Rhode Island General Laws) you may request a hearing on this matter.

You are advised that if you have good reason to enter protests against the proposed work it is your privilege to do so. It is expected that objectors will review the application and plans thoroughly, visit site of proposed work if necessary, to familiarize themselves with the conditions and cite what law or laws, if any, would in their opinion be violated by the work proposed.

If you desire to protest, you must attend the scheduled hearing and give sworn testimony. A notice of the time and place of such hearing will be furnished you as soon as possible after receipt of your request for hearing. If you desire to request a hearing, to receive consideration, it should be in writing (**with your correct mailing address, e-mail address and valid contact number**) and be received at this office on or before **July 21, 2023**.

Please email your comments/hearing requests to: cstaff1@crmc.ri.gov; or mail via USPS to: Coastal Resources Management Council; O. S. Government Center, 4808 Tower Hill Road, Rm 116; Wakefield, RI 02879.

/lat

MANAGEMENT COUNCIL

GENERAL SPECIFICATIONS:

IF THE EVENT THAT ANY PILE PENETRATION CANNOT BE ATTAINED THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER. FOR ANY LOCATION WHERE PILE DEPTH CAN NOT BE ACHIEVED THE CONTRACTOR SHALL RECORD THOSE LOCATIONS AND SUBMIT RECORDS TO THE DESIGN ENGINEER.

ALL WOOD PILES SHALL BE 12" DIAMETER SOUTHERN PINE WITH A MINIMUM TIP DIAMETER OF 6". MINIMUM PILE DIAMETER AT BIALDRE SHALL BE 10". PRESURE TREATMENT SHALL BE 15 LB/CF OF CCA. PILES SHALL BE DRIVEN TO DEPTHS AS INDICATED ON THE PLAN. PILES MAY BE DRIVEN USING A VIBRATORY HAMMER AS LONG AS THE MINIMUM PILE PENETRATION CAN BE ATTAINED.

ALL OTHER STRUCTURAL MEMBERS SHALL BE SOUTHERN PINE OR EQUIVALENT. MINIMUM TREATMENT FOR CROSS BRACING SHALL BE 3.5 LB/CF OFCCA. DIAGONAL BRACING SHALL NOT BE CUT BELOW THE TOP LINE. ALL CUTTING OF SUCH MEMBERS SHALL BE DONE ON THE END ABOVE WH. FOR ALL OTHER MEMBERS (STIFFENERS, HEADERS, WOOD DECKING AND ANY POST OR RAIL) TREATMENT SHALL BE ON LAYE CCA.

ALL METAL CONNECTION MATERIALS SHALL BE HOT DIPPED GALVANIZED. BOLTS SHALL BE A MINIMUM OF 300S STEEL. ALL BOLTED CONNECTIONS FOR HEADERS AND BRACING MEMBERS SHALL BE LOCATED A MINIMUM OF 3" FROM THE END OF THE MEMBER, AND 3" FROM THE EDGE OF THE MEMBER. MEMBERS THAT ARE SPLIT OR CRACKED IN THE AREA OF THE BOLT LOCATION SHALL NOT BE USED. SEE 301.10.1 BOLTS PROTECT 3" MEMBERS FROM WIND.

FASTENERS FOR DECKING SHALL BE 2" COMPOSITE. ALTERNATIVELY ZNS MEMBERS CAN BE USED. FASTENERS FOR DECKING SHALL BE 2" STAINLESS STEEL SCREWS TWO AT EACH ATTACHMENT LOCATION.

LOADING DOCK SHALL BE OF WOOD JOISTS AND HAVE APPROXIMATELY 1" FREEBOARD AND 6" DRAFT. DOCKING SHALL BE 1/2" COMPPOSITE. FLOATING DOCKS SHALL HAVE HEAVY DUTY INTERIOR AND EXTERIOR CORNER PROTECTORS AT EACH CORNER LOCATION (TOLLHOUSE RHD-S AND WD-S OR EQUAL). ANGLE CLIPS (TOLLHOUSE RHD-A OR EQUAL) SHALL BE PROVIDED FOR INTERIOR STRUCTURAL MEMBERS AS SHOWN. CLIPS SHALL BE FASTENED USING 2" DIA GALVANNEZED LAG BOLTS INTO EACH CONNECTING MEMBER.

BOAT DRUMS SHALL BE FGM PLATED TO CONFORM WITH UV INHIBITORS AND SHALL HAVE STRUCTURAL MOUNTING PLANGES. DESIGN IS BASED ON FLOAT DRUMS AS MANUFACTURED BY CUSTOM FLOAT. ANY PROPOSED SUBSTITUTES SHALL BE APPROVED BY THE DESIGN ENGINEER.

STRUCTURAL MEMBER SHALL BE A WIDE FLANGE BEAM. WHERE TWO CRAMS MEET ON THE SAME STRUCTURAL MEMBER, USE ONE FASTENER FOR EACH CRAM.

AS AN ALTERNATIVE, PILE HOLDERS FOR FLOATING DOCK MAY BE HEAVY DUTY GALVANIZED BRASS ROLLER TYPE FOR USE WITH 1 1/2" PILES (FOLLOWING PH-HYD OR EQUAL). PLACEMENT OF ALL PILES SHALL BE SO AS TO ALLOW MOVEMENT OF THE FLOAT TO AVOID EXCESSIVE BENDING OF HOOPS.

SECURE FLEA FOLDERS TO FLOATING DOCK WITH 4- $\frac{1}{2}$ " THROUGH BOLTS (IN HORIZONTAL DIRECTION) AND 4- $\frac{1}{2}$ " LAG BOLTS (VERTICAL DIRECTION). USE 3"X3" SPLICE BLOCK BEHIND OUTSIDE MEMBER TO PROVIDE ADEQUATE WIDTH FOR FASTENING. USE METAL BACKER PLATES FOR 4" THROUGH BOLTS.

A VINYL BUMPER STRIP SHALL BE PROVIDED ALONG THE OUTBOARD SIDE OF THE FLOATING DOCK. BUMPER STRIP SHALL BE AS MANUFACTURED BY "TOLLANBEE" MODEL WBR-2 OR EQUIVALENT.

RAMP SHALL BE ALUMINUM AND CONSTRUCTION SHALL BE BY MANUFACTURER REGULARLY ENGAGED IN THE TRADE. RAMP SHALL BE CONNECTED TO FIXED PORTION OF DOCK AS RECOMMENDED BY MANUFACTURER. ROLLER ASSEMBLY AT FLOATING DOCK SHALL BE 2" DIAMETER BY 6" WIDE SMALL ROLLER TYPE. INSTALL PLASTIC OR METAL SHEET TO DECK, FOR ROLLERS.

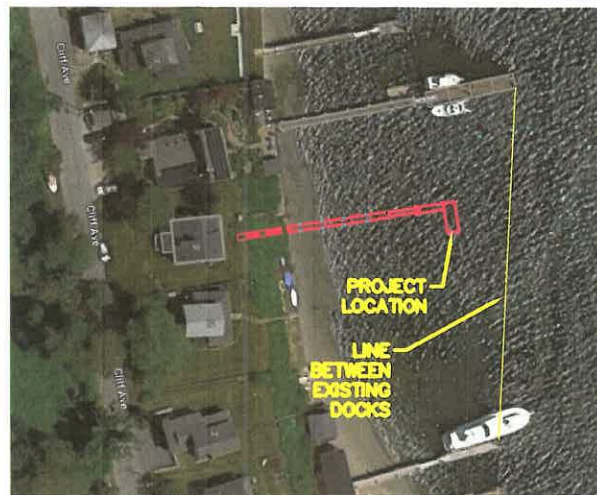
UTILITY SPECIFICATIONS:

ALL UTILITY WORK SHALL BE PERFORMED BY LICENSED CONTRACTORS IN THEIR RESPECTIVE TRADES. ALL WORK SHALL MEET REQUIREMENTS OF THE CURRENT STATE BUILDING CODES. ELECTRICAL WIRE SHALL BE SIZED BY THE ELECTRICAL CONTRACTOR. WIRE SHALL BE ENCASED IN PVC CONDUIT SUITABLE FOR MARINE APPLICATION. INSTALL EXTERIOR-TYPE MARINE GRADE

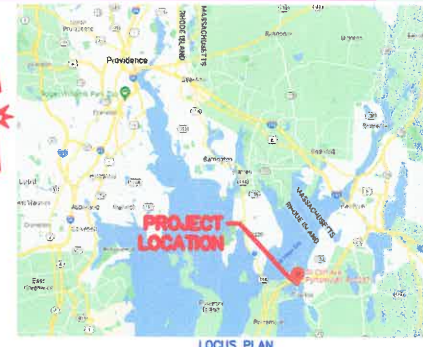
WATER LINE SHALL BE 3/4" POLYETHYLENE TUBING AS MANUFACTURED BY "AQUAFLEX" OR EQUAL. INSTALL SUITABLE BACKFLOW PREVENTER AT EITHER EXISTING DWELLING OR PIER HEAD AS REQUIRED BY CODE. PROVIDE DRAIN AT PIER HEAD TO ALLOW REMOVAL OF WATER FROM THE LINE DURING THE WINTER MONTHS. INSTALL SPOUT AT END OF PIER AS INDICATED.

ELECTRIC/WATER UTILITY LINES SHALL BE CONNECTED AT EXISTING DWELLING. LINES SHALL BE BURIED A MINIMUM DEPTH OF 12" ACROSS EXISTING LAWN AREA. UTILITIES SHALL BE SECURED TO UNDERSIDE OF PIER AS INDICATED, WITH GALVANIZED METAL FASTENERS EVERY 5' ON CENTER.

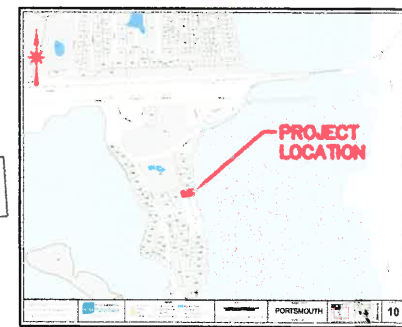
LOW VOLTAGE LIGHTING SHALL BE PROVIDED LONG THE DOCK AS INDICATED. LIGHTING TYPE TO BE PROPOSED BY CONTRACTOR. INCLUDE LOW VOLTAGE WIRING IN ELECTRICAL CONDUIT OR SEPERATE CONDUIT AS REQUIRED BY CODE.



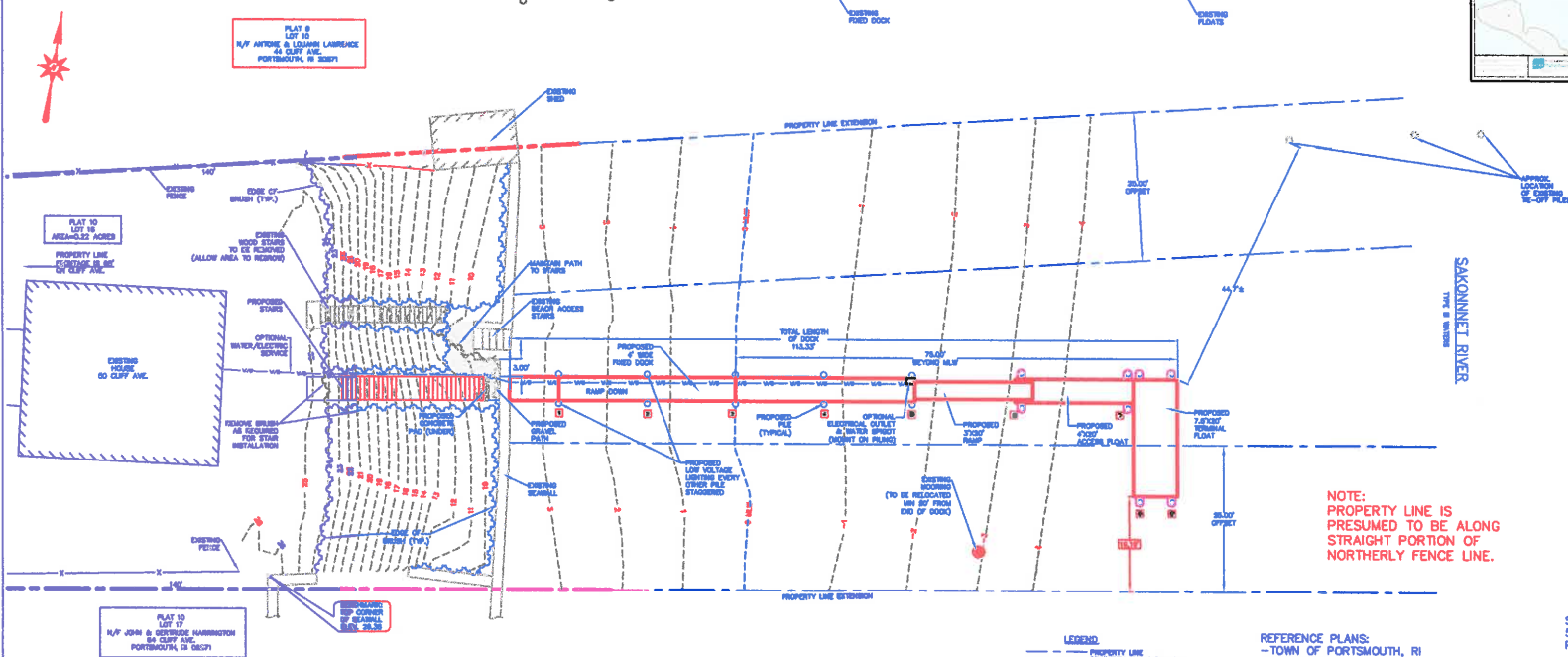
AERIAL PHOTO



LOCUS PLAN



PORTSMOUTH, RI PLAT MAP #10



NOTE:
PROPERTY LINE IS
PRESUMED TO BE ALONG
STRAIGHT PORTION OF
NORTHERLY FENCE LINE.

NOTES:
ALL MOORINGS FOUND WITHIN 50' OF END OF PROPOSED DOCK HAVE
BEEN SHOWN ON PLAN

DATUM:
REFERENCE DATUM IS MEAN
LOW WATER



- LEGEND**
- | | |
|-----|-----------------------------------|
| --- | PROPERTY LINE |
| --- | PROPERTY LINE EXTENSION |
| --- | PROPERTY LINE EXTENSION OFFSET |
| --- | EXISTING CONTOUR |
| MLW | MLW (MEAN LOW WATER) |
| MHW | MHW (MEAN HIGH WATER) |
| W/S | PROPOSED WATER ELECTRICAL SERVICE |
| UR | UR (UNDERGROUND) |
| CB | CURB |

REFERENCE PLANS:
-TOWN OF PORTSMOUTH, RI
TAX ASSESSOR'S PLAT MAP #10
-PLAN ENTITLED "PROPERTY MAP
TOWN OF PORTSMOUTH, NEWPORT COUNTY,
RHODE ISLAND"
PREPARED BY: JAMES W. SEWALL COMPANY

SITE ADDRESS:
50 CLIFF AVE.
PORTSMOUTH, R.I.

OWNER INFO:
ANN MURPHY
52 CONANT RD.
WESTWOOD, MA 02080



SITE PLAN AND SPECIFICATIONS
RESIDENTIAL BOATING FACILITY
PLAT 10, LOT 16
50 CLIFF AVE. RHODE ISLAND, 02906

SCALE: AS NOTED
(SHEET 1 OF 2)
DK-1

[illegible]

SEI
SITE ENGINEERING INC.

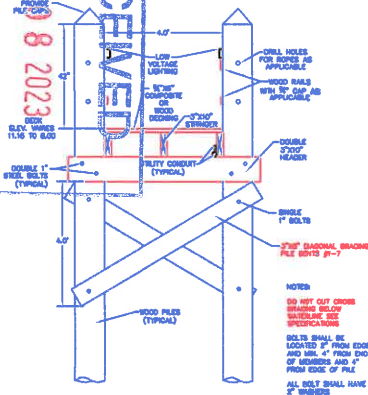
75 WOOD STREET
BOSTON, MA 02009
PHONE: (401) 253-5251

RHODE ISLAND.

SPORTSMOUTH,

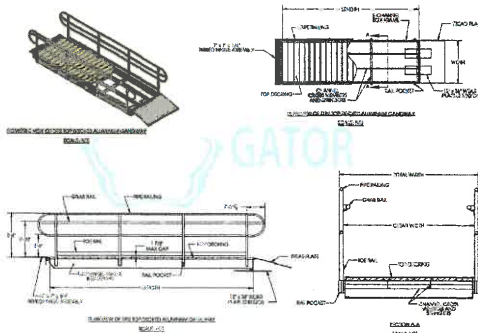


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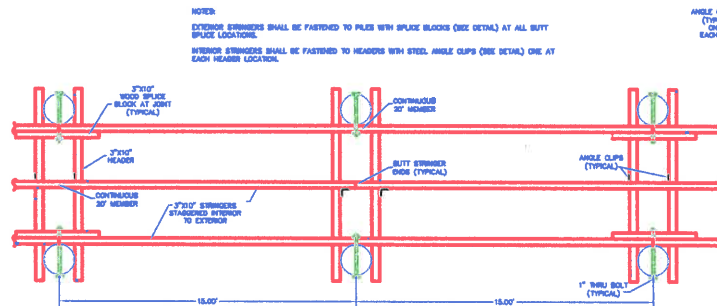
TYPICAL CROSS SECTION

SCALE



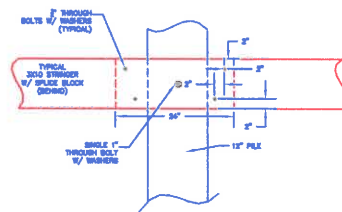
PROPOSED ALUMINUM RAMP

NOT TO SCALE



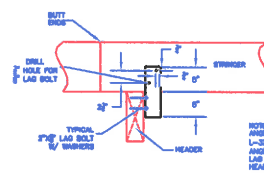
TYPICAL STRINGER LAYOUT

NOT TO SCALE



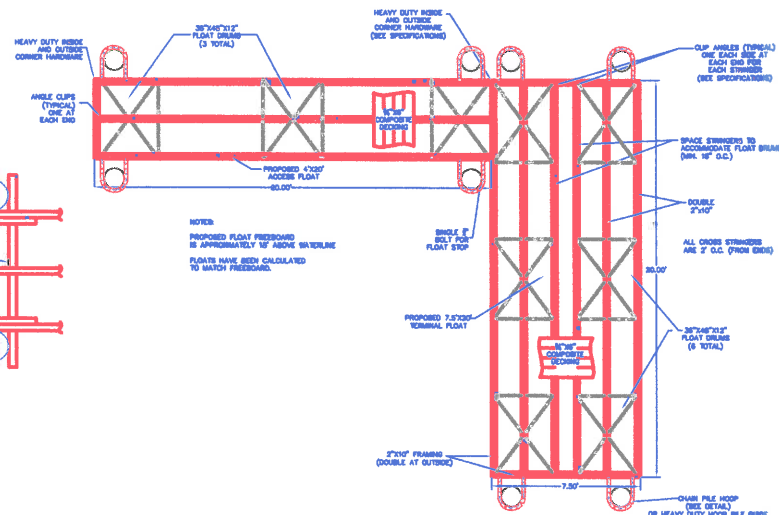
SPLICE BLOCK DETAIL

NOT TO SCALE



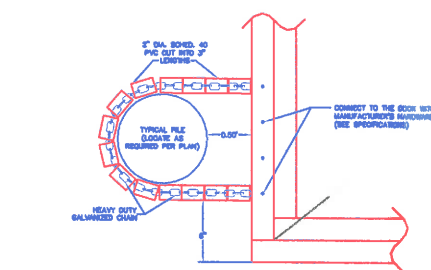
STRINGER/HEADER CONNECTION DETAIL

NOT TO SCALE



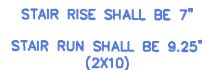
FLOAT LAYOUT

SCALE: 1"=1'



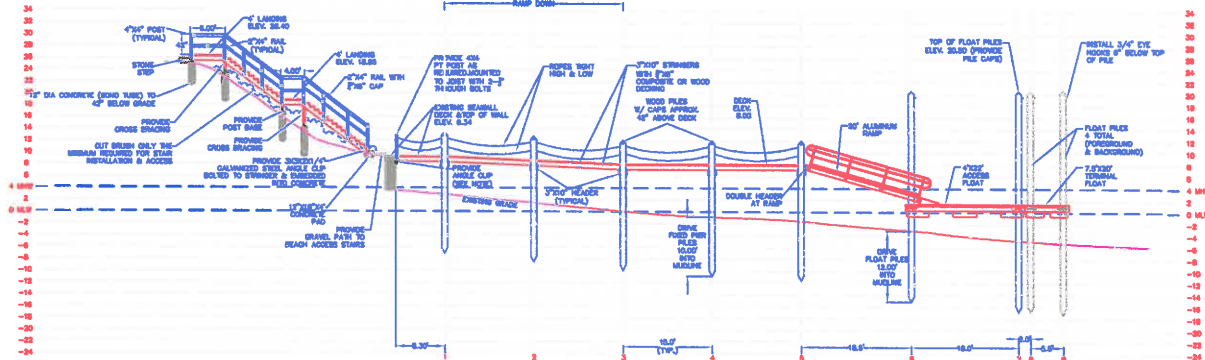
CHAIN HOOP DETAIL

SCALE: 1.5" = 1'



STAIR DETAIL

NOT TO SCALE



DOCK/STAIR PROFILE

SCALE: 1"=10'

NOTE:
INSTALL 4" x 4" x 1/4" STEEL
ANGLES (GALVANIZED) TO FASTEN
JOIST AT BEAM/ELL
FASTEN INTO CONCRETE W/ 2-1/8" x
4" EXPANSION BOLTS & INTO EACH
JOIST W/ 2- 1/4" x 3" LAG BOLTS

NOTE:
FLOOD ZONE IS 1/2 (EL. 16) MIL.
HEIGHT OF FLOAT PILES=16+2'(BLW TO MCL)+1.5'(FREEBOARD)+1'=20.5'

NOTE:
ALL PILED PER PILES SHALL BE
DRIVEN 10' BELOW MUDLINE.

ALL FLOAT PILES SHALL BE DRIVEN
12' BELOW MUDLINE.

SITE ADDRESS:
50 CLIFF AVE.
PORTSMOUTH, R

OWNER INFO:
ANN MURPHY
52 CONANT RD.
WESTWOOD, MA 02090

RON T. BLANCHARD
No. 0010
REGISTERED
PROFESSIONAL ENGINEER

DOCK PROFILE & DETAILS

PLAT 10, LOT 16

50 CLIFF AVE.

PORTSMOUTH

SITE ENGINEERING INC. SEI

CIVIL • CRISTAL • STRUCTURAL

75 ROAD STREET
BIRMINGHAM, AL 35203

1-800-555-1234 (100) 1234-5678

| DATE | REVISIONS |
|------------|-----------|
| 08/08/2014 | 01 |

REVISIONS

SCALE: AS NOTED
(SHEET 2 OF 2)
DK-2

DK-2

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FEB 08 2023

COASTAL RESOURCES
MANAGEMENT COUNCIL

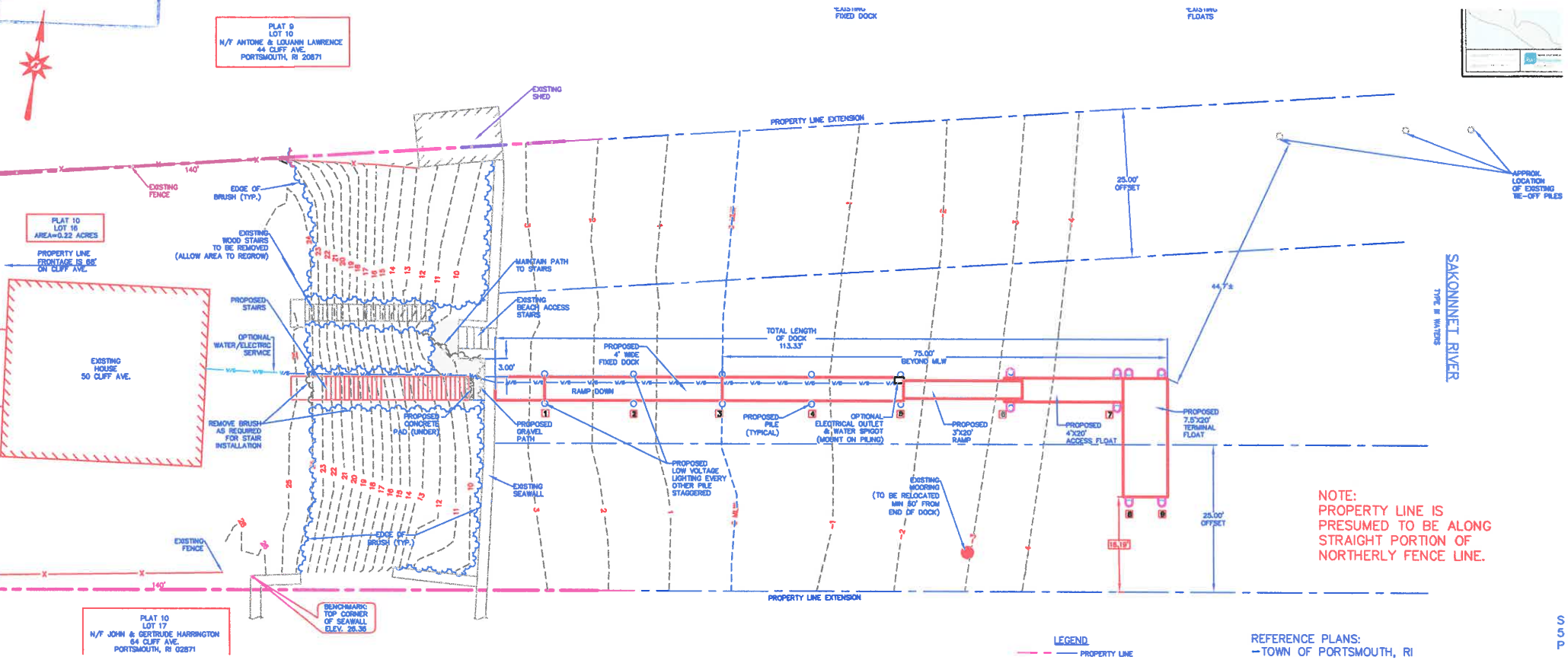
PLAT 9
LOT 10
N/F ANTONIO & LOUANN LAWRENCE
44 CLIFF AVE.
PORTSMOUTH, RI 02871

PLAT 10
LOT 16
AREA=0.22 ACRES

EXISTING HOUSE
50 CLIFF AVE.

PLAT 10
LOT 17
N/F JOHN & GERTRUDE HARRINGTON
64 CLIFF AVE.
PORTSMOUTH, RI 02871

BENCHMARK
TOP CORNER
OF SEAWALL
ELEV. 28.38



NOTE:
PROPERTY LINE IS
PRESUMED TO BE ALONG
STRAIGHT PORTION OF
NORTHERLY FENCE LINE.

REFERENCE PLANS:
-TOWN OF PORTSMOUTH, RI



S S D