



State of Rhode Island  
**Coastal Resources Management Council**  
Oliver H. Stedman Government Center  
4808 Tower Hill Road, Suite 3  
Wakefield, RI 02879-1900

(401) 783-3370  
Fax (401) 783-2069

## **PUBLIC NOTICE**

File Number: 2023-03-023 Date: June 21, 2023

This office has under consideration the application of:

**Timothy Shea**  
**129 Charlotte Drive**  
**East Greenwich, RI 02818**

for a State of Rhode Island Assent to construct and maintain:

A residential boating facility consisting of a 4'x86' residential pier terminating with an 8'x18.75' float. Pier will extend 66' beyond mean low water where 50' is allowed. A variance is requested to Section 1.3.1(D)(6)(f)(3) of the RI CRMP. The facility will be located 16' from the property line extension where 25' is required. A letter of no objection has been submitted by the affected abutting neighbor.

Project Location:	129 Charlotte Drive
City/Town:	Warwick
Plat/Lot:	201 / 113
Waterway:	Greenwich Bay

Plans of the proposed work can be requested at [Cstaff1@crmc.ri.gov](mailto:Cstaff1@crmc.ri.gov).

In accordance with the Administrative Procedures Act (Chapter 42-35 of the Rhode Island General Laws) you may request a hearing on this matter.

You are advised that if you have good reason to enter protests against the proposed work it is your privilege to do so. It is expected that objectors will review the application and plans thoroughly, visit site of proposed work if necessary, to familiarize themselves with the conditions and cite what law or laws, if any, would in their opinion be violated by the work proposed.

If you desire to protest, you must attend the scheduled hearing and give sworn testimony. A notice of the time and place of such hearing will be furnished you as soon as possible after receipt of your request for hearing. If you desire to request a hearing, to receive consideration, it should be in writing (**with your correct mailing address, e-mail address and valid contact number**) and be received at this office on or before July 21, 2023.

Please email your comments/hearing requests to: [cstaff1@crmc.ri.gov](mailto:cstaff1@crmc.ri.gov); or mail via USPS to: Coastal Resources Management Council; O. S. Government Center, 4808 Tower Hill Road, Rm 116; Wakefield, RI 02879.

NARRATIVE OF CONSTRUCTION  
RESIDENTIAL PIER  
FOR  
Timothy Patrick Shea  
AP 201, LOT 113  
129 CHARLOTTE DRIVE, WARWICK, RI 02818

February 23, 2023

As proposed the project will consist of a new 4, x 86' residential pier. Pier will be terminated with a 8' x 18.75' float, pier to extend 66' seaward of mean low water.

Equipment that will be used during construction will consist of a barge mounted pile drive, utility trucks, and general tools used by dock builders. Access for the equipment will be over the water and public roads.

**Pile Driving note cut from plans:**

A "soft start" is required to allow animals an opportunity to leave the project vicinity before sound pressure levels increase. In addition to using a soft start at the beginning of the work day for pile driving, one must also be used at any time following cessation of pile driving for a period of 30 minutes or longer. For impact pile driving: pile driving will commence with an initial set of three strikes by the hammer at 40% energy, followed by a one-minute wait period, then two subsequent 3-strike sets at 40% energy, with one-minute waiting periods, before initiating continuous impact driving."

Materials to be used on this pier have been used in the past on similar projects, they include: timbers (Alkaline Copper Quaternary treated), metal connectors (hot dipped galvanized and stainless steel). The ACQ treatment is a non-leaching preservative.

Work is scheduled to begin as soon as permits are secured. It is expected to take 3 weeks to complete.

  
Warren Hall, PE, PLS



CATEGORY B REQUIREMENTS, RESIDENTIAL PIER

TIMOTHY PATRICK SHEA

AP 201, LOT 113, 129 Charlotte Drive, Warwick, RI

- a) The proposed activity is a 4' x 86' residential pier, with associated residential use.
- b) All local permits will be secured prior to construction.
- c) The pier will extend into Greenwich Bay which is designated as type 2 waters.
- d) As this activity will occur over the water and surrounding land area, there will be no change to the erosion and deposition process in this area.
- e) During construction there will be displacement of plant & animal life, however after completion all plant and animal life will re colonize. As proposed the deck elevation will be 10 feet above mean low water allowing for sun light penetration under the structure. As called for on the plans pile driving operations will be limited to a soft start.  
*"A "soft start" is required to allow animals an opportunity to leave the project vicinity before sound pressure levels increase. In addition to using a soft start at the beginning of the work day for pile driving, one must also be used at any time following cessation of pile driving for a period of 30 minutes or longer. For impact pile driving: pile driving will commence with an initial set of three strikes by the hammer at 40% energy, followed by a one-minute wait period, then two subsequent 3-strike sets at 40% energy, with one-minute waiting periods, before initiating continuous impact driving."*
- f) The proposed pier is adjacent to private property and there is no public access over this property. As proposed the deck elevation is 10' above mean low water all uses along the shore and within the tidal waters will remain unchanged.
- g) This pier will have 12" diameter piles driven into the sediment; pile spacing will be 15'. These piles will have no effect on the water circulation, flushing, turbidity, or sedimentation processes.
- h) All of these materials have been used in the past on similar projects, resulting in no deterioration of the water quality in the area.
- i) There are no areas of historic or archeological significance in the area of the pier.
- j) As proposed this pier will extend 66' beyond mean low water, and be elevated to 10' above mlw. This elevation will allow for access laterally along the shoreline. Waters adjacent to the proposed pier are subject to shoaling depths hindering active recreational boating, fishing, navigation, or commerce activities.
- k) It is this author's opinion that this pier will be in conformance in with surrounding area. There are existing piers within the area.

Warren Hall, PE, PLS      February 23, 2023





Warren Hall, Civil Engineer  
63 Elmwood Ave.  
Middletown, RI 02842

February 23, 2023  
CRMC  
4808 Tower Hill Rd.  
Wakefield, RI 02879

Applicant:

**Timothy Patrick Shea, 129 Charlotte Drive, Warwick, RI 02818**

RE: Section 1.1.7 VARIANCES requested from:

650-RICR-20-00-1, 1.3.1(D)(6)(f)(3), pier to extend 66' beyond mean low water where 50' is allowed

650-RICR-20-00-1, 1.3.1.(D)(11)(k); float to be located within 16' of property line extension where 25' is required

**A):**

1) Council policies and goals of sections two and three are addressed as follows:

- a) Water type in this area is type two, where the council allows residential piers. As proposed this pier will be elevated a minimum 5.1' above mean high water to allow for public access laterally along the shoreline. Adjacent lots have piers with similar clearances and depths. Proposed pier will be supported on existing concrete deck.
- b) In order to provide 18" water depth during mean low water, a variance is requested to extend the pier an additional 16' beyond mean low water. This location also locates the float in line with neighboring piers to the east and west, avoiding use conflicts.
- c) Existing lot width of 50' will require a variance from both sides of lot, however a letter of no objection from the affected neighbor is submitted with this application.

2) Proposed alteration will not result in use conflicts or adverse environmental impacts:

- a) The proposed pier is very similar to other piers that have been permitted and constructed in the area. As proposed the design provides for an 18" water depth during a mean low tide and also provides 5.1' clearance to the stringer from mean high water, allowing all uses to continue laterally along the shoreline. Adjacent lots have piers that have similar clearances and depths.



b) All of the proposed materials have been used in the past and resulted in no effect on the marine environment. Water depths and existing piers obstruct any intense use of this area including fishing, navigation, and commerce.

3) Due to site conditions the standard cannot be met:

a) Pre existing limited depth conditions and lot width, are being mitigated by taking advantage of the increased length providing for a pier that is functional during periods of lower tides. Affected adjacent property owner have been consulted and has no objection to the proposed pier. There are piers in the area with similar lengths, setbacks and depths.

4) Modification is minimum necessary:

a) The proposed extension will provide 18" of water depth, and be located within the required sideline setback to the west lot line. A letter of no objection is included with this application from the east lot owner of the requested variance setback.

5) Hardship is not the result of any action by the applicant or predecessor in title:

a) Limiting water depths are present at the site and are a natural condition, CRMC rules were not in effect at the time of the original subdivision (1920).

6) Due to conditions at the site, the standard will cause the applicant an undue hardship:

a) Existing lot width of 50' was not considered by the original subdivision in 1920. Also, the pier will be located in line with both neighbor's pier / float and or lift.

**B):** NA

**C):**

a) All other program requirements have been met.

**D):**

a) Local municipality requirements are not causing the relief requested.

Respectfully Submitted,

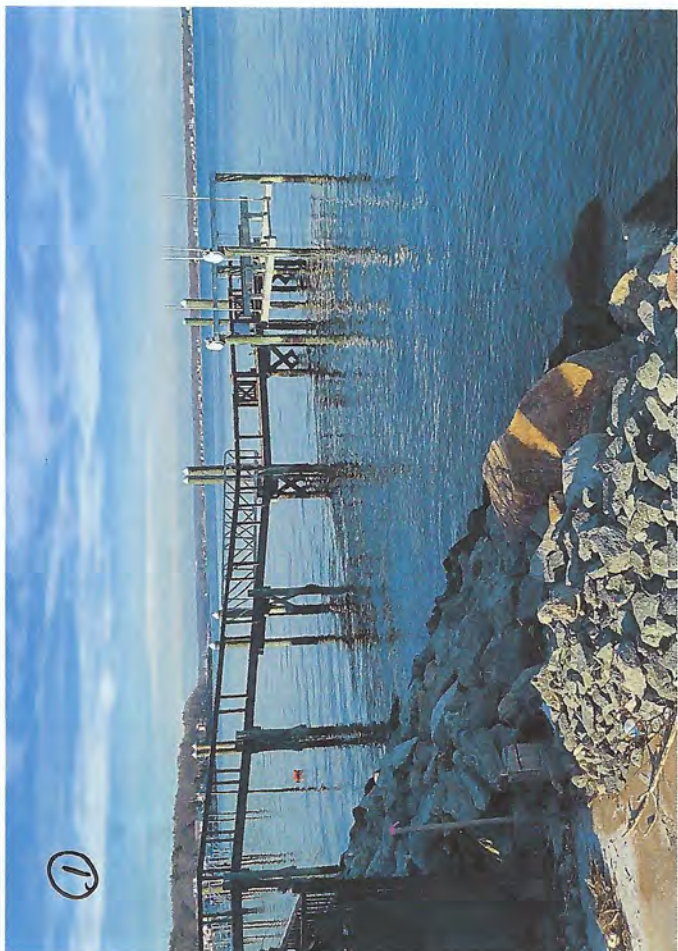
  
Warren Hall, PE, PLS



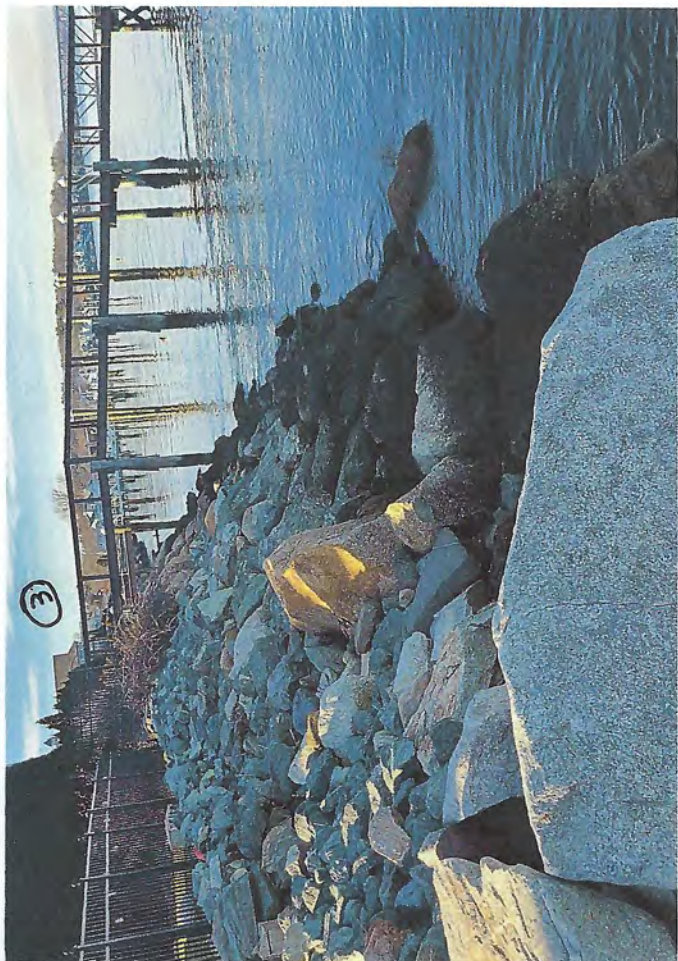


Pictures to accompany residential pier application

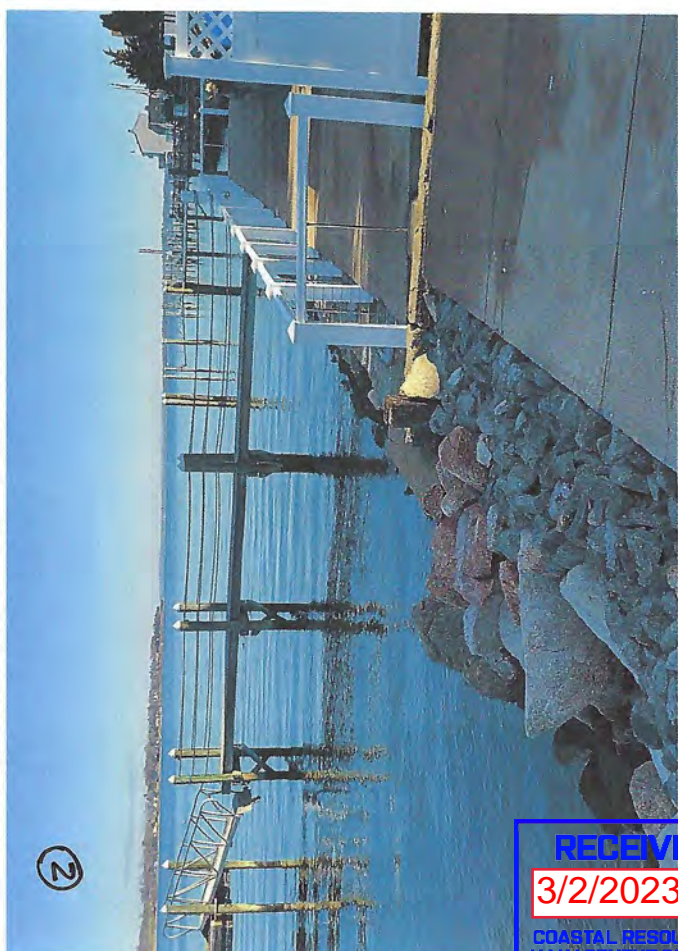
Timothy Patrick Shea  
129 Charlotte Dr. Warrick RI



Looking Northwest



Looking West



Looking East



Looking east

Bry! WFA  
2-23-23

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**CERTIFICATION**  
 THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED  
 PURSUANT TO 435-RICR-00-00-19 OF THE RULES AND REGULATIONS  
 ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR  
 PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015 AS FOLLOWS:

LIMITED CONTENT BOUNDARY SURVEY CLASS 1  
 TOPOGRAPHIC SURVEY CLASS 11

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR PREPARATION  
 OF THE PLAN IS AS FOLLOWS:  
 SHOW THE RELATIVE LOCATION OF A PROPOSED PIER WITH RESPECT TO  
 THE PROPERTY LINE EXTENSIONS; PER CRMC 1.3.1.D.11.k.(3)

BY: *[Signature]* 7-11-23  
 WARREN HALL, PLS #1917  
 I.S. 0004291-G0A

**GENERAL NOTES:**

- 1) ELEVATIONS REFERENCE MEAN LOW WATER
- 2) DATE OF SURVEY: 12-30-22
- 3) PLAN REFERENCE: "POTOWOMUT PLAT  
 Warwick, RI belonging to Herbert C Calef  
 By Frank E Waterman Co. July 1920"

**LEGEND**

- HTL HIGH TIDE LINE
- MHW MEAN HIGH WATER
- MLW MEAN LOW WATER
- PLE PROPERTY LINE



PROPOSED RESIDENTIAL PIER FOR:

TIMOTHY PATRICK SHEA

129 CHARLOTTE DRIVE

AP 201, LOT 113

WARWICK, RI 02818

BY: WARREN HALL, CIVIL ENGINEER

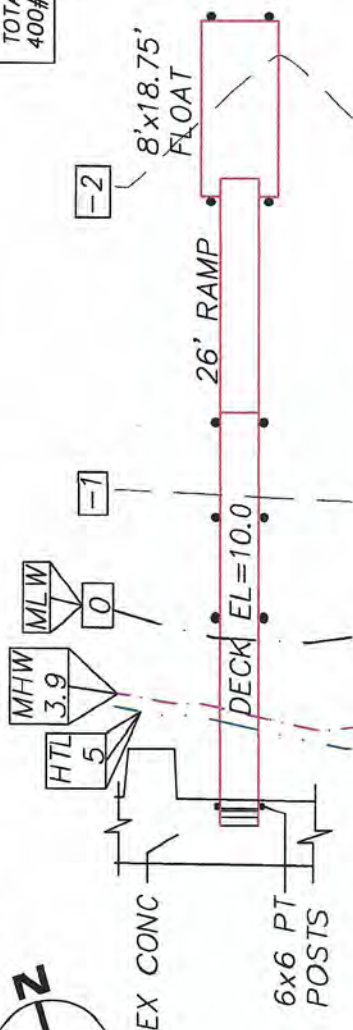
FEBRUARY 11, 2023 SHEET 2 OF 4



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Scale 1" = 20'

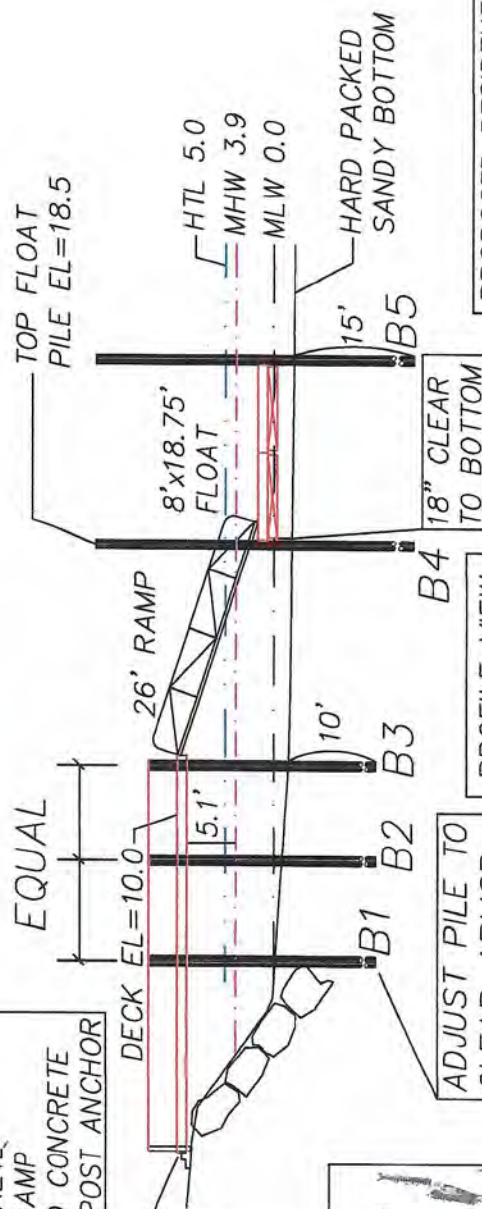


PLAN VIEW

FLOAT DESIGN: USE 12@24x48x12 ROTO MOLD 433# FLOATS  
DL=150SFx10PSF+(12x33)=1896#  
LL=150SFx20PSF=3000#  
DL DRAFT=1896/5196=.36' (4.3")  
LL DRAFT=3000/5196=.57' (6.8")  
TOTAL DRAFT=.93' (11.2")  
400# POINT LOAD=.52' (6.2") DRAFT

DRIVE ALL PILES TO MINIMUM  
10', CONTRACTOR TO KEEP  
RECORD OF LOCATION, ORIGINAL  
PILE LENGTH AND CUT OFF LENGTH  
ALL PILES TO BE PRE MARKED AT 1'  
INTERVALS FOR EMBEDMENT VERIFICATION

LANDING ON EX CONCRETE  
DECK, 3 RISERS OR RAMP  
WITH SIMPSON AB66 POST ANCHOR



ADJUST PILE TO  
CLEAR ARMOR  
STONE

PROFILE VIEW  
1" = 20'

LEGEND

— · · — HTL HIGH TIDE LINE  
— · · — MHW MEAN HIGH WATER  
— · — MLW MEAN LOW WATER  
— · · · — PLE PROPERTY LINE

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TIMOTHY PATRICK SHEA  
129 CHARLOTTE DRIVE  
AP 201, LOT 113  
WARWICK, RI 02818  
BY: WARREN HALL, CIVIL ENGINEER  
FEBRUARY 11, 2023 SHEET 3 OF 3

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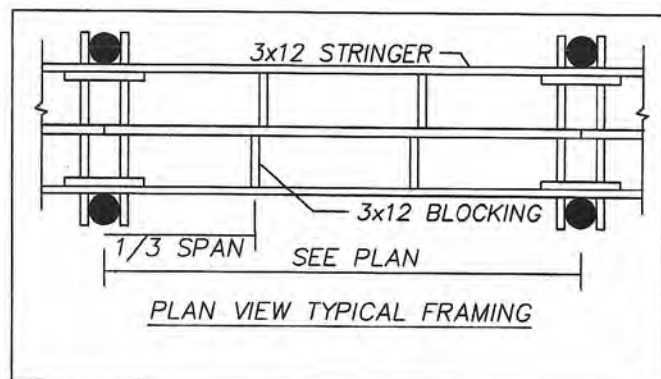
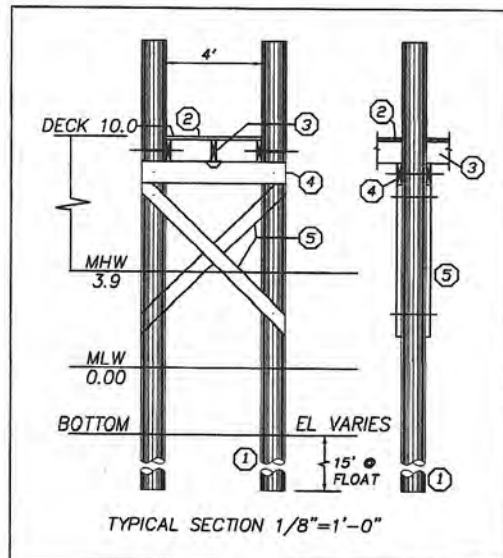
## PILE DRIVING NOTE:

A "soft start" is required to allow animals an opportunity to leave the project vicinity before sound pressure levels increase. In addition to using a soft start at the beginning of the work day for pile driving, one must also be used at any time following cessation of pile driving for a period of 30 minutes or longer. For impact pile driving: pile driving will commence with an initial set of three strikes by the hammer at 40% energy, followed by a one minute wait period, then two subsequent 3-strike sets at 40 % with one minute waiting periods, before initiating continuous impact driving.

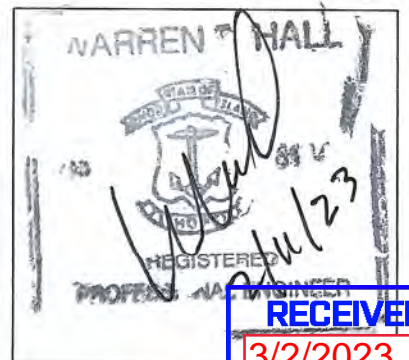
- ① 10" TIP CCA TREATED WOOD PILES  
TREAT TO 2.5 PCF (1.0 ALLOWED WITH  
OWNER CONSENT) GREENHEART AT FLOAT
- ② 5/4x6 DECKING ACQ TREATED TO .6 PCF  
FASTEN TO STRINGERS WITH 3 @ 3-1/2"  
NO. 10 316 STAINLESS STEEL SCREWS
- ③ 3x12 STRINGER, ACQ TREATED THRU BOLT AT PILE  
FASTEN MIDDLE STRINGER WITH SIMPSON  
H-1 HURRICANE ANCHOR
- ④ 2-3x12 CAP BEAM, ACQ TREATED TO  
.6 PCF
- ⑤ 3x10 CROSS BRACE, ACQ TREATED TO  
2.5 PCF

### GENERAL NOTES:

- 1) ALL BOLTS, CONNECTORS, WASHERS, NAILS, ECT  
SHALL BE HOT DIPPED GALVANIZED
- 2) CONTRACTOR SHALL ADHERE TO ALL OSHA RULES  
AND REGULATIONS THROUGHOUT ALL PHASES OF  
CONSTRUCTION
- 3) CONTRACTOR SHALL BE AWARE THAT THE STRATA  
INTO WHICH THESE PILES ARE TO BE DRIVEN  
MAY REQUIRE DRILLING TO ENSURE A MINIMUM  
10' PENETRATION BELOW EXISTING GRADE



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