





NOT FOR CONSTRUCTION

2021

TIDEWATER STADIUM

Pawtucket, Rhode Island

FORTUITOUS PARTNERS



REVISION	DATE	DESCRIPTION
		APPROVAL ON SUBMITTAL
		PROPOSED REGULATORY SUBMITTAL SET
		REVISED GRAD ASSISTANT APPLICATION
		PROPOSED FINAL SITE PLANS TO CITY/STATE
		ISSUE DATE DESCRIPTION

PROJECT NO.	1922.0000
P.I.C.	-
P.MGR.	-
PARCL	-
DESIGN BY	-
JOB CAPTAIN	-
DRAWN BY	JOL
CHECKED BY	SLR

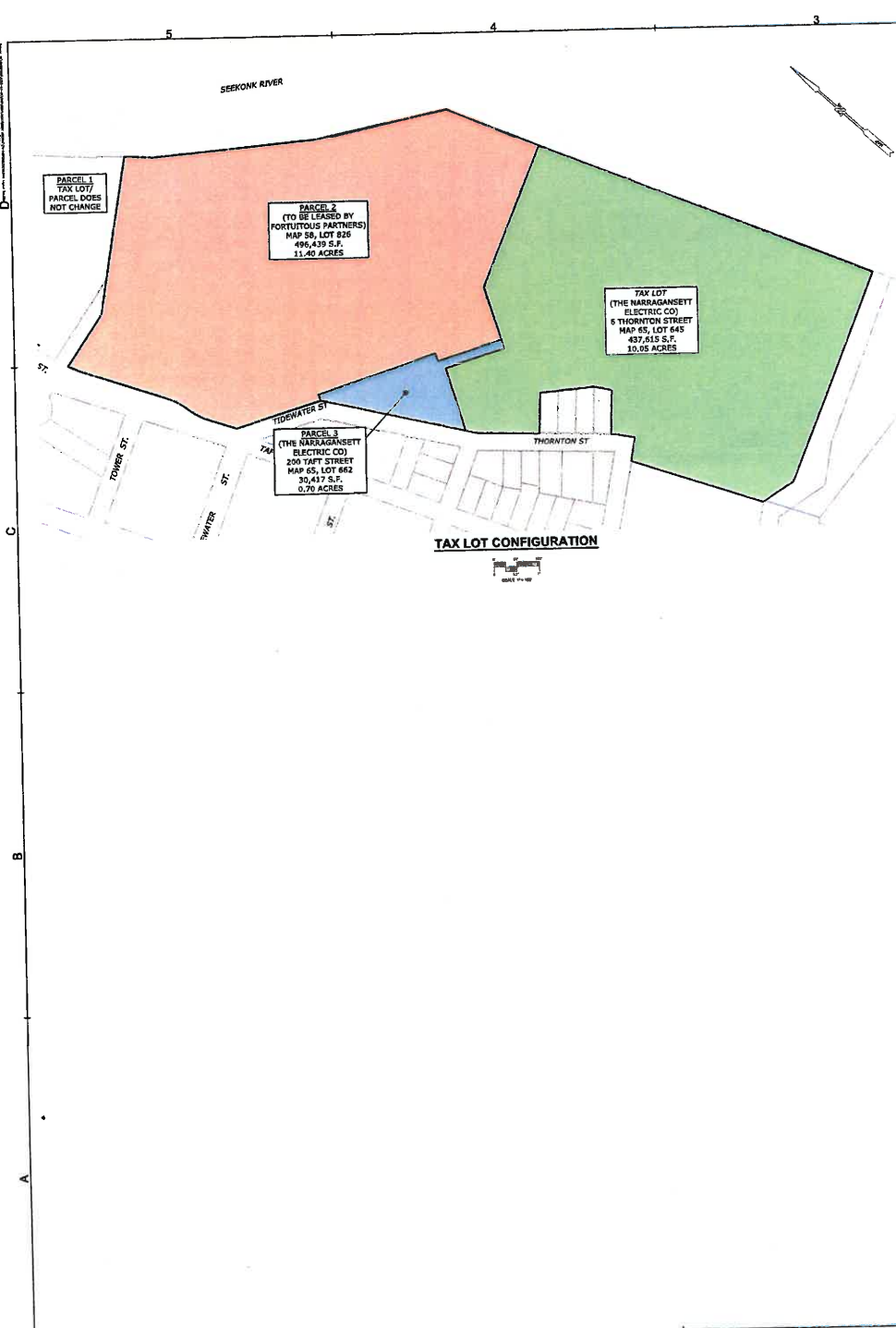
NOTES & LEGEND SHEET

SHEET IDENTIFIER  
C100

GENERAL NOTES

- THE SITE IS LOCATED ON THE CITY OF PAWTUCKET ARDEN'S PLAT 84-18 (PARCEL 87-35).
- THE SITE IS APPROXIMATELY 26 ACRES AND IS ZONED ADVERTISED TIDEWATER ZONE (ATW).
- THE OWNER OF PARCEL 84-18 (LOT 87-35) IS:  
MANAGEMENT ELECTRIC COMPANY (M.E.C.)  
45 BYWAY ROAD  
THE FALLS, PA 15215
- 100 CORNER OF AVONDA IN LOT 87-35:  
CITY OF PAWTUCKET  
117 HOBBSVILLE AVENUE  
PAWTUCKET, RI 02860
- THIS SITE IS LOCATED IN FEMA FLOOD ZONES VU-13, AA-17 AND X. REFERENCE FEMA FLOOD INSURANCE RATE MAP AND FLOODPLAIN MAP DATED OCTOBER 13, 2015.
- THE BOUNDARY LINES AS SHOWN ON THE ENGINEERING PLAN SET REFLECT THE RESULTS OF A CLASS 1 BOUNDARY SURVEY AS PERFORMED BY BAKANT ASSOCIATES ON A MAP DATED MAY 26, 2020.
- TOPOGRAPHIC INFORMATION IS TAKEN FROM LINDSEY ASYMMETRIC AND BOUNDARY SURVEY PERFORMED BY ECA SURVEYING, INC. ON OCTOBER 13 & 15, 2017 REPRESENTING CONDITIONS AT THE TIME OF THE SURVEY.
- MONTHLY RAINFALL, MEANINGS AND COORDINATES ARE BASED UPON THE RHODE ISLAND STATE PLANE COORDINATE SYSTEM (NAD 1983). ELEVATIONS, CONTOURS AND BENCH MARKS ARE BASED UPON (NAVD 1989).
- INFORMATION REGARDING THE LOCATION OF EXISTING UTILITIES HAS BEEN BASED UPON AVAILABLE INFORMATION, MAY BE INCOMPLETE, AND SHOULD BE VERIFIED BY THE CONTRACTOR. THE LOCATION OF ALL EXISTING UTILITIES SHOULD BE CONFIRMED PRIOR TO BEGINNING CONSTRUCTION. CALL THE "811" SERVICE AT (401) 864-7333. ALL UTILITY LOCATIONS MUST TO NOT EXCEED THE VERTICAL OR HORIZONTAL CONTROL SHOWN ON THE PLANS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE CONTRACTOR FOR PROTECTION.
- ALL WORK REFERENCED HEREIN IS TO BE GOVERNED BY CURRENT EDITIONS OF THE RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, CITY OF PAWTUCKET STANDARD SPECIFICATIONS AND DETAILS AND SPECIFICATIONS INCLUDE AS PART OF THE CONTRACT, IN AREAS OF CONFLICT BETWEEN THE DIFFERENT SPECIFICATIONS, THE DESIGN PLANS AND PROJECT SPECIFICATIONS WILL TAKE PRECEDENCE OVER THE GENERAL SPECIFICATIONS AND THE DESIGN ENGINEER WILL DETERMINE THE CONSTRUCTION REQUIREMENT. THE CONTRACTOR IS ADVISED TO SUBMIT A REQUEST FOR INFORMATION (RFI) FOR ANY AREAS OF CONFLICT PRIOR TO COMMENCING CONSTRUCTION.
- THE FOLLOWING DOCUMENTS ARE CONSIDERED PART OF THE PROJECT PLANS AND THE CONTRACTOR MUST MAINTAIN THESE DOCUMENTS AS PART OF A FULL PLAN SET:  
SOIL EROSION AND SEDIMENT CONTROL PLAN (SEDC) THE SEDC CONTAINS THE FOLLOWING:  
- EROSION CONTROL MEASURES  
- SLOPE STABILIZATION  
- ESTABLISHMENT OF VEGETATIVE COVER  
- CONSTRUCTION POLLUTION PREVENTION  
- ALLOCATION OF CONSTRUCTION  
STORMWATER OPERATION AND MAINTENANCE PLAN (OMM). THE OMM CONTAINS:  
- LONG TERM MAINTENANCE  
- SLOPE STABILIZATION PREVENTION
- THIS PLAN SET REFERENCES SEED STANDARD DETAILS (DESIGNATED AS SEED STD. 001), MOST STANDARD DETAILS ARE AVAILABLE FROM SEED AND ONLINE AT: <http://pawtucket.gov/development/contractors/standarddetails.pdf>
- THE DRAINAGE SYSTEM IS DESIGNED TO MEET THE CITY OF PAWTUCKET SUBSTATION AND LAND DEVELOPMENT REGULATIONS WITH THE USE OF BEST MANAGEMENT PRACTICES (BMP) AND UNDERGROUND DRAINAGE SYSTEMS. THE STORMWATER MANAGEMENT SYSTEM MEETS THE MOST BEST MANAGEMENT PRACTICES.
- VEGETATION TO BE REMOVED BY HAND IS SHOWN ON THE SITE LAYOUTS. VEGETATION TO BE REMOVED BY MACHINE IS SHOWN ON THE SITE LAYOUTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF MAPS AND DATA WHICH HAVE BEEN SUPPLIED BY OTHERS.
- ALL UTILITY SERVICES ARE TO BE UNDERGROUND. THE EXACT LOCATION AND DEPTH OF ELECTRIC, TELEPHONE, CABLE TELEVISION AND GAS ARE TO BE DETERMINED BY THE RESPECTIVE UTILITY COMPANIES.
- ALL DIMENSIONS AND ELEVATIONS SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
- ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 4" SODDED TURF, AND BE SEEDED WITH GRASS OR SOONER, AS SHOWN ON THE PLANS.
- ALL PROPOSED CONTOURS AND SPOT ELEVATIONS INDICATE FINISHED GRADE.
- ALL EXISTING SANITARY SEWER PIPES SHALL BE PVC 8" UNLESS OTHERWISE INDICATED. PROPOSED CONNECTIONS TO EXISTING SANITARY STRUCTURES SHALL BE IN ACCORDANCE WITH CITY OF PAWTUCKET STANDARDS.
- THE PLANS REQUIRE A CONTRACTOR'S WORKING KNOWLEDGE OF LOCAL, NATIONAL, STATE AND FEDERAL LAWS AND REGULATIONS. THE CONTRACTOR SHALL CONSULT WITH THE CITY OF PAWTUCKET SUBSTATION AND LAND DEVELOPMENT REGULATIONS AND LOCAL REQUIREMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE CONTRACTOR PRIOR TO THE EXECUTION OF WORK. THE CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS TO IMPLEMENT OR CORRECT WORK WHICH DOES NOT CONFORM TO LOCAL CODES.
- ALL FUEL, OIL, PAINT, OR OTHER HAZARDOUS MATERIALS SHOULD BE STORED IN A SPECIALLY CONTAINER AND REMOVED TO A LOCKED INDOOR AREA WITH AN IMPROVED FLOOR DURING NON-HOURS WORK.
- THE PROPOSED BUILDINGS ARE TO BE SERVED BY PUBLIC WATER AND SANITARY SEWER.
- COMPLIANCE WITH THE PERMIT CONDITIONS IS THE RESPONSIBILITY OF BOTH THE CONTRACTOR AND THE PERMITTEE.
- THE CONTRACTOR MUST MAINTAIN NEARBY AREAS AND NEIGHBORHOODS UNTIL ALL DEVELOPMENT ACTIVITY IS COMPLETED AND ALL DISTURBED AREAS ARE PERMANENTLY RESTORED.

EXISTING	PROPOSED
STREET LINE	STREET LINE
PROPERTY LINE	PROPERTY LINE
EASEMENT	EASEMENT
WATERWAY	WATERWAY
WETLAND	WETLAND
TREELINE	TREELINE
GRAVEL LIMITS	GRAVEL LIMITS
GUARD RAIL	GUARD RAIL
CHAIN LINK FENCE	CHAIN LINK FENCE
ELECTRIC LINE	ELECTRIC LINE
DIRECT BURIAL ELECTRICAL LINE	DIRECT BURIAL ELECTRICAL LINE
GAS LINE	GAS LINE
ABANDONED GAS LINE	ABANDONED GAS LINE
OVERHEAD WIRE	OVERHEAD WIRE
SANITARY LINE	SANITARY LINE
STORM LINE	STORM LINE
WATER LINE	WATER LINE
1500 BASH FLOOD ELEVATION	1500 BASH FLOOD ELEVATION
1000 HIGH WATER	1000 HIGH WATER
500 LOW WATER	500 LOW WATER
COASTAL FEATURE	COASTAL FEATURE
35 FT CMHC BUFFER	35 FT CMHC BUFFER
50 FT CMHC BUFFER	50 FT CMHC BUFFER
300 FT CMHC INTERSECTION LINE	300 FT CMHC INTERSECTION LINE
SANITARY MANHOLE	SANITARY MANHOLE
STORM MANHOLE	STORM MANHOLE
VEGETATION MANHOLE	VEGETATION MANHOLE
CATCH BASIN	CATCH BASIN
GAS VALVE	GAS VALVE
UTILITY HOLE	UTILITY HOLE
HYDRANT	HYDRANT
LIGHT POLE	LIGHT POLE
SIGN	SIGN
PARKING LOT LIGHT	PARKING LOT LIGHT
WALL	WALL
GRAVEL BLOCK	GRAVEL BLOCK
REINFORCE	REINFORCE
FENCE (BY OTHERS)	FENCE (BY OTHERS)
YARD DEATH	YARD DEATH
WINDY CONTOUR (EVMS)	WINDY CONTOUR (EVMS)
MINOR CONTOUR (ODS)	MINOR CONTOUR (ODS)
MARK CONTROL	MARK CONTROL
SPOT ELEVATION	SPOT ELEVATION
YARD DRAIN	YARD DRAIN



TAX LOT CONFIGURATION





**NOT FOR CONSTRUCTION**

© 2021 ODELL Associates, Inc. All Rights Reserved

**TIDEWATER STADIUM**  
Pawtucket, Rhode Island

**FORTUITOUS PARTNERS**

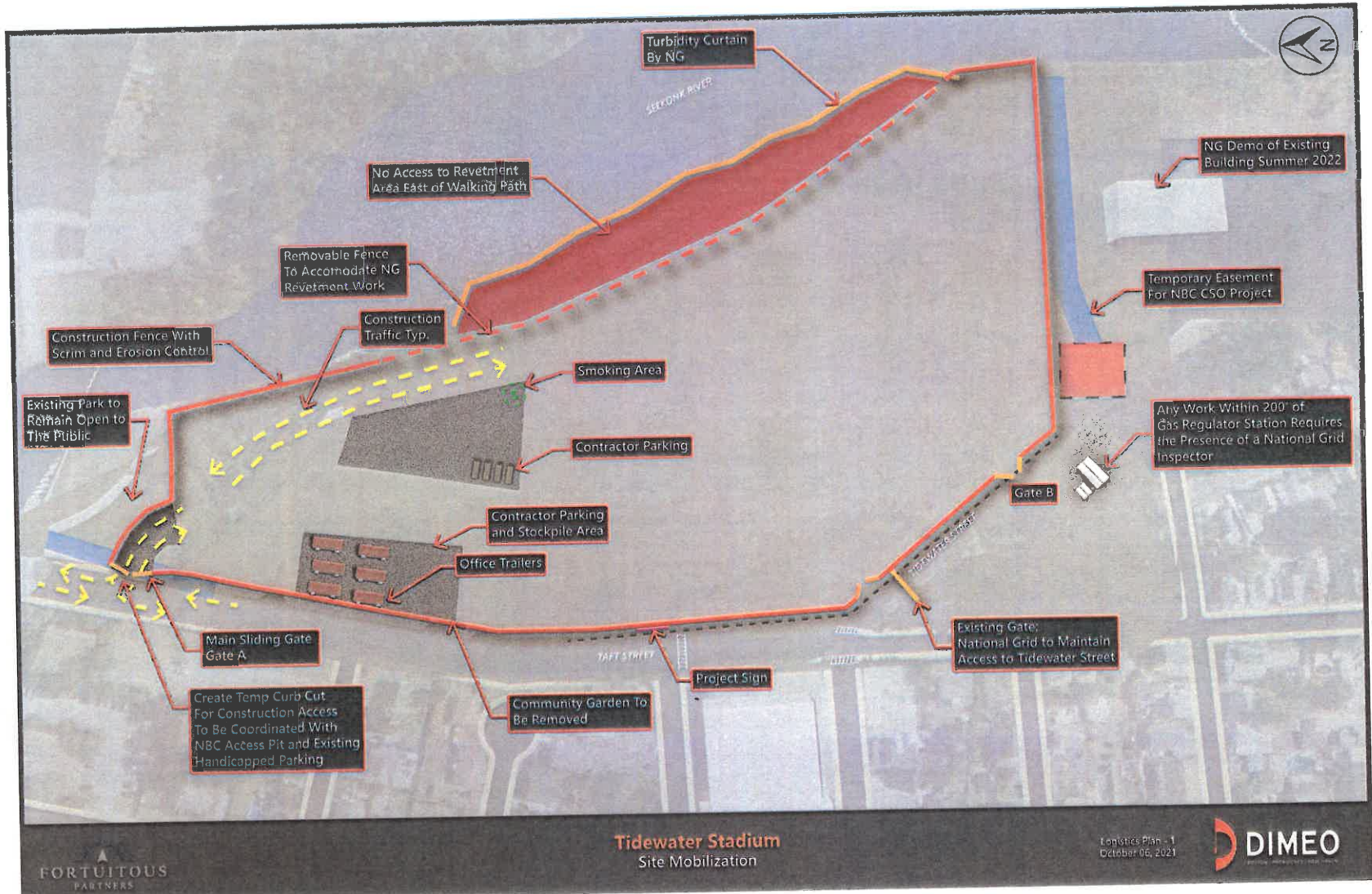
NOT TO SCALE

REVISION	DATE	DESCRIPTION

PROJECT NO:	18222.0000
P.I.C.	-
P.MOR.	-
P.ARCH.	-
DESIGN BY	-
JOB CAPTAIN	-
DRAWN BY	JOL
CHECKED BY	BLD

**CONSTRUCTION LOGISTICS PLAN**

SHEET NUMBER  
**C102**





NOT FOR CONSTRUCTION

©2011 ODELL Associates, Inc. All Rights Reserved

**TIDEWATER STADIUM**

Pawtucket, Rhode Island

**FORTUITOUS PARTNERS**



REVISION	DATE	DESCRIPTION
1		ISSUED FOR INFORMATION
2		ISSUED FOR PERMIT SUBMISSION SET
3		ISSUED FOR PERMIT SUBMISSION SET
4		ISSUED FOR PERMIT SUBMISSION SET
5		ISSUED FOR PERMIT SUBMISSION SET
6		ISSUED FOR PERMIT SUBMISSION SET
7		ISSUED FOR PERMIT SUBMISSION SET
8		ISSUED FOR PERMIT SUBMISSION SET
9		ISSUED FOR PERMIT SUBMISSION SET
10		ISSUED FOR PERMIT SUBMISSION SET
11		ISSUED FOR PERMIT SUBMISSION SET
12		ISSUED FOR PERMIT SUBMISSION SET
13		ISSUED FOR PERMIT SUBMISSION SET
14		ISSUED FOR PERMIT SUBMISSION SET
15		ISSUED FOR PERMIT SUBMISSION SET
16		ISSUED FOR PERMIT SUBMISSION SET
17		ISSUED FOR PERMIT SUBMISSION SET
18		ISSUED FOR PERMIT SUBMISSION SET
19		ISSUED FOR PERMIT SUBMISSION SET
20		ISSUED FOR PERMIT SUBMISSION SET

PROJECT NO: 16221.0000

P.L.C. \_\_\_\_\_

P.A.R.C. \_\_\_\_\_

P.A.R.C. \_\_\_\_\_

DESIGN BY \_\_\_\_\_

JOB CAPTAIN \_\_\_\_\_

DRAWN BY \_\_\_\_\_ JDL

CHECKED BY \_\_\_\_\_ GLO

SHEET TITLE

**LAYOUT AND LANDSCAPING PLAN**

SHHEET IDENTIFIER

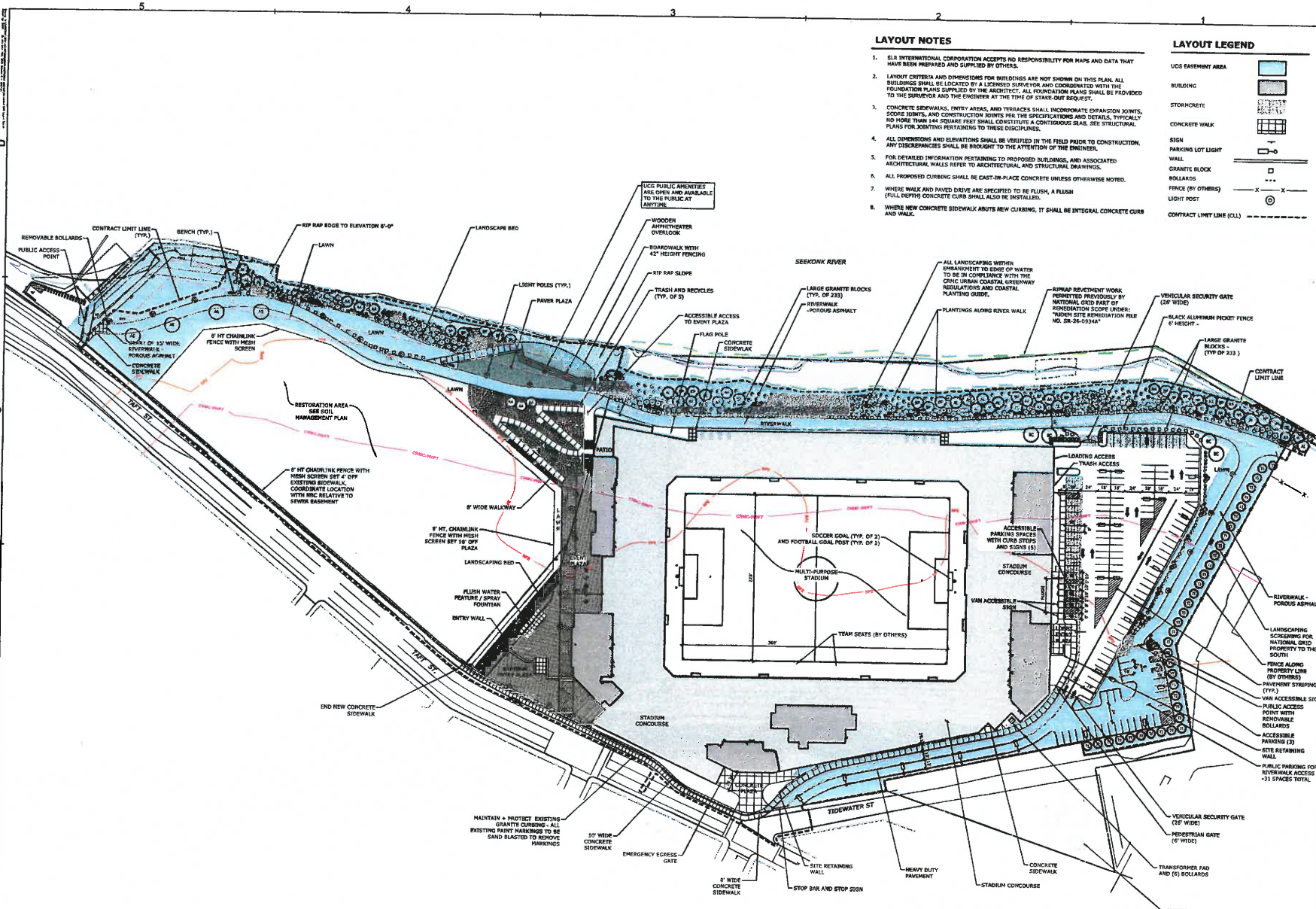
**C103**

**LAYOUT NOTES**

- SLR INTERNATIONAL CORPORATION ACCEPTS NO RESPONSIBILITY FOR MAPS AND DATA THAT HAVE BEEN PREPARED AND SUPPLIED BY OTHERS.
- LAYOUT CRITERIA AND DIMENSIONS FOR BUILDINGS ARE NOT SHOWN ON THIS PLAN. ALL BUILDINGS SHALL BE LOCATED BY A LICENSED SURVEYOR AND COORDINATED WITH THE FOUNDATION PLANS SUPPLIED BY THE ARCHITECT. ALL FOUNDATION PLANS SHALL BE PROVIDED TO THE SURVEYOR AND THE ENGINEER AT THE TIME OF STAKE-OUT REQUEST.
- CONCRETE SIDEWALKS, ENTRY AREAS, AND TERRACES SHALL INCORPORATE EXPANSION JOINTS, AND CONSTRUCTION JOINTS PER THE SPECIFICATIONS AND DETAILS, TYPICALLY SPACING JOINTS, AND CONSTRUCTION JOINTS SHALL CONSTITUTE A CONTIGUOUS SEAL. SEE STRUCTURAL PLANS FOR JOINTING REQUIREMENTS TO THESE SPECIFICATIONS.
- ALL DIMENSIONS AND ELEVATIONS SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
- FOR DETAILED INFORMATION PERTAINING TO PROPOSED BUILDINGS, AND ASSOCIATED ARCHITECTURAL WALLS REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS.
- ALL PROPOSED CURBING SHALL BE CAST-IN-PLACE CONCRETE UNLESS OTHERWISE NOTED.
- WHERE WALK AND PAVED DRIVE ARE SPECIFIED TO BE FLUSH, A FLUSH (FULL DEPTH) CONCRETE CURB SHALL ALSO BE INSTALLED.
- WHERE NEW CONCRETE SIDEWALK ABUTS NEW CURBING, IT SHALL BE INTEGRAL CONCRETE CURB AND WALK.

**LAYOUT LEGEND**

- UCS EASEMENT AREA
- BUILDING
- CONCRETE
- CONCRETE WALK
- SIGN
- PARKING LOT LIGHT
- WALL
- GRANITE BLOCK
- HOLLAR
- FENCE (BY OTHERS)
- LIGHT POST
- CONTRACT LIMIT LINE (CLL)



**PLANT SCHEDULE EAST OF RIVERWALK**

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONT.	COMMENTS
AA	7	Ampelodesmos arborea	Common Sunflower	12'-30" Cal.	288	FULL & DENSE
AL	6	Ampelodesmos arborea	Common Sunflower	12'-30" Cal.	288	FULL & DENSE
BC	5	Betula nigra 'Clay' TM	Black Birch	8' (10' HT.)	840	FULL & DENSE CLUMP
BF	5	Betula nigra 'Clay' TM	Black Birch	8' (10' HT.)	840	FULL & DENSE
TI	37	Thuja 'Green Giant'	Green Giant Arborvitae	5' (8' HT.)	1080	FULL & DENSE

**PLANT SCHEDULE WEST OF RIVERWALK**

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONT.	COMMENTS
AA	4	Ampelodesmos arborea	Common Sunflower	12'-30" Cal.	1152	FULL & DENSE
AL	4	Ampelodesmos arborea	Common Sunflower	12'-30" Cal.	1152	FULL & DENSE
BC	4	Betula nigra 'Clay' TM	Black Birch	8' (10' HT.)	336	FULL & DENSE CLUMP
TI	37	Thuja 'Green Giant'	Green Giant Arborvitae	5' (8' HT.)	1080	FULL & DENSE

**LANDSCAPING NOTES**

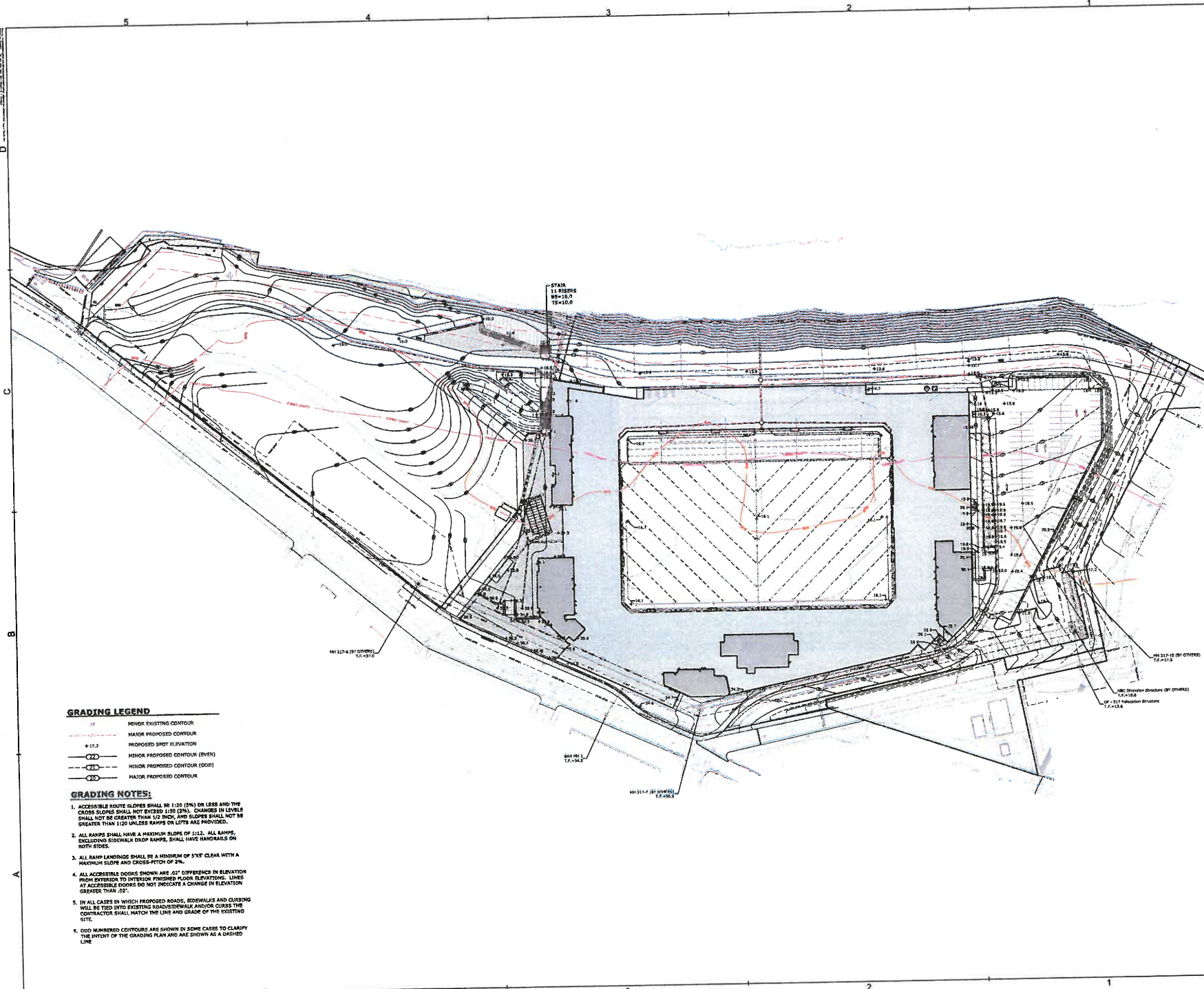
- ALL LANDSCAPING WITHIN BREAKPOINT TO EDGE OF WATER TO BE IN COMPLIANCE WITH THE CRIC URBAN COASTAL GREENWAY REGULATIONS AND COASTAL PLANTING GUIDE.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATING PLANT PITS.
- SEED ALL DISTURBED AREAS TO LAWN WITHIN CONTRACT LIMIT LINE UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE A 6" MINIMUM DEPTH OF SCREENED TOPSOIL FOR ALL LAWN AREAS.
- ALL PLANTING BEDS SHALL HAVE 12" MINIMUM DEPTH OF TOPSOIL.
- THE CONTRACTOR SHALL PROVIDE A 4" MIN. DEPTH OF DARK BROWN SHROUDED MULCH OVER ALL PLANTING BEDS AND TREE PLANTINGS. MULCHED PLANT BEDS SHALL EXTEND 12" FURTHER THAN THE ADJACENT PLANTINGS.
- ALL PLANT MATERIALS SUBJECT TO INSPECTION AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO AND AFTER PLANTING.
- PLANT SPECIES MAY BE SUBSTITUTED BASED ON AVAILABILITY AT THE OF PLANTING. ALL PLANT MATERIAL SUBSTITUTIONS ARE SUBJECT TO REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIALS SHALL CARRY A FULL GUARANTEE FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE. TO INCLUDE PROMPT TREATMENT OR REMOVAL AND REPLACEMENT OF ANY PLANTS FOUND TO BE IN AN UNUSUAL CONDITION BY THE LANDSCAPE ARCHITECT. ALL REPLACEMENTS SHALL BE OF THE SAME KIND AND SIZE OF PLANTS SPECIFIED IN THE PLANT LIST.
- MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER PLANTING AND SHALL CONTINUE UNTIL ACCEPTANCE BY THE LANDSCAPE ARCHITECT. MAINTENANCE SHALL INCLUDE WATERING, MULCHING, TIGHTENING & REPLACING OF GUYS, REPLACEMENT OF SOIL OR DEAD PLANTS, RESETTling PLANTS TO PROPER GRADE OR UPRIGHT POSITION, RESTORATION OF SAUCERS, AND ALL OTHER CARE NEEDED FOR PROPER GROWTH OF THE PLANTS.
- WHERE A SIZE RANGE IS SPECIFIED AT LEAST 80% OF PLANTS PROVIDED SHALL BE OF THE LARGER SIZE.
- CONTRACTOR TO REMOVE TREE STUBS AFTER ONE GROWING SEASON.
- ALL PLANT MATERIAL MUST BE SPECIES AFTER THE PLANTING.

NOT FOR  
 CONSTRUCTION

© 2021 OD L L Associates, Inc., All Rights Reserved

**TIDEWATER  
 STADIUM**  
 Pawtucket, Rhode Island

**FORTUITOUS  
 PARTNERS**



**GRADING LEGEND**

- MINOR EXISTING CONTOUR
- MAJOR PROPOSED CONTOUR
- +17.2 PROPOSED SPOT ELEVATION
- MINOR PROPOSED CONTOUR (EVEN)
- MINOR PROPOSED CONTOUR (ODD)
- MAJOR PROPOSED CONTOUR

**GRADING NOTES:**

1. ACCESSIBLE ROUTE SLOPES SHALL BE 1:20 (5%) OR LESS AND THE CROSS SLOPES SHALL NOT EXCEED 1:50 (2%). CHANGES IN LEVELS SHALL NOT BE GREATER THAN 1/2 INCH, AND SLOPES SHALL NOT BE GREATER THAN 1:20 UNLESS RAMP OR LIFT IS PROVIDED.
2. ALL RAMPS SHALL HAVE A MAXIMUM SLOPE OF 1:12. ALL RAMPS, EXCLUDING SIDEWALK DROP RAMPS, SHALL HAVE HANDRAILS ON BOTH SIDES.
3. ALL RAMP LANDINGS SHALL BE A MINIMUM OF 5'X5' CLEAR WITH A MAXIMUM SLOPE AND CROSS-PITCH OF 2%.
4. ALL ACCESSIBLE DOORS SHOWN ARE 48" DIFFERENCE IN ELEVATION FROM EXTERIOR TO INTERIOR FINISHED FLOOR ELEVATIONS. LINES AT ACCESSIBLE DOORS DO NOT INDICATE A CHANGE IN ELEVATION GREATER THAN 1/2".
5. IN ALL CASES IN WHICH PROPOSED ROADS, SIDEWALKS AND CURBING WILL BE TIED INTO EXISTING ROADS/SIDEWALK AND/OR CURBS THE CONTRACTOR SHALL MATCH THE LINE AND GRADE OF THE EXISTING SITE.
6. ODD NUMBERED CONTOURS ARE SHOWN IN SOME CASES TO CLARIFY THE INTENT OF THE GRADING PLAN AND ARE SHOWN AS A DASHED LINE.



REVISION	DATE	DESCRIPTION
1	12.1.2021	ISSUE FOR PERMITTING
2	12.1.2021	ISSUE FOR PERMITTING
3	12.1.2021	ISSUE FOR PERMITTING
4	12.1.2021	ISSUE FOR PERMITTING
5	12.1.2021	ISSUE FOR PERMITTING
6	12.1.2021	ISSUE FOR PERMITTING
7	12.1.2021	ISSUE FOR PERMITTING
8	12.1.2021	ISSUE FOR PERMITTING
9	12.1.2021	ISSUE FOR PERMITTING
10	12.1.2021	ISSUE FOR PERMITTING

PROJECT NO:	102220005
P.L.C.	-
P. MGR.	-
P. ARCH.	-
DESIGN BY	-
JOB CAPTAIN	-
DRAWN BY	JL
CHECKED BY	DL
SHEET TITLE	GRADING PLAN

**GRADING  
 PLAN**

SHEET IDENTIFIER  
**C104**

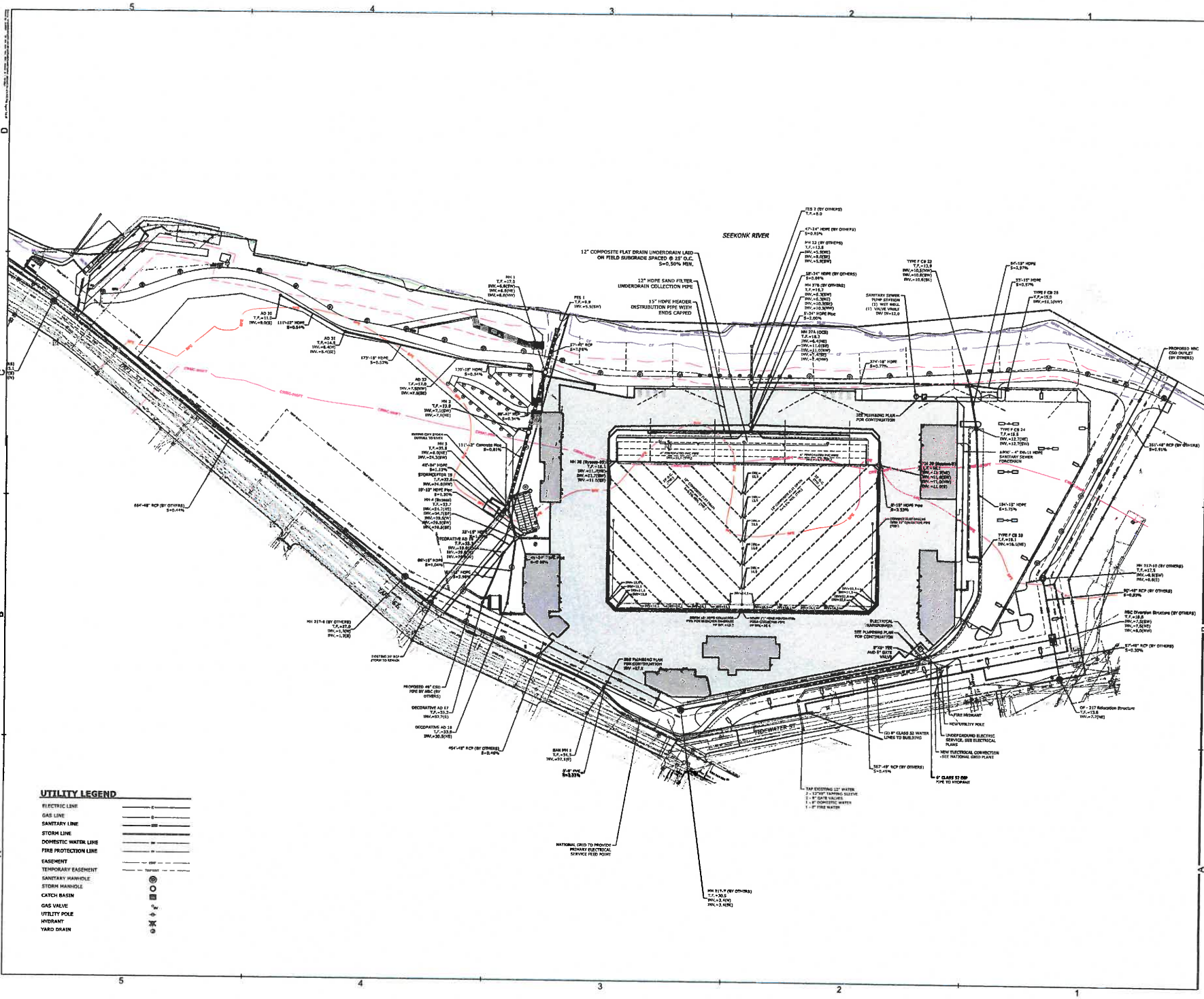


**NOT FOR CONSTRUCTION**

© 2011, OD L L Associates, Inc. All Rights Reserved

**TIDEWATER STADIUM**  
 Pawtucket, Rhode Island

**FORTUITOUS PARTNERS**



**UTILITY LEGEND**

ELECTRIC LINE	---
GAS LINE	---
SANITARY LINE	---
STORM LINE	---
DOMESTIC WATER LINE	---
FIRE PROTECTION LINE	---
EASEMENT	---
TEMPORARY EASEMENT	---
SANITARY MANHOLE	⊙
STORM MANHOLE	⊙
CATCH BASIN	⊙
GAS VALVE	⊙
UTILITY POLE	⊙
HYDRANT	⊙
YARD DRAIN	⊙



REVISION	DATE	DESCRIPTION
REVISION 1	10/10/11	ISSUE FOR BIDDING
REVISION 2	10/10/11	REVISION 1
REVISION 3	10/10/11	REVISION 2
REVISION 4	10/10/11	REVISION 3
REVISION 5	10/10/11	REVISION 4
REVISION 6	10/10/11	REVISION 5
REVISION 7	10/10/11	REVISION 6
REVISION 8	10/10/11	REVISION 7
REVISION 9	10/10/11	REVISION 8
REVISION 10	10/10/11	REVISION 9

PROJECT NO: 10222.00001  
 P.L.C.  
 P.M.C.  
 P.A.R.C.  
 DESIGN BY:  
 JOB CAPTAIN:  
 DRAWN BY: J.L.  
 CHECKED BY: B.L.D.

SHEET TITLE  
**UTILITY PLAN**  
 SHEET IDENTIFIER  
**C105**





**NOT FOR  
 CONSTRUCTION**

© 2023 Odell Associates, Inc. All Rights Reserved

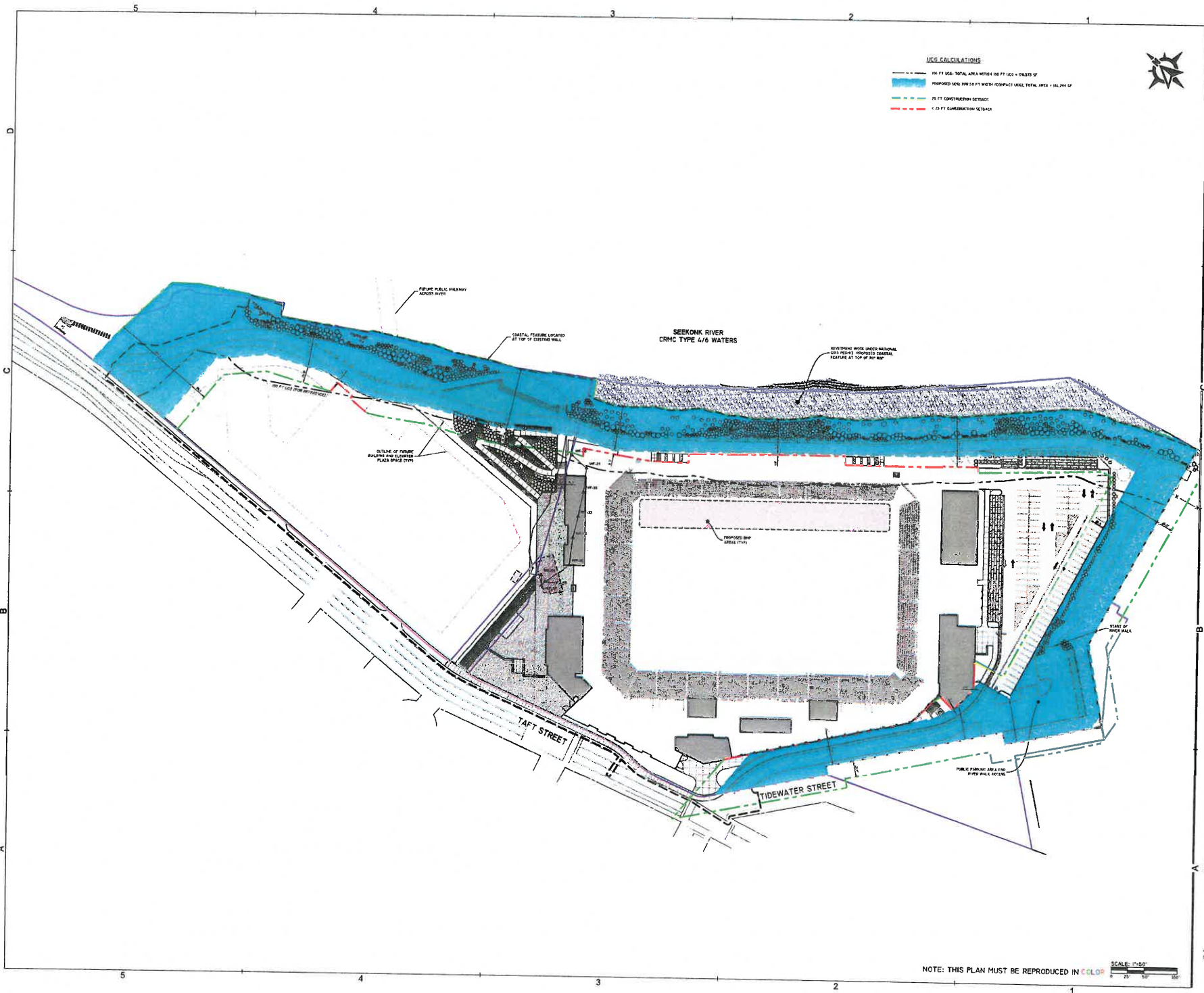
**TIDEWATER  
 STADIUM**

Pawtucket, Rhode Island



**FORTUITOUS  
 PARTNERS**

**UCG CALCULATIONS**  
 100 FT UCG TOTAL AREA WITHIN 100 FT UCG = 176,533 SF  
 PROPOSED UCG 100 TO 10 FT WITH 100 FT COMPACT UCG TOTAL AREA = 161,210 SF  
 25 FT CONSTRUCTION SETBACK  
 10 FT CONSTRUCTION SETBACK



REVISION	DATE	DESCRIPTION
0		APPROVAL FOR SUBMITTAL
1		ISSUED FOR PERMIT APPLICATION
2		ISSUED FOR PERMIT APPLICATION
3		ISSUED FOR PERMIT APPLICATION

PROJECT NO.	2856-001
P.E.C.	
P. MGR.	LMR
P. ARCH.	
DESIGN BY	DMN
JOB CAPTAIN	
DRAWN BY	DMN
CHECKED BY	BCD

SHEET TITLE  
**Urban Coastal  
 Greenway (UCG) Plan**

SHEET NUMBER  
**C107**

NOTE: THIS PLAN MUST BE REPRODUCED IN COLOR  
 SCALE: 1"=50'

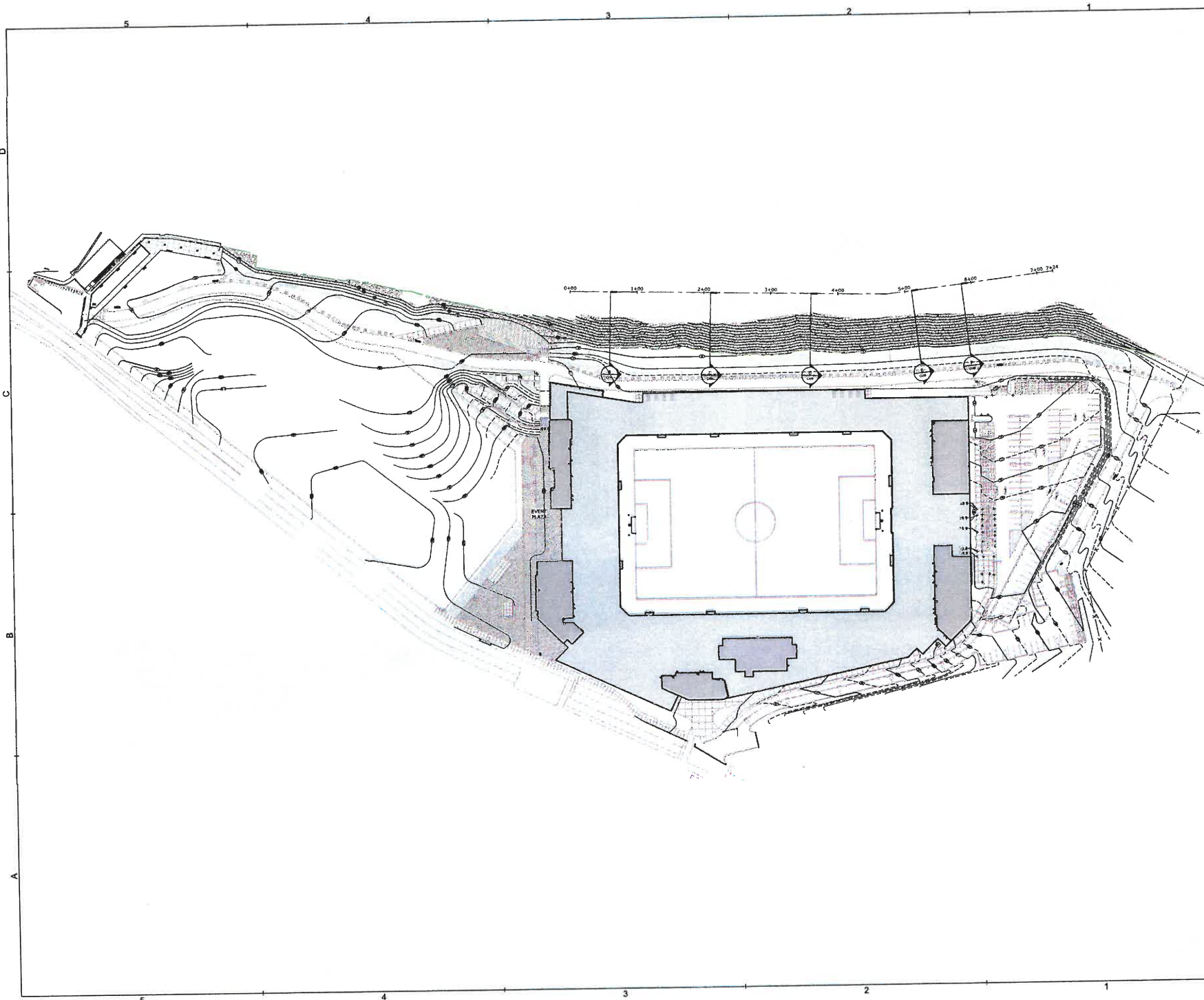
**NOT FOR  
 CONSTRUCTION**

© 2011 ODLL Associates, Inc. All Rights Reserved

**TIDEWATER  
 STADIUM**

Pawtucket, Rhode Island

**FORTUITOUS  
 PARTNERS**



REVISION	DATE	DESCRIPTION
1		ACCOMMODATE MODIFICATION
2		PROVIDE DESIGNATION PERMITS SET
3		REVISION TO PERMITS APPLICATION
4		REVISION TO PERMITS APPLICATION
5		REVISION TO PERMITS APPLICATION

PROJECT NO: 18222-0003  
 P.I.C. -  
 P. MSR -  
 P. ARCH -  
 DESIGN BY -  
 JOB CAPTAIN -  
 DRAWN BY: JKL  
 CHECKED BY: JKL

**CROSS SECTIONS -  
 PLAN VIEW**

SHEET IDENTIFIER  
**C108**





**NOT FOR CONSTRUCTION**

©2021 Odell Associates, Inc. All Rights Reserved

**TIDEWATER STADIUM**

Portsmouth, Rhode Island

**FORTUITOUS PARTNERS**

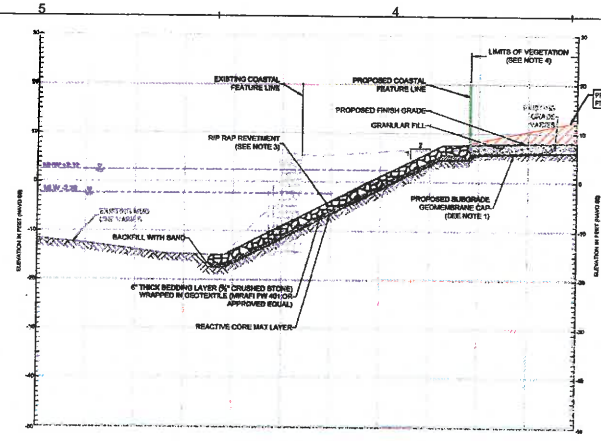
**LEGEND**



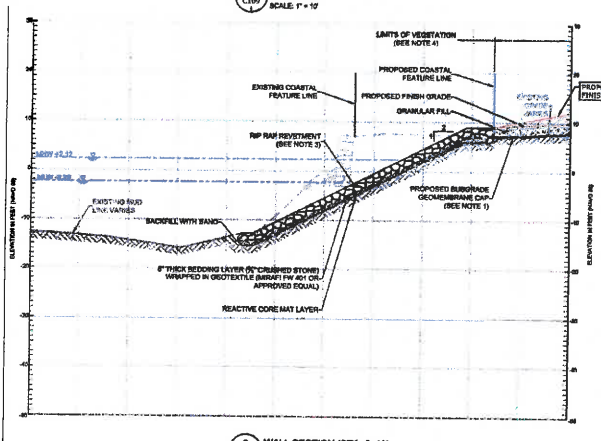
**NOTES**

TAKEN FROM PLANS PREVIOUSLY PREPARED BY GZA TITLED "RIDEM SITE REMEDIATION FILE NO. SR-26-0934A" DATED: AUGUST 2019.

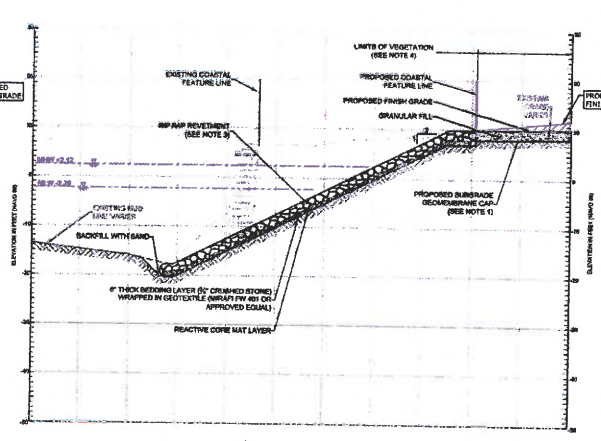
- SHEETS USED INCLUDE:
- S-1 BULKHEAD/REVEMENT LAYOUT PLAN (1 OF 3)
  - S-4 BULKHEAD/REVEMENT SECTIONS (1 OF 3)
  - S-5 BULKHEAD/REVEMENT SECTIONS (2 OF 3)



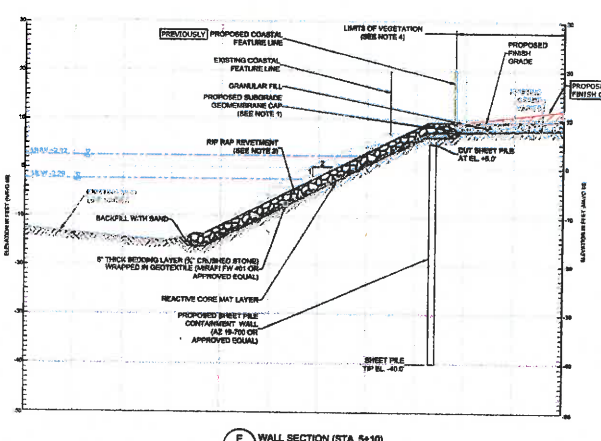
**B WALL SECTION (STA. 0+80)**  
 C109 SCALE: 1" = 10'



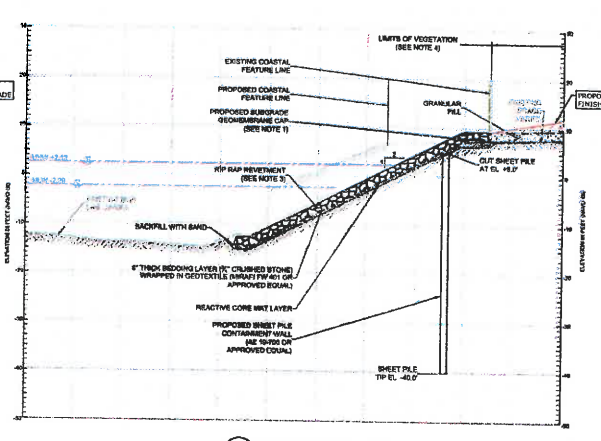
**C WALL SECTION (STA. 2+10)**  
 C109 SCALE: 1" = 10'



**D WALL SECTION (STA. 3+80)**  
 C109 SCALE: 1" = 10'



**E WALL SECTION (STA. 5+10)**  
 C109 SCALE: 1" = 10'



**F WALL SECTION (STA. 5+85)**  
 C109 SCALE: 1" = 10'

REVISION	DATE	DESCRIPTION

PROJECT NO:	16222.R0009
P.L.C.	
P.M.R.	
P.A.R.C.H.	
DESIGN BY	
JOB CAPTAIN	
DRAWN BY	JDL
CHECKED BY	DJR

SHEET TITLE  
**CROSS SECTIONS B - F**

SHEET IDENTIFIER  
**C109**

NOT FOR  
 CONSTRUCTION

© 2011 ODELL Associates, Inc. All Rights Reserved

**TIDEWATER STADIUM**

Pawtucket, Rhode Island



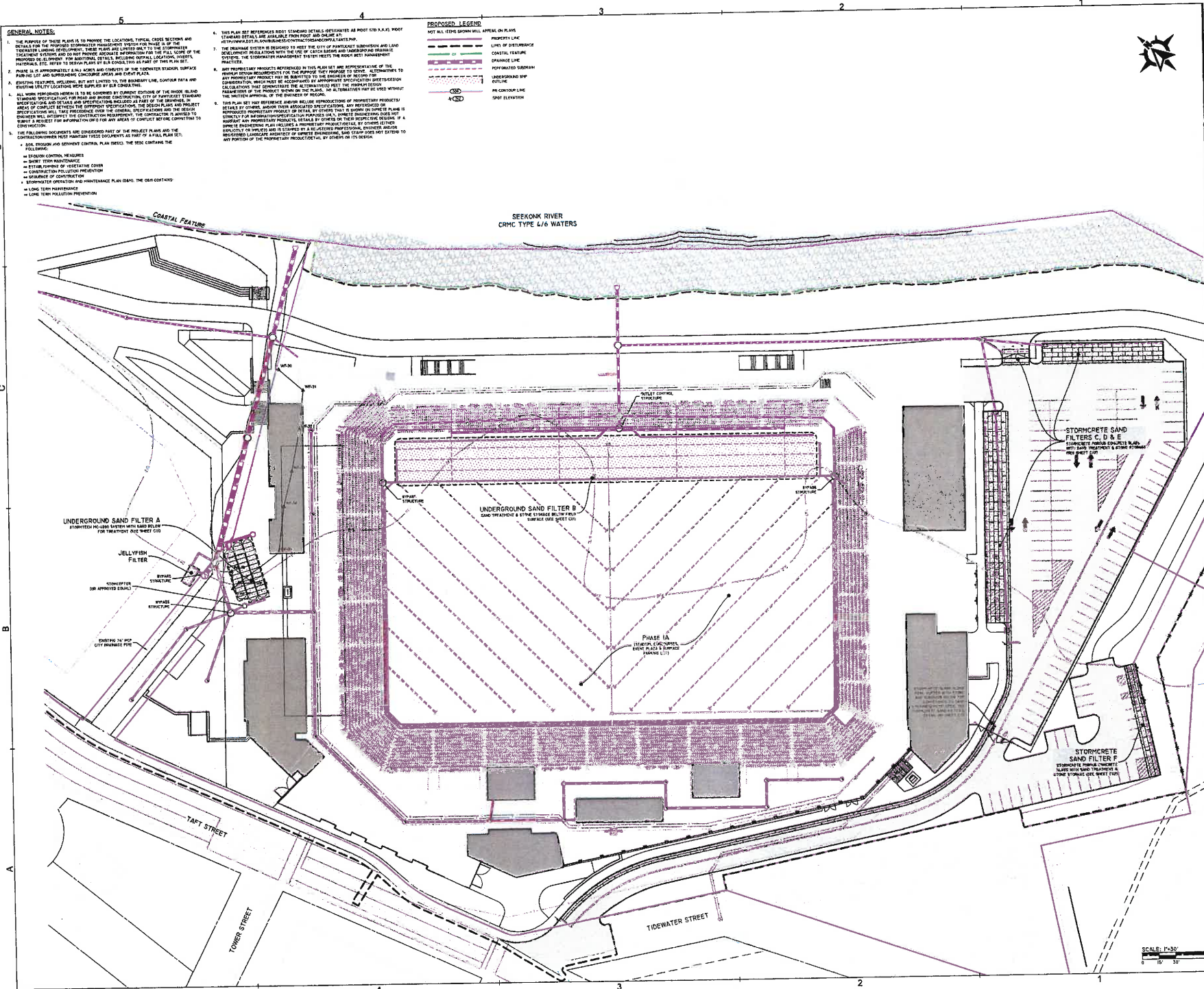
FORTUITOUS PARTNERS

REVISION	DATE	DESCRIPTION
0		ADDITIONAL OR MODIFICATION
1		PROJECT REGULATORY SUBMISSION SET
2		ISSUE FOR CONSTRUCTION APPLICATION
3		PROJECT FINAL SITE PLAN FOR CONSTRUCTION
ISSUE	DATE	DESCRIPTION
		PULL SET BRUSH

PROJECT NO.	2850-001
P.C.	
P.MGR.	LBR
P.ARCH.	
DESIGN BY	DRN
JOB CAPTAIN	
DRAWN BY	DRN
CHECKED BY	RCC
SHEET TITLE	

Water Quality  
 Layout Plan

SHEET NUMBER  
**C110**



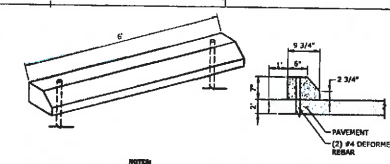
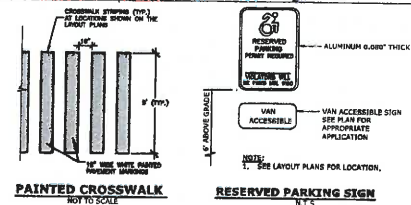
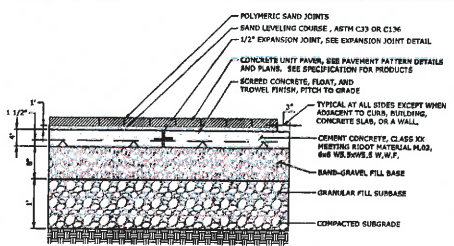
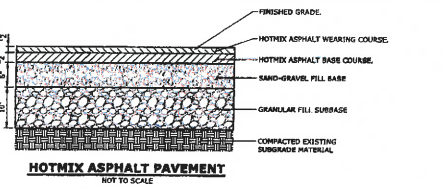




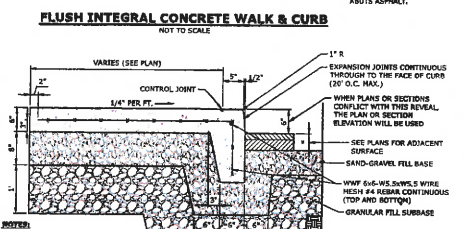
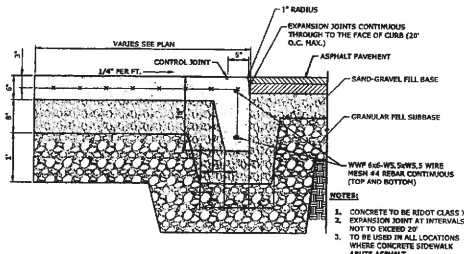




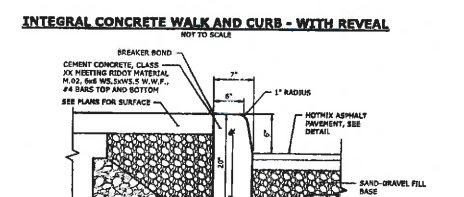




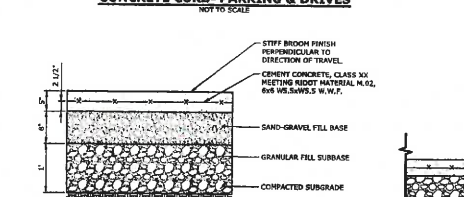
- NOTES:**
- AS MANUFACTURED BY ARROW CONCRETE, OR APPROVED EQUAL.
  - CONCRETE: 4000 PSI, 28 DAYS.
  - WEIGHT: 200 LBS.
  - REINFORCEMENT: (3) #4 BARS.
  - (2) #4 HOLES CASTER IN FORM ANCHORING.
  - (2) PROVIDE 5/8\"/>



- NOTES:**
- CONCRETE TO BE RIDOT CLASS XX EXPANSION JOINT AT INTERVALS NOT TO EXCEED 30' TO BE USED IN ALL LOCATIONS WHERE CONCRETE SIDEWALK ADJUTS ASPHALT.



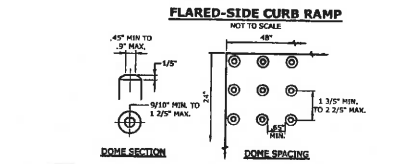
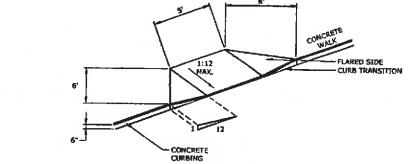
- NOTES:**
- SEE PLANS FOR SURFACE. WHEN CONCRETE SIDEWALK IS ADJACENT, USE 'CONTIGUAL' CONCRETE WALK CURB WITH REVEAL DETAIL.
  - PROVIDE 3\"/>



- NOTES:**
- EXPANSION JOINTS 20\"/>

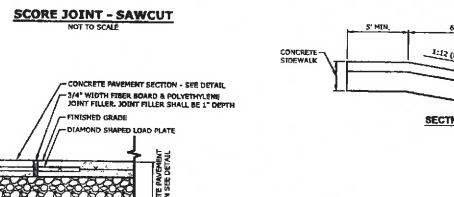
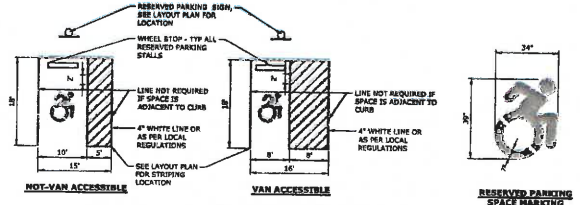
- NOTES:**
- PAVERS SHALL BE AS SPECIFIED.
  - EXPANSION JOINTS IN CONCRETE BASE SHALL BE 20\"/>

**PAVERS ON 4\"/>
 NOT TO SCALE**

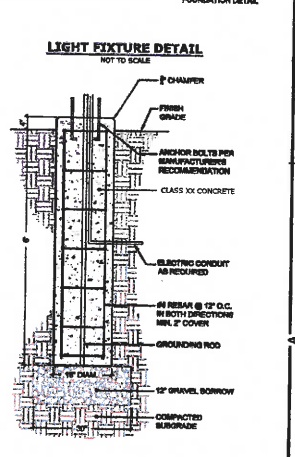
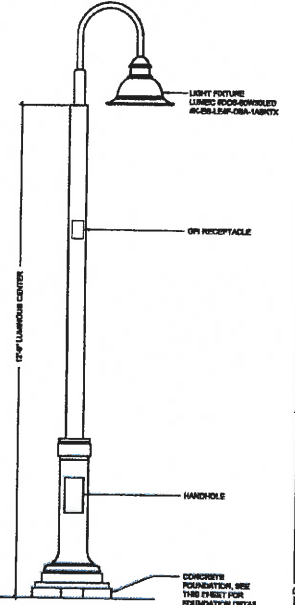
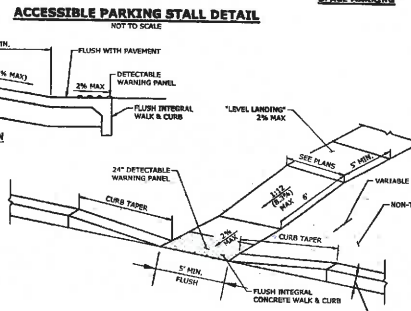


- NOTES:**
- MINIMUM SLOPE OF ADJACENT DRIVEWAYS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE SIDEWALK RAMP OR ACCESSIBLE WALKWAY SHALL NOT EXCEED 2%.
  - CURB SHALL BE TAKEN TO ASSUME UNIFORM GRADE ON THE RAMP, FREE OF SAGS AND ABSOLUTE GRADE CORNERS.
  - ALL RAMPS SHALL BE CONSTRUCTED OF CLASS 70\"/>

**DETECTABLE WARNING STRIP FOR ACCESSIBLE WALK**  
 NOT TO SCALE



- NOTES:**
- PROVIDE PERFORMED EXPANSION JOINT AT ALL CONSTRUCTION JOINT, SAWCUT, AND OTHER LOCATIONS WHERE CONCRETE ADJUTS EXISTING CONCRETE.



REVISION	DATE	DESCRIPTION

PROJECT NO. 15034000  
 P.L.C.  
 P.MOR.  
 P.ARCO.  
 DESIGN BY  
 JOO CAPTAIN  
 DRAWN BY  
 MHW  
 CHECKED BY  
 GLO  
 SHEET TITLE

**SITE DETAILS**  
 SHEET NUMBER  
**C500**

NOT FOR  
CONSTRUCTION

2001

**TIDEWATER  
STADIUM**

Pawtucket, Rhode Island

FORTUITOUS  
PARTNERS



REVISION	DATE	DESCRIPTION
		APPROVAL OR MODIFICATION
		PROJECT PRELIMINARY PURSUEMENT SET
		REVISION: SCHEMATIC APPLICATION
		REVISION: FINAL SITE PLAN SET OF RECORD
ISSUE	DATE	DESCRIPTION
		FULL SET ASSES

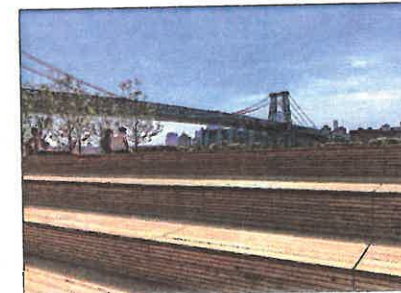
PROJECT NO:	14225.0003
P.I.C.	
P.MOR.	
P.ARCH.	
DESIGN BY	
JOB CAPTAIN	
DRAWN BY	MEW
CHECKED BY	DLG
SHEET TITLE	

**SITE  
DETAILS**

SHEET NUMBER  
**C501**



**WOOD DECKING - CHARACTER IMAGE**  
NOT TO SCALE



**WOOD AMPHITHEATER OVERLOOK - CHARACTER IMAGE**  
NOT TO SCALE

- NOTES:
- WOOD FACING TO BE THE HARDWOOD.
  - INTERNAL COMPONENTS TO BE PRESSURE TREATED LUMBER.
  - ALL FASTENERS AND HANDWARE TO BE 316 STAINLESS.
  - SUBMIT SHOP DRAWING FOR FABRICATION FOR APPROVAL BY LANDSCAPE ARCHITECT AND STRUCTURAL ENGINEER.



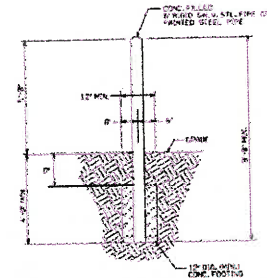
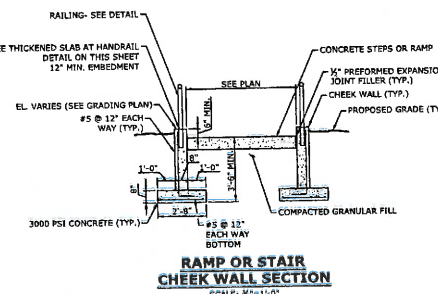
**STAINLESS RAILING WITH LED LIGHTING - CHARACTER IMAGE**  
NOT TO SCALE

- NOTES:
- ALL RAILING COMPONENTS TO BE 316 STAINLESS AND MARINE RATED.
  - SUBMIT SHOP DRAWING FOR APPROVAL BY LANDSCAPE ARCHITECT, STRUCTURAL ENGINEER, AND ELECTRICAL ENGINEER.
  -



**FENCING @ WOOD DECK PLAZA - CHARACTER IMAGES**  
NOT TO SCALE

- NOTES:
- WOOD RAILING TOPPER TO BE THE HARDWOOD.
  - ALL RAILING COMPONENTS TO BE MARINE GRADE POWDERCOAT OR STAINLESS.
  - SUBMIT SHOP DRAWING FOR FABRICATION FOR APPROVAL BY LANDSCAPE ARCHITECT AND STRUCTURAL ENGINEER.

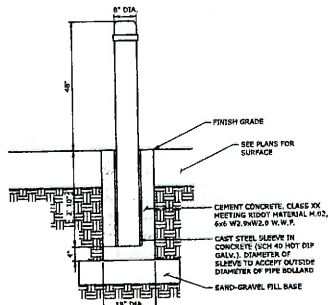


**ELECTRICAL TRANSFORMER PAD BOLLARD**  
NOT TO SCALE



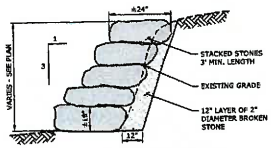
**FLUSH SPRAY PARK - CHARACTER IMAGE**  
NOT TO SCALE

- NOTES:
- ALL COMPONENTS OF SPRAY PARK / FOUNTAIN ARE TO BE ADA ACCESSIBLE.
  - FOUNTAIN AND STRUCTURE SHALL BE VEHICULAR RATED.
  - SUBMIT SHOP DRAWINGS FOR REVIEW BY LANDSCAPE ARCHITECT AND FOUNTAIN SPECIALIST.

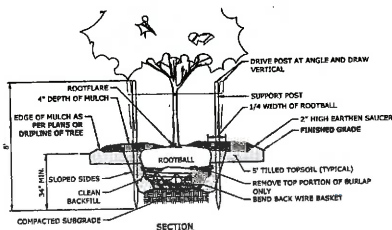


- NOTES:
- MANUFACTURE STEEL CAP TO COVER OPENING WHEN BOLLARD IS REMOVED.
  - CONTRACTOR TO SUBMIT SHOP DRAWINGS TO THE ENGINEER FOR APPROVAL, PRIOR TO FABRICATION.
  - FINAL LOCATION OF BOLLARDS TO BE UNDER THE DIRECTION OF THE ENGINEER.
  - REFER TO PLAN SHEETS FOR REMOVABLE BOLLARD LOCATIONS.
  - REMOVABLE 10" DIA. GALVANIZED STEEL BOLLARD SHALL MATCH DESIGN & STYLE OF 8" DIA. STEEL BOLLARD.

**REMOVABLE STEEL BOLLARD 8" DIA.**  
NOT TO SCALE



**STACKED BOULDER WALL**  
NOT TO SCALE

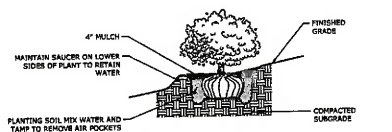


**SECTION**

**PLAN**

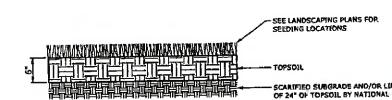
- NOTE:
- SUPPORT STAKES SHALL BE REMOVED BY THE CONTRACTOR ONE YEAR AFTER INSTALLATION.

**TREE PLANTING**  
NOT TO SCALE



- NOTE:
- UNLESS OTHERWISE SPECIFIED PERFORATED MULCH SHALL BE PLACED TO A LIMIT OF ONE FOOT BEYOND THE CENTER OF THE OUTRIGGER SHOULDER IN DRINK SET.

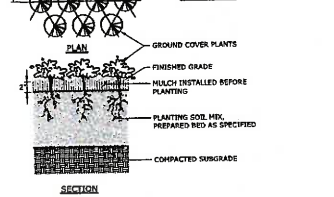
**SHRUB PLANTING**  
NOT TO SCALE



**LAWN DETAIL**  
NOT TO SCALE

**GROUND COVER SPACING TABLE**

PLANT	ROW SPACING	NO. PLANTS	AREA UNIT
8" O.C.	5.2'	4.61	1 SQ. FT.
10" O.C.	6.93'	2.6	1 SQ. FT.
12" O.C.	8.66'	1.68	1 SQ. FT.
15" O.C.	10.4'	1.15	1 SQ. FT.



- NOTES:
- ALL GROUND COVER TO BE PLANTED IN TRIANGULAR PATTERN, SEE DETAIL PLAN AND GROUND COVER SPACING TABLE.

**GROUND COVER / PERENNIAL PLANTING**  
NOT TO SCALE



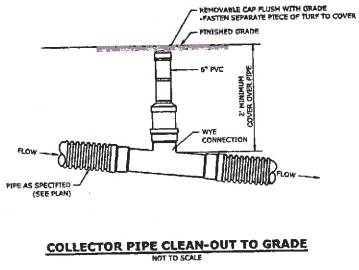
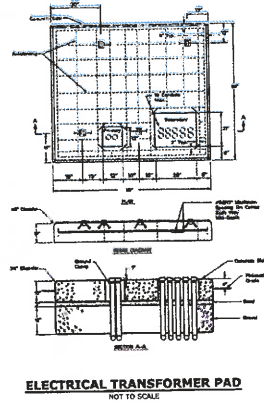
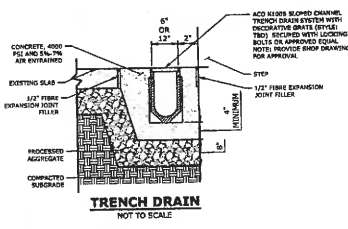
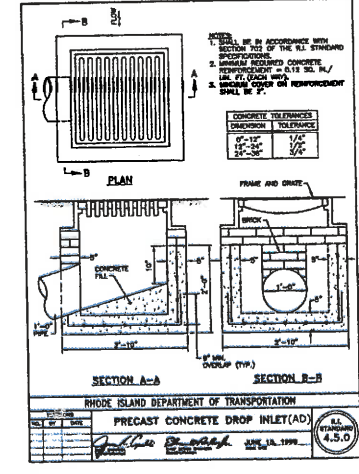
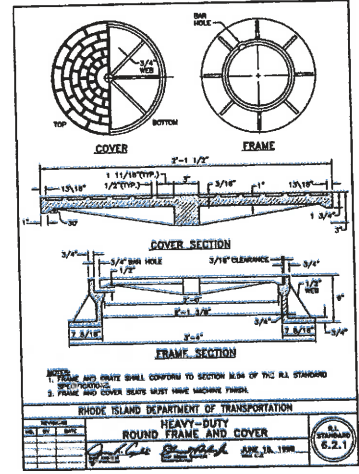
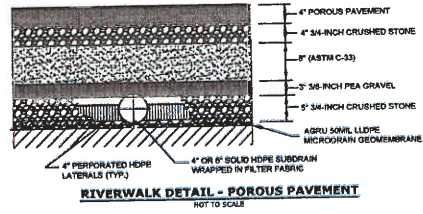
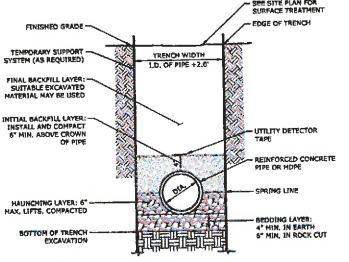
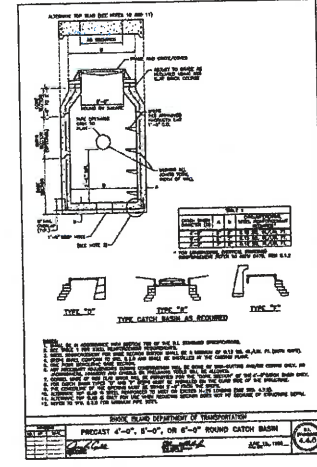
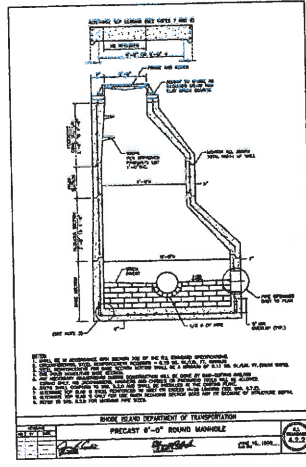
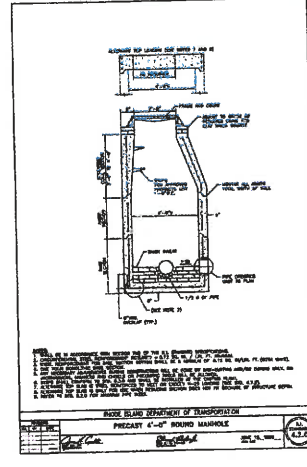
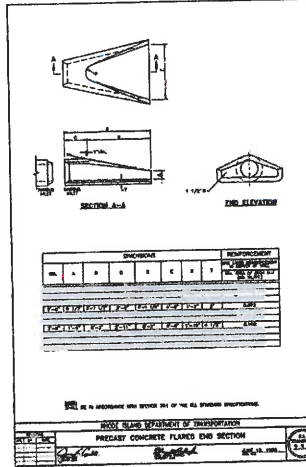


NOT FOR  
CONSTRUCTION

TIDEWATER  
STADIUM

Pawtucket, Rhode Island

FORTUITOUS  
PARTNERS



REVISION	DATE	DESCRIPTION
1	08/15/19	ISSUED FOR PERMIT
2	08/15/19	ISSUED FOR CONSTRUCTION

PROJECT NO:	10223.00003
P.I.C.	
P.MOR.	
P.ARCR.	
DESIGN BY	
JOB CAPTAIN	
DRAWN BY	JBL
CHECKED BY	DLG
SHEET TITLE	

SITE  
DETAILS

SHEET IDENTIFIER  
**C503**





NOT FOR  
 CONSTRUCTION

0001

TIDEWATER  
 STADIUM

Pawtucket, Rhode Island

FORTUITOUS  
 PARTNERS



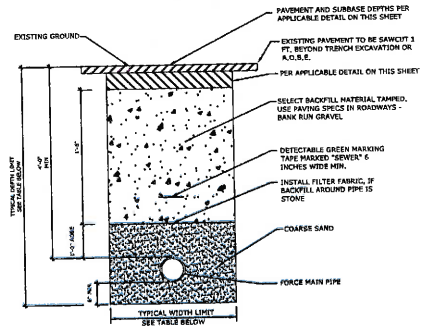
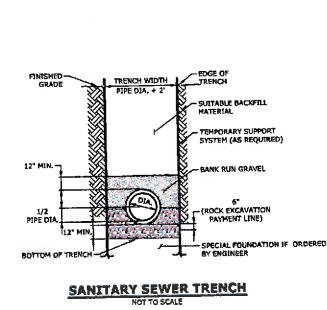
REVISION	DATE	DESCRIPTION

PROJECT NO:	19225.0000
P.I.C.	-
P.WOR.	-
P.ARCH.	-
DESIGN BY	-
JOB CAPTAIN	-
DRAWN BY	JBL
CHECKED BY	DLG

SHEET TITLE  
 SITE DETAILS

SHEET IDENTIFIER

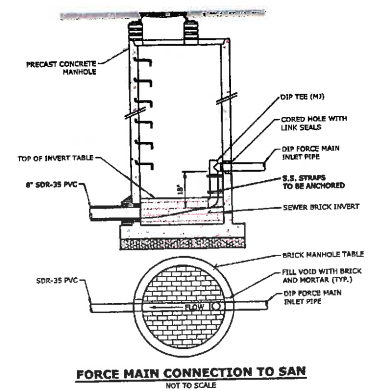
C505



KEY NOTES (1)

ITEM	DESCRIPTION	QTY
1	MANHOLE/CLINCHER ASSEMBLY, 4'	1
2	CONCRETE	1
3	CONCRETE	1
4	CONCRETE	1
5	CONCRETE	1
6	CONCRETE	1
7	CONCRETE	1
8	CONCRETE	1
9	CONCRETE	1
10	CONCRETE	1
11	CONCRETE	1
12	CONCRETE	1
13	CONCRETE	1
14	CONCRETE	1
15	CONCRETE	1
16	CONCRETE	1
17	CONCRETE	1
18	CONCRETE	1
19	CONCRETE	1
20	CONCRETE	1
21	CONCRETE	1
22	CONCRETE	1
23	CONCRETE	1
24	CONCRETE	1

TRENCH DETAIL - FORCE MAIN SERVICE  
 NOT TO SCALE



FORCE MAIN CONNECTION TO SAN  
 NOT TO SCALE

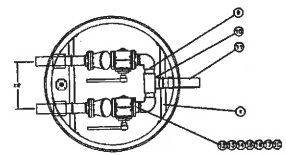
KEY NOTES (2)

ITEM	DESCRIPTION	QTY
1	MANHOLE/CLINCHER ASSEMBLY, 4'	1
2	CONCRETE	1
3	CONCRETE	1
4	CONCRETE	1
5	CONCRETE	1
6	CONCRETE	1
7	CONCRETE	1
8	CONCRETE	1
9	CONCRETE	1
10	CONCRETE	1
11	CONCRETE	1
12	CONCRETE	1
13	CONCRETE	1
14	CONCRETE	1
15	CONCRETE	1
16	CONCRETE	1
17	CONCRETE	1
18	CONCRETE	1
19	CONCRETE	1
20	CONCRETE	1
21	CONCRETE	1
22	CONCRETE	1
23	CONCRETE	1
24	CONCRETE	1

NOTES:  
 1. STATION DEPTH: 72" (B.L.)  
 2. ALL HOLE PENETRATIONS THRU WALLS MUST BE SEALED WITH SILICONE SEALANT.

PUMP OPERATING TABLE

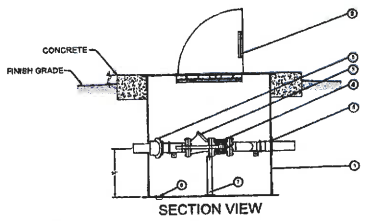
A.	TOP OF PUMP STATION	+14.5
B.	GRADE AT PUMPING STATION	+13.2
C.	6\"/>	
D.	VALVE VAULT FT	9.5
E.	HIGH-HIGH WATER ALARM	11.3
F.	STAND BY PUMP ON	11.6
G.	HIGH WATER ALARM	10.7
H.	DUTY PUMP ON	10.3
I.	PUMPING OFF	9.2
J.	LOW WATER ALARM	9.5
K.	INV. WET WELL	8.5



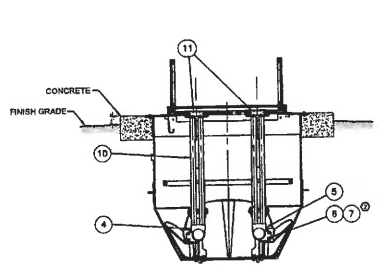
KEY NOTES (3)

ITEM	DESCRIPTION	QTY
1	CONCRETE	1
2	CONCRETE	1
3	CONCRETE	1
4	CONCRETE	1
5	CONCRETE	1
6	CONCRETE	1
7	CONCRETE	1
8	CONCRETE	1
9	CONCRETE	1
10	CONCRETE	1
11	CONCRETE	1
12	CONCRETE	1
13	CONCRETE	1
14	CONCRETE	1
15	CONCRETE	1
16	CONCRETE	1
17	CONCRETE	1
18	CONCRETE	1
19	CONCRETE	1
20	CONCRETE	1
21	CONCRETE	1
22	CONCRETE	1
23	CONCRETE	1
24	CONCRETE	1

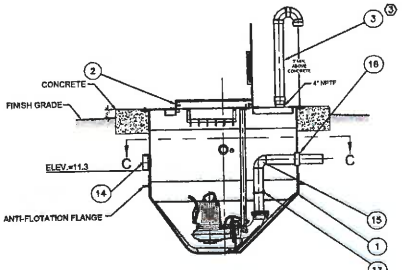
NOTES:  
 1. WHAT OPEN UP DATA  
 2. DIMENSIONS SHOWN MUST BE ABOVE EXISTING/PROPOSED CAP LINES  
 3. ALL 4\"/>



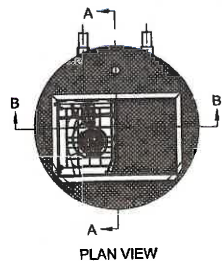
SECTION VIEW



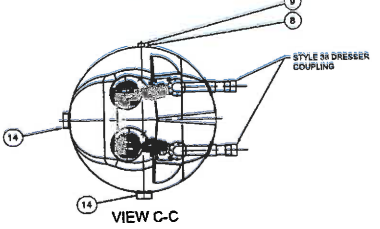
VIEW B-B



VIEW A-A



PLAN VIEW



VIEW C-C



**NOT FOR CONSTRUCTION**

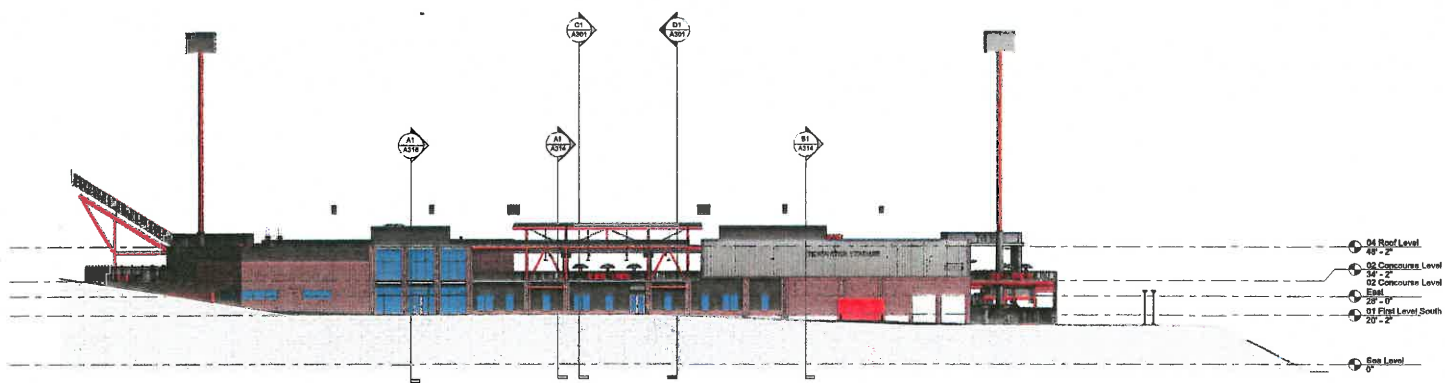
**TIDEWATER STADIUM**

Pawtucket, Rhode Island

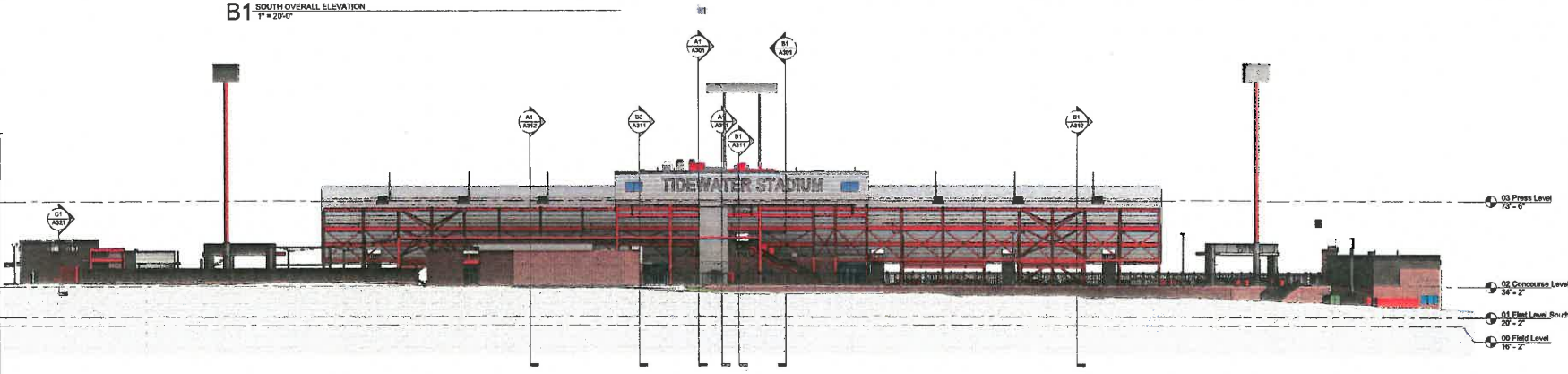


GLASS LEGEND	
PATTERN	DESCRIPTION
	VISION GLASS
	TEMPERED GLASS
	VISION GLASS
	TEMPERED GLASS
	COSSO METAL PANEL
	MW-11A METAL PANEL
	MW-11A METAL PANEL
	MW-4 METAL PANEL
	MW-10A METAL PANEL

Keystone Legend	
Key Value	Keystone Text



**B1 SOUTH OVERALL ELEVATION**  
 1" = 20'-0"



**A1 WEST OVERALL ELEVATION**  
 1" = 20'-0"

REVISION	DATE	DESCRIPTION
		ALPHABET OR MODIFICATION
		PROVIDE THE REVISION NUMBER IN THE FILE
		ISSUE NO. 1 DESIGN DEVELOPMENT GMP

ISSUE	DATE	DESCRIPTION
		FINAL SET BEGINS

PROJECT NO. 4167.002  
 P.L.C. M. WOODLIE  
 P. MGR. J. BLAIR  
 P. ARCH. J. BLAIR  
 DESIGN BY A. HESBY  
 JOB CAPTAIN J. GARGO  
 DRAWN BY Author  
 CHECKED BY Checker

SHEET TITLE  
**EXTERIOR ELEVATIONS**

SHEET IDENTIFIER  
**A202**

**NOT FOR CONSTRUCTION**

**TIDEWATER STADIUM**

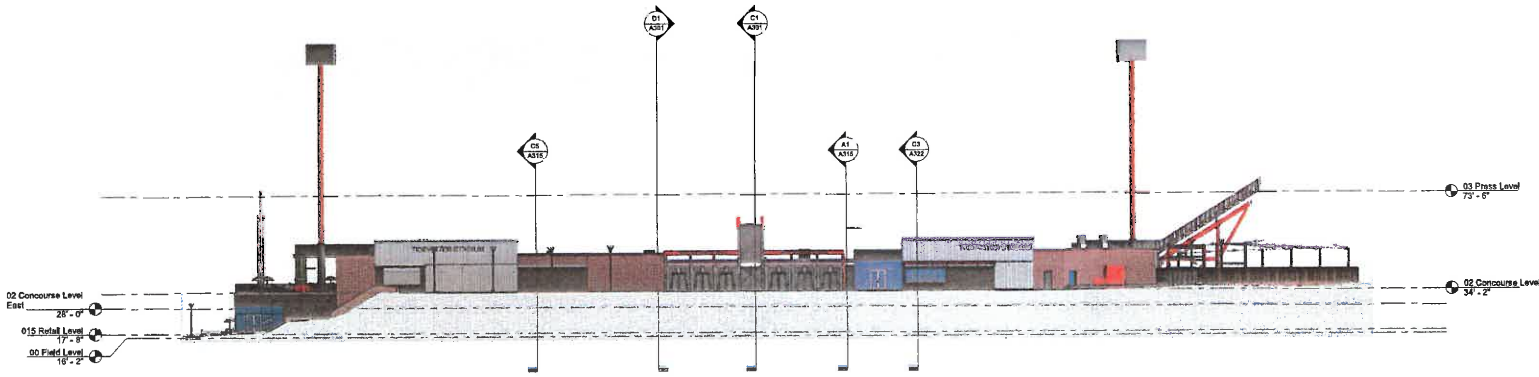
Pawtucket, Rhode Island



GLASS LEGEND	
PATTERN	DESCRIPTION
[Pattern]	VISION GLASS
[Pattern]	TEMPERED GLASS
[Pattern]	VISION GLASS
[Pattern]	TEMPERED GLASS
[Pattern]	CS680 METAL PANEL
[Pattern]	M1-11A METAL PANEL
[Pattern]	M-14A METAL PANEL
[Pattern]	M1-4
[Pattern]	M1-10A METAL PANEL

Keystone Legend	
KEY VALUE	KEYNOTE TAG
[Symbol]	



**B1 NORTH OVERALL ELEVATION**  
 1" = 20'-0"



**A1 EAST OVERALL ELEVATION**  
 1" = 20'-0"

REVISED	DATE	DESCRIPTION
		ISSUED FOR INFORMATION
		DESIGNED BY REGULATORY SUBMISSION SET
		10/15/2021 PERSONAL DEVELOPMENT GROUP

ISSUE	DATE	DESCRIPTION
		FULL SET ISSUES

PROJECT NO:	4101.002
P.L.C.	M. WOOLLEY
P.M.O.R.	J. BLAIR
P.A.R.C.H.	J. BLAIR
DESIGN BY	A. HERBY
JOB CAPTAIN	J. GARD
DRAWN BY	Author
CHECKED BY	Checker

**SHEET TITLE**  
 EXTERIOR ELEVATIONS

**SHEET IDENTIFIER**  
 A201

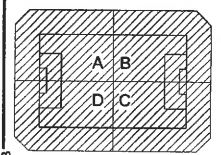


**NOT FOR CONSTRUCTION**

© 2011 OD L L Associates, Inc. All Rights Reserved

**TIDEWATER STADIUM**

Pawtucket, Rhode Island

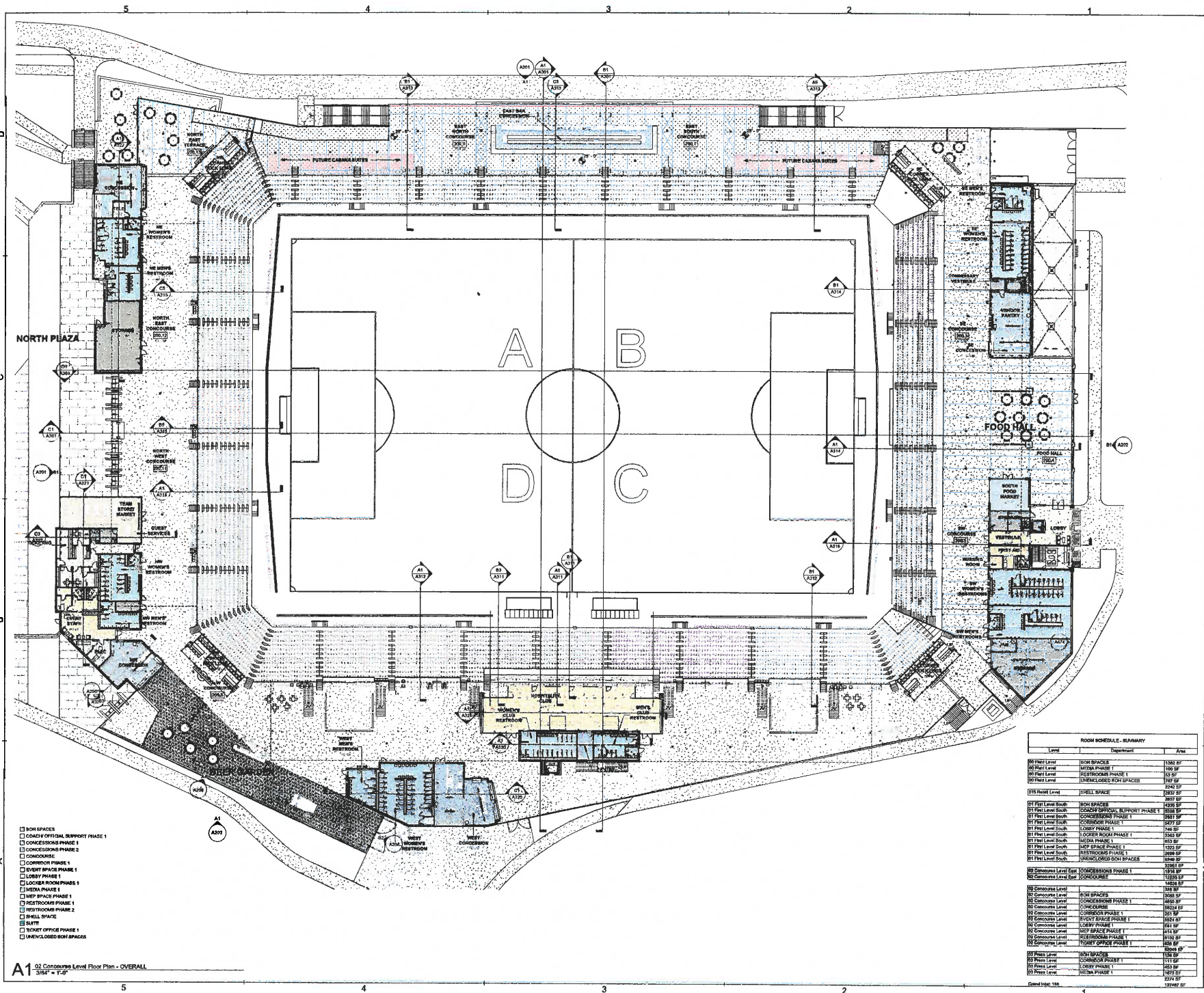


REVISION	DATE	DESCRIPTION

PROJECT NO.	4157-000
P.I.C.	M. WOODLEN
P. ARCH.	J. BLAIN
P. ARCH.	A. BLAIN
DESIGN BY	A. HERSEY
JOIN CAPTAIN	J. GAMO
DRAWN BY	
CHECKED BY	

**OVERALL CONCOURSE LEVEL PLAN**

SHEET NUMBER  
**A102**



- BOON SPACES
- COACH OFFICIAL SUPPORT PHASE 1
- CONCESSIONS PHASE 1
- CONCESSIONS PHASE 2
- CONCESSIONS
- CORRIDOR PHASE 1
- EVENT SPACE PHASE 1
- EVENT PHASE 1
- LOCKER ROOM PHASE 1
- MEDIA PHASE 1
- MEP SPACE PHASE 1
- RESTROOMS PHASE 1
- RESTROOMS PHASE 2
- SELL SPACE
- SUITE
- TICKET OFFICE PHASE 1
- UNENCLOSED BOON SPACES

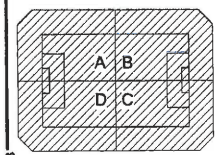
Level	Department	Area
R0 Field Level	BOON SPACES	1382 SF
R0 Field Level	MEDIA PHASE 1	100 SF
R0 Field Level	RESTROOMS PHASE 1	53 SF
R0 Field Level	UNENCLOSED BOON SPACES	707 SF
R05 Booth Level	EVENT SPACE	2242 SF
R05 Booth Level	UNENCL. BOON SPACES	1837 SF
R1 Field Level South	BOON SPACES	4336 SF
R1 Field Level South	COACH OFFICIAL SUPPORT PHASE 1	1536 SF
R1 Field Level South	CONCESSIONS PHASE 1	2887 SF
R1 Field Level South	CONCESSIONS PHASE 1	2977 SF
R1 Field Level South	LOCKER ROOM PHASE 1	746 SF
R1 Field Level South	LOCKER ROOM PHASE 1	350 SF
R1 Field Level South	MEDIA PHASE 1	413 SF
R1 Field Level South	MEP SPACE PHASE 1	323 SF
R1 Field Level South	RESTROOMS PHASE 1	2689 SF
R1 Field Level South	UNENCLOSED BOON SPACES	1546 SF
R2 Concourse Level East	CONCESSIONS PHASE 1	1918 SF
R2 Concourse Level East	CONCESSIONS	1750 SF
R2 Concourse Level East	CONCESSIONS	1404 SF
R2 Concourse Level	BOON SPACES	1308 SF
R2 Concourse Level	CONCESSIONS PHASE 1	1858 SF
R2 Concourse Level	CONCESSIONS PHASE 1	1824 SF
R2 Concourse Level	CONCESSIONS	1824 SF
R2 Concourse Level	EVENT SPACE PHASE 1	301 SF
R2 Concourse Level	MEP SPACE PHASE 1	1851 SF
R2 Concourse Level	LOCKER PHASE 1	281 SF
R2 Concourse Level	MEP SPACE PHASE 1	414 SF
R2 Concourse Level	RESTROOMS PHASE 1	1812 SF
R2 Concourse Level	TICKET OFFICE PHASE 1	658 SF
R2 Concourse Level	UNENCL. BOON SPACES	1506 SF
R3 Press Level	BOON SPACES	1308 SF
R3 Press Level	CONCESSION PHASE 1	1111 SF
R3 Press Level	LOCKER PHASE 1	453 SF
R3 Press Level	MEDIA PHASE 1	747 SF
R3 Press Level	UNENCL. BOON SPACES	2274 SF

A1 02 Concourse Level Floor Plan - OVERALL  
3/8" = 1' 0"



**NOT FOR  
 CONSTRUCTION**

**TIDEWATER  
 STADIUM**  
 Pawtucket, Rhode Island

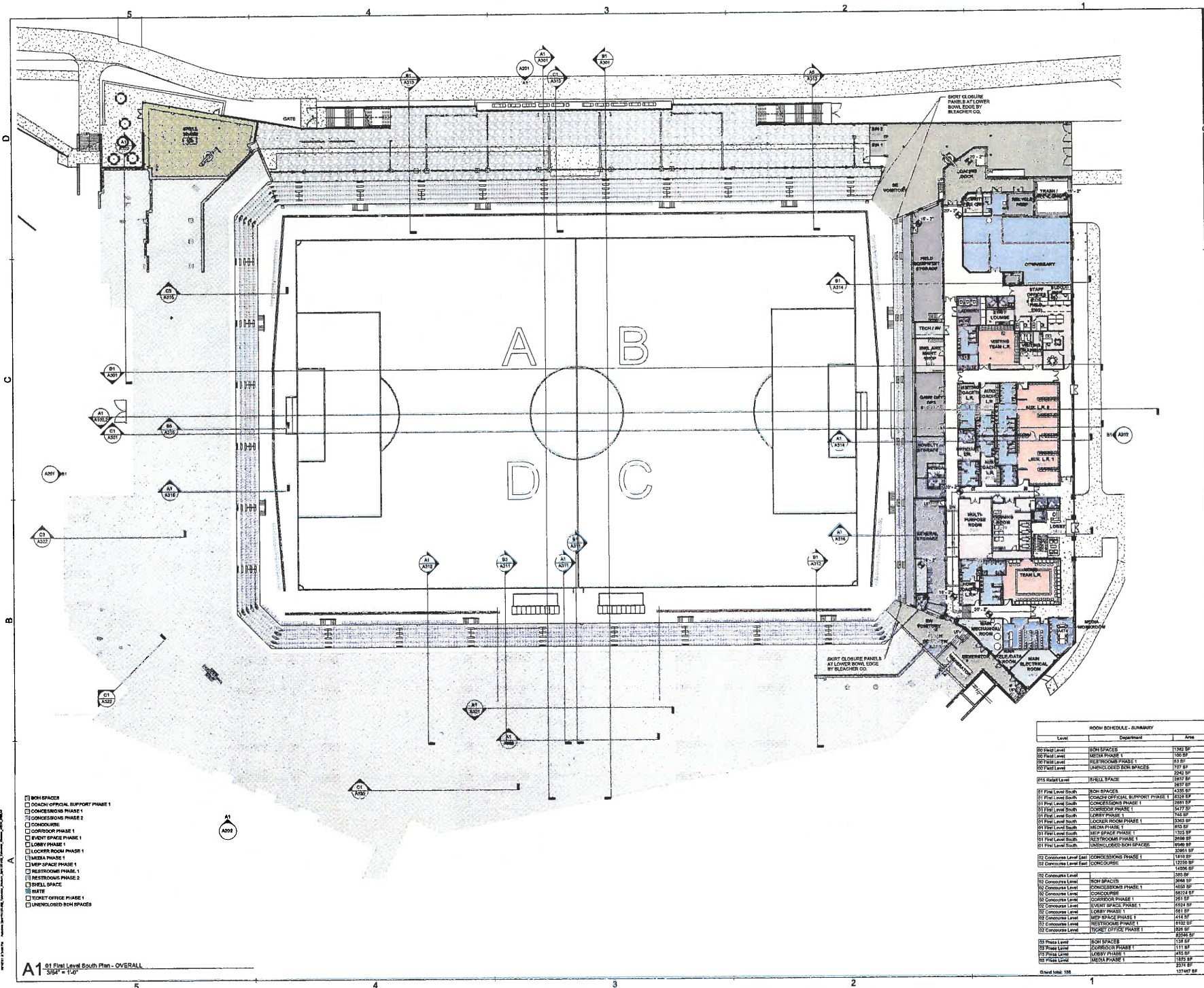


REVISION	DATE	DESCRIPTION
		ISSUED FOR PERMITTING
		ISSUED FOR PERMITTING
		ISSUED FOR PERMITTING
		ISSUED FOR PERMITTING

PROJECT NO. 4187-000  
 PHASE 1A WINDMILL  
 ARCH. J. BLAIR  
 DESIGN BY A. HENRY  
 JOB CAPTAIN J. GARGO  
 DRAWN BY  
 CHECKED BY

**OVERALL FIRST  
 LEVEL SOUTH PLAN**

SHEET IDENTIFIER  
**A101**



Level	Department	Area
00 First Level	NON SPACES	1782 SF
00 First Level	MECH PHASE 1	100 SF
00 First Level	RESTROOMS PHASE 1	83 SF
00 First Level	UNENCLOSED NON SPACES	717 SF
00 First Level	UNENCLOSED NON SPACES	2943 SF
01 First Level	SHELL SPACE	2857 SF
01 First Level South	NON SPACES	4325 SF
01 First Level South	CONCRETE OFFICIAL SUPPORT PHASE 1	3035 SF
01 First Level South	CONCRETE PHASE 1	2281 SF
01 First Level South	CONCRETE PHASE 1	1477 SF
01 First Level South	LOBBY PHASE 1	742 SF
01 First Level South	LOCKER ROOM PHASE 1	3205 SF
01 First Level South	MECH PHASE 1	870 SF
01 First Level South	MEP PHASE 1	1762 SF
01 First Level South	RESTROOMS PHASE 1	2046 SF
01 First Level South	UNENCLOSED NON SPACES	9166 SF
01 First Level South	UNENCLOSED NON SPACES	3381 SF
02 Concourse Level East	CONCRETE PHASE 1	1415 SF
02 Concourse Level East	CONCRETE	1250 SF
02 Concourse Level	NON SPACES	1406 SF
02 Concourse Level	NON SPACES	3064 SF
02 Concourse Level	CONCRETE PHASE 1	4058 SF
02 Concourse Level	CONCRETE	8623 SF
02 Concourse Level	CORRIDOR PHASE 1	291 SF
02 Concourse Level	EVENT SPACE PHASE 1	6623 SF
02 Concourse Level	LOBBY PHASE 1	561 SF
02 Concourse Level	MEP PHASE 1	4418 SF
02 Concourse Level	RESTROOMS PHASE 1	810 SF
02 Concourse Level	TOILET OFFICE PHASE 1	829 SF
03 Plaza Level	NON SPACES	137 SF
03 Plaza Level	CORRIDOR PHASE 1	111 SF
03 Plaza Level	LOBBY PHASE 1	482 SF
03 Plaza Level	MECH PHASE 1	1472 SF
03 Plaza Level	MECH PHASE 1	2377 SF
03 Plaza Level	MECH PHASE 1	12747 SF

- NON SPACES
- CONCRETE OFFICIAL SUPPORT PHASE 1
- CONCRETE PHASE 1
- CONCRETE PHASE 2
- CONCRETE
- CORRIDOR PHASE 1
- CORRIDOR PHASE 2
- LOBBY PHASE 1
- LOCKER ROOM PHASE 1
- MECH PHASE 1
- MECH PHASE 2
- MECH PHASE 3
- MECH PHASE 4
- MECH PHASE 5
- MECH PHASE 6
- MECH PHASE 7
- MECH PHASE 8
- MECH PHASE 9
- MECH PHASE 10
- MECH PHASE 11
- MECH PHASE 12
- MECH PHASE 13
- MECH PHASE 14
- MECH PHASE 15
- MECH PHASE 16
- MECH PHASE 17
- MECH PHASE 18
- MECH PHASE 19
- MECH PHASE 20
- MECH PHASE 21
- MECH PHASE 22
- MECH PHASE 23
- MECH PHASE 24
- MECH PHASE 25
- MECH PHASE 26
- MECH PHASE 27
- MECH PHASE 28
- MECH PHASE 29
- MECH PHASE 30
- MECH PHASE 31
- MECH PHASE 32
- MECH PHASE 33
- MECH PHASE 34
- MECH PHASE 35
- MECH PHASE 36
- MECH PHASE 37
- MECH PHASE 38
- MECH PHASE 39
- MECH PHASE 40
- MECH PHASE 41
- MECH PHASE 42
- MECH PHASE 43
- MECH PHASE 44
- MECH PHASE 45
- MECH PHASE 46
- MECH PHASE 47
- MECH PHASE 48
- MECH PHASE 49
- MECH PHASE 50
- MECH PHASE 51
- MECH PHASE 52
- MECH PHASE 53
- MECH PHASE 54
- MECH PHASE 55
- MECH PHASE 56
- MECH PHASE 57
- MECH PHASE 58
- MECH PHASE 59
- MECH PHASE 60
- MECH PHASE 61
- MECH PHASE 62
- MECH PHASE 63
- MECH PHASE 64
- MECH PHASE 65
- MECH PHASE 66
- MECH PHASE 67
- MECH PHASE 68
- MECH PHASE 69
- MECH PHASE 70
- MECH PHASE 71
- MECH PHASE 72
- MECH PHASE 73
- MECH PHASE 74
- MECH PHASE 75
- MECH PHASE 76
- MECH PHASE 77
- MECH PHASE 78
- MECH PHASE 79
- MECH PHASE 80
- MECH PHASE 81
- MECH PHASE 82
- MECH PHASE 83
- MECH PHASE 84
- MECH PHASE 85
- MECH PHASE 86
- MECH PHASE 87
- MECH PHASE 88
- MECH PHASE 89
- MECH PHASE 90
- MECH PHASE 91
- MECH PHASE 92
- MECH PHASE 93
- MECH PHASE 94
- MECH PHASE 95
- MECH PHASE 96
- MECH PHASE 97
- MECH PHASE 98
- MECH PHASE 99
- MECH PHASE 100

A1 01 First Level South Plan - OVERALL  
 3/04" = 1'-0"