



State of Rhode Island and Providence Plantations
 Coastal Resources Management Council
 Oliver H. Stedman Government Center
 4808 Tower Hill Road, Suite 3
 Wakefield, RI 02879-1900

(401) 783-3370
 Fax (401) 783-2069

APPLICATION FOR STATE ASSENT

To perform work regulated by the provisions of Chapter 279 of the Public Laws of 1971 Amended.

File No. (CRMC use only): <u>2018-12-037</u>	
Project Location:	<u>166 Waterway Narragansett</u>
Number	Street
City/Town	
Owner's Name: <u>Jonathan Janikies</u>	Plat: <u>NB</u> Lot(s): <u>1</u>
Mailing Address: <u>166 Waterway Dr. Saunderstown, RI 02874</u>	Res. Tel. #: _____ Bus. Tel. #: <u>423-1676</u>
Contractor RI Lic. # <u>10445</u> Address: <u>15 Patrol Rd. N. Kingstown RI</u>	Tel. No. <u>423-1676</u>
Designer: <u>Warren Hall</u> Address: <u>63 Elmwood Ave Middletown RI</u>	Tel. No. <u>849-5905</u>
Waterway: <u>Narragansett Bay west passage</u> Est. Project Cost: <u>\$125,000</u>	Fee/Costs: <u>\$1500-</u>
Description of work proposed (a brief description of all elements of work <u>MUST</u> be included here, additional sheets may be attached): <u>Construct and maintain a 4' x 114.3' residential pier with a 10,000 # boat lift and a 4 post 4 motor float lift. Pier to extend 75' beyond mean low water. Variance is requested from CRMC 1.3.1. D.K.L</u>	

Have you or any previous owner filed an application for and/or received an assent for any activity on this property? (If so please provide the file and/or assent numbers): 2012-06-100, 2009-06-048, 2009-08-062, 2009-10-069

Is this site within a designated historic district? YES NO

Is this application being submitted in response to a coastal violation? YES NO

If YES, you must indicate NOV or C&D Number: _____

Name and Addresses of adjacent property owners whose property adjoins the project site. (Accurate addresses will insure proper notification. Improper addresses will result in an increase in review time.)

Estate of Francis Bayard Rhein, c/o Mrs Francis Bayard Rhein 190 Waterway Saunderstown RI 02874

Patricia A. Zangari 164 Waterway Saunderstown RI 02874 & Mario J. Zangari

STORMTOOLS (<http://www.beachsamp.org/resources/stormtools/>) is a planning tool to help applicants evaluate the impacts of sea level rise and storm surge on their projects. The Council encourages applicants to use STORMTOOLS to help them understand the risk that may be present at their site and make appropriate adjustments to the project design.

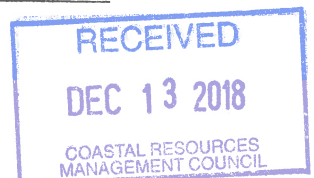
NOTE: The applicant acknowledges by evidence of their signature that they have reviewed the Rhode Island Coastal Resources Management Program, and have, where possible, adhered to the policies and standards of the program. Where variances or special exceptions are requested by the applicant, the applicant will be prepared to meet and present testimony on the criteria and burdens of proof for each of these relief provisions. The applicant also acknowledges by evidence of their signature that to the best of their knowledge the information contained in the application is true and valid. If the information provided to the CRMC for this review is inaccurate or did not reveal all necessary information or data, then the permit granted under this application may be found to be null and void. Applicant requires that as a condition to the granting of this assent, members of the CRMC or its staff shall have access to the applicant's property to make on-site inspections to insure compliance with the assent. This application is made under oath and subject to the penalties of perjury.

08/04

Jonathan Janikies
 Owner's Signature (sign and print)

PLEASE REVIEW REVERSE SIDE OF APPLICATION FORM

01-2017 - ajt



STATEMENT OF DISCLOSURE AND APPLICANT AGREEMENT AS TO FEES

The fees which must be submitted to the Coastal Resources Management Council are based upon representations made to the Coastal Resources Management Council by the applicant. If after submission of this fee the Coastal Resources Management Council determines that an error has been made either in the applicant's submission or in determining the fee to be paid, the applicant understands that additional fees may be assessed by the Coastal Resources Management Council. These fees must be paid prior to the issuance of any assent by the Coastal Resources Management Council.

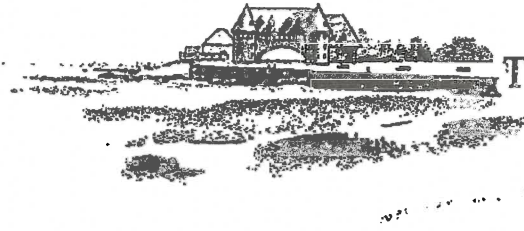
The applicant understands the above conditions and agrees to comply with them.


Signature

11/27/18
Date

Jonathan Janikies 166 Waterway Dr. Scudderstown, RI 02874
Print Name and Mailing Address





TOWN OF NARRAGANSETT

Town Hall • 25 Fifth Avenue • Narragansett, RI 02882-3699
Tel. (401) 789-1044 TDD (401) 782-0610 Fax (401) 783-9637

FINANCE DEPARTMENT

June 26, 2018

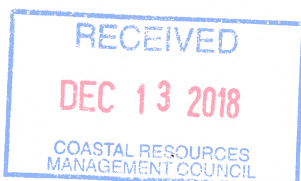
Coastal Resources Management Council
Oliver Stedman Government Center
4800 Tower Hill Road
Wakefield, RI 02879

Dear Sir/Madam:

This is to verify that Jonathan J. Janikies is the owner of Assessor's Map N-B Lot 1 located at 166 Water Way in the Town of Narragansett.

Sincerely,

September Hughes
Tax Assessor Clerk





Town of North Kingstown, Rhode Island

100 Fairway Drive
North Kingstown, RI 02852
Phone: (401) 268-1531
Fax: (401) 583-4140

June 26, 2018

Assessor's Office

To Whom It May Concern:

This is to certify that property at 166 Waterway known as North Kingstown Assessor's Plat 1 Lot 148, is owned by Jonathan J Janikies.

The property was acquired on October 20, 2005 and recorded in Book 2055, Page 53 and as of the above date has not transferred from the present ownership.

Linda L. Cwiek, *RICA*
Assessor

Warren Hall, Civil Engineer
PE # 5114, PLS # 1917, 63 Elmwood Ave.
Middletown, RI 02842
401-849-5905

December 12, 2018
Mr. Willie Mosunic, Applications Coordinator
CRMC
4808 Tower Hill Rd.
Wakefield, RI 02879

RE: Residential Pier Application and 10,000 # boat lift, Jonathan Janikies 166 Waterway, Narragansett & North Kingstown, AP NB, Lot 1 (Narragansett) & AP 1, Lot 148 (North Kingstown), RI 02874

Dear Mr. Mosunic,

Please find attached an application and supporting documents for a residential pier with a 10,000# boat lift. Pier will be located within the Town of Narragansett; the lot crosses the Town line between Narragansett & North Kingstown.

A variance is requested from CRMC 1.3.1.11.D.1, pier to extend 75' beyond mean low water where 50' is allowed.

I have included four copies of the following:

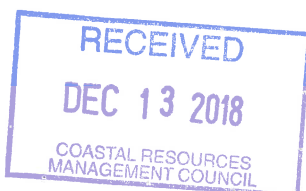
- 1) Application
- 2) Agreement as to Fees, dated 11-27-18
- 3) Proof of Property Ownership, dated 6-26-18 (Narragansett), & 6-26-18 (N Kingstown)
- 4) Category B requirements 1.3.1.A, dated 12-10-18
- 5) Narrative of Construction, dated 12-10-18
- 6) Section 1.1.7 Variance criteria 2 sheets dated 12-10-18
- 7) Pictures of site, 12-10-18 (for submission)
- 8) SAV Survey, by Natural Resource Services Inc., dated 8-13-18
- 9) Plan set, ten sheets, dated 12-3-18

And one check #1198 pay \$1500.00, pay to CRMC

If you request any additional information or have any questions, please feel free to call me at 849-5905.

Respectfully Submitted,


Warren Hall, PE, PLS



Warren Hall, Civil Engineer
PE # 5114
PLS # 1917
63 Elmwood Ave.
Middletown, RI 02842
401-849-5905

December 10, 2018
Mr. Willie Mosunic, Applications Coordinator
CRMC
4808 Tower Hill Rd.
Wakefield, RI 02879

Applicant: Jonathan Janikies, 166 Waterway, Saunderstown, RI 02874, AP NB Lot 1 (Narragansett) & AP 1, Lot 148 (North Kingstown), Residential pier and boatlift

RE: Section 1.1.7 Variances from standards 1.3.1.D.11.1
Pier to extend 75' beyond mean low water where 50' is allowed.

A):

1. The proposed alteration conforms with applicable goals and policies of the Coastal Resources Management Program.

a) Water type in this area is type two, where the council allows residential piers. As proposed this pier will be elevated a minimum 15' above mean low water to allow for public access laterally along the shoreline.

b) In order to provide clearance beyond an existing large rock outcrop it is requested to extend an addition 25'.

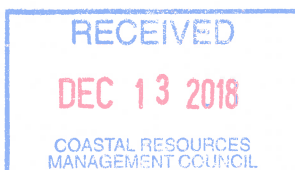
2) Proposed alteration will not result in use conflicts or adverse environmental impacts:

a) The proposed pier is very similar to other piers that have been permitted and constructed in the area. As proposed the design provides 11.5' clearance to the deck from mean high water, allowing all uses to continue laterally along the shoreline and within the tidal zone.

b) All of the proposed materials have been used in the past and resulted in no effect on the marine environment. Water depths obstruct any intense use of this area including fishing, navigation, and commerce.

3) Due to site conditions the standard cannot be met:

a) Pre-existing rock outcrops, are being avoided by extending over the area of concern



4) The modification requested by the applicant is the minimum variance to the applicable standard(s) necessary to allow a reasonable alteration or use of the site.

a) The proposed extension will provide the clearance from the existing rock outcrop to allow the facility to safely operate.

5) Hardship is not the result of any action by the applicant or predecessor in title:

a) Limiting rock outcrops are present at the site and are a natural condition.

6) Due to conditions at the site, the standard will cause the applicant an undue hardship:

a) Applicant's request for a variance will provide a safer area to operate.

B): NA; **C):** a) All other program requirements have been met; **D):** a) Local municipality requirements are not causing the relief requested.

Respectfully Submitted,



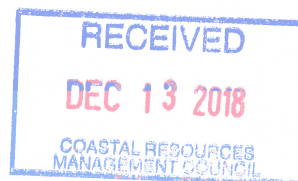
Warren Hall, PE, PLS

CATEGORY B REQUIREMENTS; 1.3.1.A
RESIDENTIAL PIER and BOATLIFT APPLICATION, JONATHAN JANIKIES
AP NB, LOT 1 (NARRAGANSETT) & AP 1, LOT 148 (N. KINGSTOWN)
166 WATERWAY, 02874

Date: December 10, 2018

- a) The proposed activity is a residential pier, float lift & and a 10,000# boat lift, with associated residential use.
- b) All local permits will be secured prior to construction.
- c) The proposed pier and boat lift will extend into Narragansett Bay, West Passage, which is designated as type 2 waters.
- d) As this activity will occur over the water and surrounding land area, there will be no change to the erosion and deposition process in this area.
- e) During construction there will be displacement of plant & animal life, however after completion all plant and animal life will re colonize. As proposed the deck elevation will be 15 feet above mean low water allowing for sun light penetration under the structure.
- f) The proposed pier and boat lift is adjacent to private property and there is no public access over this property. As the deck elevation is 15' above mean low water all uses along the shore and within the tidal waters will remain unchanged.
- g) This pier will have 12" diameter piles driven into the sediment; pile spacing will be 15'. These piles will have no effect on the water circulation, flushing, turbidity, or sedimentation processes.
- h) All of these materials have been used in the past on similar projects, resulting in no deterioration of the water quality in the area.
- i) There are no known areas of historic or archeological significance in the area of the pier.
- j) As proposed this pier will extend 75' beyond mean low water, and within the tidal zone be elevated 15' above mean low water. This elevation will allow for access laterally along the shoreline. Waters adjacent to the proposed pier are not deep enough and to support any active recreational boating, fishing, navigation, or commerce activities.
- k) It is this author's opinion that this pier will be in conformance in with surrounding area. There are existing piers within the area.

Warren Hall, PE, PLS



NARRATIVE OF CONSTRUCTION
FOR
RESIDENTIAL PIER and BOATLIFT APPLICATION
JONATHAN JANIKIES
AP NB, LOT 1 (NARRAGANSETT) & AP 1, LOT 148 (N. KINGSTOWN)
166 WATERWAY, 02874

Date: December 10 2018

As proposed the project will consist of a new 4' x 114.3' residential pier and a 10,000# boatlift. The pier will extend 75' beyond mean low water with a terminus 8' x 18.75' float. Float will have a 4 motor 4 pile. A variance is requested from 1.3.1.

Equipment that will be used during construction will consist of a barge-mounted pile driver, utility trucks, and general tools used by dock builders. Access for the equipment will be over the water and public roads.

Materials to be used on this pier have been used in the past on similar projects, they include: timbers and power lam beams (ACQ & COP GUARD treated), wood piles (CCA treated), metal connectors (hot dipped galvanized). The ACQ & CCA treatment is a non-leaching preservative.

Work is scheduled to begin in the early spring of 2019, and is expected to take 4 weeks to complete.



Warren Hall, PE, PLS

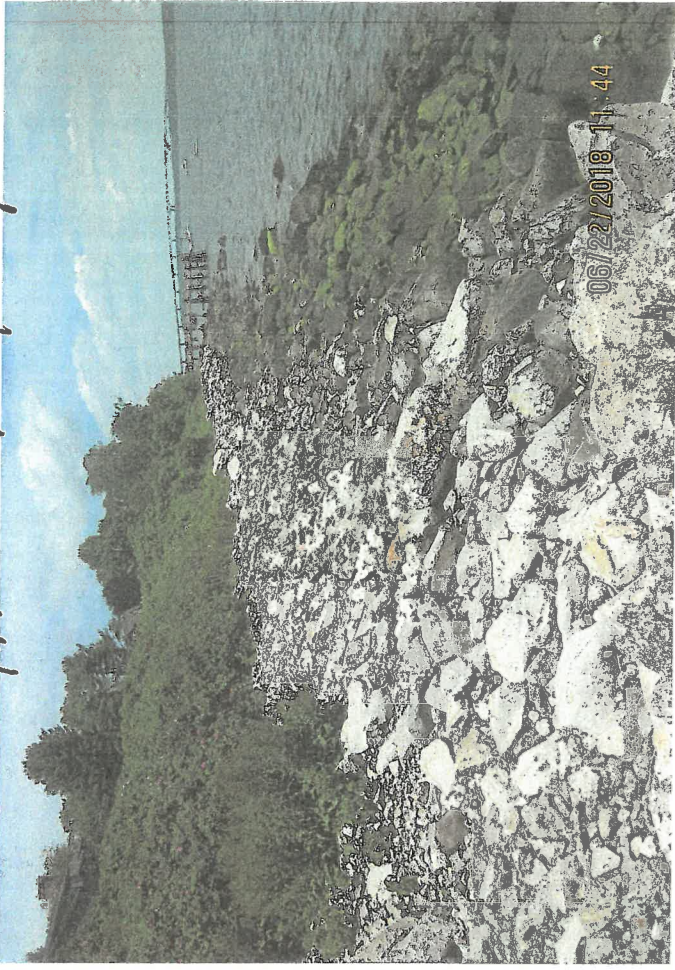
Pictures to accompany application of Jonathan Soudiers
© 166 Waterway, plus the Kingsmen / Narragansett

RECEIVED
DEC 13 2018
COASTAL RESOURCES
MANAGEMENT COUNCIL



06/22/2018 11:43

Looking South



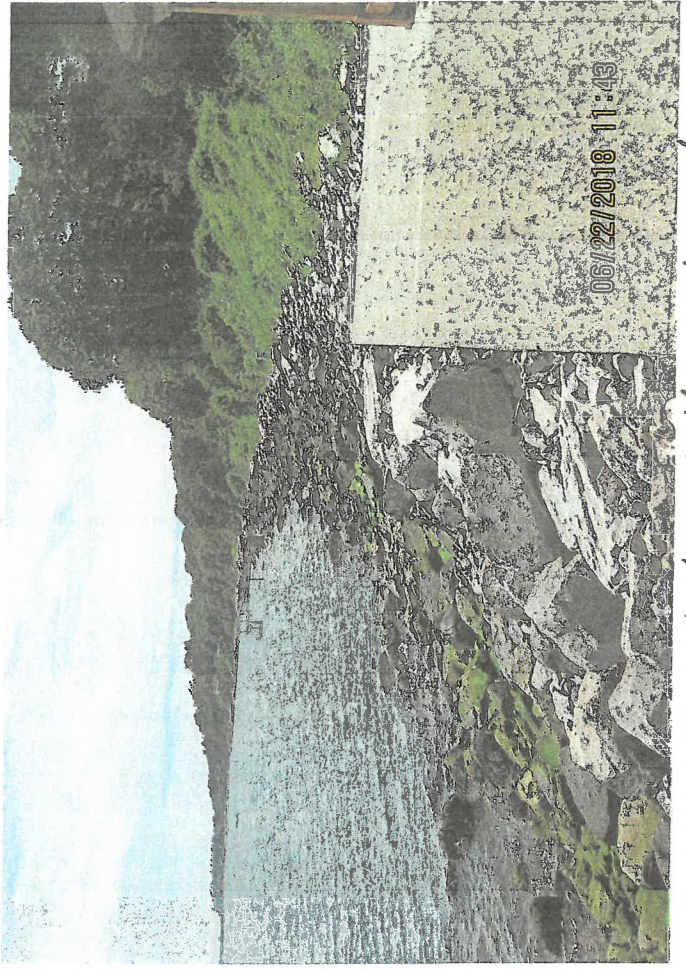
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Looking North



06/22/2018 11:43

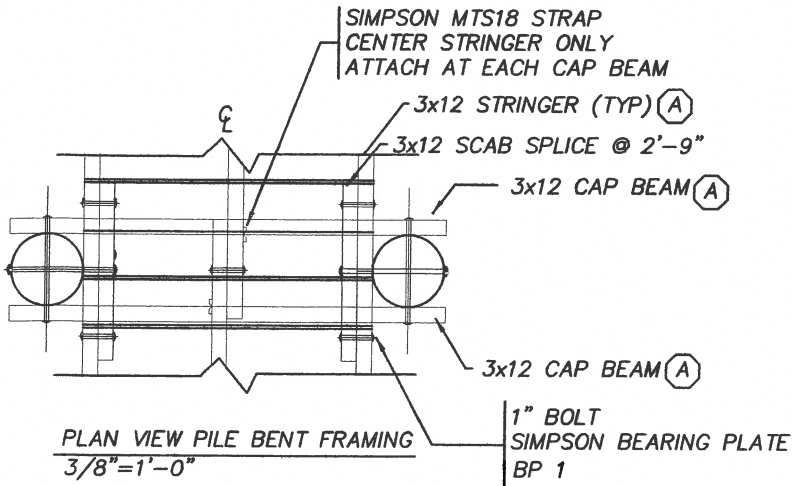
Looking North - north east



06/22/2018 11:43

Looking South - south west

By: WFE 12/10/18



GREENHEART PILE PROPERTIES:
 MODULUS OF RUTTURE 19,300 PSI
 MODULUS OF ELASTICITY 2,470,000 PSI

FRAMING PROPERTIES:

(A) 3x12: 3-1/2"x11-7/8" POWER LAM BEAMS
 Fb=2400psi, E=1,800,000psi, Fv=300psi

SOUTHERN YELLOW PINE
 Fb 1200 PSI
 Fv 80 PSI
 DECK PLANKS TO BE 3x8 #1 GRADE

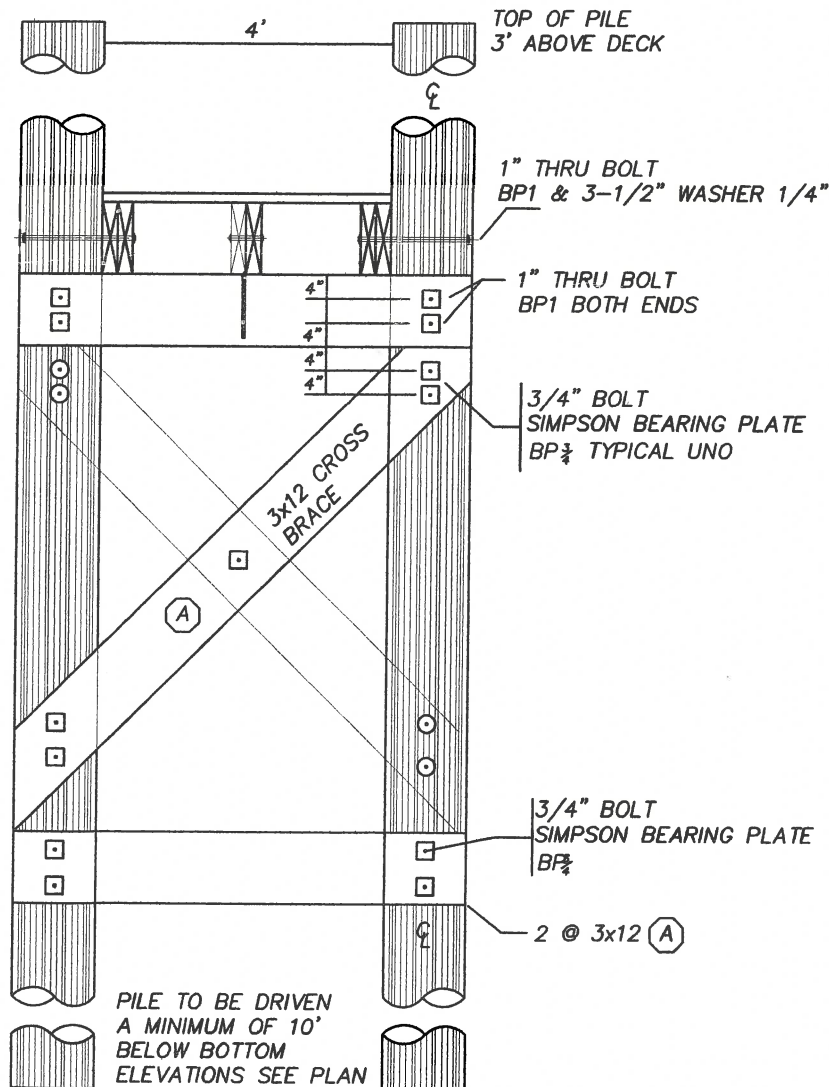
NOTES:

- 1) ALL BOLT HOLES SHALL BE PRE DRILLED 1/16" GREATER THAN DIAMETER OF BOLT
- 2) ALL BOLTS SHALL BE HDG ASTM A307 GRADE A WITH HEAVY HEX NUTS

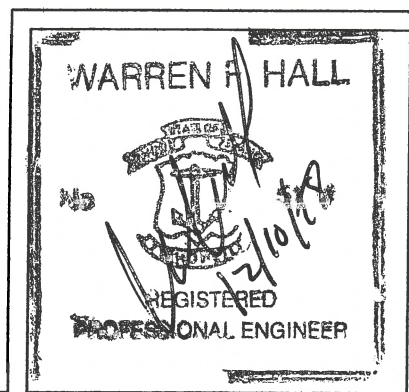
LEGEND

SS: STAINLESS STEEL
 HDG: HOT DIPPED GALVANIZED

ALL PILES SHALL BE GREENHEART
 UNLESS NOTED

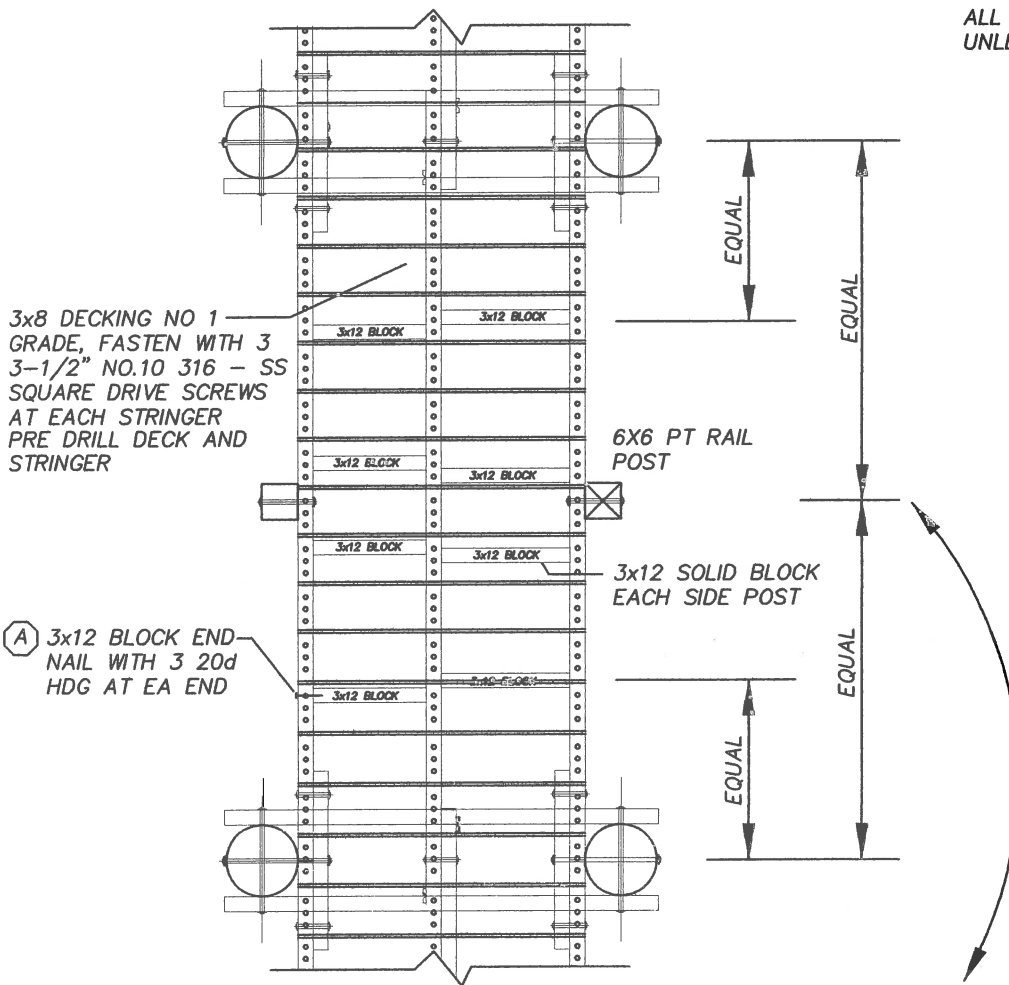


PROPOSED RESIDENTIAL PIER FOR:
 JONATHAN JANIKIES
 166 WATERWAY
 NARRAGANSETT AP NB, LOT 1
 NORTH KINGSTOWN, AP 1, LOT 148
 BY: WARREN HALL, CIVIL ENGINEER
 DEC 3, 2018 SHEET 5 OF 10

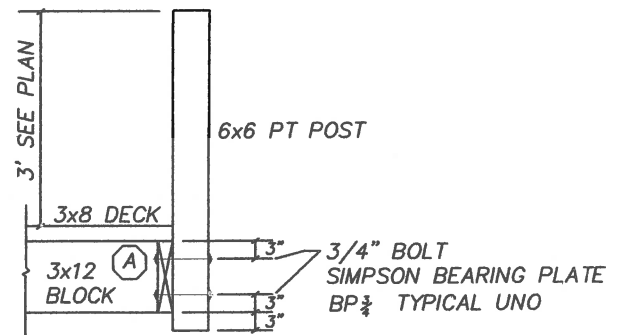


RECEIVED
 TRANSVERSE SECTION PILE BENT
 3/8"=1'-0"
 DEC 13 2018
 COASTAL RESOURCES
 MANAGER/THE COUNCIL

ALL PILES SHALL BE GREENHEART UNLESS NOTED



PLAN VIEW TYPICAL FRAMING
3/8"=1'-0"



DETAIL AT RAILING POST
3/8"=1'-0"

(A) 3x12: 3-1/2"x11-7/8" POWER LAM BEAMS
Fb=2400psi, E=1,800,000psi, Fv=300psi

PROPOSED RESIDENTIAL PIER FOR:
JONATHAN JANIKIES
166 WATERWAY
NARRAGANSETT AP NB, LOT 1
NORTH KINGSTOWN, AP 1, LOT 148
BY: WARREN HALL, CIVIL ENGINEER
DEC 3, 2018 SHEET 6 OF 10

WARREN F HALL

REGISTERED PROFESSIONAL ENGINEER

ALL PILES SHALL BE GREENHEART
UNLESS NOTED

SET STOP BLOCKS TO PREVENT
GUNWALE OF VESSEL FROM ELEVATING
ABOVE DECK ELEVATION = 15.0

DECK ELEV 15.0

FOUR MOTOR 10,000#
BOAT LIFT

6x6 BLOCK
1" THRU BOLT

BATTER PILES:
SOUTHERN YELLOW
PINE

MHW 3.5

MLW 0.00

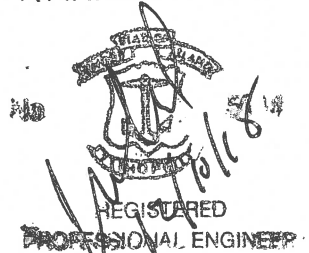
10' PENETRATION

EXISTING BOTTOM

EL = -4±

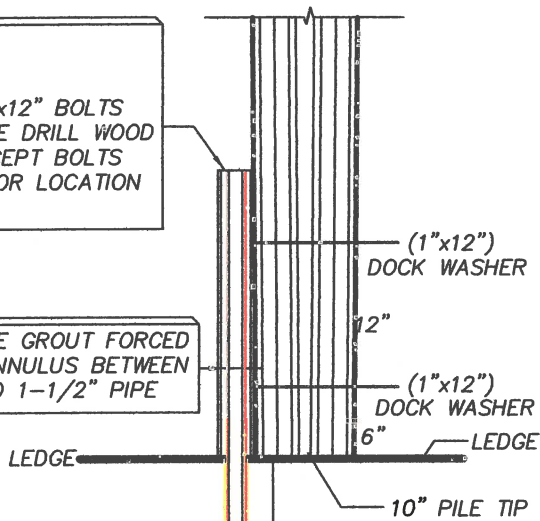
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JONATHAN JANIKIES
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NARRAGANSETT AP NB, LOT 1
NORTH KINGSTOWN, AP 1, LOT 148
BY: WARREN HALL, CIVIL ENGINEER
DEC 3, 2018 1/4"=1'-0" SHEET 10 OF 10

WARREN F HALL



3" SC 80
STEEL PIPE
WELD 2 @ 1x12" BOLTS
TO PIPE, PRE DRILL WOOD
PILE TO ACCEPT BOLTS
SEE PLAN FOR LOCATION

HI PRESSURE GROUT FORCED
THROUGH ANNULUS BETWEEN
3" PIPE AND 1-1/2" PIPE



HI PRESSURE GROUT FORCED
THROUGH ANNULUS BETWEEN
DRILL STEEL & 1-1/2" STEEL
PIPE, GROUT THEN FORCED INTO
ANNULUS BETWEEN STEEL PIPE &
LEDGE FORMATION

2" CARBIDE STEEL ROCK DRILL BIT
(TO REMAIN IN PLACE)

LEDGE ANCHOR
FOR LEDGE ABOVE MHW

MUD LINE

10'

COFFERDAM AS
NECESSARY TO
PREVENT MUD
FROM ENTERING

AUGER THROUGH LEDGE
(PILE + 3") SET PILE
AND FILL ANNULUS WITH
RIDQT FILTER STONE
1/2" - 3/8"

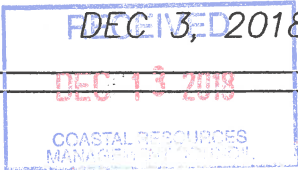
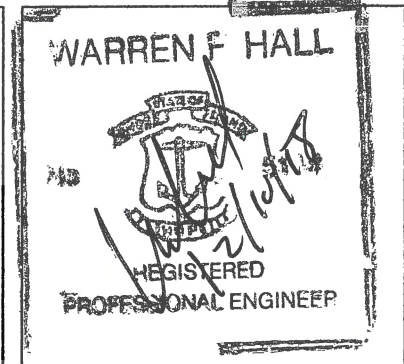
ROCK SOCKET
FOR LEDGE BELOW MHW

LEDGE ANCHOR & ROCK SOCKET

JONATHAN JANIKIES
166 WATERWAY
NARRAGANSETT AP NB, LOT 1
NORTH KINGSTOWN, AP 1, LOT 148
BY: WARREN HALL, CIVIL ENGINEER

DEC 13, 2018

SHEET 9 OF 10



ALL PILES SHALL BE GREENHEART
UNLESS NOTED

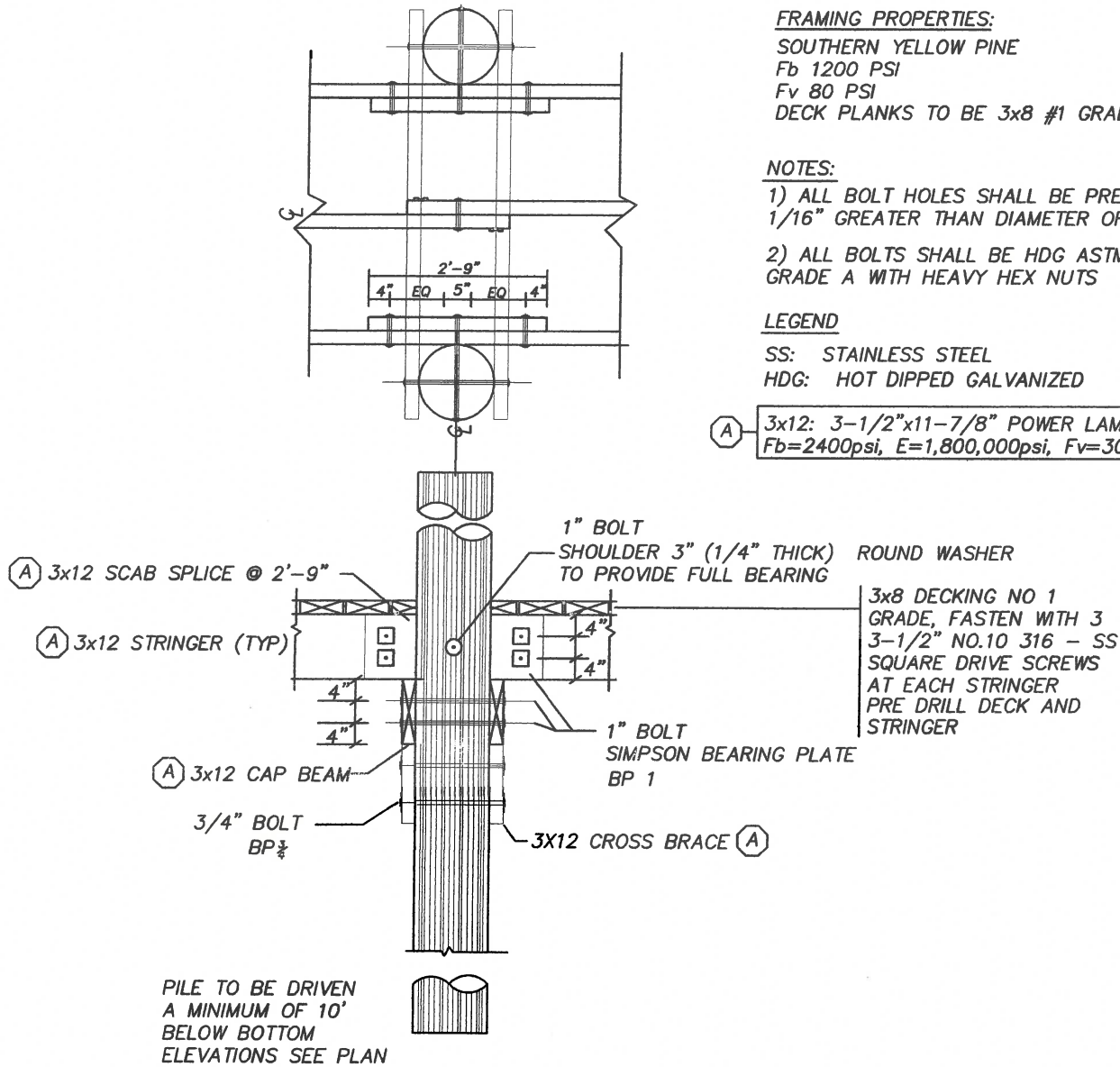
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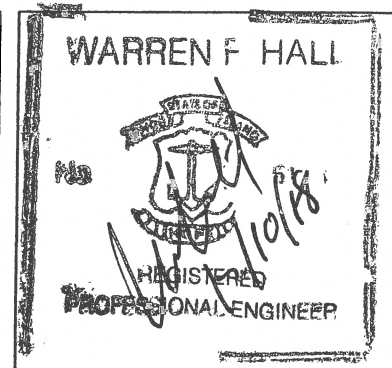
LEGEND
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(A) 3x12: 3-1/2"x11-7/8" POWER LAM BEAMS
F_b=2400psi, E=1,800,000psi, F_v=300psi



LONGITUDINAL SECTION PILE BENT
3/8"=1'-0"

PROPOSED RESIDENTIAL PIER FOR:
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166 WATERWAY
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BY: WARREN HALL, CIVIL ENGINEER
DEC 3, 2018 SHEET 7 OF 10



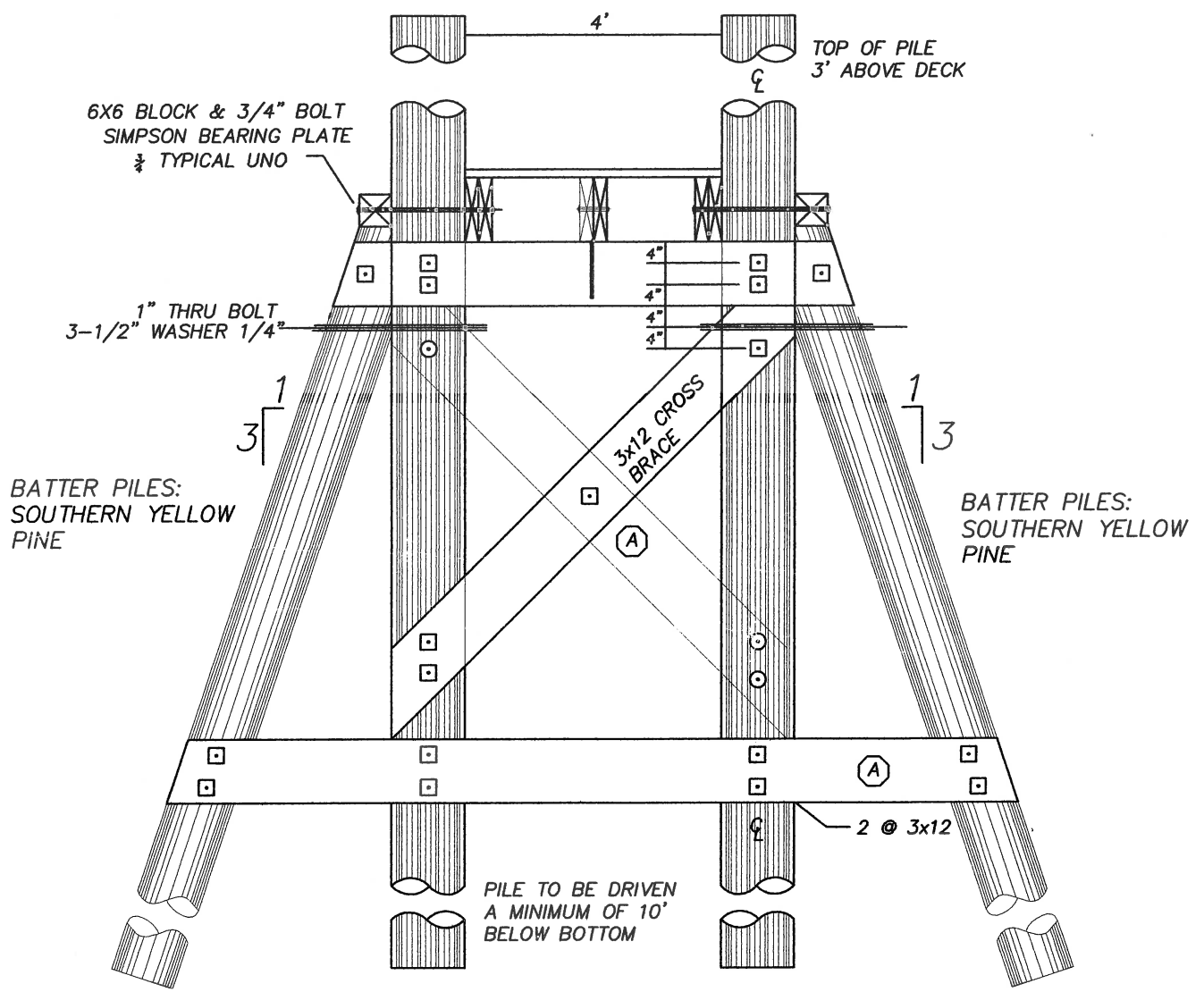
RECEIVED

DEC 13 2018

COASTAL RESOURCES
MANAGEMENT COUNCIL

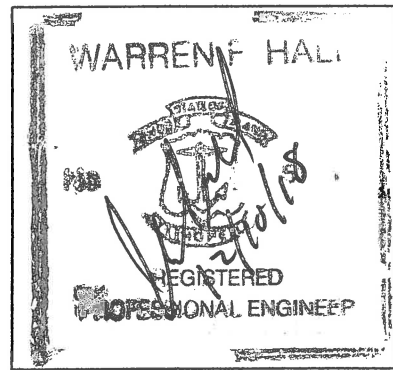
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 3/8"=1'-0"

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 JONATHAN JANIKIES
 166 WATERWAY
 NARRAGANSETT AP NB, LOT 1
 NORTH KINGSTOWN, AP 1, LOT 148
 BY: WARREN HALL, CIVIL ENGINEER
 DEC 3, 2018 SHEET 8 OF 10



ALL PILES SHALL BE GREENHEART UNLESS NOTED

SET STOP BLOCKS TO PREVENT GUNWALE OF VESSEL FROM ELEVATING ABOVE DECK ELEVATION = 15.0

DECK ELEV 15.0

FOUR MOTOR 10,000# BOAT LIFT

6x6 BLOCK
1" THRU BOLT

BATTER PILES:
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MLW 0.00

10' PENETRATION

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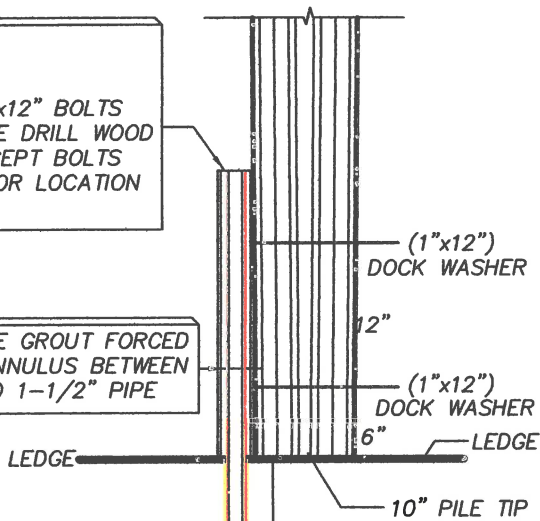
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NORTH KINGSTOWN, AP 1, LOT 148
BY: WARREN HALL, CIVIL ENGINEER
DEC 3, 2018 1/4"=1'-0" SHEET 10 OF 10

WARREN F HALL



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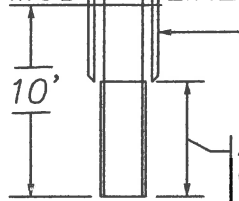
1-1/2" SC. 40 PIPE
1-1/8" DRILL STEEL
SET PINS (THREADED)

HI PRESSURE GROUT FORCED
THROUGH ANNULUS BETWEEN
DRILL STEEL & 1-1/2" STEEL
PIPE, GROUT THEN FORCED INTO
ANNULUS BETWEEN STEEL PIPE &
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(TO REMAIN IN PLACE)

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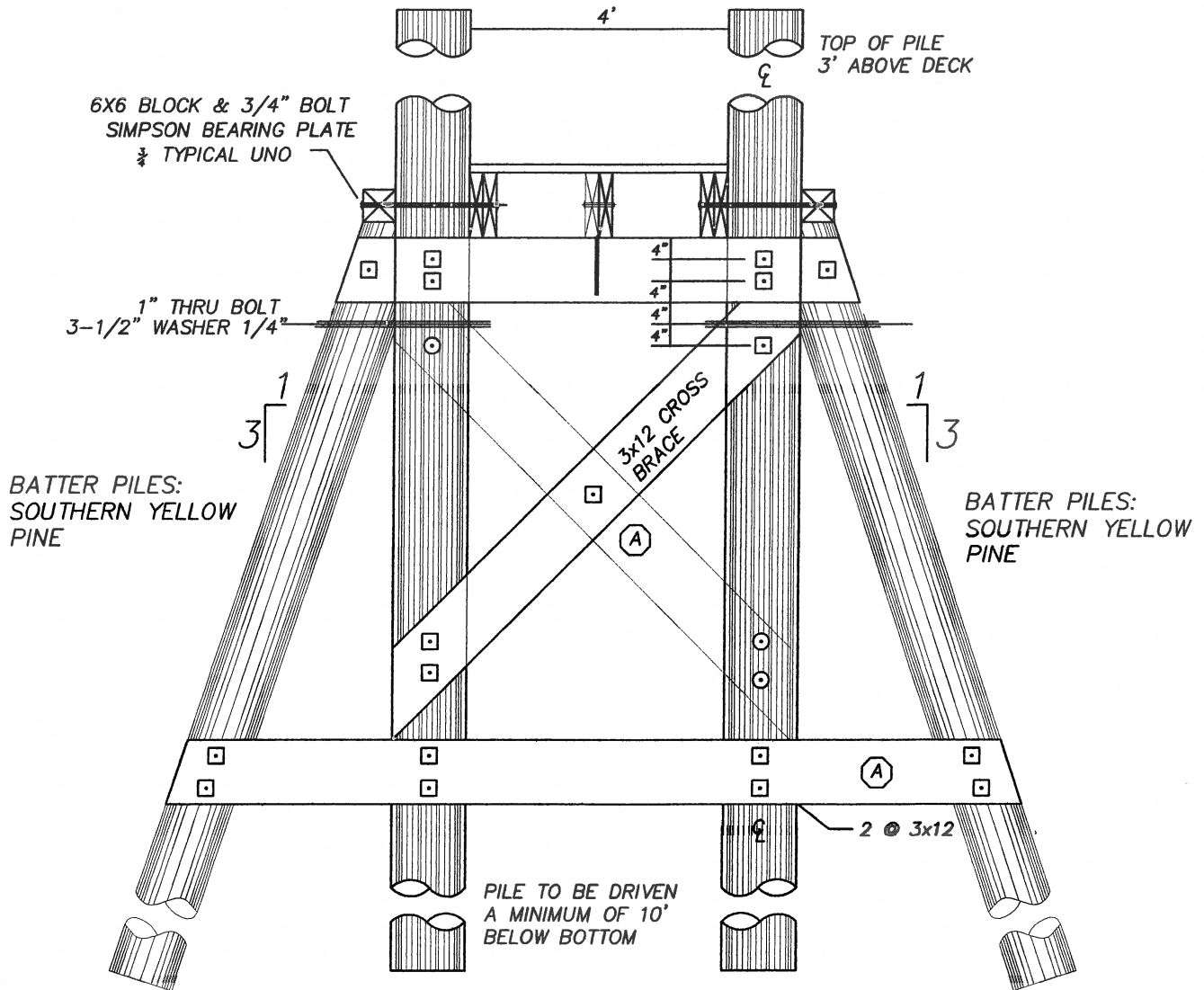
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WARREN F HALL
REGISTERED
PROFESSIONAL ENGINEER

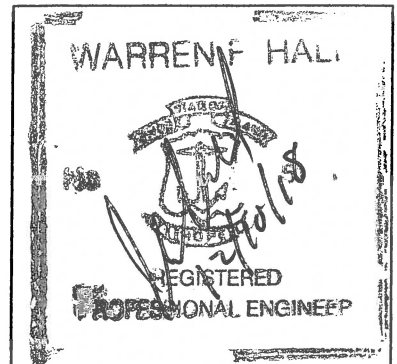
(A) 3x12: 3-1/2"x11-7/8" POWER LAM BEAMS
 Fb=2400psi, E=1,800,000psi, Fv=300psi

ALL PILES SHALL BE GREENHEART
 UNLESS NOTED



TRANSVERSE SECTION PILE BENT
 3/8"=1'-0"

PROPOSED RESIDENTIAL PIER FOR:
 JONATHAN JANIKIES
 166 WATERWAY
 NARRAGANSETT AP NB, LOT 1
 NORTH KINGSTOWN, AP 1, LOT 148
 BY: WARREN HALL, CIVIL ENGINEER
 DEC 3, 2018 SHEET 8 OF 10



ALL PILES SHALL BE GREENHEART
UNLESS NOTED

GREENHEART PILE PROPERTIES:
MODULUS OF RUTURE 19,300 PSI
MODULUS OF ELASTICITY 2,470,000 PSI

FRAMING PROPERTIES:
SOUTHERN YELLOW PINE
Fb 1200 PSI
Fv 80 PSI
DECK PLANKS TO BE 3x8 #1 GRADE

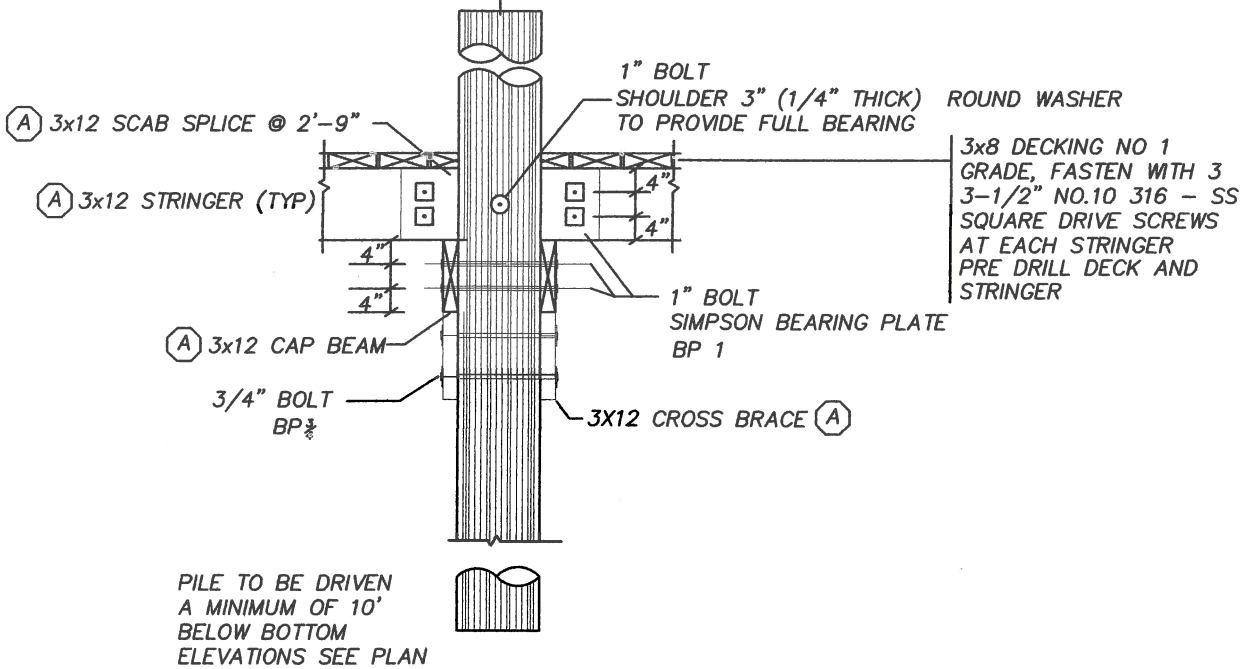
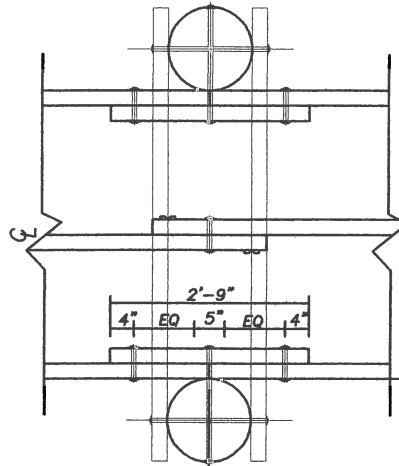
NOTES:

- 1) ALL BOLT HOLES SHALL BE PRE DRILLED 1/16" GREATER THAN DIAMETER OF BOLT
- 2) ALL BOLTS SHALL BE HDG ASTM A307 GRADE A WITH HEAVY HEX NUTS

LEGEND

SS: STAINLESS STEEL
HDG: HOT DIPPED GALVANIZED

(A) 3x12: 3-1/2"x11-7/8" POWER LAM BEAMS
Fb=2400psi, E=1,800,000psi, Fv=300psi



LONGITUDINAL SECTION PILE BENT
3/8"=1'-0"

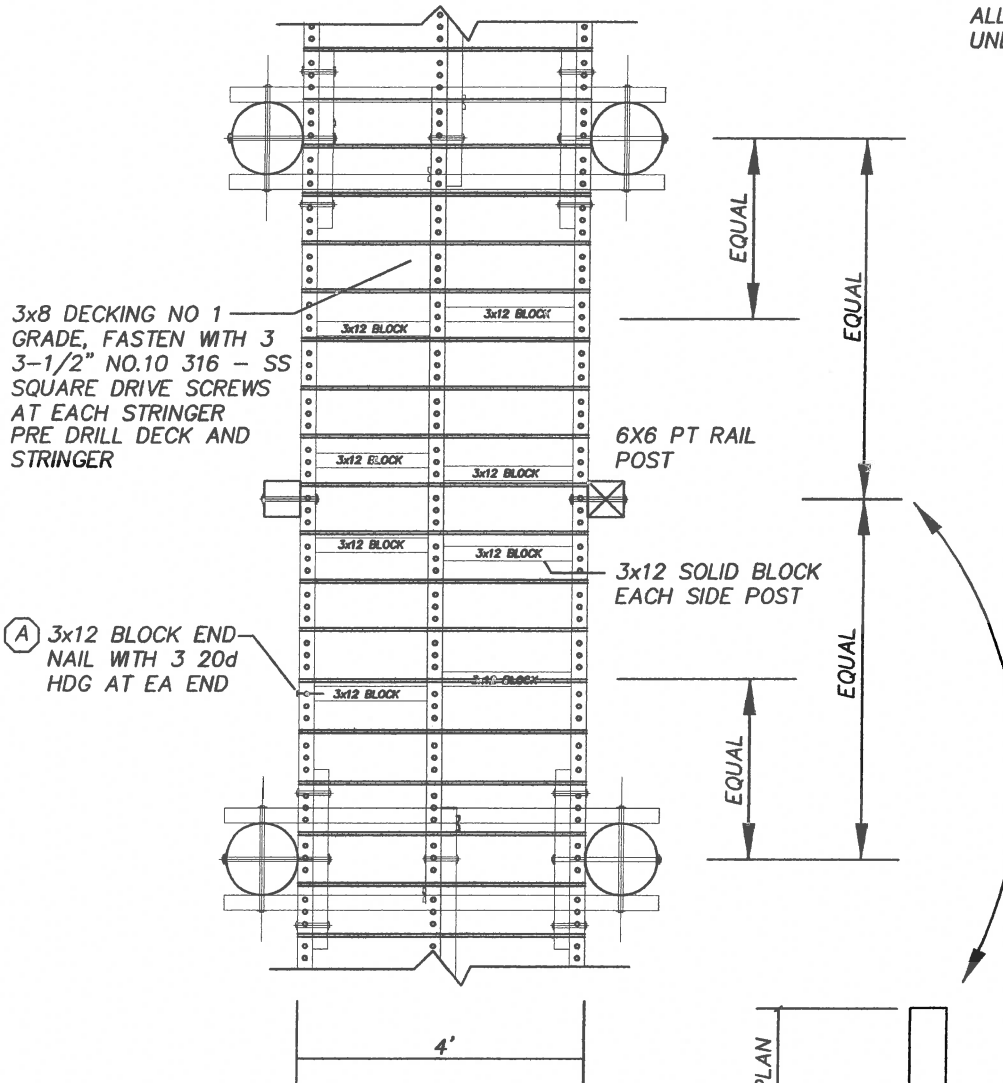
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JONATHAN JANIKIES
166 WATERWAY
NARRAGANSETT AP NB, LOT 1
NORTH KINGSTOWN, AP 1, LOT 148
BY: WARREN HALL, CIVIL ENGINEER
DEC 3, 2018 SHEET 7 OF 10

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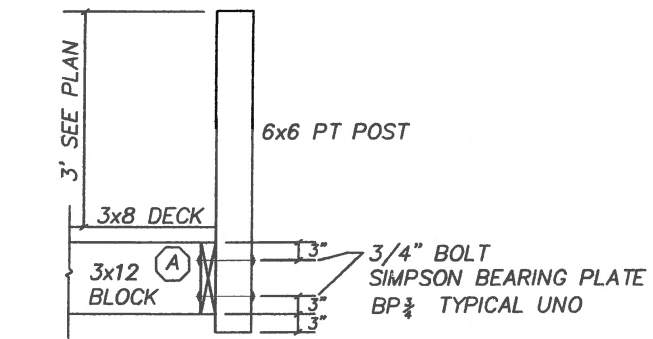
WARREN F HALL

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PROFESSIONAL ENGINEER

ALL PILES SHALL BE GREENHEART UNLESS NOTED



PLAN VIEW TYPICAL FRAMING
3/8"=1'-0"



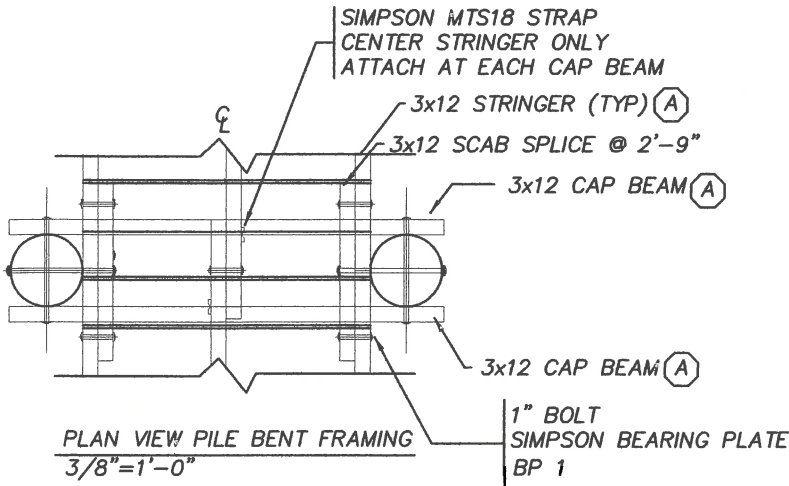
DETAIL AT RAILING POST
3/8"=1'-0"

(A) 3x12: 3-1/2"x11-7/8" POWER LAM BEAMS
Fb=2400psi, E=1,800,000psi, Fv=300psi

PROPOSED RESIDENTIAL PIER FOR:
JONATHAN JANIKIES
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BY: WARREN HALL, CIVIL ENGINEER
DEC 3, 2018 SHEET 6 OF 10

WARREN F HALL

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GREENHEART PILE PROPERTIES:
 MODULUS OF RUTURE 19,300 PSI
 MODULUS OF ELASTICITY 2,470,000 PSI

FRAMING PROPERTIES:

(A) 3x12: 3-1/2"x11-7/8" POWER LAM BEAMS
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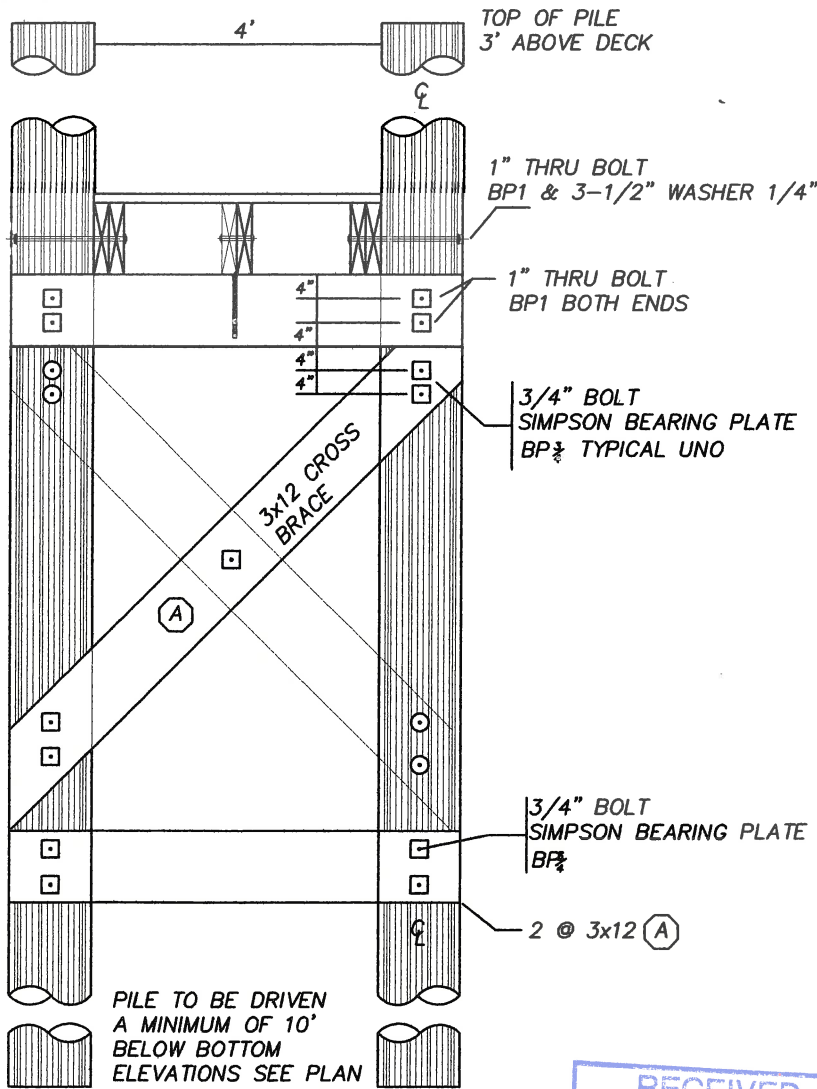
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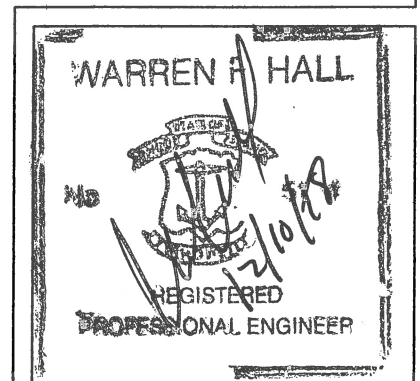
LEGEND

SS: STAINLESS STEEL
 HDG: HOT DIPPED GALVANIZED

ALL PILES SHALL BE GREENHEART
 UNLESS NOTED



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 DEC 3, 2018 SHEET 5 OF 10



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