

EAST POINT MULTIFAMILY DEVELOPMENT

FORMER OCEAN STATE STEEL SITE
 MAP 203 BLOCK 1 LOT 4 AND MAP 303 BLOCK 13 LOTS 4 & 5
 ROGER WILLIAMS AVENUE AND BOURNE AVENUE
 EAST PROVIDENCE, RHODE ISLAND

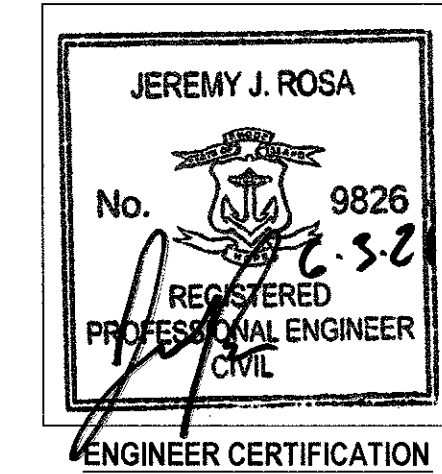
CIVIL ENGINEER:

NORTHEAST ENGINEERS
 & CONSULTANTS, INC.



A KNOWLEDGE CORPORATION
 6 VALLEY ROAD MIDDLETOWN RI 02842
 PHONE (401) 849-0810 FAX (401) 846-4169
 WWW.NORTHEASTENGINEERS.COM

SITE/CIVIL
 LAND PLANNING
 WATERFRONT
 SURVEYING
 GEOTECHNICAL
 ENVIRONMENTAL
 TRANSPORTATION
 STRUCTURAL
 MATERIALS TESTING



CLIENT:

NOBLE DEVELOPMENT, LLC
 10 GREEN STREET
 PROVIDENCE, RI 02903

LANDSCAPE ARCHITECT:

KEVIN M. ALVERSON LANDSCAPE ARCHITECTURE
 360 ANNAQUATUCKET ROAD
 WICKFORD, RI 02852
 kma@kevinmalversonla.com

ARCHITECT:

UNION STUDIO
 140 UNION STREET
 PROVIDENCE, RI 02903

JUNE 3, 2021 PERMIT SET

PLAN INDEX

SITE/CIVIL ENGINEERING PLANS

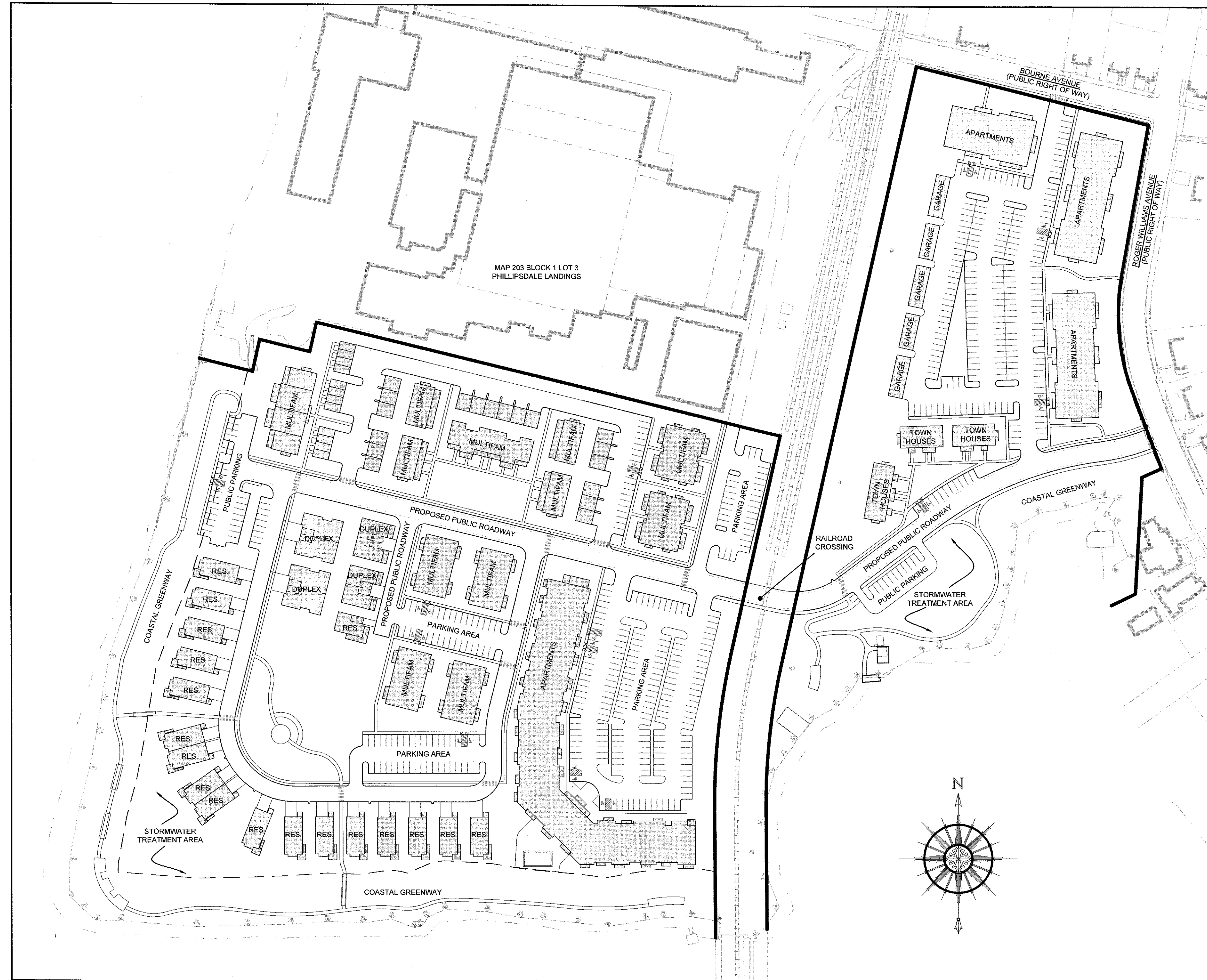
- TITLE SHEET
- NOTES
- INDEX SHEET
- EXISTING CONDITION PLANS
- PROPOSED LAYOUT PLANS
- PROPOSED UTILITY PLANS
- PROPOSED GRADING AND DRAINAGE PLANS
- PROPOSED SOIL EROSION AND SEDIMENT CONTROL PLANS
- PROPOSED ROAD PROFILES
- PROPOSED DETAILS

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ADDENDUMS

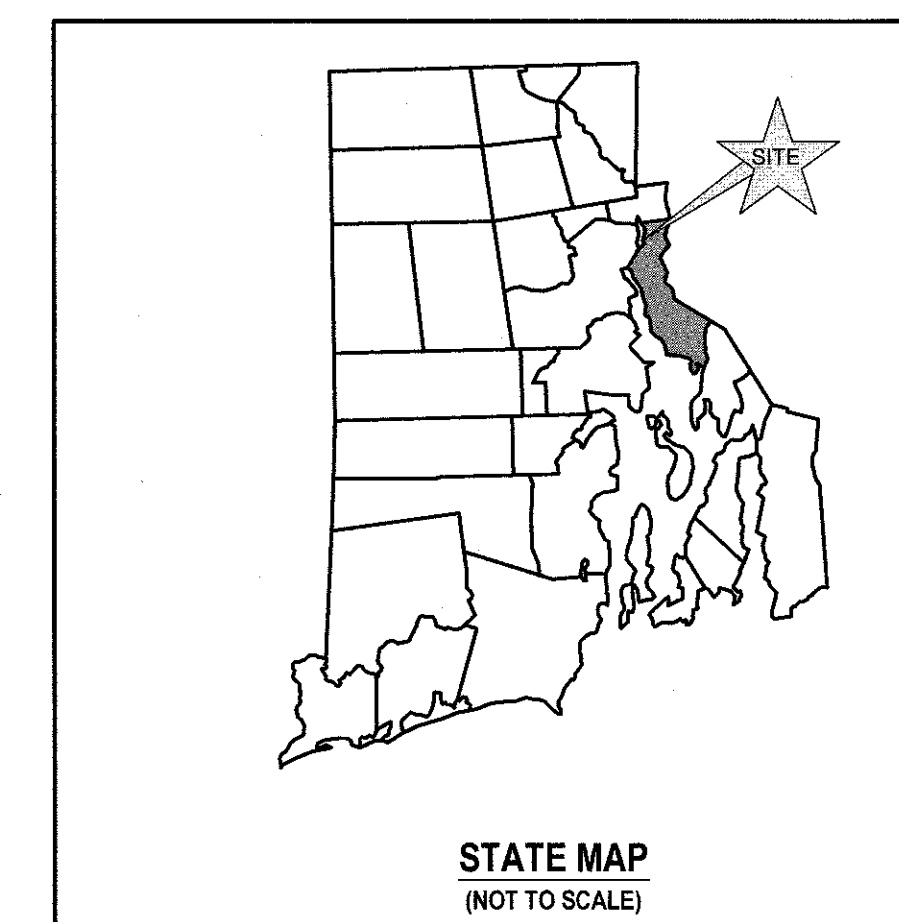
- PLAN OF LAND (BY OTHERS)
- LANDSCAPING PLANS

- SHEET 1
- SHEETS L1-L5

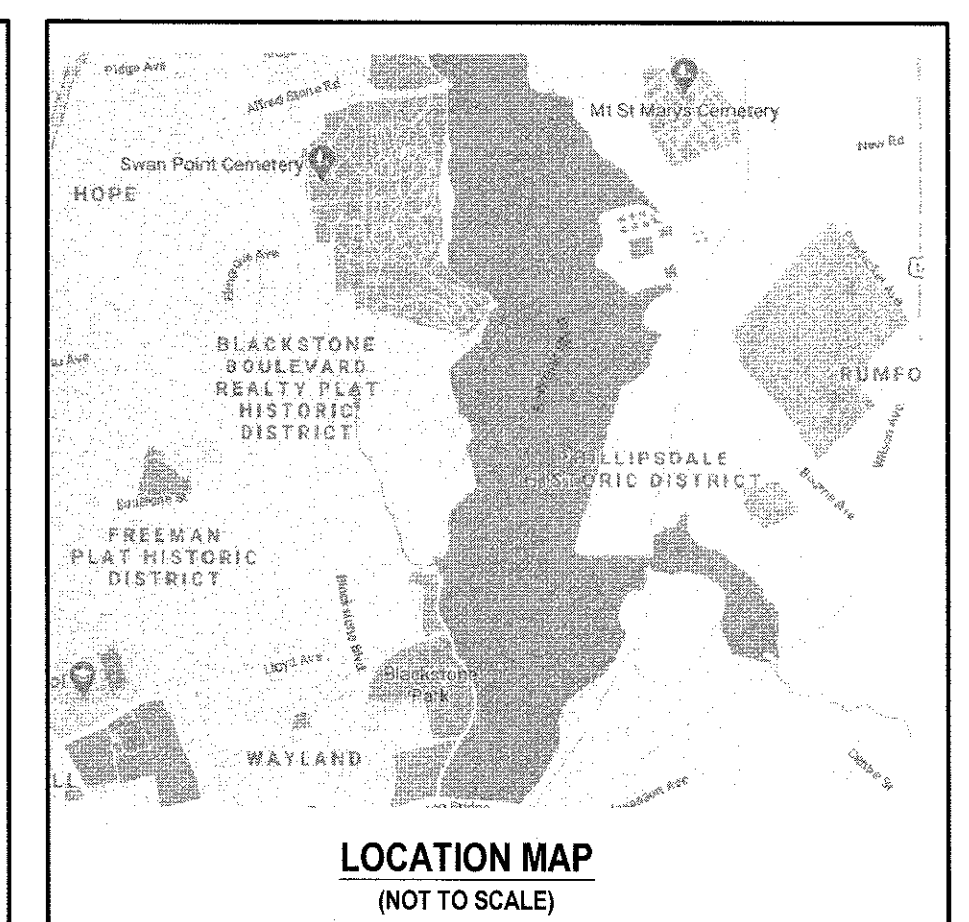


SITE PLAN

SCALE = 1" = 100'



STATE MAP
 (NOT TO SCALE)



LOCATION MAP
 (NOT TO SCALE)

SUBMISSION AND REVISION SUMMARY

AGENCY OR REVISION	DATE	COMMENTS
WATERFRONT COMMISSION	APR 23, 2021	
WATERFRONT COMMISSION	MAY 21, 2021	
CRMC	JUNE 3, 2021	



GENERAL NOTES

- 1. PROPERTY LINE INFORMATION REFERENCED FROM PLAN ENTITLED "BOUNDARY SURVEY PLAN MAP 205 - BLOCK 1 - LOT 4 MAP 303 - BLOCK 13 - LOTS 4 & 5 ROGER WILLIAMS AVE & BOURNE AVE - EAST PROVIDENCE, RI PREPARED FOR GEONOVA DEVELOPMENT COMPANY. PREPARED BY WATERMAN ENGINEERING CO., SHEET 1 OF 1, DATED SEPT. 23, 2002, THROUGH REVISION 2 DATED 08-12-03, STAMPED AND SIGNED BY RICHARD S. LIPSITZ ON 8-15-03.

GRADING NOTES

- 1. ADEQUATE PROVISIONS SHALL BE MADE TO PREVENT SURFACE WATERS FROM DAMAGING THE CUT FACE OF AN EXCAVATION OR THE SLOPED SURFACES OF A FILL. FURTHERMORE, ADEQUATE PROVISIONS SHALL BE MADE TO PREVENT SEDIMENT RUNOFF FROM LEAVING THE SITE.

UTILITY NOTES

WATER:

- 1. THE PROPOSED WATER SYSTEM AND ALL SERVICES REQUIRE THE REVIEW AND APPROVAL OF THE EAST PROVIDENCE WATER UTILITIES DIVISION AND THE CITY ENGINEER.

ELECTRICAL AND COMMUNICATIONS:

- 1. NEW ELECTRIC, TELEPHONE AND CABLE SERVICES SHALL BE INSTALLED UNDERGROUND.

SEWER:

- 1. THE PROPOSED SEWER SERVICES AND CONNECTIONS TO EXISTING MAINS IN ROGER WILLIAMS AVENUE AND BOURNE AVENUE SUBJECT TO REVIEW AND APPROVAL BY THE EAST PROVIDENCE DEPARTMENT OF PUBLIC WORKS AND THE CITY ENGINEER.

GENERAL:

- 13. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL ASSUMPTIONS, DEDUCTIONS, OR CONCLUSIONS HE/SHE MAY MAKE OR DERIVE FROM THE SUBSURFACE INFORMATION OR DATA FURNISHED ON THE PLANS. THE CONTRACTOR MUST SATISFY HIMSELF/HERSELF THROUGH HIS/HER OWN INVESTIGATIONS AS TO WHAT SUBSURFACE CONDITIONS ARE TO BE ENCOUNTERED.

SOIL EROSION AND SEDIMENT CONTROL NOTES

- 1. CONSTRUCTION SEQUENCE:
A. DO NOT BEGIN CONSTRUCTION UNTIL ALL LOCAL, STATE, AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.

2. EARTHWORK NOTES:

- A. DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED. ONLY THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT.

3. VEGETATIVE PRACTICE:

- PERMANENT MEASURES:
A. SLOPES SHALL NOT BE STEEPER THAN 1 VERTICAL TO 3 HORIZONTAL UNLESS OTHERWISE SPECIFIED.

TEMPORARY MEASURES (FOR TEMPORARY PROTECTION OF DISTURBED AREAS)

- D. LIMESTONE AND FERTILIZER SHALL BE APPLIED AT THE FOLLOWING RATE:
LIMESTONE: 3 TONS/ACRE
FERTILIZER: (10-10-10): 600 LBS/ACRE

4. MAINTENANCE

- DURING THE PERIOD OF CONSTRUCTION AND/OR UNTIL LONG TERM VEGETATION IS ESTABLISHED, THE EROSION CONTROL MEASURES SHALL BE INSPECTED.
A. AT A MINIMUM THE SILT FENCING, STRAW BALES AND FILTER SOCK BARRIERS SHALL BE INSPECTED AND REPAIRED ONCE A WEEK AND /OR IMMEDIATELY FOLLOWING A SIGNIFICANT RAINFALL OR SNOWMELT.

DRAINAGE NOTES

- 1. ALL DRAIN PIPES ON SITE SHALL BE ADS-N12 TYPE IB OR SCH40 PVC UNLESS OTHERWISE NOTED ON THESE PLANS. CLASS IV RCP REQUIRED IN AREAS WITH LESS THAN 2 FEET OF COVER OVER DRAIN PIPES.

PUBLIC HEALTH SAFETY AND CONVENIENCE NOTES

- 1. CONTRACTOR SHALL OBSERVE AND COMPLY WITH ALL FEDERAL, STATE, AND LOCAL LAWS REQUIRED FOR THE PROTECTION OF PUBLIC HEALTH, SAFETY AND ENVIRONMENTAL QUALITY.

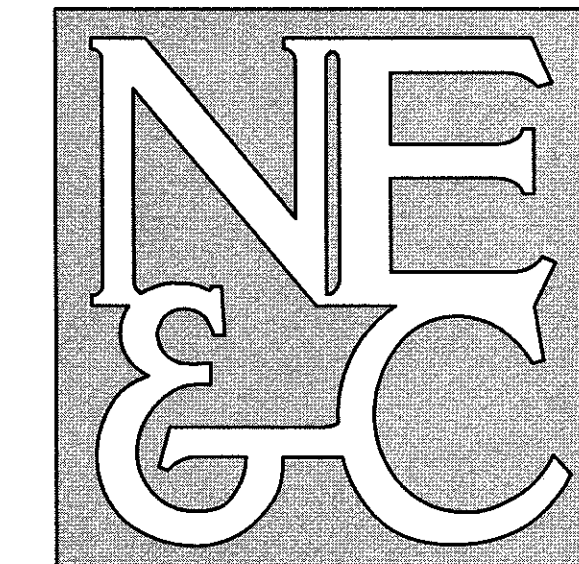
STORMWATER MAINTENANCE NOTES

- 1. REFER TO OPERATIONS AND MAINTENANCE DOCUMENT FOR COMPLETE DESCRIPTION OF POST CONSTRUCTION STORMWATER MAINTENANCE. A BASIC OUTLINE OF REQUIRED MAINTENANCE IS PROVIDED BELOW.

ABBREVIATIONS

Table with 2 columns: Abbreviation and Full Name. Includes AC (ASPHALT PAVEMENT), ADJ (ADJACENT), AP (ASSESSOR'S PLAT), ACCESS (ACCESSIBLE), ARCH (ARCHITECT), BC (BOTTOM OF CURB), BH (BORING HOLE), BIT (BITUMINOUS), BOW (BOTTOM OF WALL), CLR (CLEARANCE), CMP (CORRUGATED METAL PIPE), CMU (CONCRETE MASONRY UNIT), CONC (CONCRETE), CONN (CONNECT), COTG (CLEAN OUT TO GRADE), CF (CUBIC FOOT), DEMO (DEMOLISH), DI (DRAIN INLET), DIA (DIAMETER), DMH (DRAIN MANHOLE), DP (DROP PIPE), DS (DOWN SPOUT), DWG (DRAWING), E (ELECTRIC), ELEV (ELEVATION), EMH (ELECTRIC MANHOLE), EOP (EDGE OF PAVEMENT), EQ (EQUAL), EXIST (EXISTING), EXP (EXPANSION), FFE (FINISH FLOOR ELEVATION), FG (FINISHED GRADE), FH (FIRE HYDRANT), FT (FEET), G (GALLON), GV (GATE VALVE), INV (INVERT), JT (JOINT), L (LENGTH), LAND (LANDSCAPE), NTS (NOT TO SCALE), MAX (MAXIMUM), MECH (MECHANICAL), MIN (MINIMUM), PAVT (PAVEMENT), PVC (POLYVINYLCHLORIDE), R (RADIUS), RC (REINFORCED CONCRETE), RECONN (RECONNECT), RH (RHODE ISLAND HIGHWAY BOUND), RIDOT (RHODE ISLAND DEPARTMENT OF TRANSPORTATION), ROW (RIGHT OF WAY), S (SLOPE, SEWER), SF (SQUARE FEET), SHT (SHEET), SMH (SEWER MANHOLE), STA (STATION), STRUCT (STRUCTURAL), TC (TOP OF CURB), TOP (TOP OF SURFACE), TOW (TOP OF WALL), UGT (UNDERGROUND TELEPHONE), TYP (TYPICAL), W (WATER), WW (WELDED WIRE MESH)

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Table with 4 columns: No., Revision, Date, App. Includes a row for 'SUBMISSION REVISIONS' and a row for 'Designed By: JJR, Drawn by: JJR, Checked by: GES'.

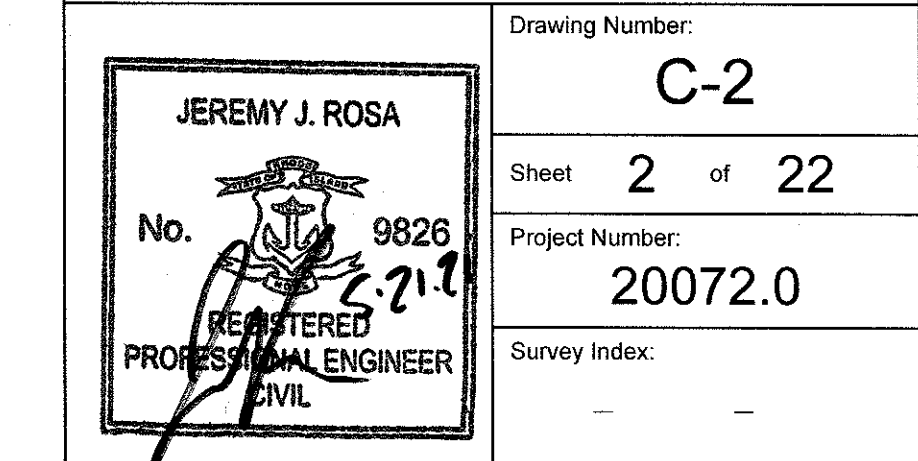
Project Title:
"EAST POINT"
MAP 203 BLOCK 1 LOT 4
MAP 303 BLOCK 13 LOTS 4 & 5
ROGER WILLIAMS AVENUE
EAST PROVIDENCE
RHODE ISLAND

Client/Owner:
NOBLE DEVELOPMENT, LLC
10 GREEN STREET
PROVIDENCE, RI 02903

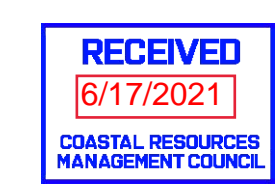
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PERMITTING

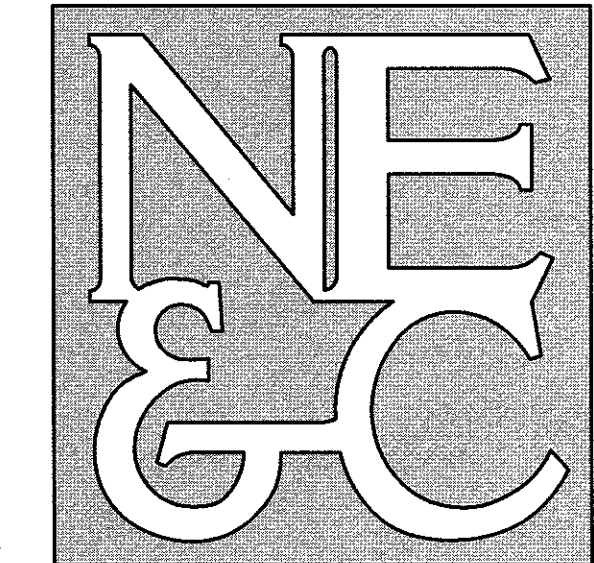
Drawing Title:
PROJECT NOTES

Drawing Number:
C-2
Sheet 2 of 22
Project Number:
20072.0
Survey Index:



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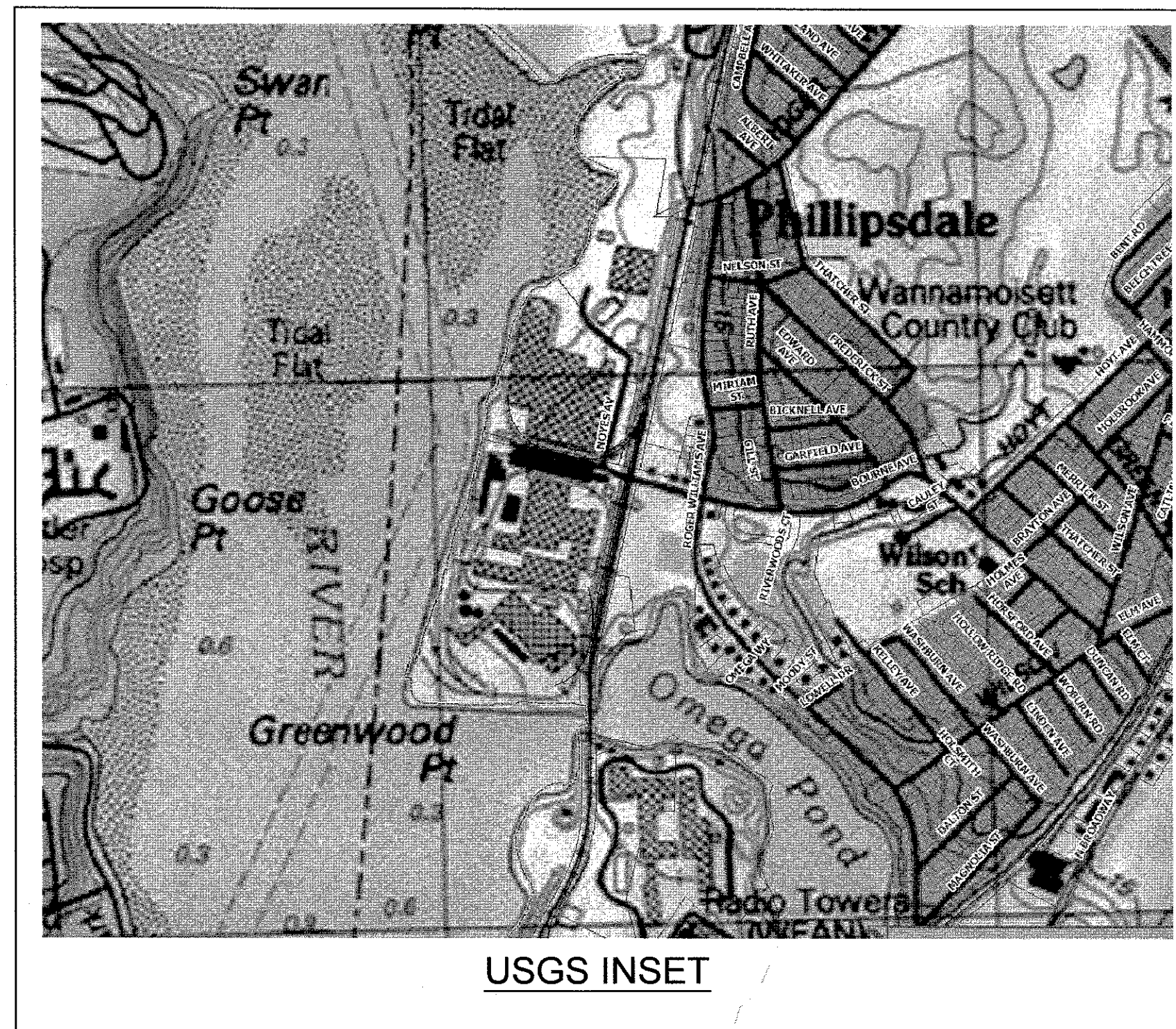
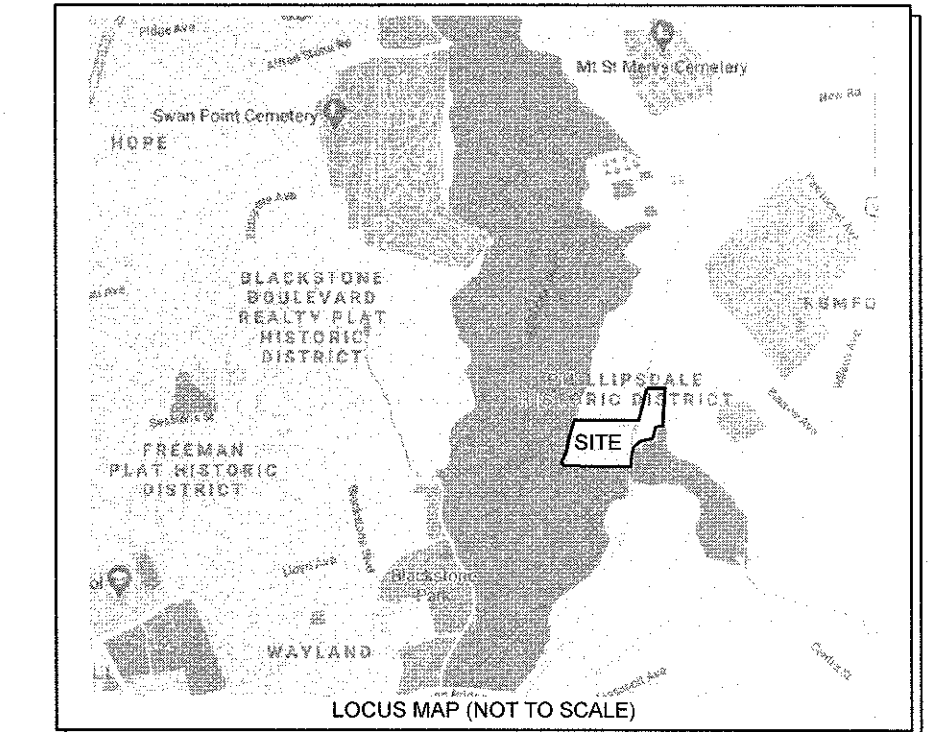




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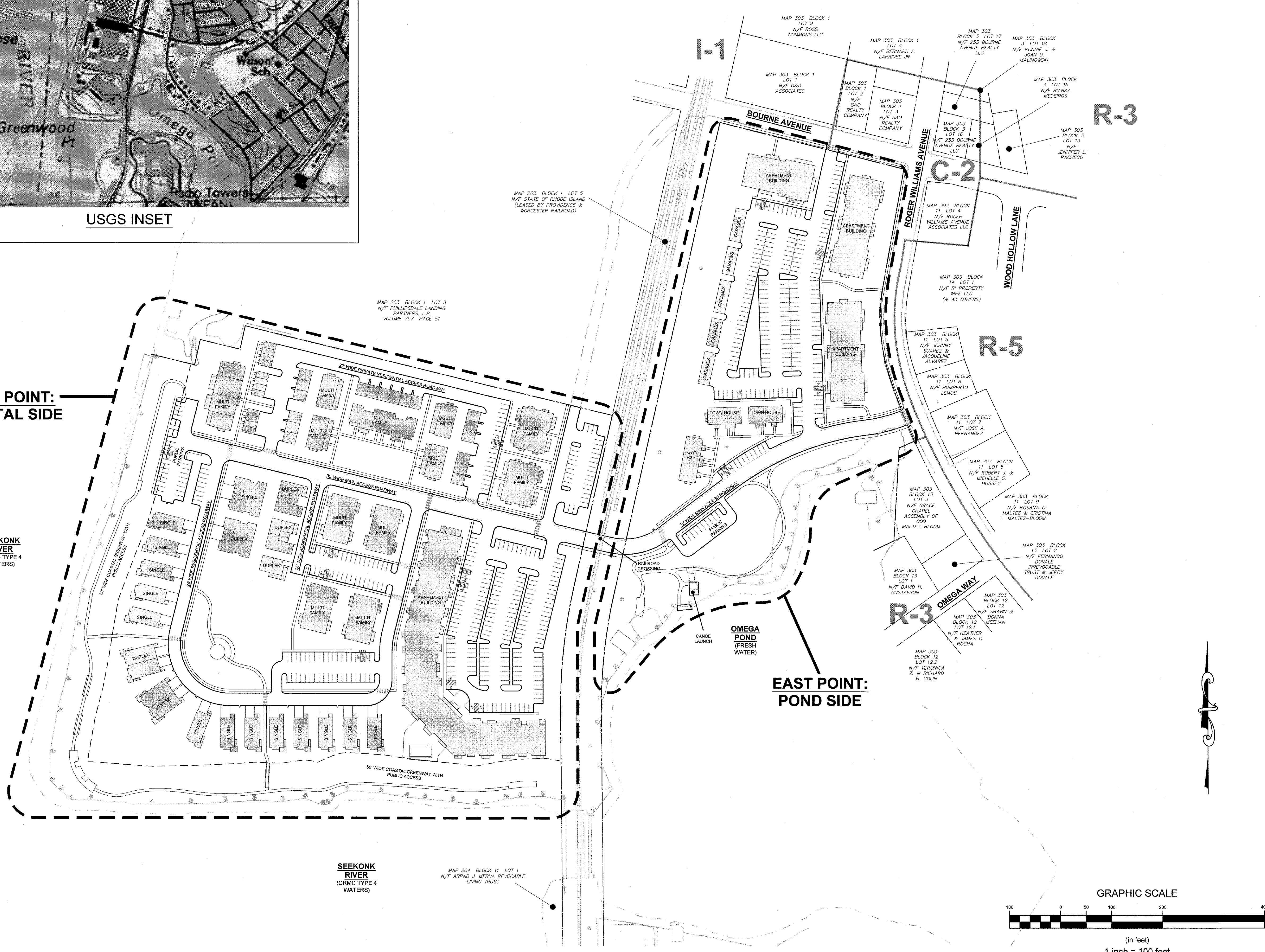
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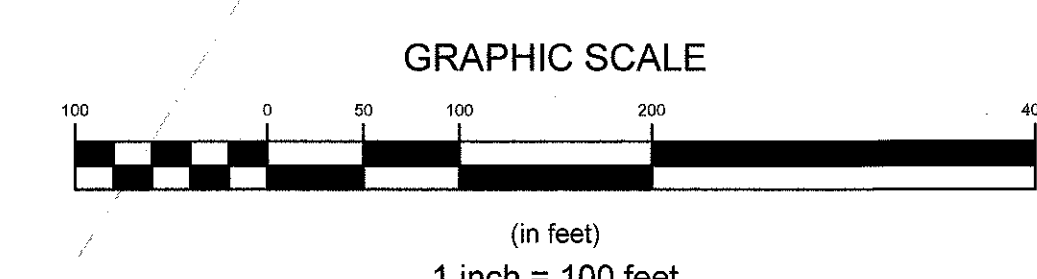
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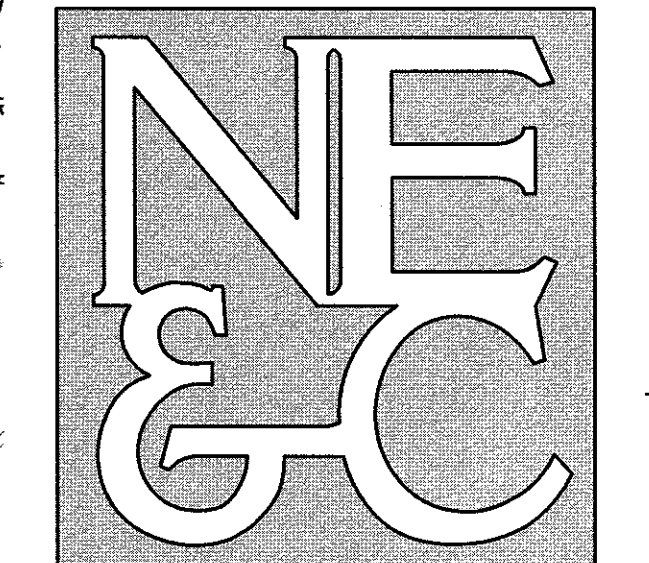
EAST POINT:
COASTAL SIDE

SEEKONK RIVER
(CRMC TYPE 4 WATERS)



SUBMISSION REVISIONS		21MAY21	
No.	Revision	Date	App.
1			
Designed By:	JJR	Drawn by:	JJR
Checked by:	GES		
Scale:	1"=100'	Date:	22APR21
Project Title:			
"EAST POINT" MAP 303 BLOCK 1 LOT 4 MAP 303 BLOCK 13 LOTS 4 & 5 ROGER WILLIAMS AVENUE EAST PROVIDENCE RHODE ISLAND			
Client/Owner:			
NOBLE DEVELOPMENT, LLC 10 GREEN STREET PROVIDENCE, RI 02903			
Issued for:			
PERMITTING			
Drawing Title:			
INDEX PLAN (SHOWING 200' ABUTTERS)			
Drawing Number:		C-3	
Sheet		3 of 22	
Project Number:		20072.0	
Survey Index:			
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LEGEND:

- PROPERTY LINE
- ABUTTER PROPERTY LINE
- UTILITY EASEMENT LINE
- ACCESS EASEMENT LINE
- FENCE LINE
- TOPOGRAPHIC CONTOUR
- SEWER MAIN (15")
- SEWER MAIN (DIA. UNIDENTIFIED)
- GAS MAIN (6")
- GAS MAIN (8")
- GAS MAIN (12")
- GAS MAIN (DIA. UNIDENTIFIED)
- WATER MAIN (10")
- DRAIN LINE (DIA. UNIDENTIFIED)
- OVERHEAD WIRES
- SEWER FORCE MAIN
- EDGE OF COASTAL FEATURE / WETLAND
- 50' SETBACK FROM COASTAL FEATURE / WETLAND
- FEMA FLOOD LINE
- BRUSH LINE
- COASTAL FEATURE FLAG
- FRESHWATER WETLAND FLAG
- IRON ROD
- SURVEY NAIL
- CONCRETE BOUND
- FIRE HYDRANT
- DRAIN MANHOLE
- CATCH BASIN INLET
- SEWER MANHOLE
- UTILITY POLE
- LIGHT POLE
- GUY WIRE
- SOIL BORING LOCATION



No.	Revision	Date	App.
1	SUBMISSION REVISIONS	21MAY21	

Designed By: JJR Drawn by: JJR Checked by: GES
Scale: 1"=50' Date: 22APR21

Project Title:
"EAST POINT"
MAP 203 BLOCK 1 LOT 4
MAP 303 BLOCK 13 LOTS 4 & 5
ROGER WILLIAMS AVENUE
EAST PROVIDENCE
RHODE ISLAND

Client/Owner:
NOBLE DEVELOPMENT, LLC
10 GREEN STREET
PROVIDENCE, RI 02903

Issued for:
PERMITTING

Drawing Title:
EXISTING CONDITIONS
(COASTAL SIDE)

Drawing Number:
C-4

Sheet **4** of **22**

Project Number:
20072.0

Survey Index:

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1.5" REBAR
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E: 362821.9751

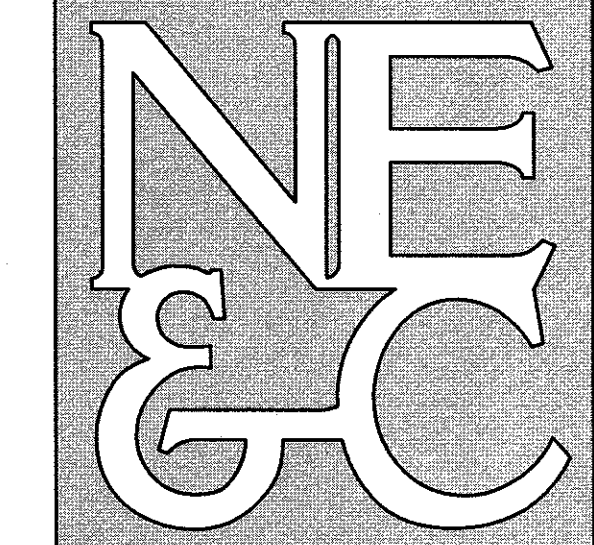
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REBAR SET
N: 278278.1974
E: 363011.5252

BENCHMARK
EL: 19.07 (NGVD)
DISK #3433E
N: 275387.2399
E: 363849.7895

NOTES:
1. REFER TO COMPLETE PROJECT NOTES ON SHEET 2.

PARKING CALCULATIONS TABLE:		
PARKING REQUIRED:		
136 APARTMENTS - 1.5 SPACES PER UNIT	204 SPACES	
(4) 8 UNIT MULTIFAM - 2 SPACE PER UNIT	64 SPACES	
(3) 12 UNIT MULTIFAM - 2 SPACES PER UNIT	64 SPACES	
(1) 6 UNIT MULTIFAM - 2 SPACES PER UNIT	12 SPACES	
(4) 3 UNIT MULTIFAM - 2 SPACES PER UNIT	24 SPACES	
TOTAL COASTAL SIDE SPACES REQUIRED	368 SPACES	
TOTAL COASTAL SIDE SPACES PROVIDED	372 SPACES	
(PARKING SPACES FOR SINGLE FAMILY AND DUPLEX ARE PROVIDED IN ATTACHED GARAGES AND DRIVEWAYS)		

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LEGEND:	
	PROPERTY LINE
	ABUTTER PROPERTY LINE
	UTILITY EASEMENT LINE
	ACCESS EASEMENT LINE
	FENCE LINE
	EDGE OF COASTAL FEATURE / WETLAND
	50' SETBACK FROM COASTAL FEATURE / WETLAND
	COASTAL FEATURE FLAG
	FRESHWATER WETLAND FLAG
	IRON ROD
	SURVEY NAIL
	CONCRETE BOUND
	FIRE HYDRANT
	DRAIN MANHOLE
	CATCH BASIN INLET
	SEWER MANHOLE
	PROPOSED CURBING
	PROPOSED 25' CONSTRUCTION SETBACK
	PROPOSED SWALE
	PROPOSED ADA SPACE
	PROPOSED CATCH BASIN
	PROPOSED DRAIN MANHOLE
	PROPOSED SEWER MANHOLE

1	SUBMISSION REVISIONS	21MAY21	
No.	Revision	Date	App.
Designed By:	JJR	Drawn by:	JJR
Checked by:	GES	Date:	22APR21
Scale:	1"=50'		

Project Title:
"EAST POINT"
MAP 203 BLOCK 1 LOT 4
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EAST PROVIDENCE
RHODE ISLAND

Client/Owner:
NOBLE DEVELOPMENT, LLC
10 GREEN STREET
PROVIDENCE, RI 02903

Issued for:
PERMITTING

Drawing Title:
LAYOUT PLAN
(COASTAL SIDE)

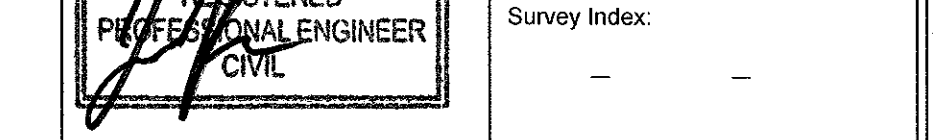


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C-6

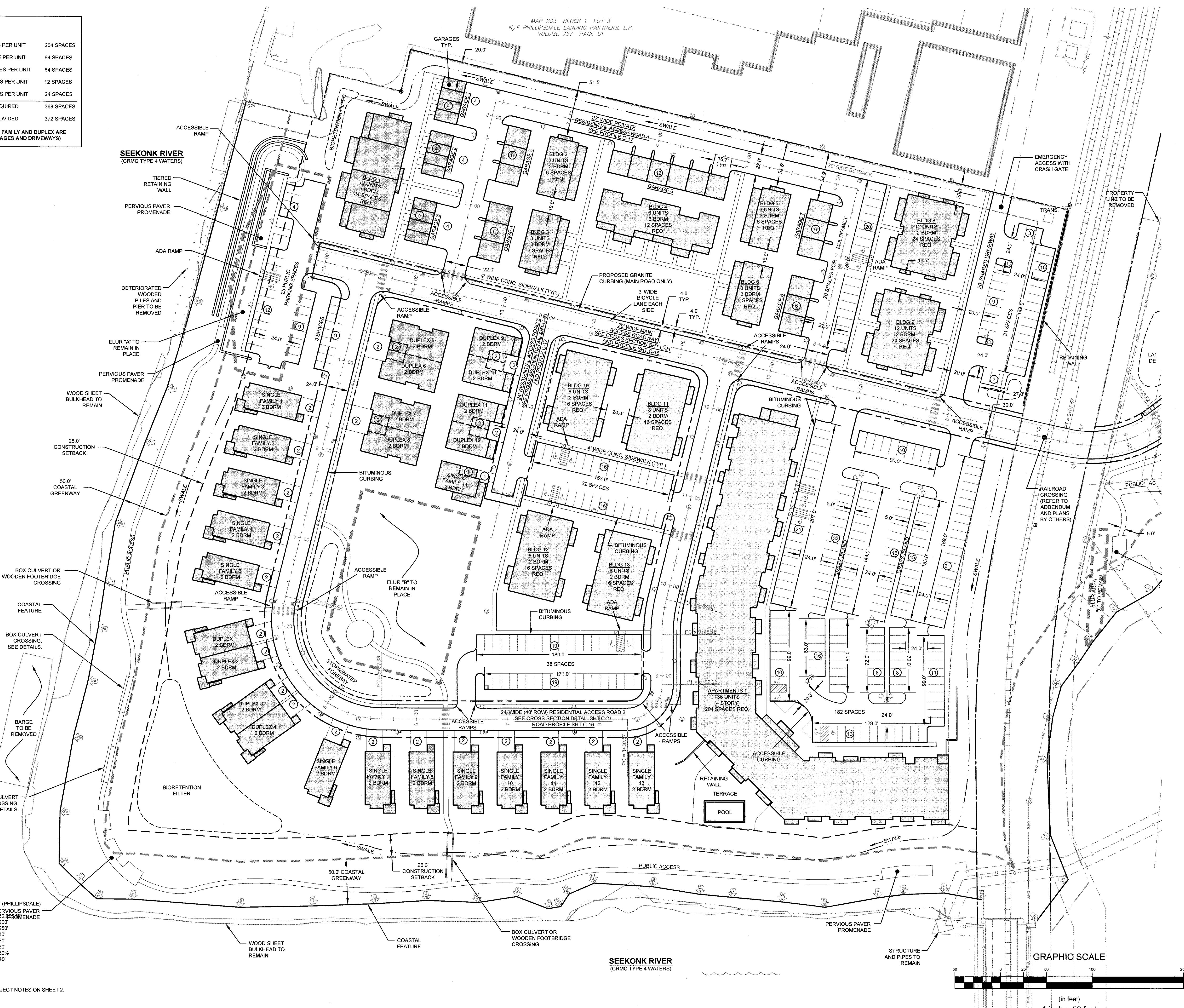
Sheet **6** of **22**

Project Number:
20072.0

Survey Index:
-

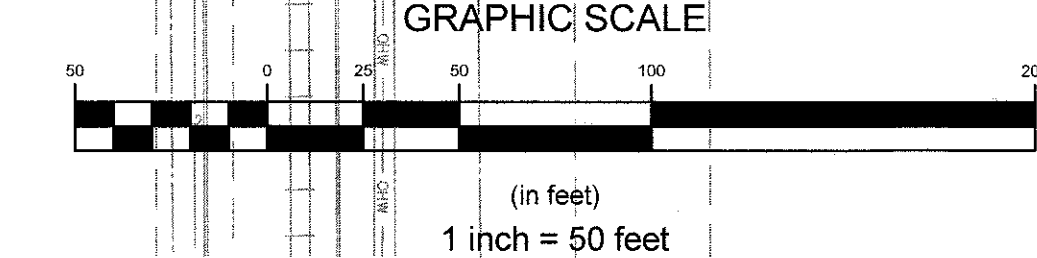


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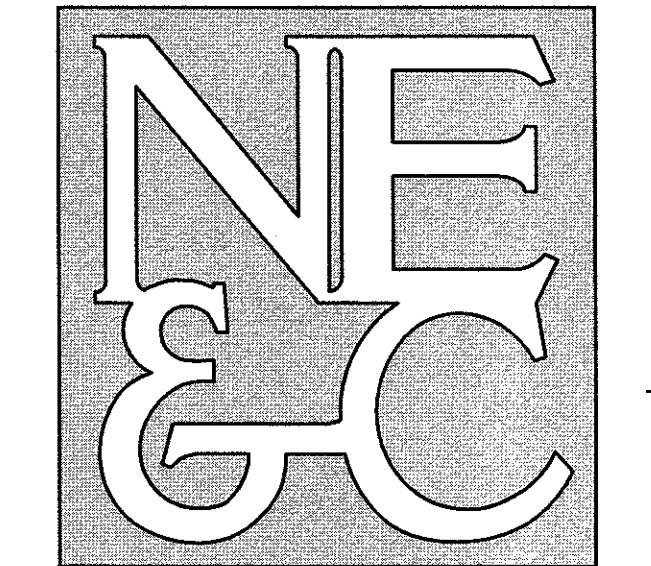


ZONING DATA: WATERFRONT (PHILLIPSDALE)	
MIN. LOT AREA	PERVIOUS PAVEMENT
MIN. LOT WIDTH	200'
MIN. LOT DEPTH	250'
FRONT YARD	30'
SIDE YARD	20'
REAR YARD	20'
MAX LOT COVERAGE	60%
MAX BLDG HGT	40'

NOTES:
1. REFER TO COMPLETE PROJECT NOTES ON SHEET 2.



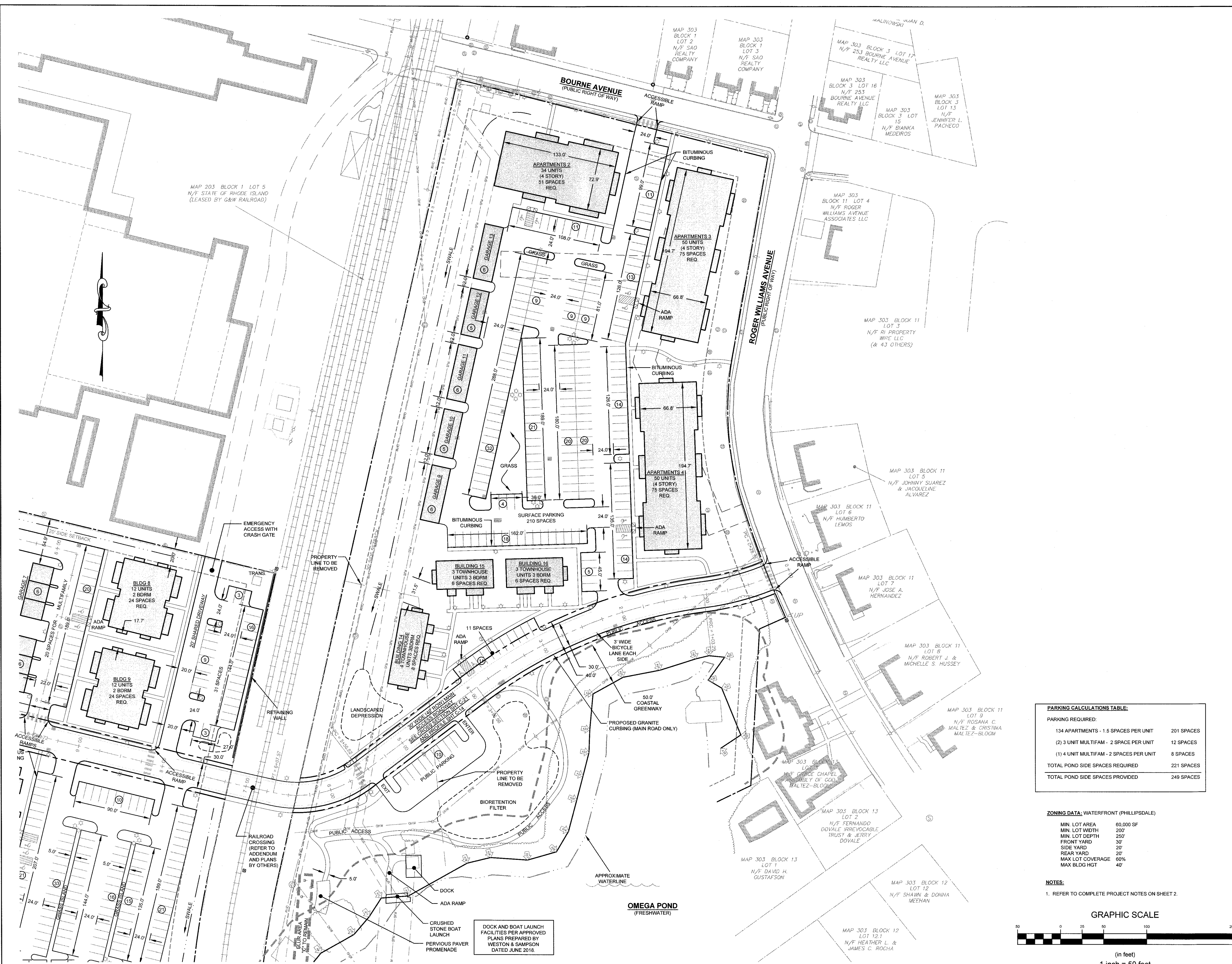
SEEKONK RIVER
(CRMC TYPE 4 WATERS)



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 STRUCTURAL



LEGEND:

	PROPERTY LINE
	ABUTTER PROPERTY LINE
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	ACCESS EASEMENT LINE
	FENCE LINE
	EDGE OF COASTAL FEATURE / WETLAND
	50' SETBACK FROM COASTAL FEATURE / WETLAND
	COASTAL FEATURE FLAG
	FRESHWATER WETLAND FLAG
	IRON ROD
	SURVEY NAIL
	CONCRETE BOUND
	FIRE HYDRANT
	DRAIN MANHOLE
	CATCH BASIN INLET
	SEWER MANHOLE
	PROPOSED CURBING
	PROPOSED 25' CONSTRUCTION SETBACK
	PROPOSED SWALE
	PROPOSED PARKING CALLOUT
	PROPOSED ADA SPACE
	PROPOSED CATCH BASIN
	PROPOSED DRAIN MANHOLE
	PROPOSED SEWER MANHOLE

2	SUBMISSION REVISIONS	07JUN21	
1	SUBMISSION REVISIONS	21MAY21	
No.	Revision	Date	App.
Designed By:	JJR	Drawn by:	JJR
Checked by:	GES		
Scale:	1"=50'	Date:	22APR21

Project Title:
"EAST POINT"
 MAP 303 BLOCK 1 LOT 4
 MAP 303 BLOCK 13 LOTS 4 & 5
 ROGER WILLIAMS AVENUE
 EAST PROVIDENCE
 RHODE ISLAND

Client/Owner:
 NOBLE DEVELOPMENT, LLC
 10 GREEN STREET
 PROVIDENCE, RI 02903

Issued for:
 PERMITTING

Drawing Title:
LAYOUT PLAN
 (POND SIDE)

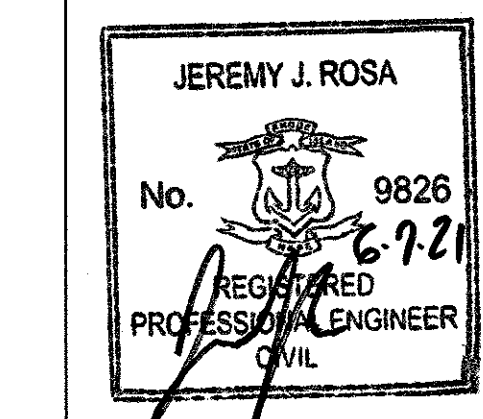


Drawing Number:
C-7

Sheet **7** of **22**

Project Number:
20072.0

Survey Index:



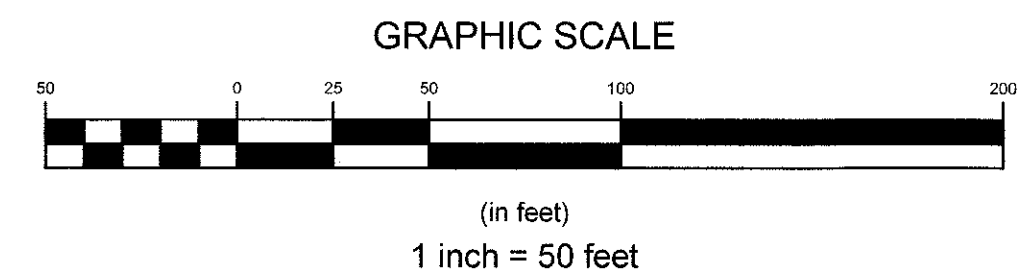
PARKING CALCULATIONS TABLE:

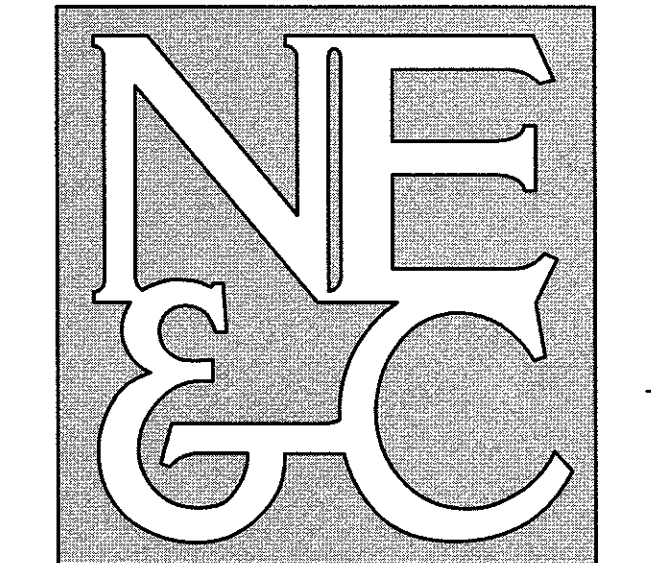
PARKING REQUIRED:	
134 APARTMENTS - 1.5 SPACES PER UNIT	201 SPACES
(2) 3 UNIT MULTIFAM - 2 SPACE PER UNIT	12 SPACES
(1) 4 UNIT MULTIFAM - 2 SPACES PER UNIT	8 SPACES
TOTAL POND SIDE SPACES REQUIRED	221 SPACES
TOTAL POND SIDE SPACES PROVIDED	249 SPACES

ZONING DATA: WATERFRONT (PHILLIPSDALE)

MIN. LOT AREA	60,000 SF
MIN. LOT WIDTH	200'
MIN. LOT DEPTH	250'
FRONT YARD	30'
SIDE YARD	20'
REAR YARD	20'
MAX LOT COVERAGE	60%
MAX BLDG HGT	40'

NOTES:
 1. REFER TO COMPLETE PROJECT NOTES ON SHEET 2.





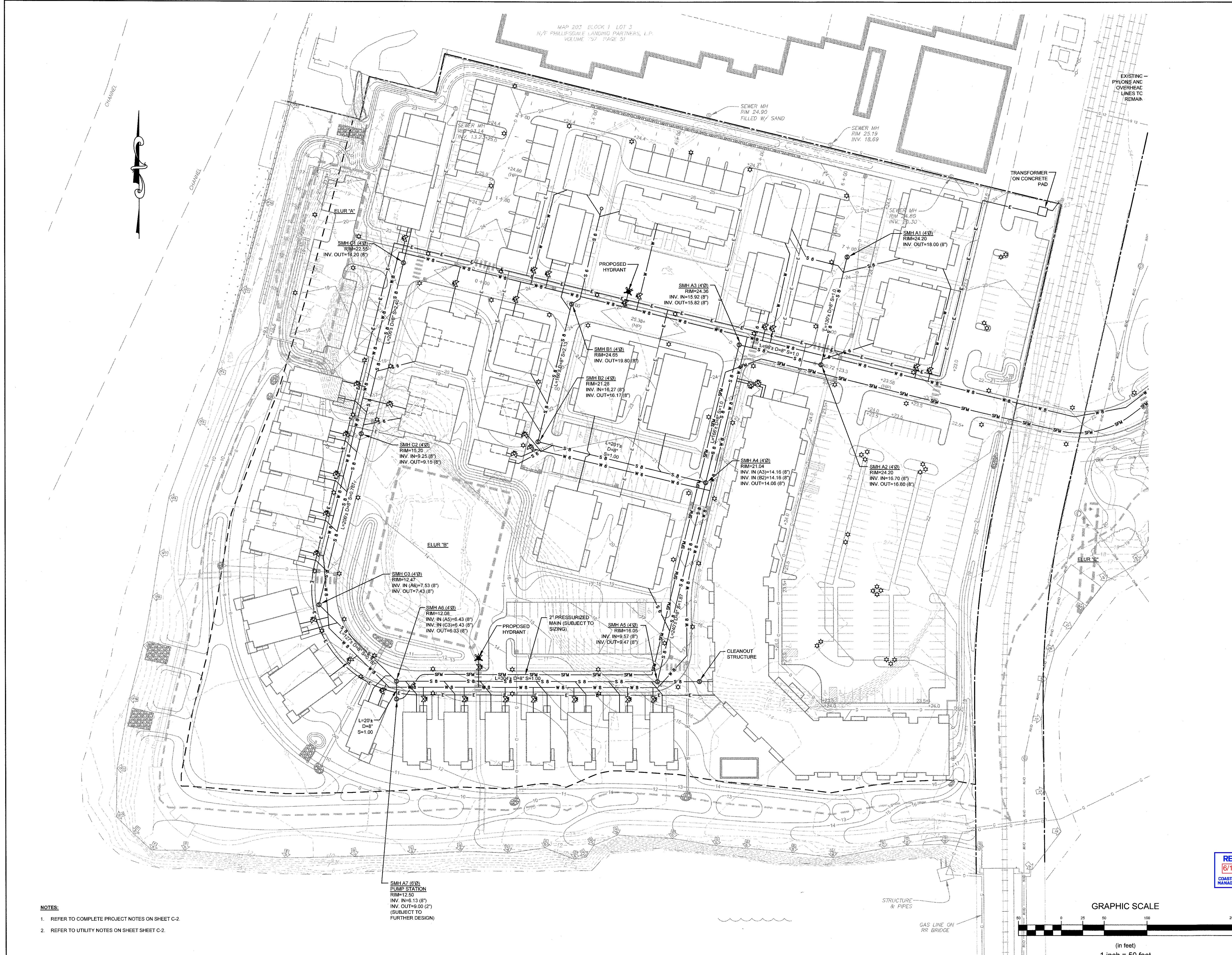
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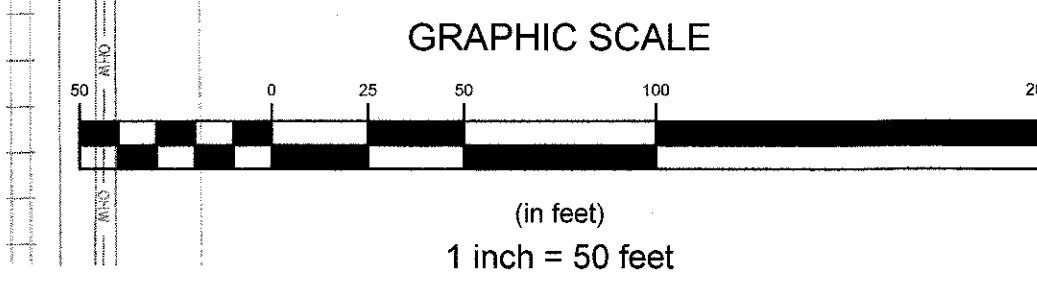
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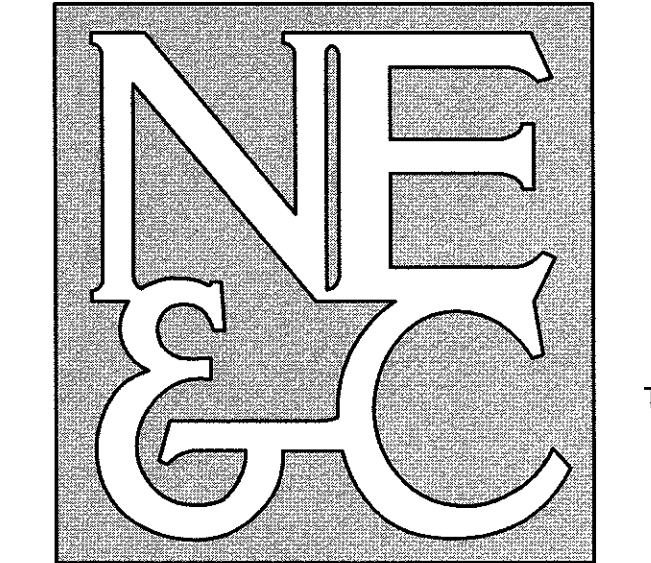
- PROPERTY LINE
- - - ADJUTTER PROPERTY LINE
- - - ACCESS EASEMENT LINE
- - - FENCE LINE
- - - TOPOGRAPHIC CONTOUR
- - - SEWER MAIN (18")
- - - SEWER MAIN (DIA. UNIDENTIFIED)
- - - GAS MAIN (8")
- - - GAS MAIN (8")
- - - GAS MAIN (12")
- - - GAS MAIN (DIA. UNIDENTIFIED)
- - - WATER MAIN (10")
- - - DRAIN LINE (DIA. UNIDENTIFIED)
- - - OVERHEAD WIRES
- - - SEWER FORCE MAIN
- - - EDGE OF COASTAL FEATURE / WETLAND
- - - 50' SETBACK FROM COASTAL FEATURE / WETLAND
- COASTAL FEATURE FLAG
- FRESHWATER WETLAND FLAG
- IRON ROD
- SURVEY NAIL
- CONCRETE BOUND
- FIRE HYDRANT
- DRAIN MANHOLE
- CATCH BASIN INLET
- SEWER MANHOLE
- - - PROPOSED 25' CONSTRUCTION SETBACK
- - - PROPOSED DRAIN LINE
- - - PROPOSED CONTOUR
- - - PROPOSED SPOT ELEVATION
- - - PROPOSED CATCH BASIN
- - - PROPOSED DRAIN MANHOLE
- - - PROPOSED 6" WATER MAIN
- - - PROPOSED WATER SERVICE
- - - PROPOSED 6" SEWER MAIN
- - - PROPOSED 6" SEWER SERVICE
- - - PROPOSED SEWER FORCE MAIN
- - - PROPOSED UG ELECTRICAL CONDUIT
- - - PROPOSED SEWER MANHOLE
- - - PROPOSED WATER GATE / SERVICE

1	SUBMISSION REVISIONS	21MAY21	
No.	Revision	Date	App.
Designed By:	JJR	Drawn by:	JJR
Scale:	1"=50'	Date:	22APR21
Checked by:	GES		
Project Title:			
"EAST POINT" MAP 203 BLOCK 1 LOT 4 MAP 303 BLOCK 13 LOTS 4 & 5 ROGER WILLIAMS AVENUE EAST PROVIDENCE RHODE ISLAND			
Client/Owner:			
NOBLE DEVELOPMENT, LLC 10 GREEN STREET PROVIDENCE, RI 02903			
Issued for:			
PERMITTING			
Drawing Title:			
UTILITY PLAN (POND SIDE)			
Drawing Number:			
C-8			
Sheet			
8 of 22			
Project Number:			
20072.0			
Survey Index:			
RECEIVED 6/17/2021 COASTAL RESOURCE MANAGEMENT COUNCIL			
JEREMY J. ROSA No. 9826 REGISTERED PROFESSIONAL ENGINEER CIVIL			
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NOTES:
1. REFER TO COMPLETE PROJECT NOTES ON SHEET C-2.
2. REFER TO UTILITY NOTES ON SHEET C-2.





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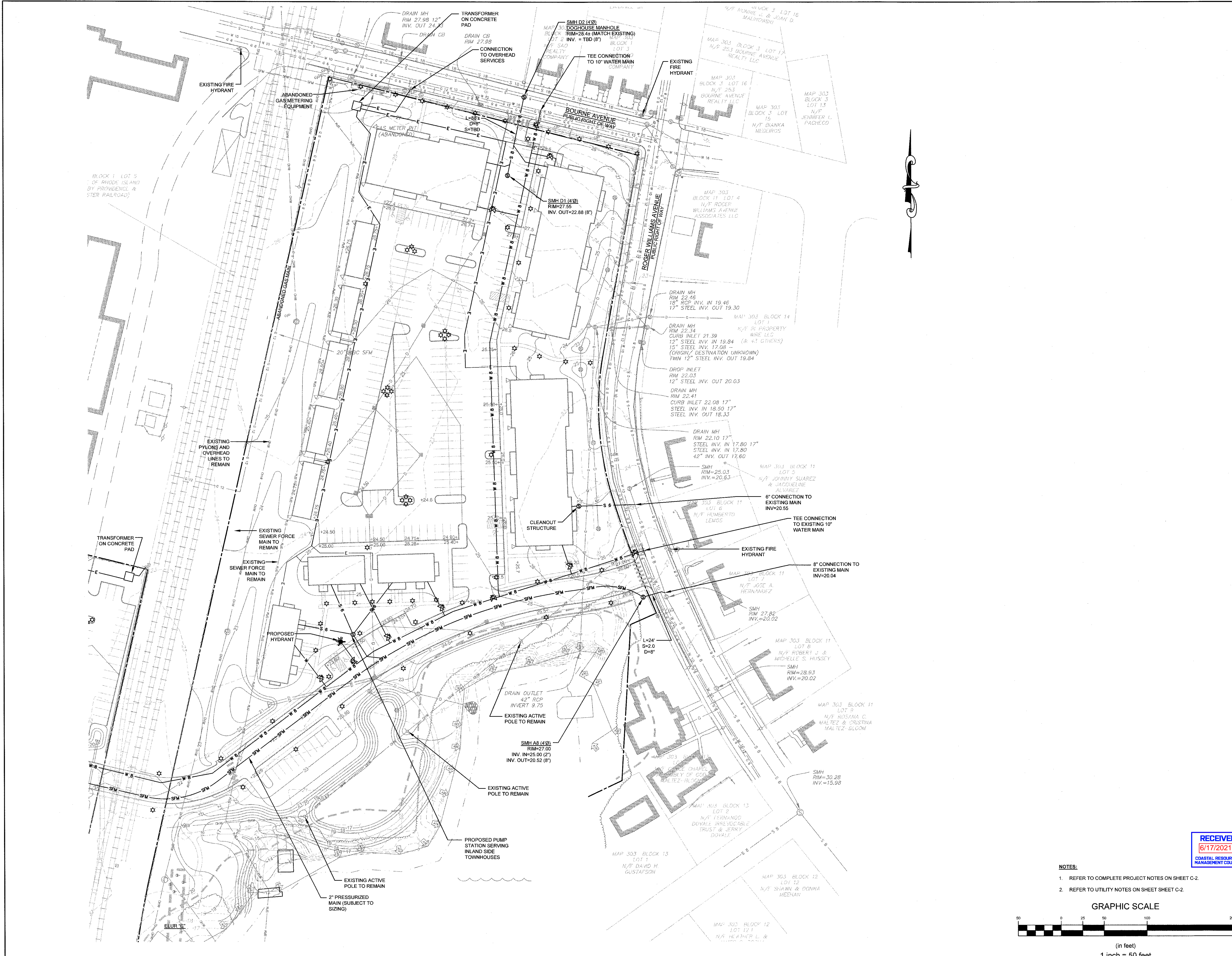
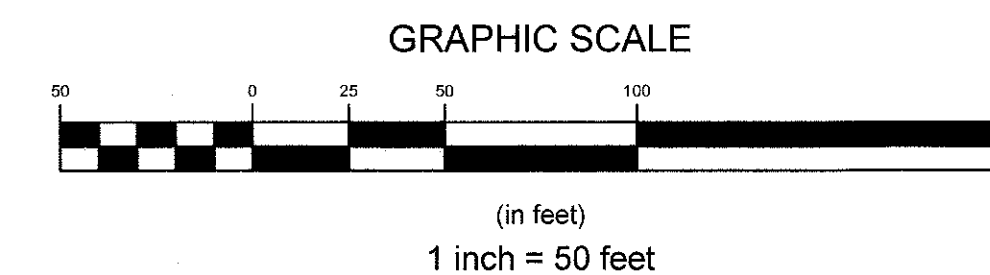
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 LAND PLANNING
 WATERFRONT
 SURVEYING
 GEOTECHNICAL
 ENVIRONMENTAL
 TRANSPORTATION
 STRUCTURAL

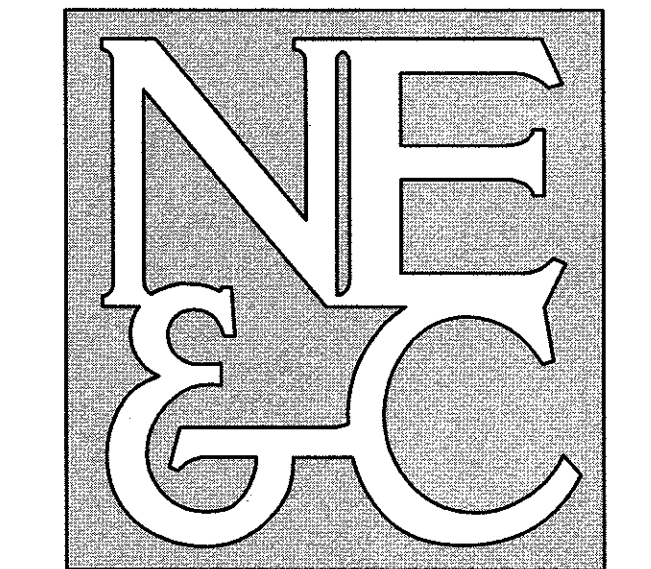
LEGEND:

---	PROPERTY LINE
---	ABUTTER PROPERTY LINE
---	ACCESS EASEMENT LINE
---	FENCE LINE
---	TOPOGRAPHIC CONTOUR
---	SEWER MAIN (18")
---	SEWER MAIN (DIA. UNIDENTIFIED)
---	GAS MAIN (6")
---	GAS MAIN (8")
---	GAS MAIN (12")
---	GAS MAIN (DIA. UNIDENTIFIED)
---	WATER MAIN (10")
---	DRAIN LINE (DIA. UNIDENTIFIED)
---	OVERHEAD WIRES
---	SEWER FORCE MAIN
---	EDGE OF COASTAL FEATURE / WETLAND
---	50' SETBACK FROM COASTAL FEATURE / WETLAND
---	COASTAL FEATURE FLAG
---	FRESHWATER WETLAND FLAG
---	IRON ROD
---	SURVEY NAIL
---	CONCRETE BOUND
---	FIRE HYDRANT
---	DRAIN MANHOLE
---	CATCH BASIN INLET
---	SEWER MANHOLE
---	PROPOSED 25' CONSTRUCTION SETBACK
---	PROPOSED DRAIN LINE
---	PROPOSED CONTOUR
---	PROPOSED SPOT ELEVATION
---	PROPOSED CATCH BASIN
---	PROPOSED DRAIN MANHOLE
---	PROPOSED 8" WATER MAIN
---	PROPOSED WATER SERVICE
---	PROPOSED 8" SEWER MAIN
---	PROPOSED 8" SEWER SERVICE
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---	PROPOSED UG ELECTRICAL CONDUIT
---	PROPOSED SEWER MANHOLE
---	PROPOSED WATER GATE / SERVICE

1	SUBMISSION REVISIONS	21MAY21	
No.	Revision	Date	App.
Designed by:	JJR	Drawn by:	JJR
Scale:	1"=50'	Date:	22APR21
Checked by:	GES		
Project Title:			
"EAST POINT" MAP 203 BLOCK 1 LOT 4 MAP 303 BLOCK 13 LOTS 4 & 5 ROGER WILLIAMS AVENUE EAST PROVIDENCE RHODE ISLAND			
Client/Owner:			
NOBLE DEVELOPMENT, LLC 10 GREEN STREET PROVIDENCE, RI 02903			
Issued for:			
PERMITTING			
Drawing Title:			
UTILITY PLAN (POND SIDE)			
Drawing Number:		C-9	
Sheet		9 of 22	
Project Number:		20072.0	
Survey Index:			
RECEIVED 6/17/2021 COASTAL RESOURCES MANAGEMENT COUNCIL		JEREMY J. ROSA No. 9826 REGISTERED PROFESSIONAL ENGINEER	
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- NOTES:**
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 - REFER TO UTILITY NOTES ON SHEET SHEET C-2.





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LEGEND:

	PROPERTY LINE
	ABUTTER PROPERTY LINE
	ACCESS EASEMENT LINE
	FENCE LINE
	TOPOGRAPHIC CONTOUR
	SEWER MAIN (18")
	SEWER MAIN (DIA. UNIDENTIFIED)
	GAS MAIN (8")
	GAS MAIN (7")
	GAS MAIN (DIA. UNIDENTIFIED)
	WATER MAIN (10")
	DRAIN LINE (DIA. UNIDENTIFIED)
	OVERHEAD WIRES
	SEWER FORCE MAIN
	EDGE OF COASTAL FEATURE / WETLAND
	50' SETBACK FROM COASTAL FEATURE / WETLAND
	FEMA FLOOD LINE
	COASTAL FEATURE FLAG
	FRESHWATER WETLAND FLAG
	IRON ROD
	SURVEY NAIL
	CONCRETE BOUND
	FIRE HYDRANT
	DRAIN MANHOLE
	CATCH BASIN INLET
	SEWER MANHOLE
	PROPOSED 25' CONSTRUCTION SETBACK
	PROPOSED DRAIN LINE
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION

SUBMISSION REVISIONS		21MAY21
No.	Revision	Date
1		

Designed By: JJR Drawn by: JJR Checked by: GES
 Scale: 1"=50' Date: 22APR21

Project Title:
"EAST POINT"
 MAP 203 BLOCK 1 LOT 4
 MAP 303 BLOCK 13 LOTS 4 & 5
 ROGER WILLIAMS AVENUE
 EAST PROVIDENCE
 RHODE ISLAND

Client/Owner:
 NOBLE DEVELOPMENT, LLC
 10 GREEN STREET
 PROVIDENCE, RI 02903

Issued for:
 PERMITTING

Drawing Title:
GRADING AND DRAINAGE
 (COASTAL SIDE)

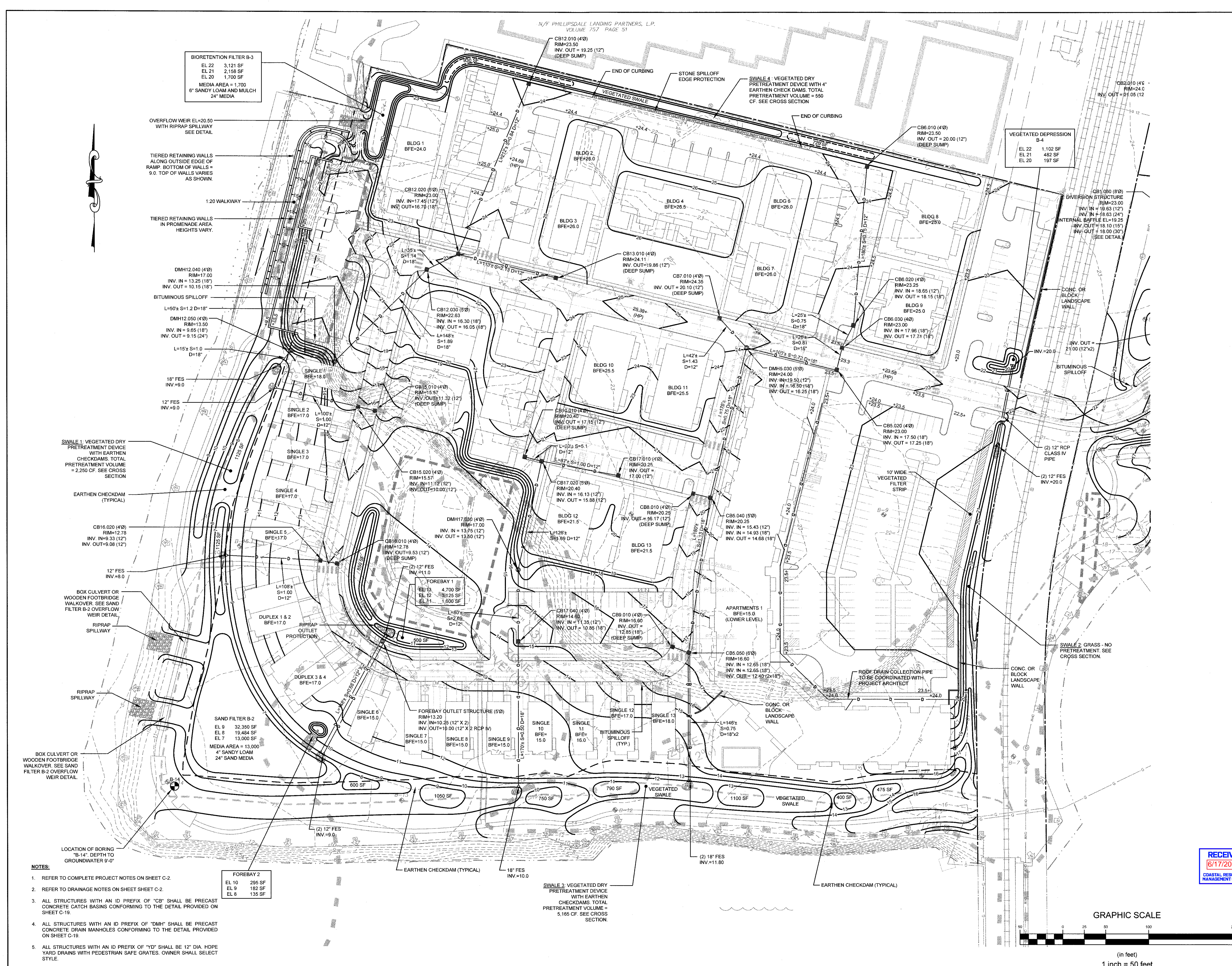
Drawing Number:
C-10

Sheet **10** of **22**

Project Number:
20072.0

Survey Index:

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BIORETENTION FILTER B-3
 EL 22 3,121 SF
 EL 21 2,158 SF
 EL 20 1,700 SF
 MEDIA AREA = 1,700
 6" SANDY LOAM AND MULCH
 24" MEDIA

OVERFLOW WEIR EL=20.50
 WITH RIPRAP SPILLWAY
 SEE DETAIL
 SEE DETAIL

TIERED RETAINING WALLS
 ALONG OUTSIDE EDGE OF
 RAMP. BOTTOM OF WALLS =
 9.0. TOP OF WALLS VARIES
 AS SHOWN.

1:20 WALKWAY

TIERED RETAINING WALLS
 IN PROMENADE AREA.
 HEIGHTS VARY.

DMH12.040 (4'0")
 RIM=17.00
 INV. IN = 13.25 (18")
 INV. OUT = 10.15 (18")

BITUMINOUS SPILLOFF
 L=50'± S=1.2 D=18"

DMH12.050 (4'0")
 RIM=13.50
 INV. IN = 9.85 (18")
 INV. OUT = 9.15 (24")

L=15'± S=1.0
 D=18"

18" FES
 INV.=9.0

12" FES
 INV.=9.0

SWALE 1: VEGETATED DRY
 PRETREATMENT DEVICE
 WITH EARTHEN
 CHECKDAMS. TOTAL
 PRETREATMENT VOLUME
 = 2,250 CF. SEE CROSS
 SECTION

EARTHEN CHECKDAM
 (TYPICAL)

CB16.020 (4'0")
 RIM=12.78
 INV. IN=9.33 (12")
 INV. OUT=9.08 (12")

12" FES
 INV.=8.0

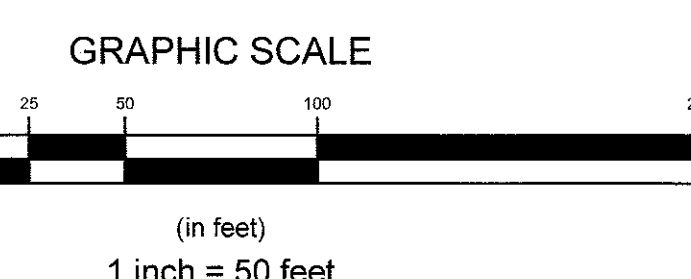
BOX CULVERT OR
 WOODEN FOOTBRIDGE
 WALKOVER. SEE SAND
 FILTER B-2 OVERFLOW
 WEIR DETAIL.

12" FES
 INV.=8.0

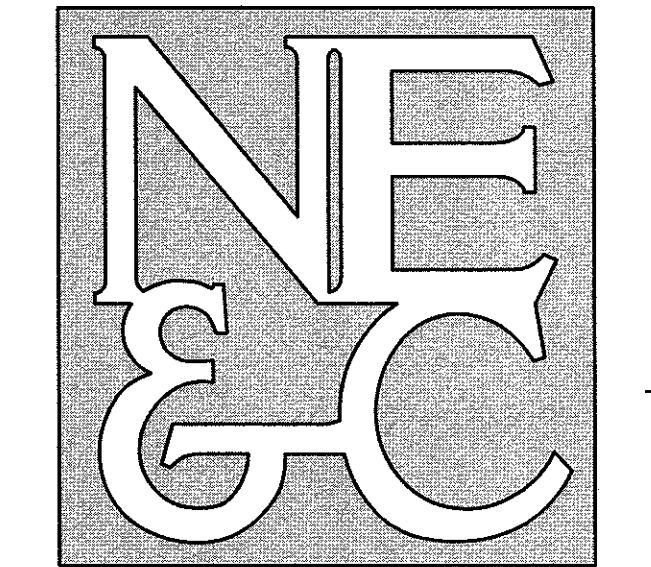
BOX CULVERT OR
 WOODEN FOOTBRIDGE
 WALKOVER. SEE SAND
 FILTER B-2 OVERFLOW
 WEIR DETAIL.

FOREBAY 2
 EL 10 285 SF
 EL 9 162 SF
 EL 8 135 SF

**SWALE 3: VEGETATED DRY
 PRETREATMENT DEVICE
 WITH EARTHEN
 CHECKDAMS. TOTAL
 PRETREATMENT VOLUME =
 5,165 CF. SEE CROSS
 SECTION.**



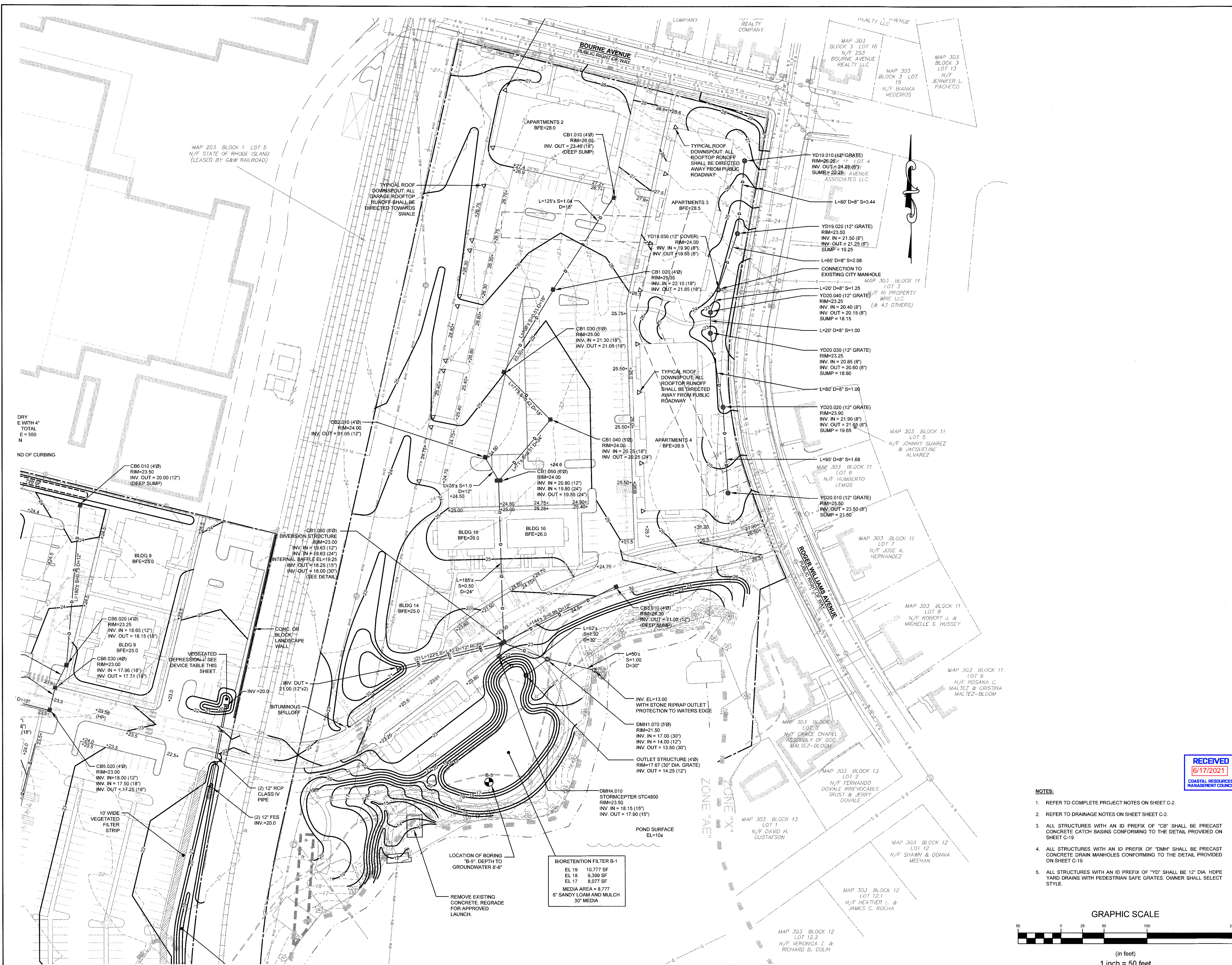
- NOTES:**
- REFER TO COMPLETE PROJECT NOTES ON SHEET C-2.
 - REFER TO DRAINAGE NOTES ON SHEET SHEET C-2.
 - ALL STRUCTURES WITH AN ID PREFIX OF "CB" SHALL BE PRECAST CONCRETE CATCH BASINS CONFORMING TO THE DETAIL PROVIDED ON SHEET C-19.
 - ALL STRUCTURES WITH AN ID PREFIX OF "DMH" SHALL BE PRECAST CONCRETE DRAIN MANHOLES CONFORMING TO THE DETAIL PROVIDED ON SHEET C-19.
 - ALL STRUCTURES WITH AN ID PREFIX OF "YD" SHALL BE 12" DIA. HDPE YARD DRAINS WITH PEDESTRIAN SAFE GRATES. OWNER SHALL SELECT STYLE.



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 STRUCTURAL



LEGEND:

---	PROPERTY LINE
---	ABUTTER PROPERTY LINE
---	ACCESS EASEMENT LINE
---	FENCE LINE
---	TOPOGRAPHIC CONTOUR
---	SEWER MAIN (18")
---	GAS MAIN (8")
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---	SURVEY NAIL
---	CONCRETE BOUND
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---	CATCH BASIN INLET
---	SEWER MANHOLE
---	PROPOSED 25' CONSTRUCTION SETBACK
---	PROPOSED DRAIN LINE
---	PROPOSED CONTOUR
---	PROPOSED SPOT ELEVATION

2	SUBMISSION REVISIONS	07JUN21	
1	SUBMISSION REVISIONS	21MAY21	
No.	Revision	Date	App.
Designed By:	JJR	Drawn by:	JJR
Checked by:	GES		
Scale:	1"=50'	Date:	22APR21

Project Title:
"EAST POINT"
 MAP 203 BLOCK 1 LOT 4
 MAP 303 BLOCK 13 LOTS 4 & 5
 ROGER WILLIAMS AVENUE
 EAST PROVIDENCE
 RHODE ISLAND

Client/Owner:
 NOBLE DEVELOPMENT, LLC
 10 GREEN STREET
 PROVIDENCE, RI 02903

Issued for:
 PERMITTING

Drawing Title:
GRADING AND DRAINAGE
 (POND SIDE)

Drawing Number:
C-11

Sheet **11** of **22**

Project Number:
20072.0

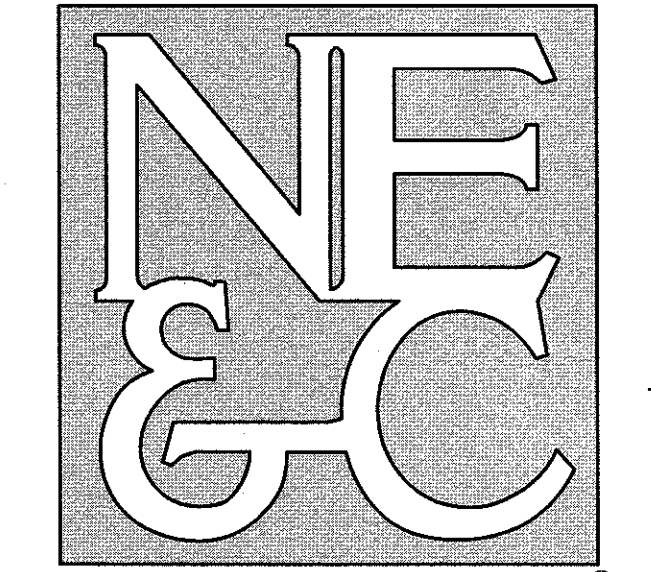
Survey Index:

JEREMY J. ROSA
 No. 9826
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

NOTES:

- REFER TO COMPLETE PROJECT NOTES ON SHEET C-2.
- REFER TO DRAINAGE NOTES ON SHEET SHEET C-2.
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- ALL STRUCTURES WITH AN ID PREFIX OF "YD" SHALL BE 12" DIA. HDPE YARD DRAINS WITH PEDESTAL SAFE GRATES. OWNER SHALL SELECT STYLE.

GRAPHIC SCALE
 0 25 50 100 150 200
 (in feet)
 1 inch = 50 feet



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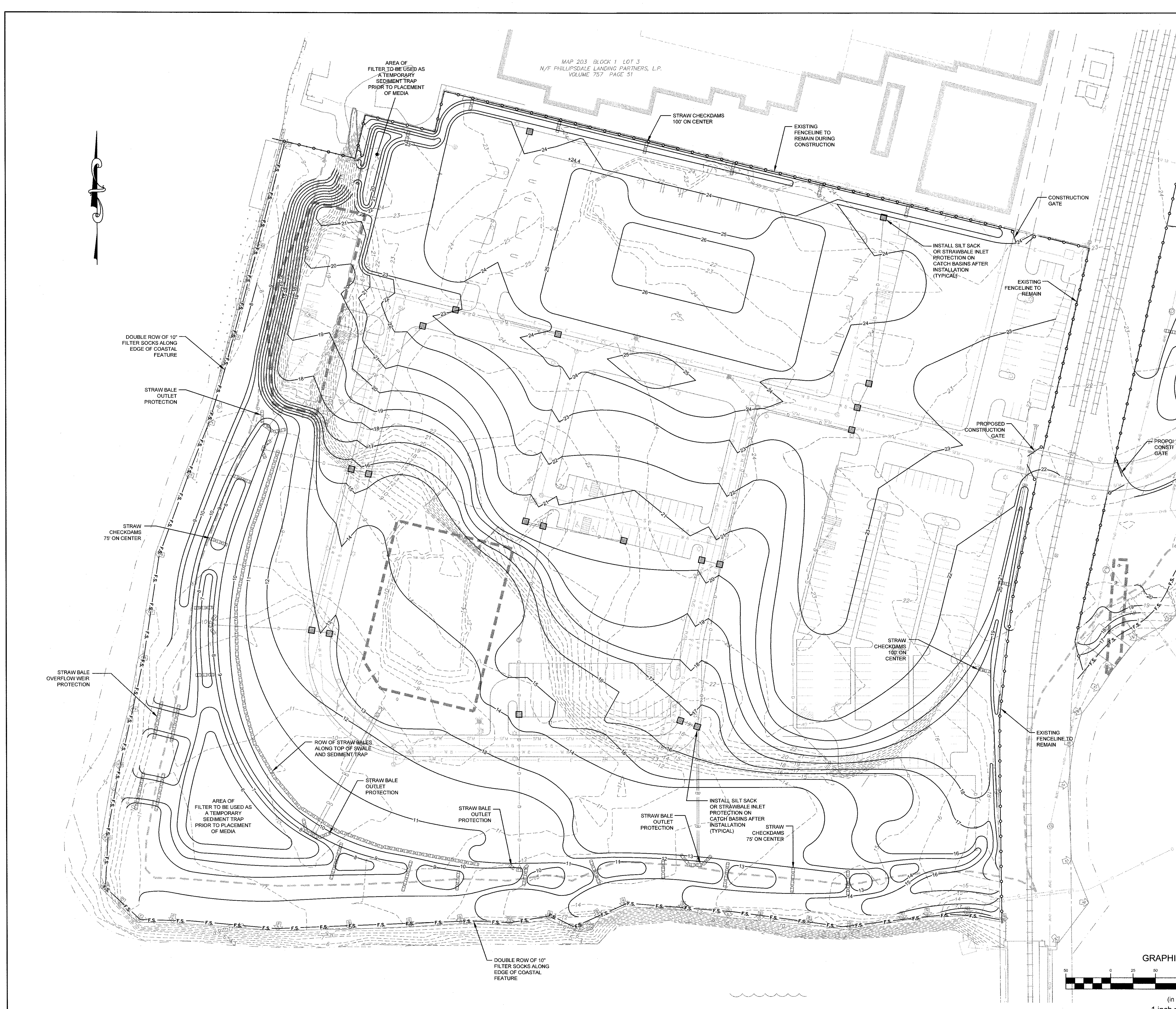
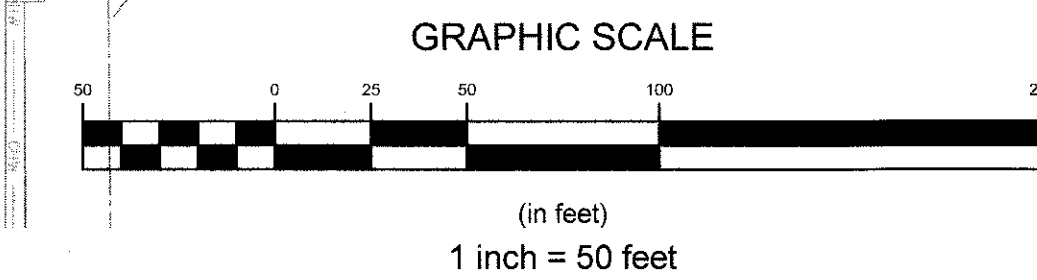
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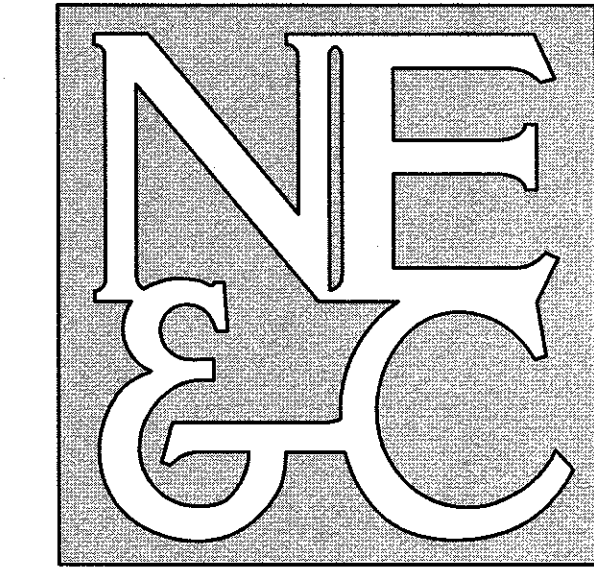
SITE/CIVIL
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LEGEND:

---	PROPERTY LINE
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---	TOPOGRAPHIC CONTOUR
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---	SEWER MAIN (DIA. UNIDENTIFIED)
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---	GAS MAIN (DIA. UNIDENTIFIED)
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---	DRAIN LINE (DIA. UNIDENTIFIED)
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---	SEWER FORCE MAIN
---	EDGE OF COASTAL FEATURE / WETLAND
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○	PROPOSED CATCH BASIN
○	PROPOSED DRAIN MANHOLE
○	PROPOSED 8" WATER MAIN
○	PROPOSED 8" SEWER MAIN
○	PROPOSED SEWER FORCE MAIN
○	PROPOSED UG ELECTRICAL CONDUIT
---	PROPOSED CONSTRUCTION GRADING
---	F.S. F.S. PROPOSED EROSION CONTROL BARRIER
---	PROPOSED STRAW BALE ROW
---	PROPOSED CONSTRUCTION FENCING

1	SUBMISSION REVISIONS	21MAY21	
No.	Revision	Date	App.
Designed by:	JJR	Drawn by:	JJR
Scale:	1"=50'	Date:	22APR21
Checked by:	GES		
Project Title:			
"EAST POINT" MAP 203 BLOCK 1 LOT 4 MAP 303 BLOCK 13 LOTS 4 & 5 ROGER WILLIAMS AVENUE EAST PROVIDENCE RHODE ISLAND			
Client/Owner:			
NOBLE DEVELOPMENT, LLC 10 GREEN STREET PROVIDENCE, RI 02903			
Issued for:			
PERMITTING			
Drawing Title:			
SOIL EROSION AND SEDIMENT CONTROL (SHOWING CONSTRUCTION GRADING)			
Drawing Number:		C-12	
Sheet		12 of 22	
Project Number:		20072.0	
Survey Index:			
Drawing Number: C-12 Sheet 12 of 22 Project Number: 20072.0 Survey Index:			
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LEGEND:

	PROPERTY LINE
	ABUTTER PROPERTY LINE
	ACCESS EASEMENT LINE
	FENCE LINE
	TOPOGRAPHIC CONTOUR
	SEWER MAIN (18")
	SEWER MAIN (DIA. UNIDENTIFIED)
	GAS MAIN (6")
	GAS MAIN (8")
	GAS MAIN (12")
	GAS MAIN (DIA. UNIDENTIFIED)
	WATER MAIN (10")
	DRAIN LINE (DIA. UNIDENTIFIED)
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	COASTAL FEATURE FLAG
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	DRAIN MANHOLE
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	SEWER MANHOLE
	PROPOSED CATCH BASIN
	PROPOSED DRAIN MANHOLE
	PROPOSED 8" WATER MAIN
	PROPOSED 8" SEWER MAIN
	PROPOSED SEWER FORCE MAIN
	PROPOSED UG ELECTRICAL CONDUIT
	PROPOSED CONSTRUCTION GRADING
	F.S. - PROPOSED EROSION CONTROL BARRIER
	PROPOSED STRAW BALE ROW
	PROPOSED CONSTRUCTION FENCING

1	SUBMISSION REVISIONS	21MAY21	
No.	Revision	Date	App.
Designed by:	JJR	Drawn by:	JJR
Checked by:	GES		
Scale:	1"=50'	Date:	22APR21

Project Title:
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 MAP 303 BLOCK 13 LOTS 4 & 5
 ROGER WILLIAMS AVENUE
 EAST PROVIDENCE
 RHODE ISLAND

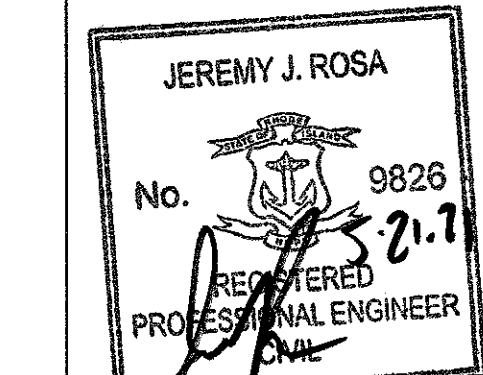
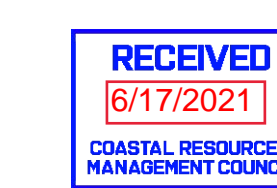
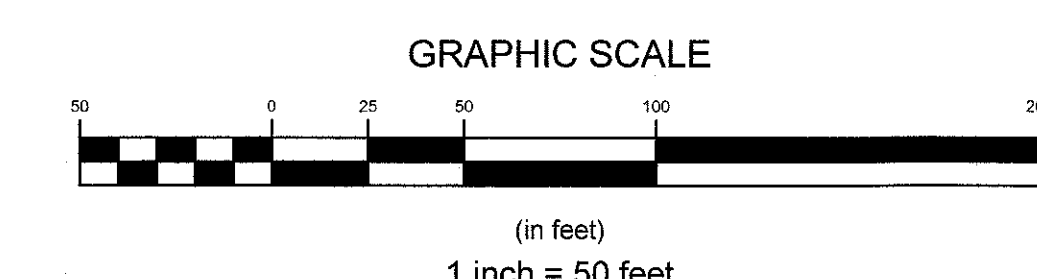
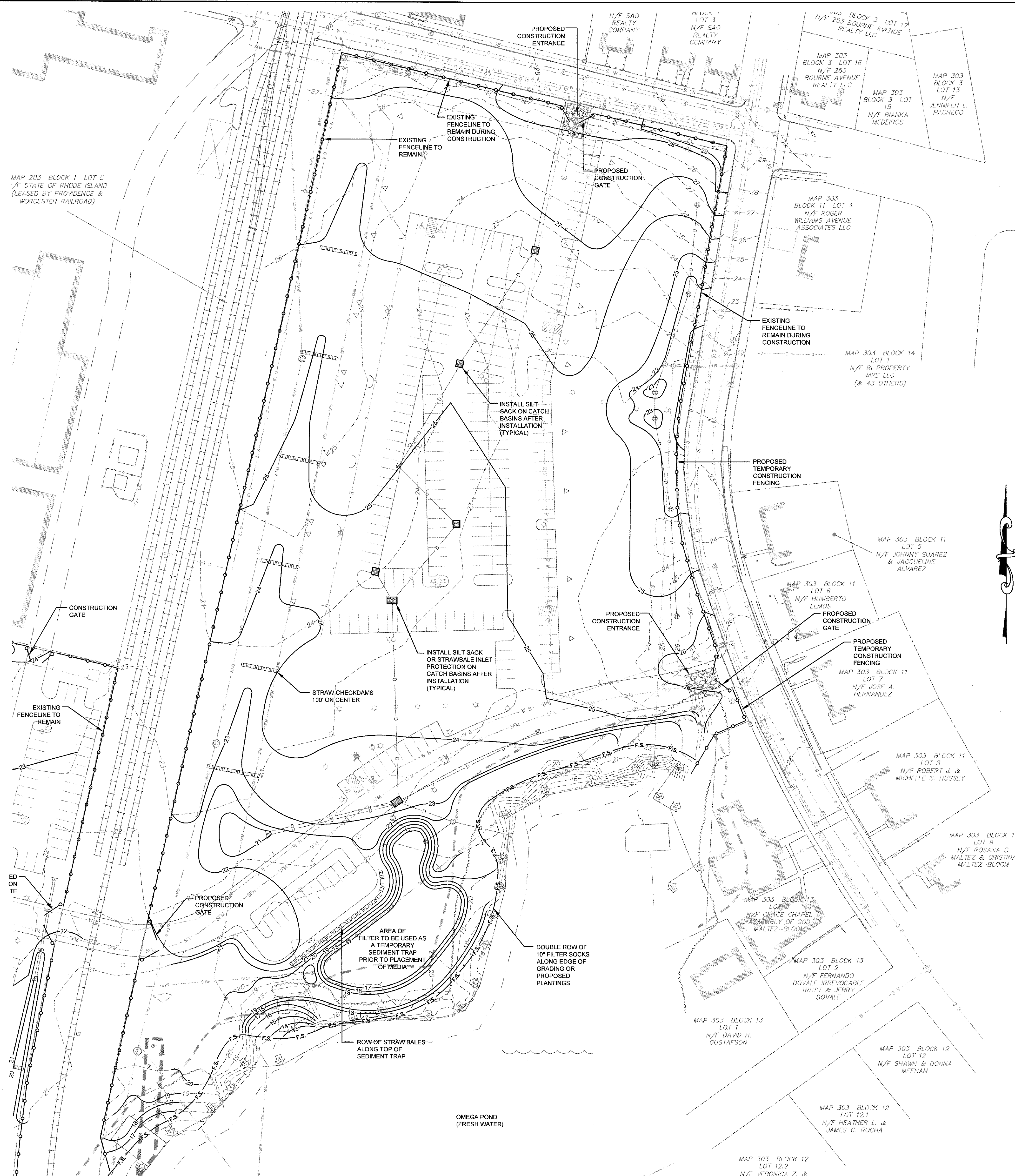
Client/Owner:
 NOBLE DEVELOPMENT, LLC
 10 GREEN STREET
 PROVIDENCE, RI 02903

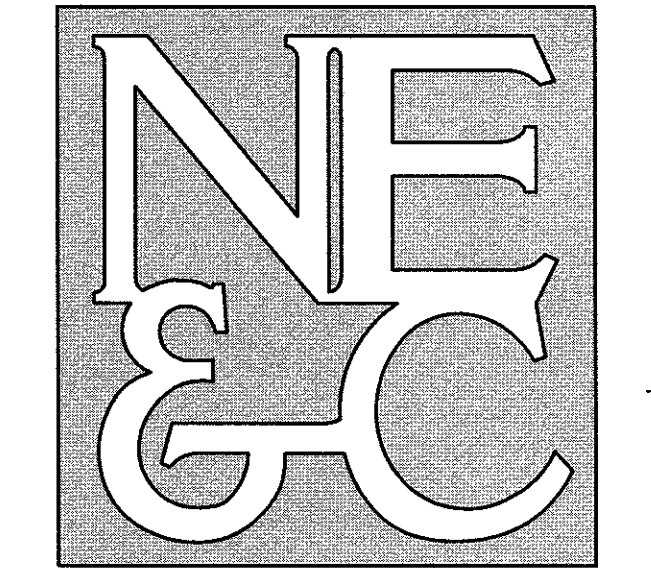
Issued for:
 PERMITTING

Drawing Title:
**SOIL EROSION AND
 SEDIMENT CONTROL**
 (SHOWING CONSTRUCTION GRADING)

Drawing Number:	C-13
Sheet	13 of 22
Project Number:	20072.0
Survey Index:	

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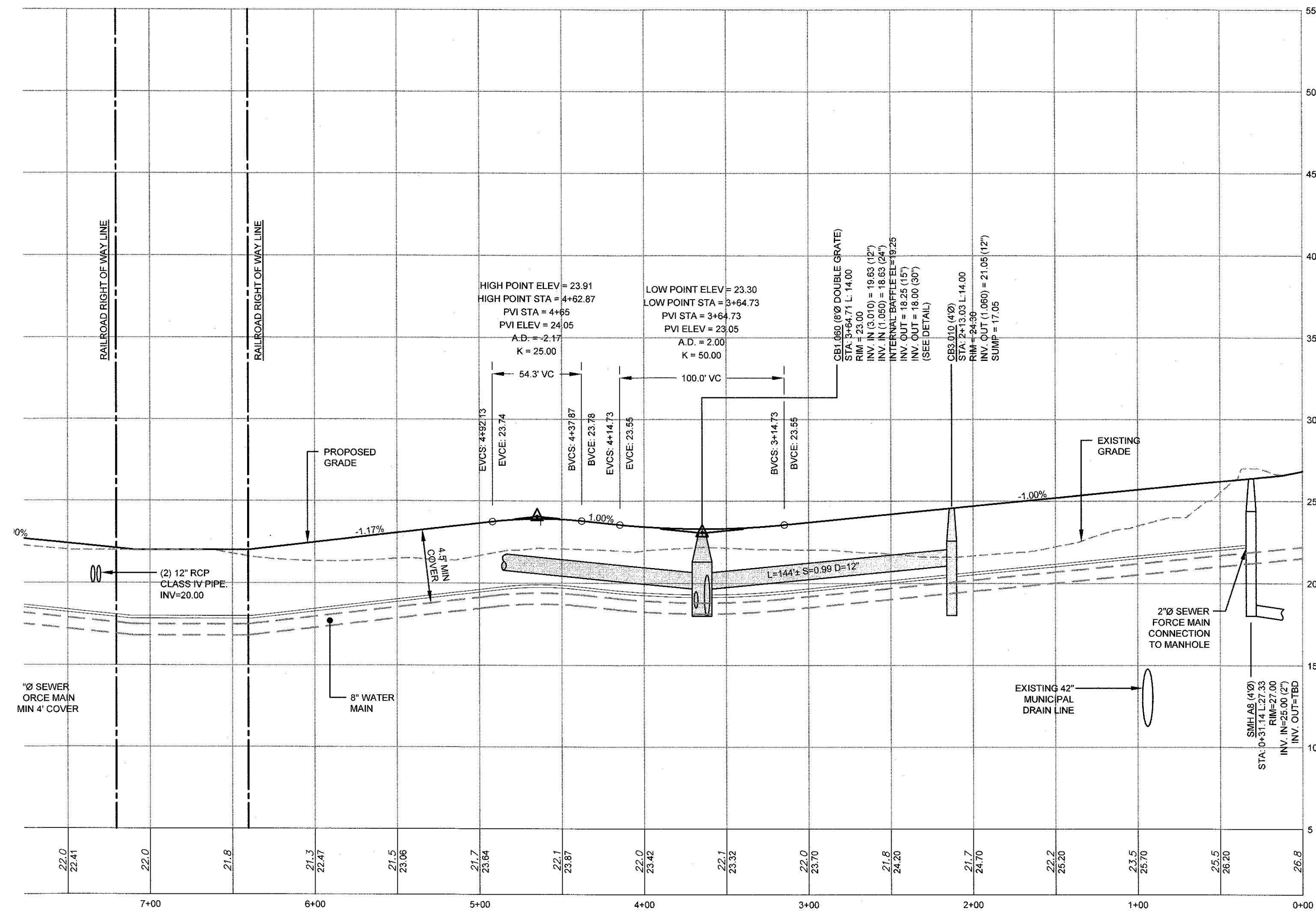




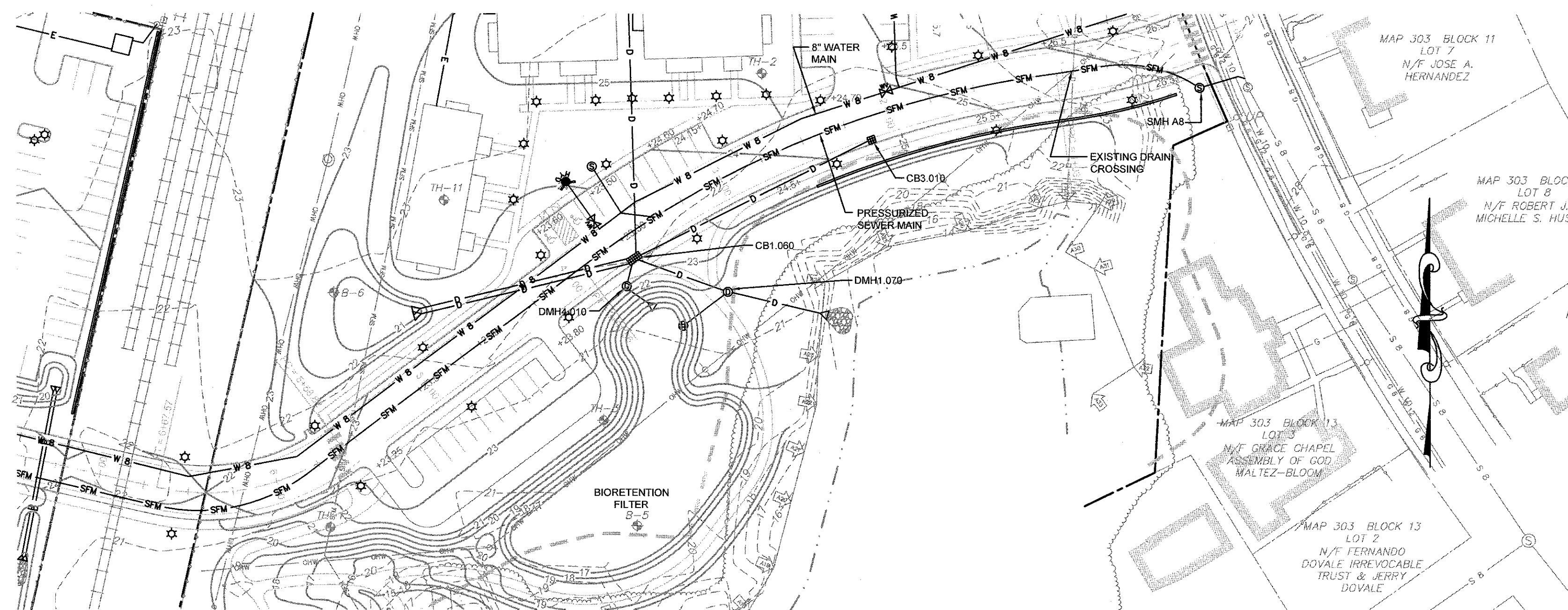
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 TRANSPORTATION
 STRUCTURAL



MAIN ACCESS ROAD 1 PROFILE (POND SIDE)
 HORIZONTAL SCALE: 1" = 50'
 VERTICAL SCALE: 1" = 5'



MAIN ACCESS ROAD 1 PLAN (POND SIDE)
 SCALE: 1" = 50'

NOTES:

1. REFER TO COMPLETE PROJECT NOTES ON SHEET C-2.

SUBMISSION REVISIONS		21MAY21	
No.	Revision	Date	App.
1			

Designed By: JJR | Drawn by: JJR | Checked by: GES
 Scale: 1"=50' | Date: 22APR21

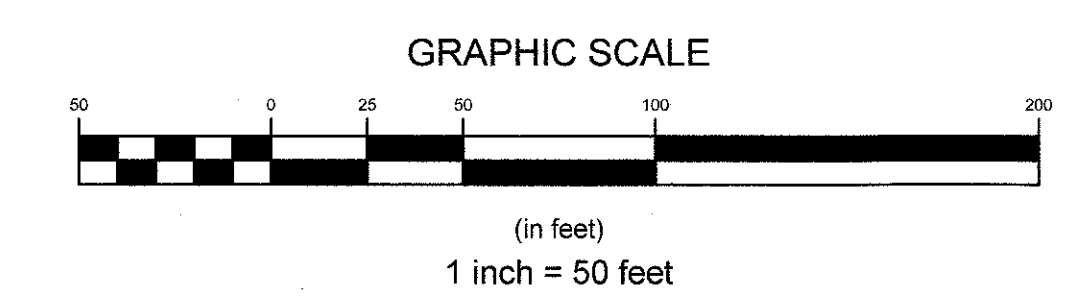
Project Title:
"EAST POINT"
 MAP 203 BLOCK 1 LOT 4
 MAP 303 BLOCK 13 LOTS 4 & 5
 ROGER WILLIAMS AVENUE
 EAST PROVIDENCE
 RHODE ISLAND

Client/Owner:
 NOBLE DEVELOPMENT, LLC
 10 GREEN STREET
 PROVIDENCE, RI 02903

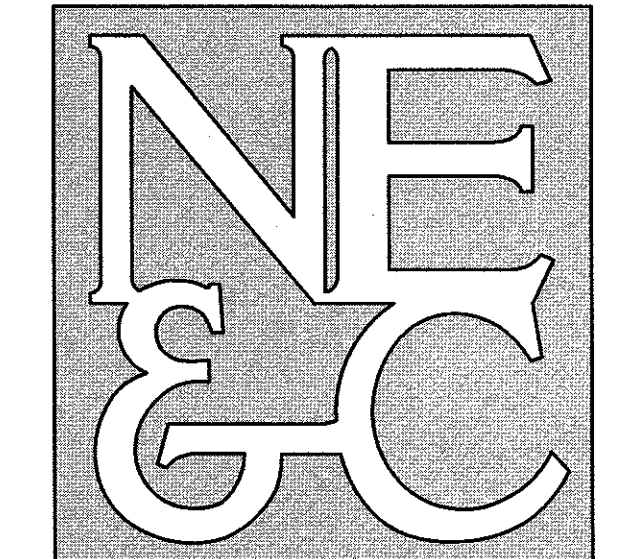
Issued for:
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Drawing Title:
ROAD PROFILE
 SHEET 1
 (MAIN ACCESS ROAD POND SIDE)

	Drawing Number: C-14
	Sheet 14 of 22
	Project Number: 20072.0
	Survey Index:



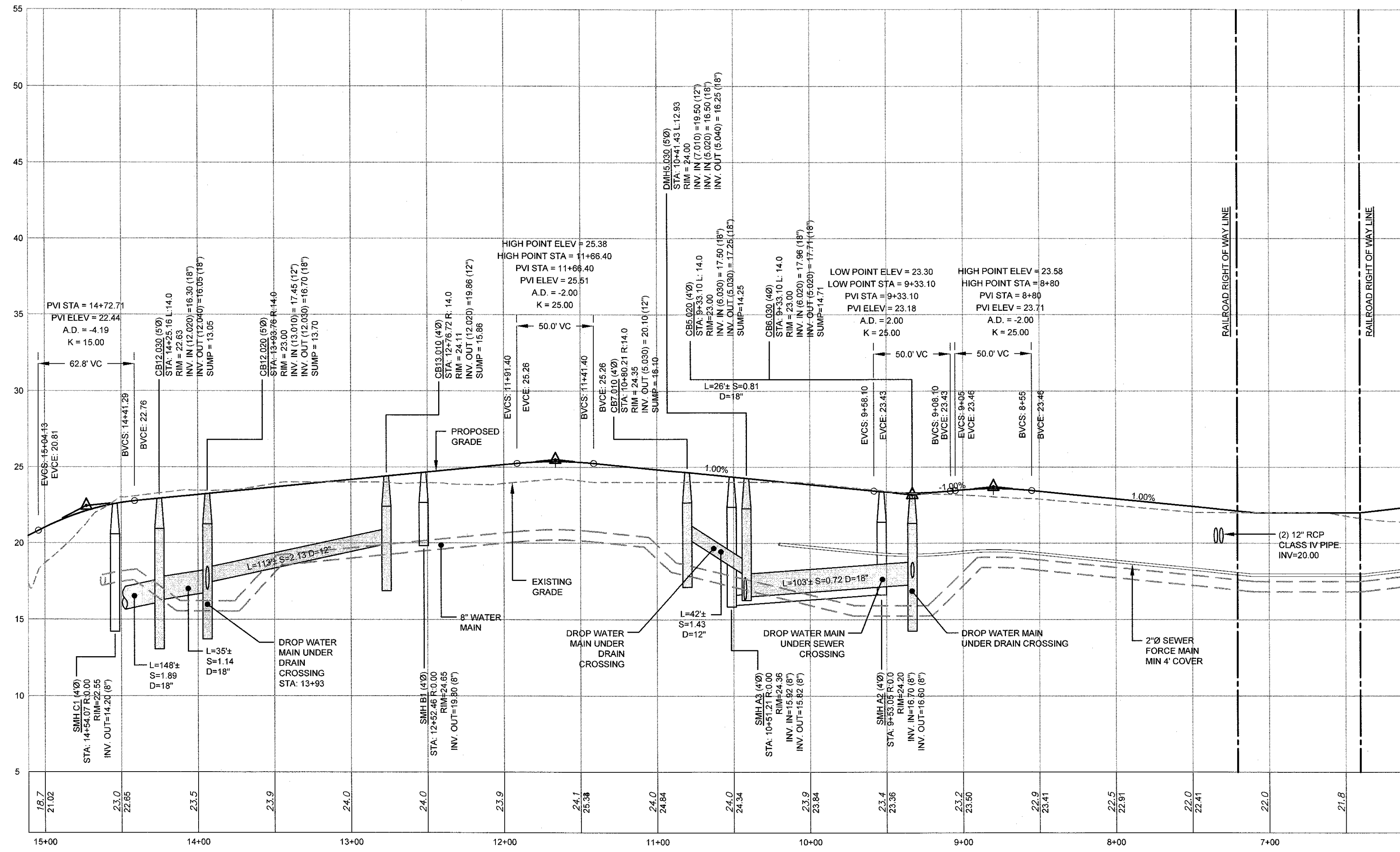
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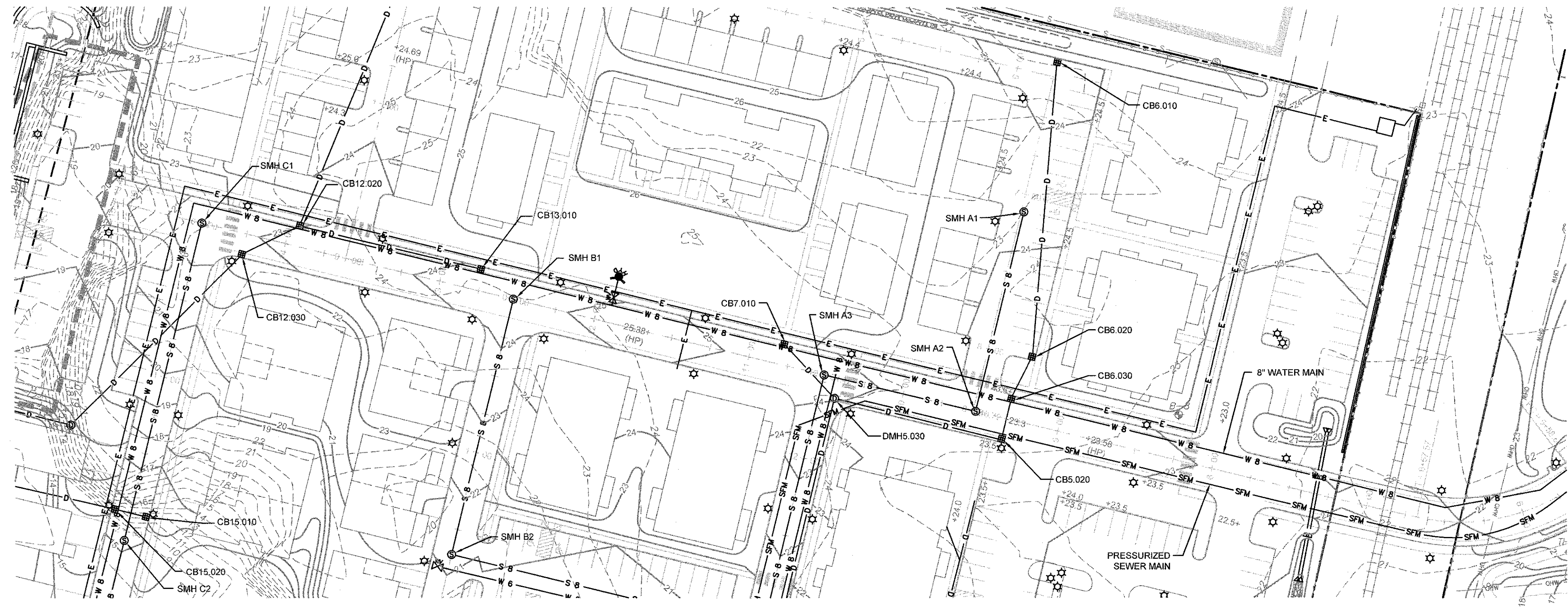
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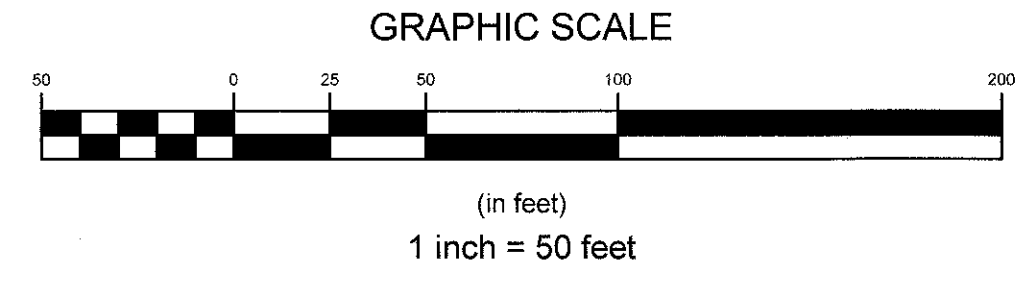
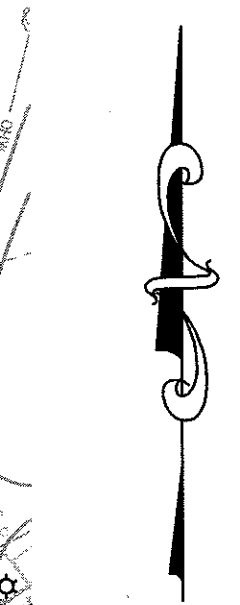
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 GEOTECHNICAL
 ENVIRONMENTAL
 TRANSPORTATION
 STRUCTURAL



MAIN ACCESS ROAD 1 PROFILE (COASTAL SIDE)
 HORIZONTAL SCALE: 1" = 50'
 VERTICAL SCALE: 1" = 5'



MAIN ACCESS ROAD 1 PLAN (COASTAL SIDE)
 SCALE: 1" = 50'



NOTES:
 1. REFER TO COMPLETE PROJECT NOTES ON SHEET C-2.

No.	Revision	Date	App.
1	SUBMISSION REVISIONS	21MAY21	

Designed By: JJR | Drawn by: JJR | Checked by: GES
 Scale: 1"=50' | Date: 22APR21

Project Title:
"EAST POINT"
 MAP 203 BLOCK 1 LOT 4
 MAP 303 BLOCK 13 LOTS 4 & 5
 ROGER WILLIAMS AVENUE
 EAST PROVIDENCE
 RHODE ISLAND

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Drawing Title:
ROAD PROFILE
 SHEET 2
 (MAIN ACCESS ROAD COASTAL SIDE)

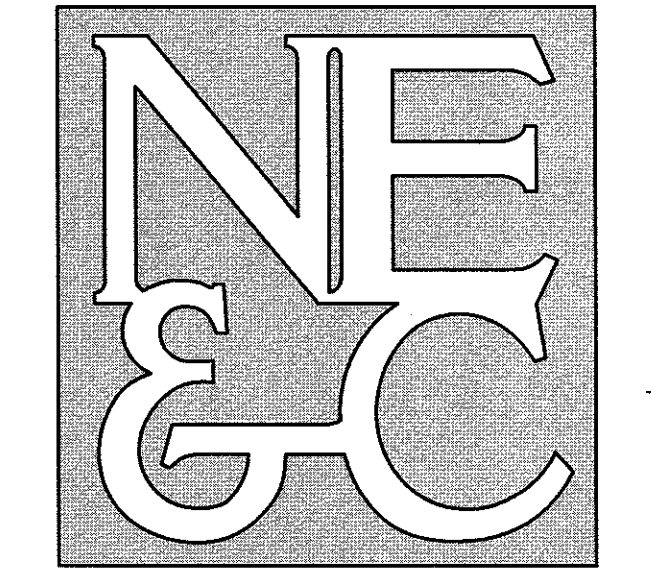
Drawing Number:
C-15

Sheet **15** of **22**

Project Number:
20072.0

Survey Index:

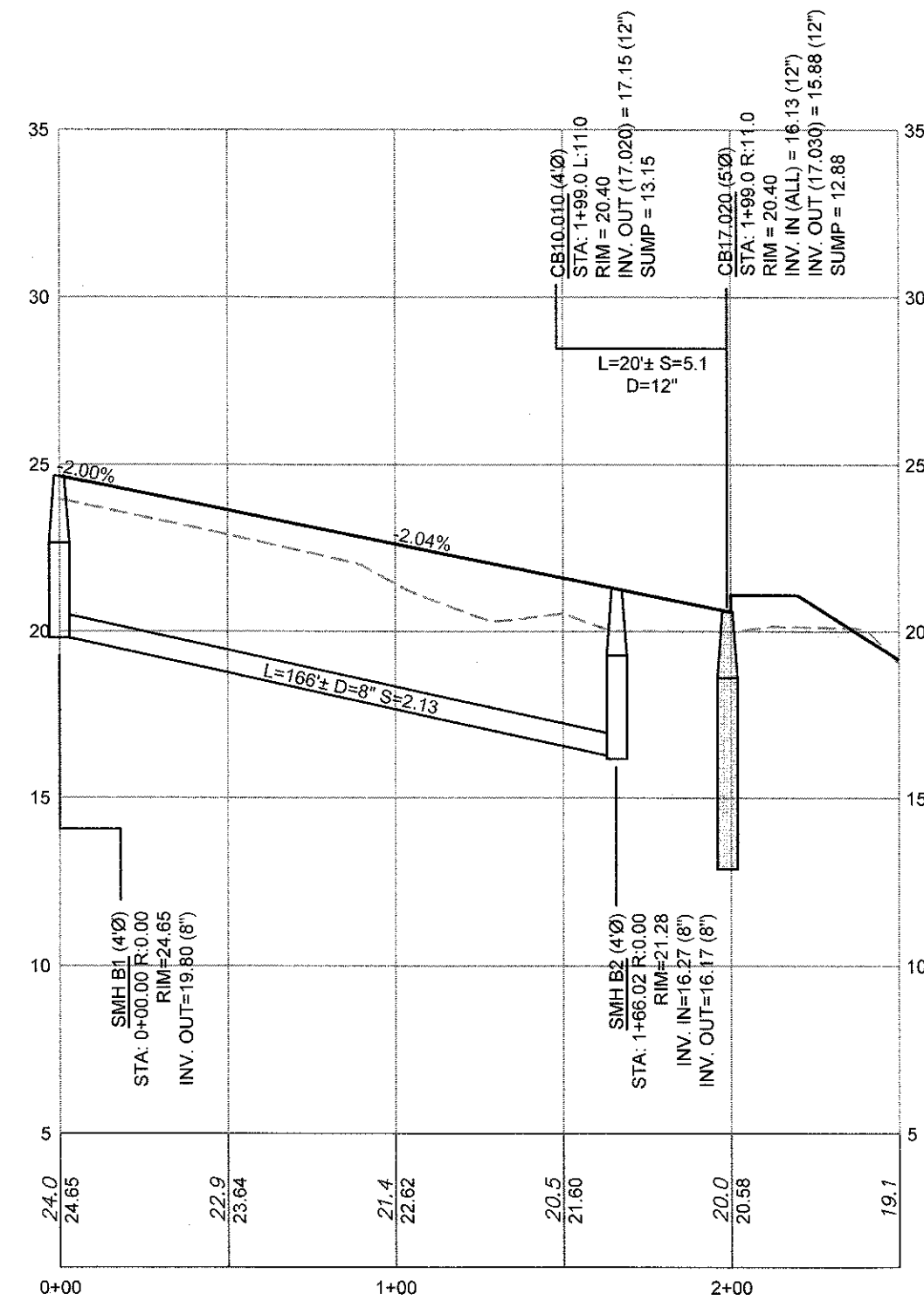
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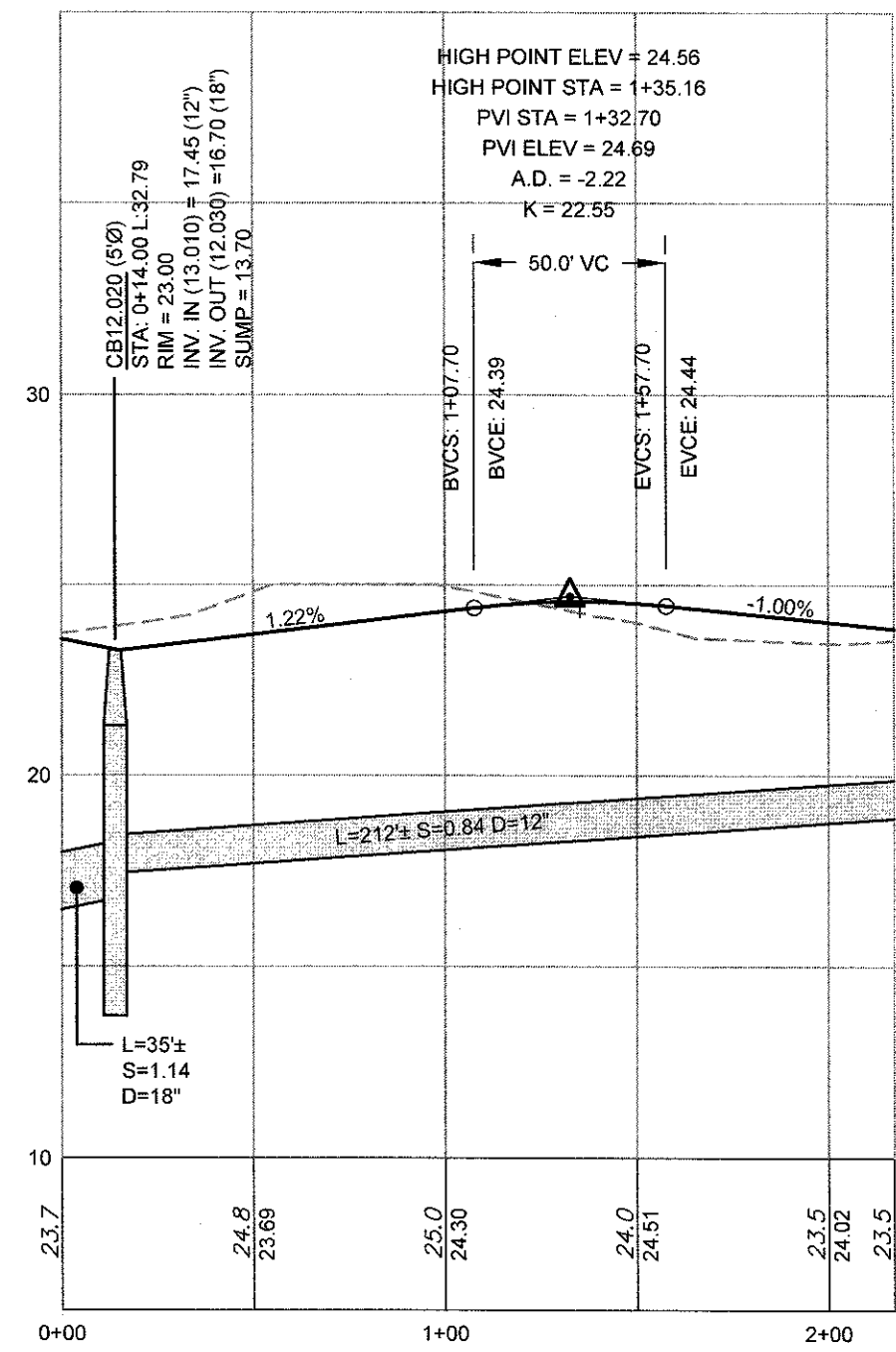
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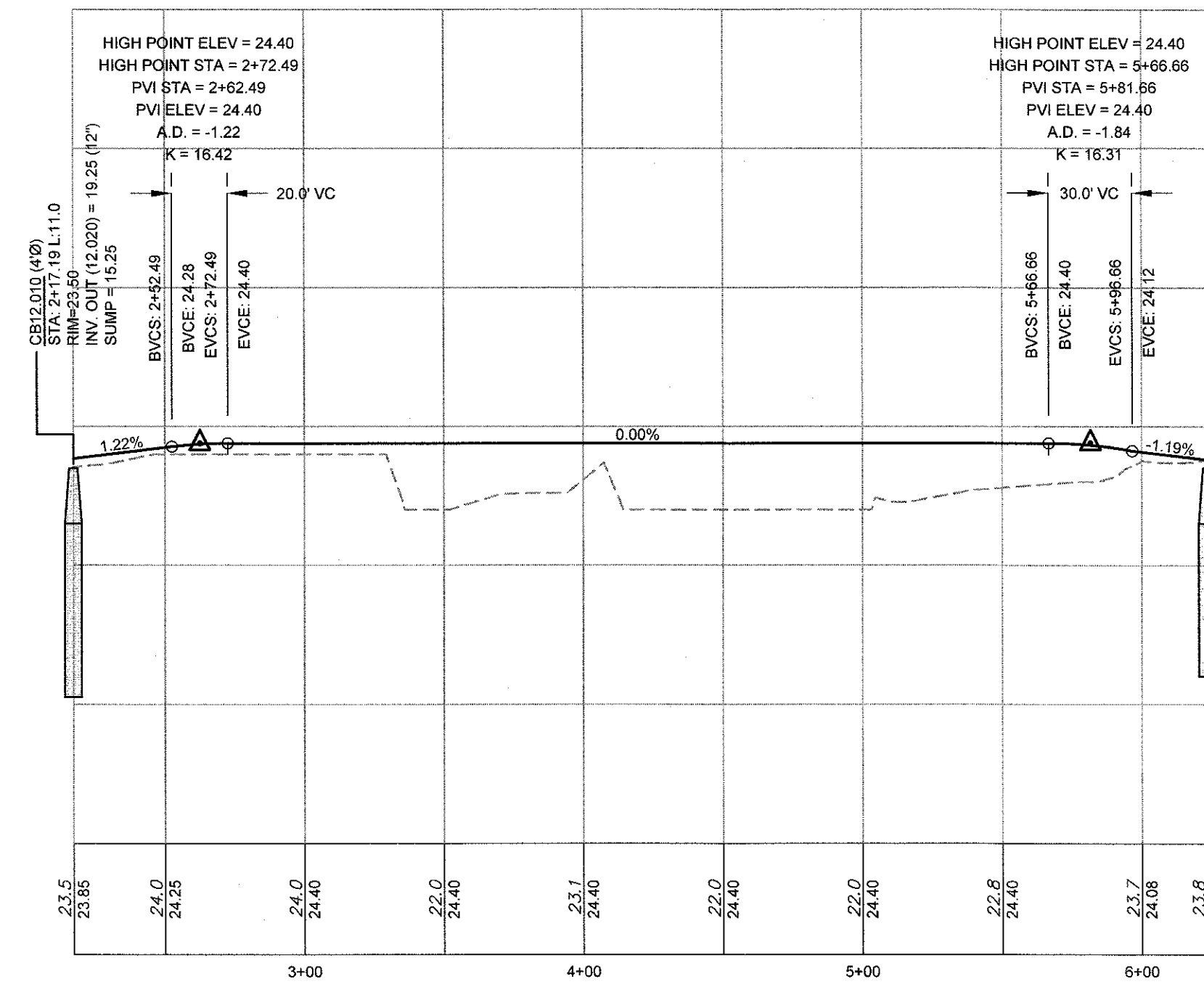
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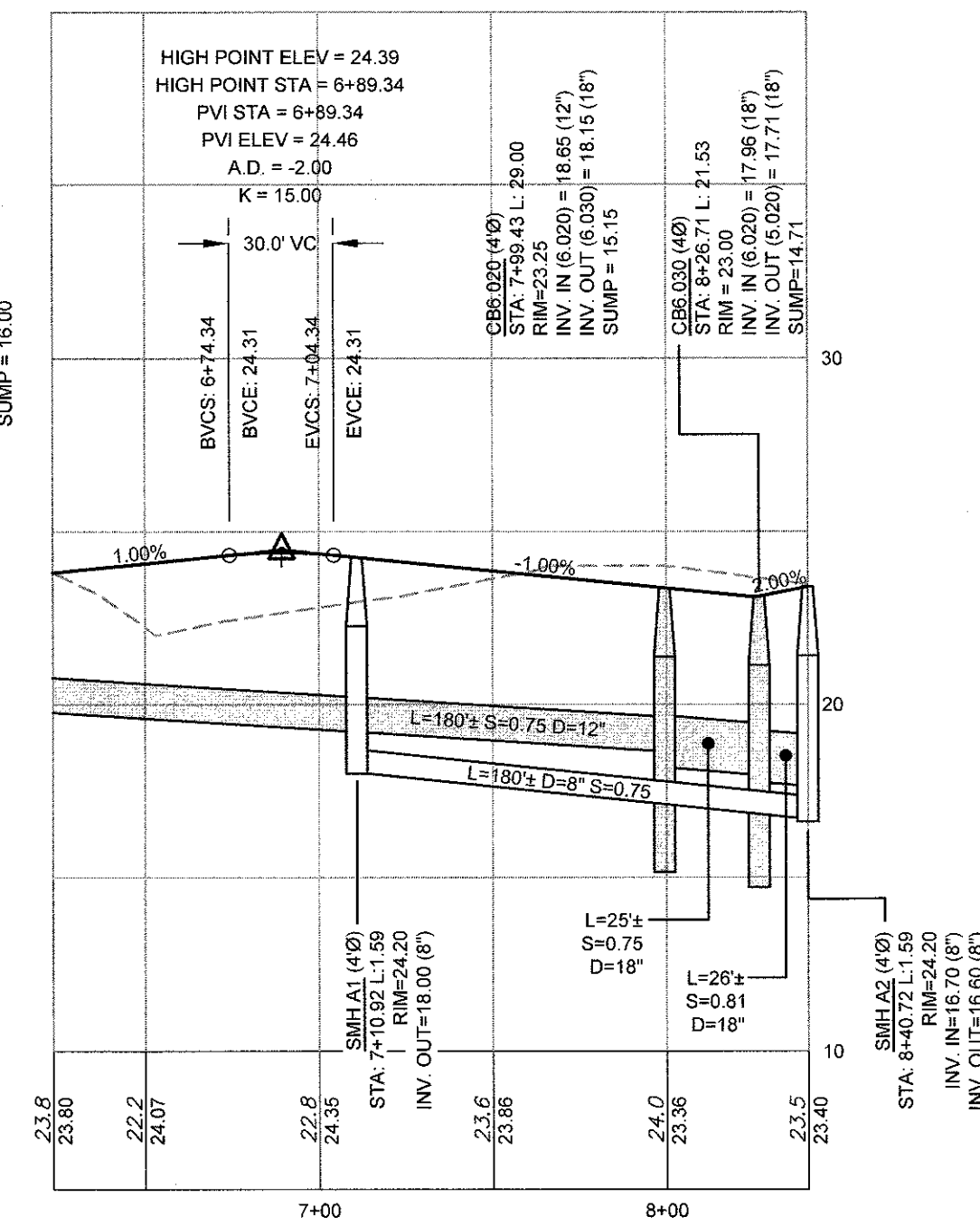
RESIDENTIAL ACCESS ROAD 3 PROFILE
 HORIZONTAL SCALE: 1" = 50'
 VERTICAL SCALE: 1" = 5'



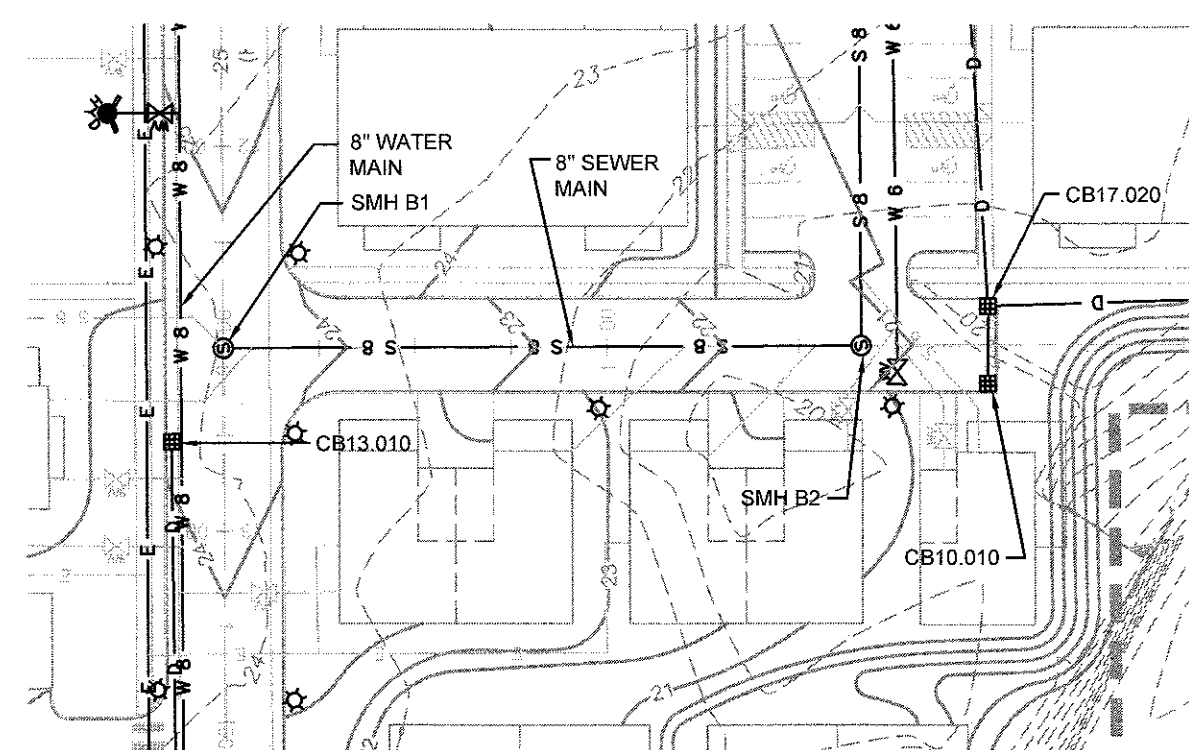
RESIDENTIAL ACCESS ROAD 4 (SEC 1) PROFILE
 HORIZONTAL SCALE: 1" = 50'
 VERTICAL SCALE: 1" = 5'



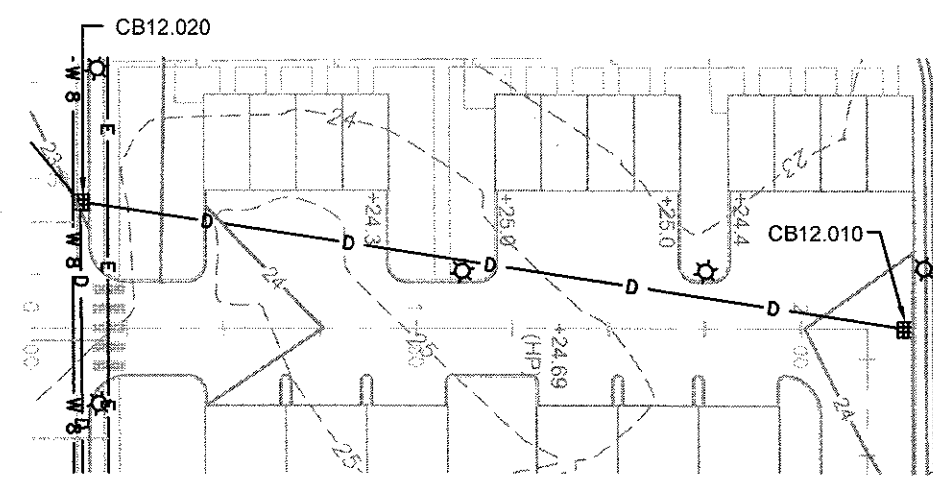
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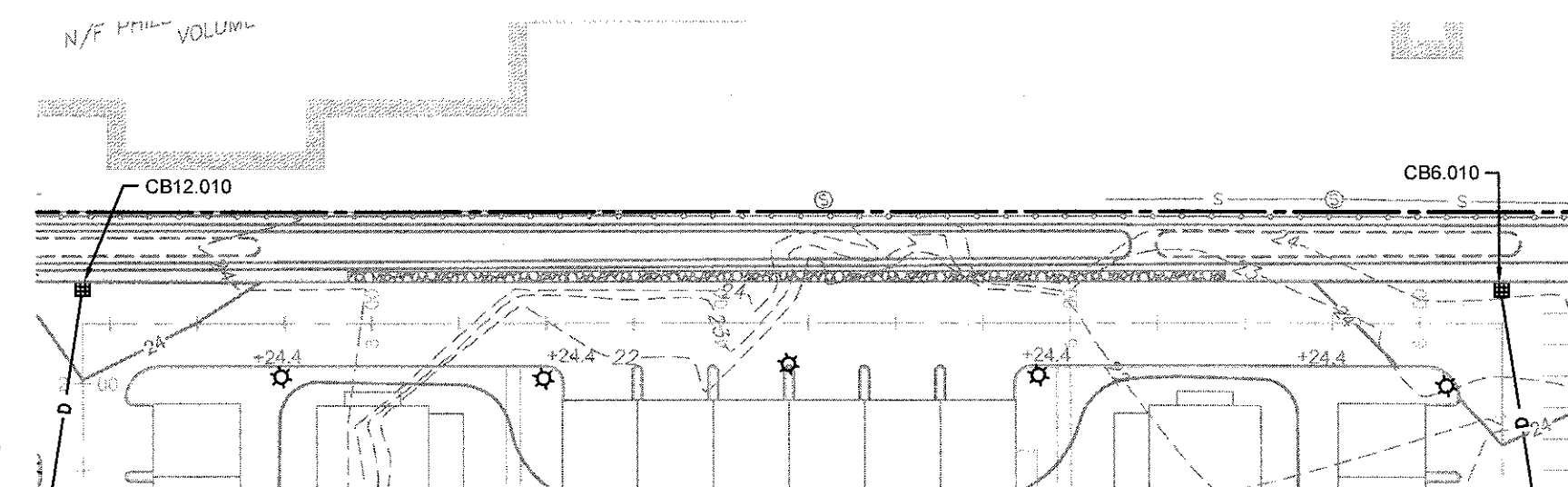
RESIDENTIAL ACCESS ROAD 4 (SEC 3) PROFILE
 HORIZONTAL SCALE: 1" = 50'
 VERTICAL SCALE: 1" = 5'



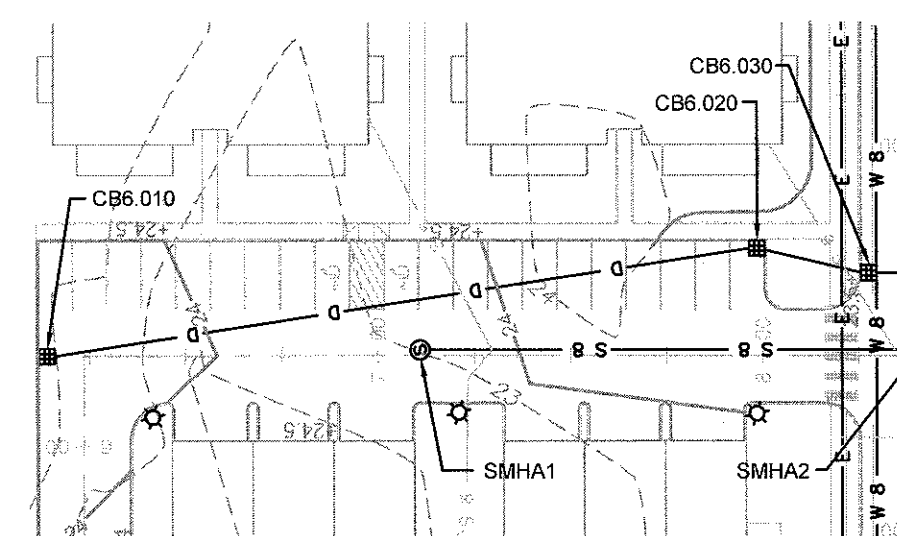
RESIDENTIAL ACCESS ROAD 3 PLAN
 SCALE: 1" = 50'



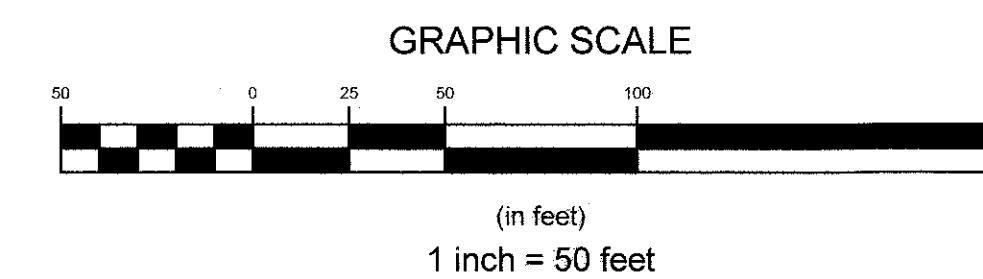
RESIDENTIAL ACCESS ROAD 4 (SEC 1) PLAN (PRIVATE)
 SCALE: 1" = 50'



RESIDENTIAL ACCESS ROAD 4 (SEC 2) PLAN (PRIVATE)
 SCALE: 1" = 50'

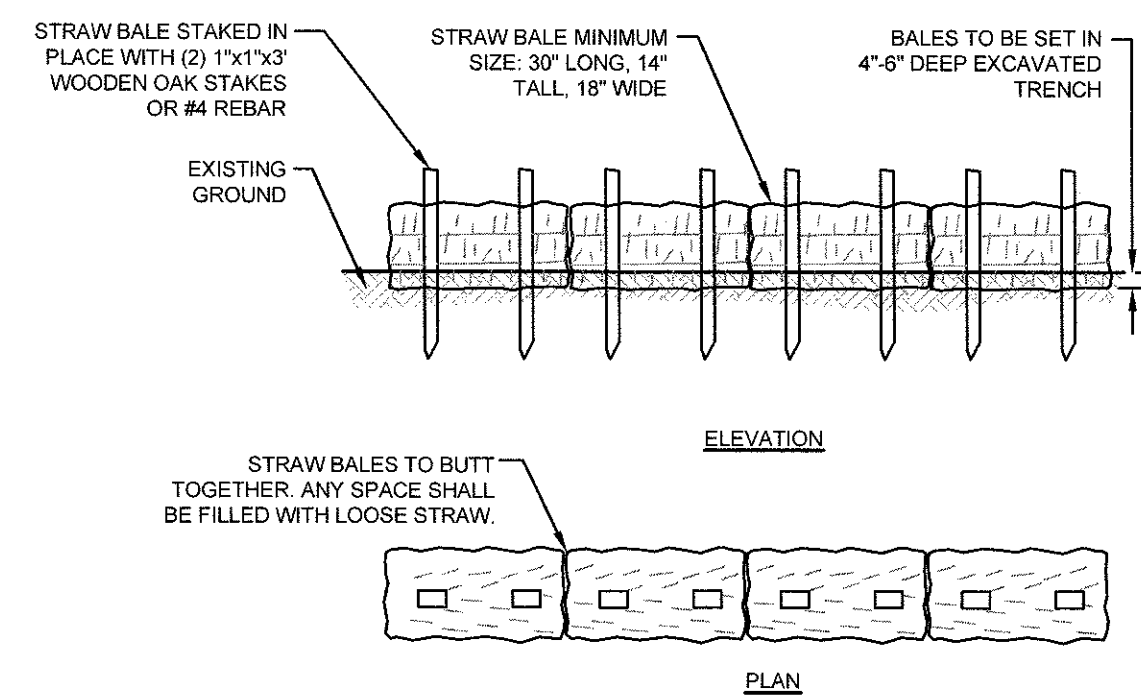


RESIDENTIAL ACCESS ROAD 4 (SEC 3) PLAN (PRIVATE)
 SCALE: 1" = 50'



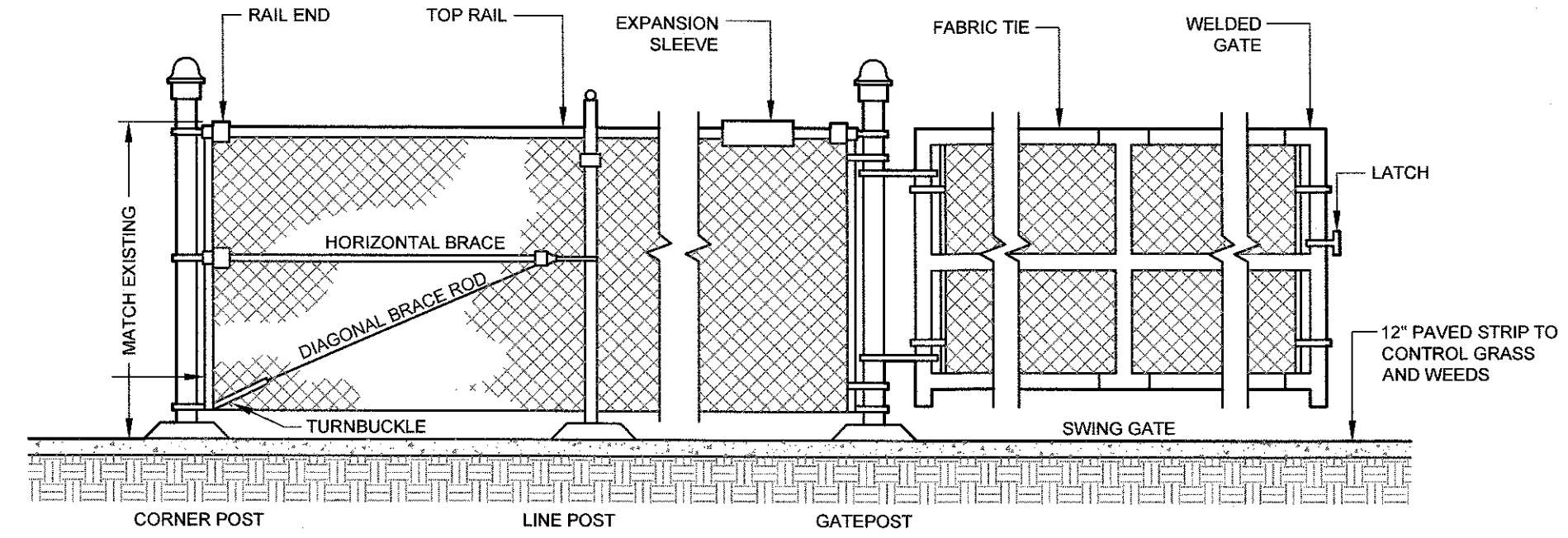
- NOTES:**
 1. REFER TO COMPLETE PROJECT NOTES ON SHEET C-2.

SUBMISSION REVISIONS		21MAY21	
No.	Revision	Date	App.
Designed By:	JJR	Drawn by:	JJR
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Project Title:			
"EAST POINT" MAP 203 BLOCK 1 LOT 4 MAP 303 BLOCK 13 LOTS 4 & 5 ROGER WILLIAMS AVENUE EAST PROVIDENCE RHODE ISLAND			
Client/Owner:			
NOBLE DEVELOPMENT, LLC 10 GREEN STREET PROVIDENCE, RI 02903			
Issued for:			
PERMITTING			
Drawing Title:			
ROAD PROFILE SHEET 4 (RESIDENTIAL ACCESS ROADS 3 & 4)			
Drawing Number:		C-17	
Sheet		17 of 22	
Project Number:		20072.0	
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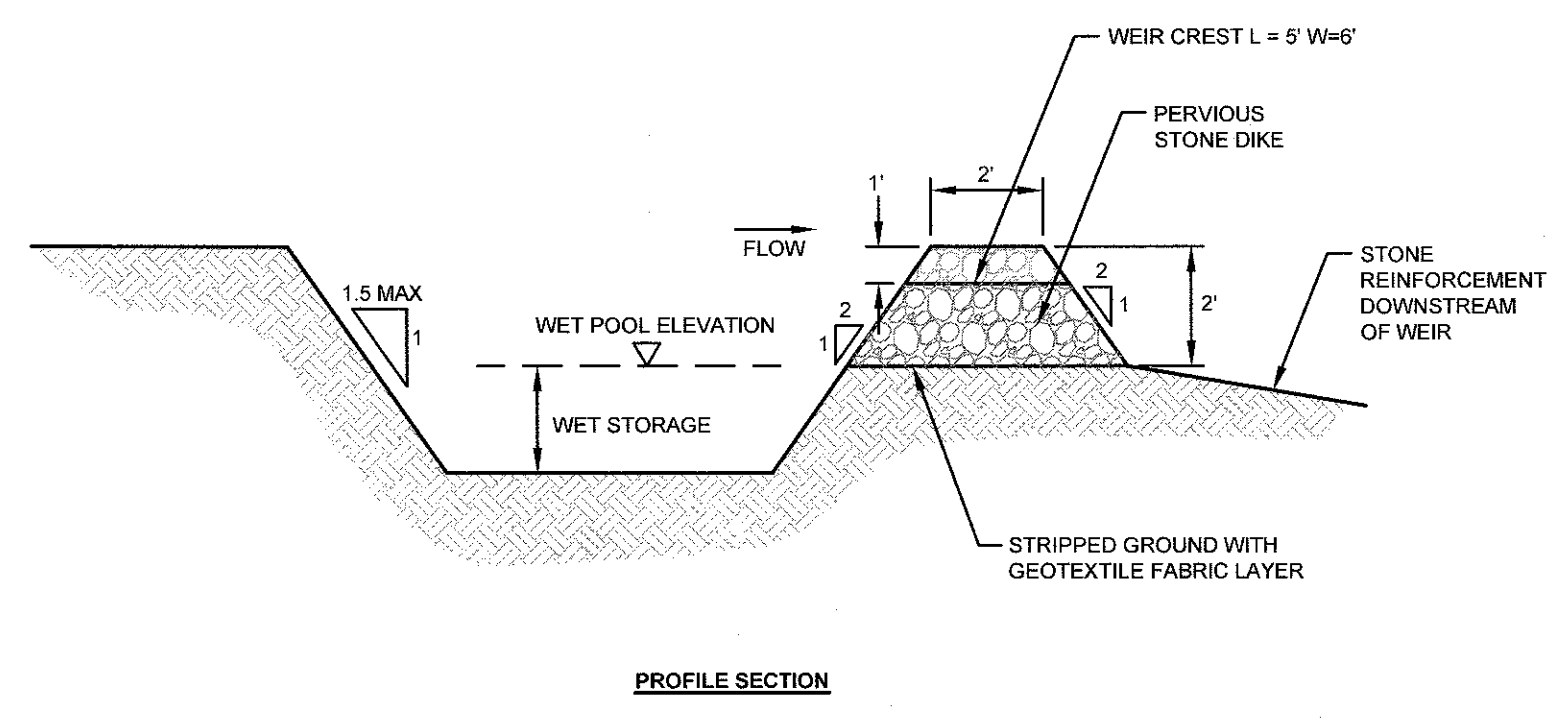
- NOTES:**
1. BALE WEIGHT SHALL NOT BE LESS THAN 50 LBS AND SHALL BE BOUND WITH NO LESS THAN TWO STRINGS OR WIRES CONTAINING A MINIMUM OF FIVE (5) CUBIC FEET OF MATERIAL. MINIMUM DIMENSIONS SHOWN IN DETAIL.
 2. STRAW BALES SHALL BE CERTIFIED AS BEING NOXIOUS WEED-FREE BALES. TO BE "CERTIFIED" MEANS THAT THE PRODUCT IS FREE OF ANY NOXIOUS WEEDS.
 3. STAKES SHALL BE DRIVEN THROUGH STAKES AT A SLIGHT UPSTREAM ANGLE TO PREVENT BALES FROM OVERTURNING.
 4. LOOSE STRAW SHALL BE WEDGED BETWEEN BALES AFTER INSTALLATION.
 5. MATERIAL EXCAVATED FROM TRENCH SHALL BE BACKFILLED, COMPACTED, AND STABILIZED.

BALED STRAW EROSION CONTROL BARRIER
SCALE: NOT TO SCALE

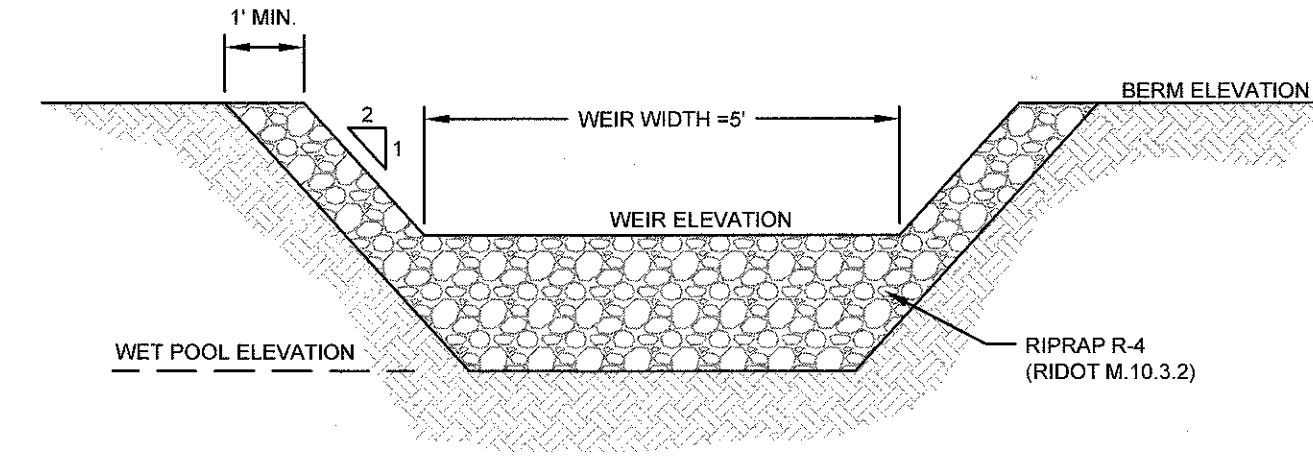


NOTE: FOR FENCES 5 FT AND TALLER, A HORIZONTAL OR DIAGONAL BRACE, OR BOTH, IS USED FOR GREATER STABILITY. POST SPACING SHOULD BE EQUIDISTANT AND SHOULD NOT EXCEED 10 FT O.C.

TYPICAL CHAIN LINK FENCE DETAIL
SCALE: NOT TO SCALE



PROFILE SECTION



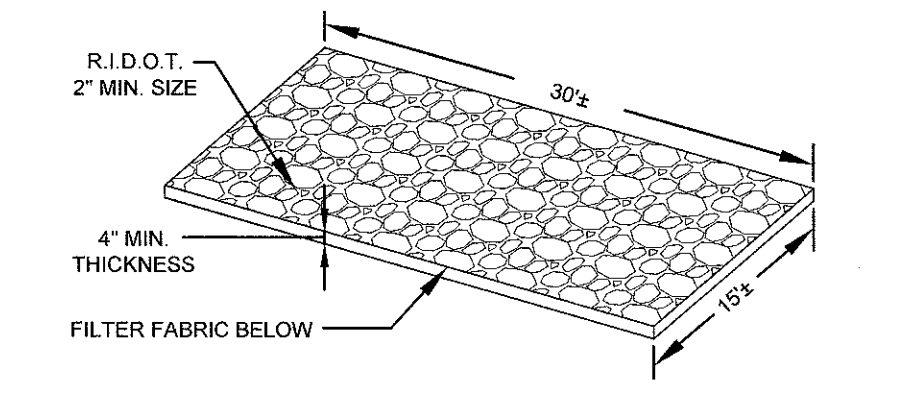
TYPICAL SEDIMENT TRAP DETAILS
SCALE: NOT TO SCALE

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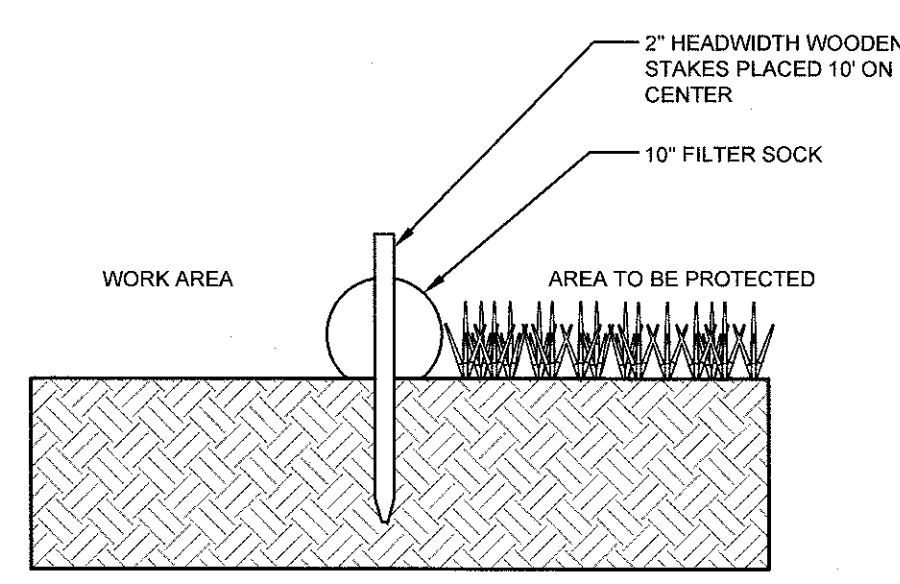
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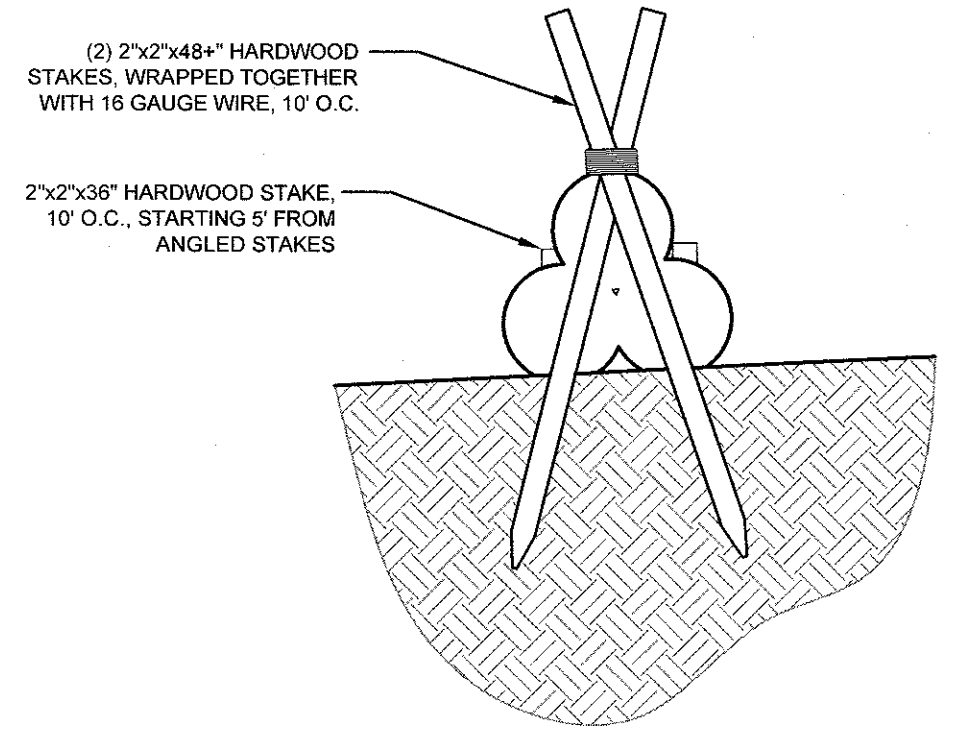


NOTE: ALL CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE CONTRACTOR'S DISCRETION PER DETAIL PROVIDED.

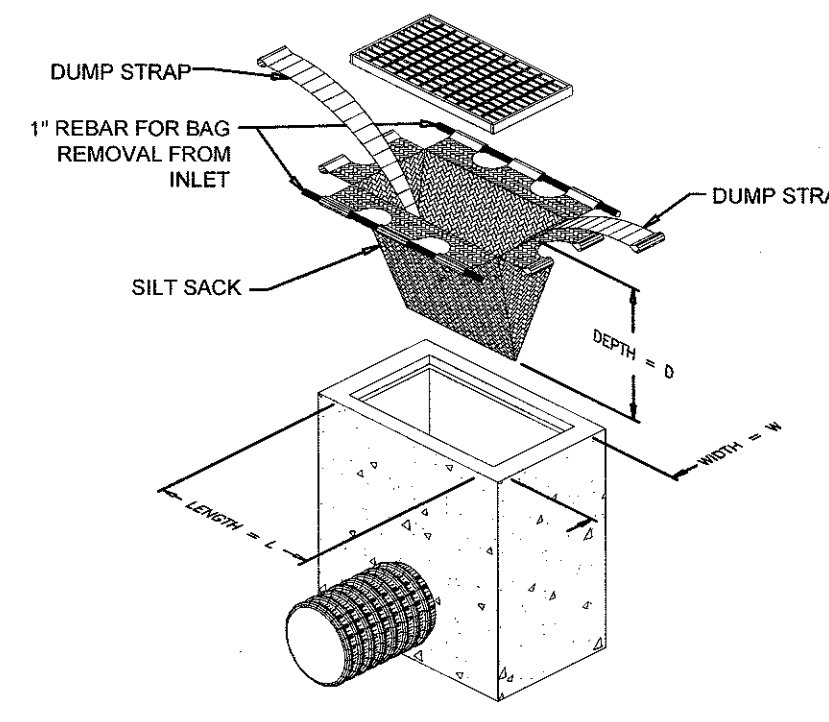
CONSTRUCTION ENTRANCE
SCALE: NOT TO SCALE



SECTION VIEW

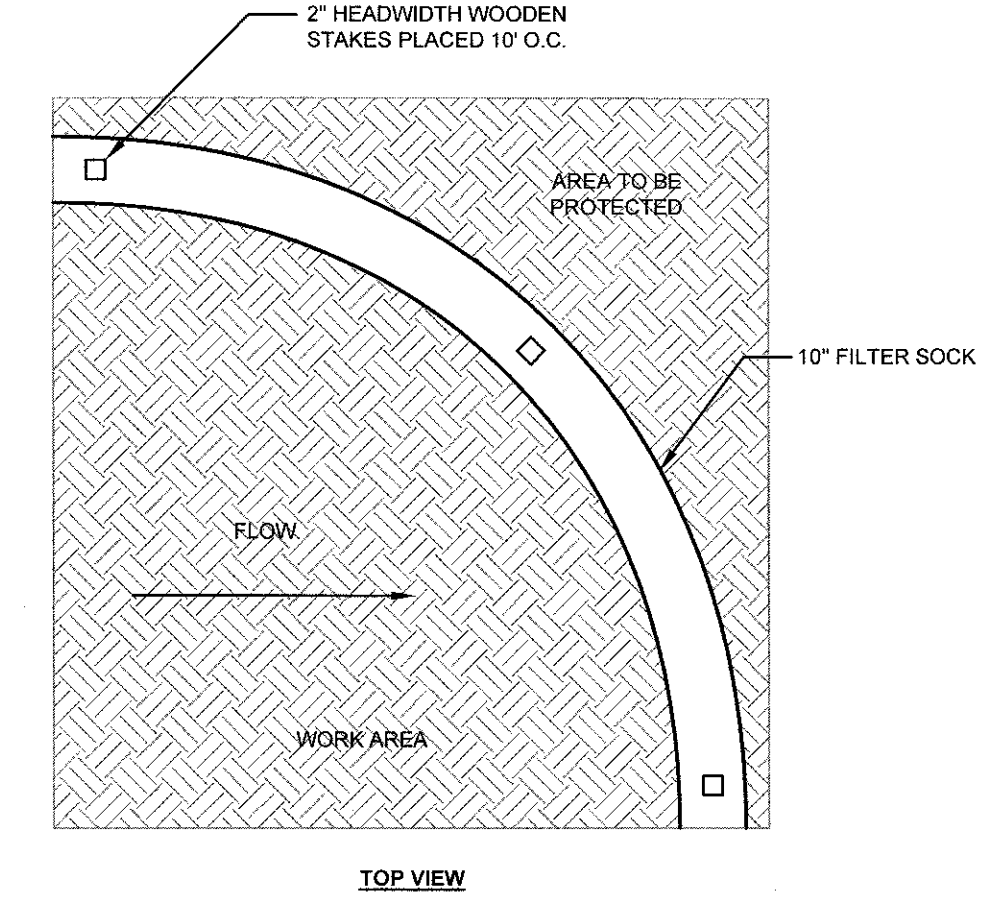


PYRAMID SECTION VIEW (FOR HIGH FLOW CONDITIONS)

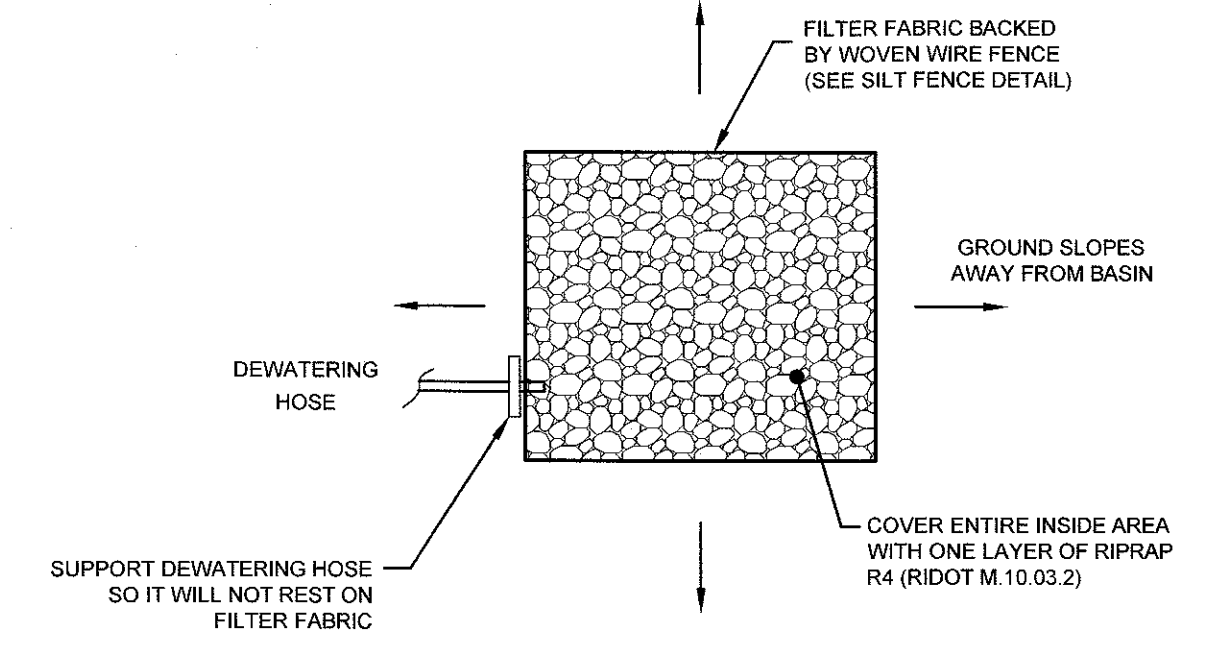


- MAINTENANCE SCHEDULE:**
1. EACH SILTSACK SHOULD BE INSPECTED AFTER EVERY MAJOR RAIN EVENT (>0.25\"/>
 2. IF THERE HAVE BEEN NO MAJOR EVENTS, SILTSACKS SHALL BE INSPECTED EVERY 2-3 WEEKS.
 3. THE YELLOW RESTRAINT CORD SHOULD BE VISIBLE AT ALL TIMES. IF THE CORD IS COVERED WITH SEDIMENT, THE SILTSACK SHOULD BE EMPTIED.

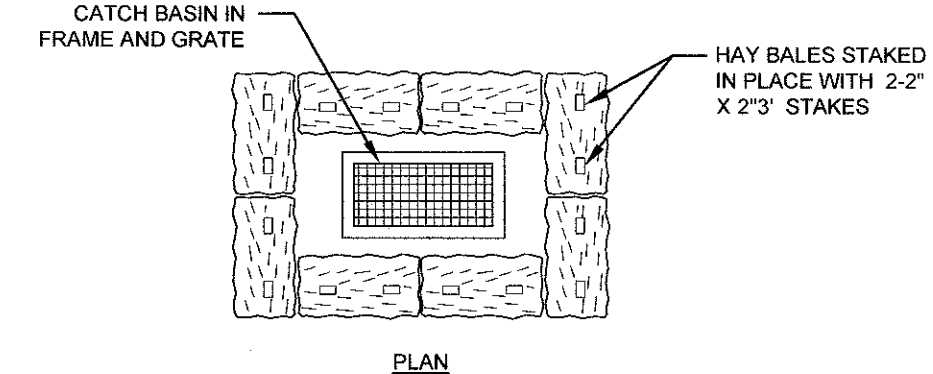
SILT SACK DETAIL
SCALE: NOT TO SCALE



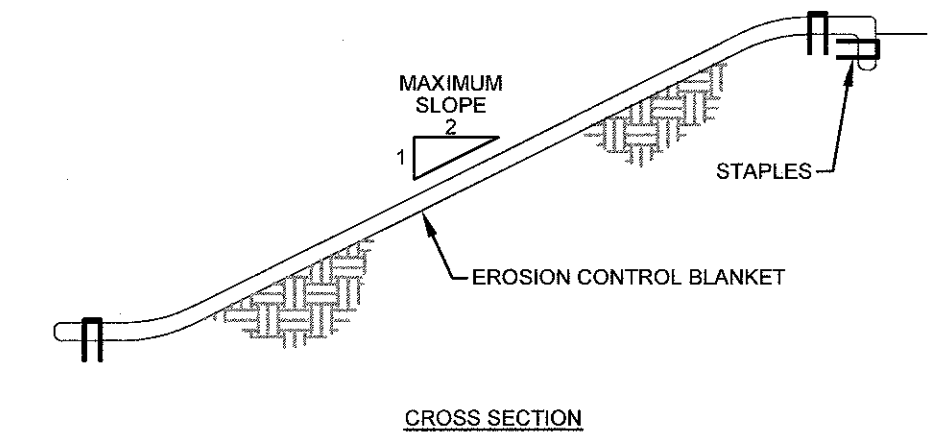
10\"/>



DEWATERING BASIN
SCALE: NOT TO SCALE



STRAW BALE INLET PROTECTION
SCALE: NOT TO SCALE



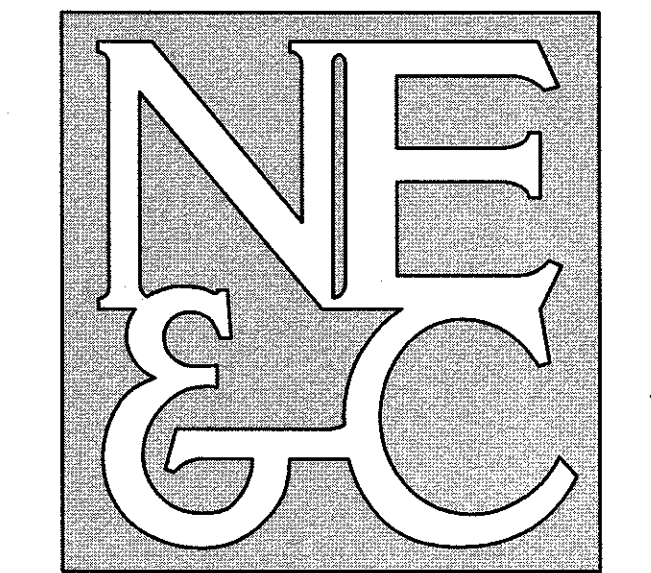
CROSS SECTION

- NOTES:**
1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIME, FERTILIZER, AND SEED.
 2. ANCHORING THE BLANKET IN A 6\"/>
 3. ROLL THE BLANKETS DOWN THE SLOPE IN THE DIRECTION OF THE WATER FLOW.
 4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2\"/>
 5. WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 6\"/>

EROSION CONTROL BLANKET
SCALE: NOT TO SCALE

1	SUBMISSION REVISIONS	21MAY21	
No.	Revision	Date	App.
Designed By:	JJR	Drawn by:	JJR
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Client/Owner:			
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Drawing Title:			
PROPOSED DETAIL SHEET 1			
Drawing Number:		C-18	
Sheet		18 of 22	
Project Number:		20072.0	
Survey Index:			
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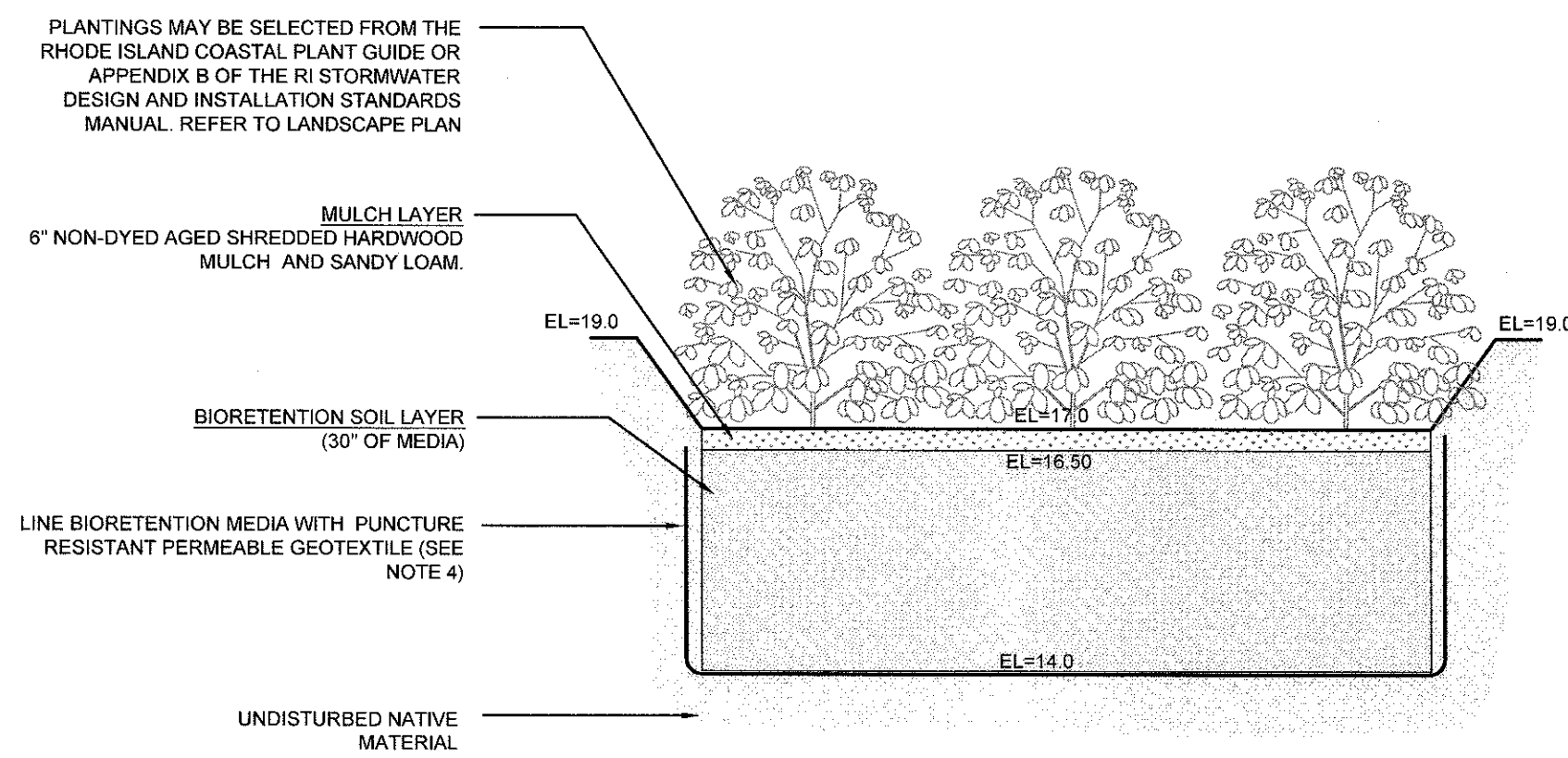




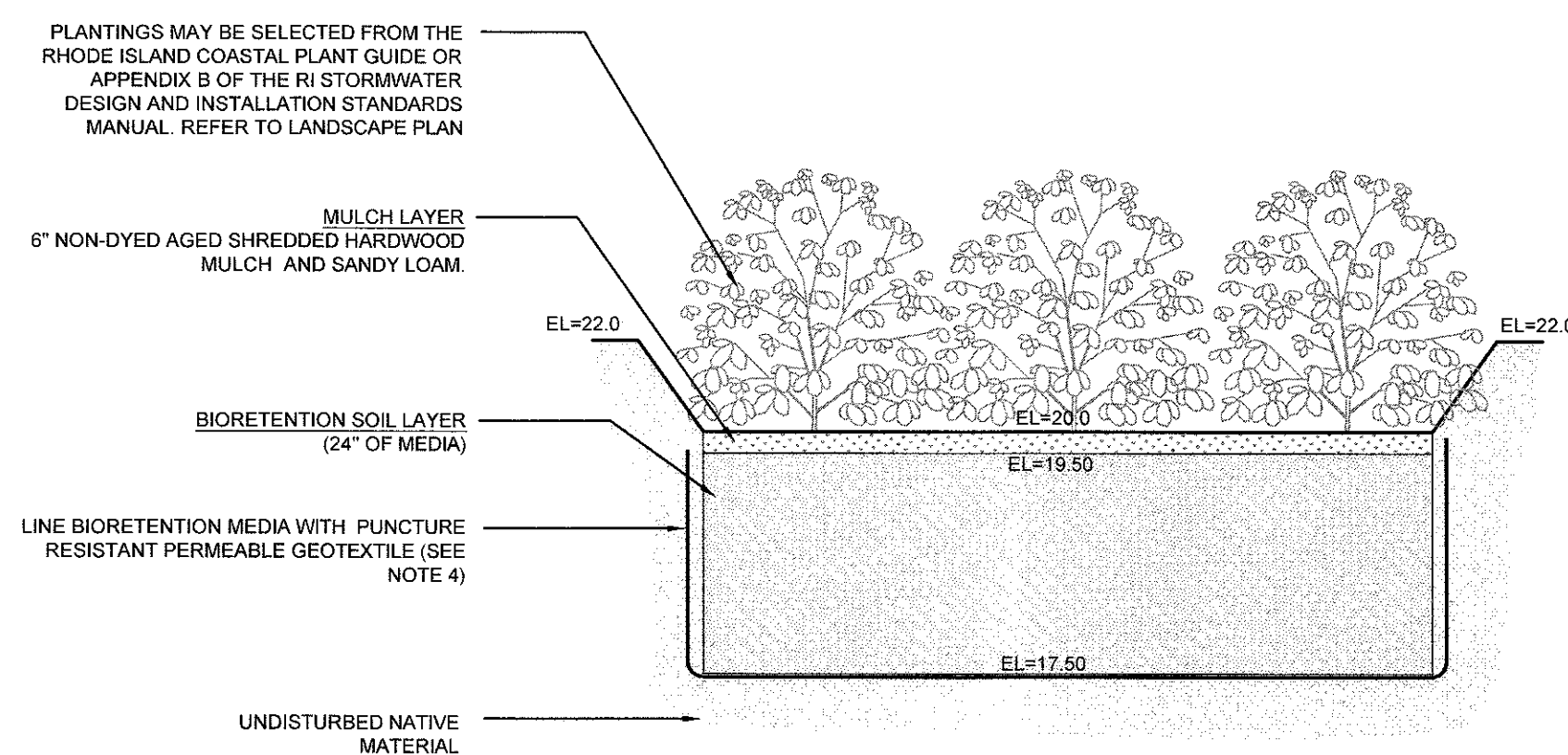
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BIORETENTION FILTER B-1



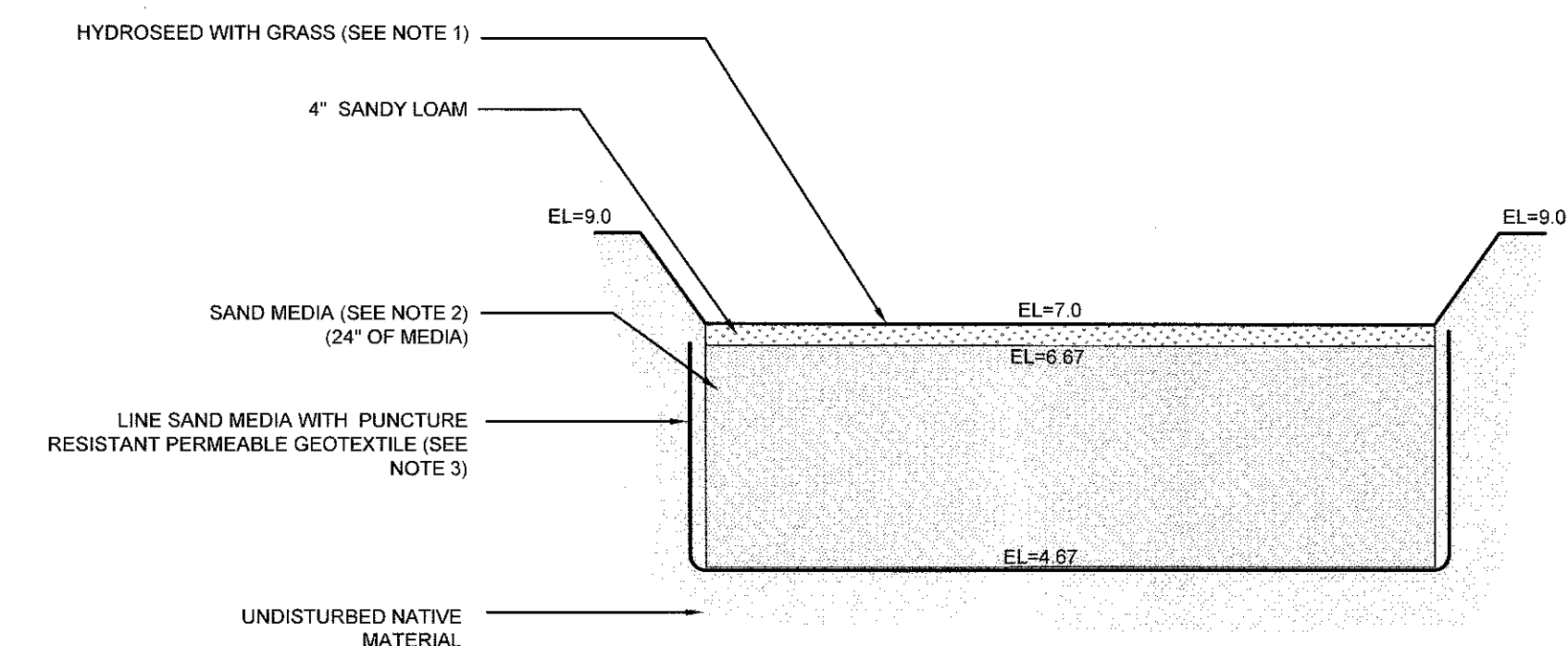
BIORETENTION FILTER B-3

NOTES:

1. BIORETENTION FILTER PLANTINGS MAY BE SELECTED FROM THE RHODE ISLAND COASTAL PLANT GUIDE OR APPENDIX B OF THE RI STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL. REFER TO LANDSCAPE PLANS.
2. PLANTINGS MUST BE DENSE AND COVER THE ENTIRETY OF THE FILTER SURFACE.
3. BIORETENTION SOIL SHALL CONSIST OF USDA LOAMY SAND AND MEET THE FOLLOWING GRADATIONS: SAND 85-88% SILT 8-12%, CLAY 0-2%, AND ORGANIC MATTER (LEAF COMPOST) 3-5%.
4. PERMEABLE GEOTEXTILE FABRIC SHALL HAVE A PUNCTURE STRENGTH OF 125 LBS. A BURST STRENGTH OF 400 PSI (ASTM D 1117) AND A TENSILE STRENGTH OF 300 LBS (ASTM D 1682). FABRIC SHALL BE MIN 0.08" THICK WITH AN EQUIVALENT OPENING SIZE OF #80 SIEVE AND A MINIMUM FLOW RATE OF 125 GPM PER SQUARE FOOT.

BIORETENTION FILTER SECTIONS

SCALE: NOT TO SCALE



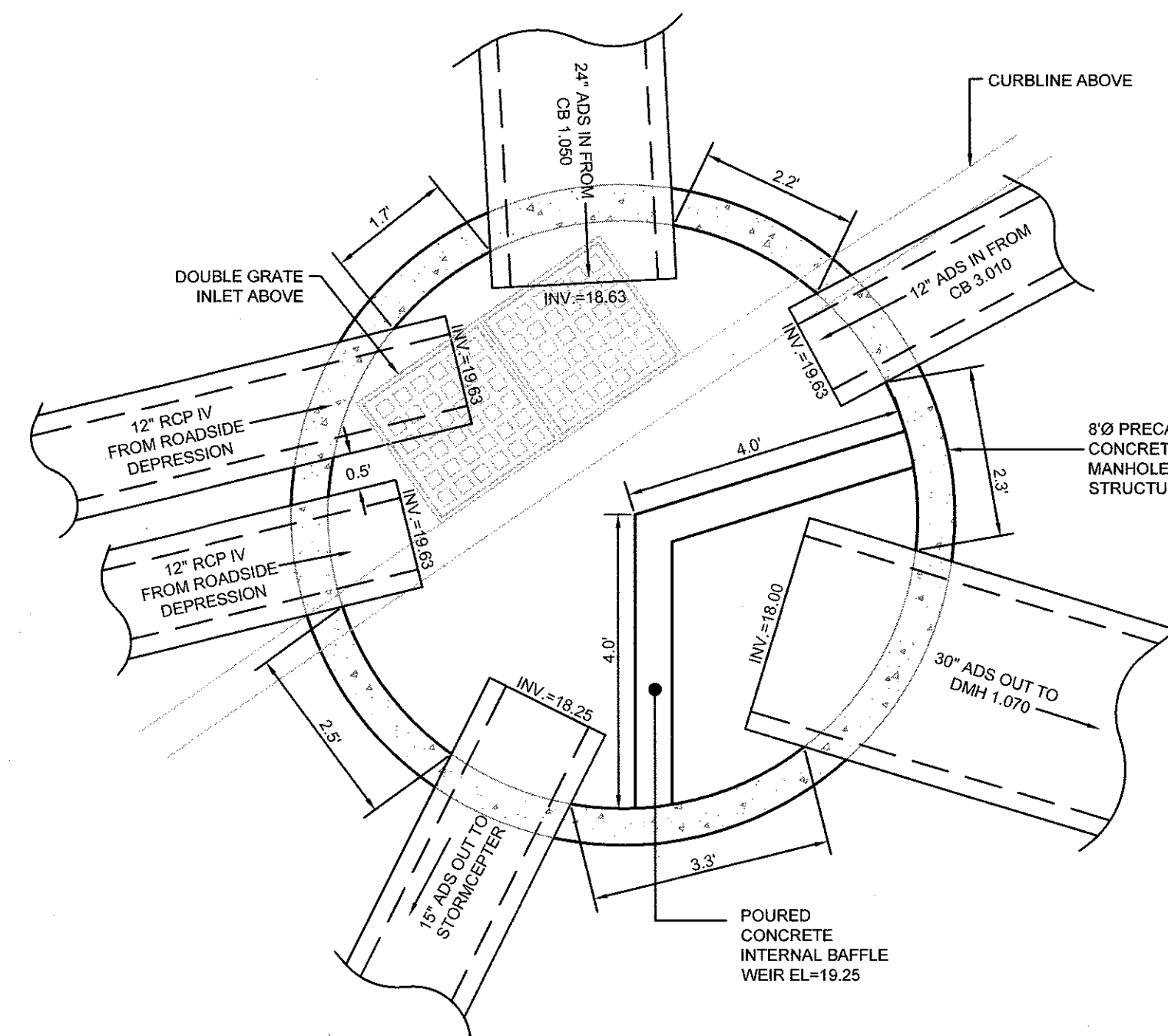
SAND FILTER B-2

SAND FILTER NOTES:

1. SAND FILTER SHALL BE PLANTED WITH NEW ENGLAND WETMIX (WETLAND SEED MIX) BY NEW ENGLAND WETLAND PLANTS, INC. OR APPROVED EQUAL.
2. SAND FILTER SAND TO BE CLEAN AASHTO M-6 OR ASTM C-33 CONCRETE SAND (0.02" TO 0.04") SAND SUBSTITUTIONS SUCH AS DIABASE AND GRAYSTONE #10 ARE NOT ACCEPTABLE. NO CALCIUM CARBONATED OR DOLOMITIC SAND SUBSTITUTIONS ARE ACCEPTABLE. NO ROCK DUST CAN BE USED AS SAND.
3. PERMEABLE GEOTEXTILE FABRIC SHALL HAVE A PUNCTURE STRENGTH OF 125 LBS. A BURST STRENGTH OF 400 PSI (ASTM D 1117) AND A TENSILE STRENGTH OF 300 LBS (ASTM D 1682). FABRIC SHALL BE MIN 0.08" THICK WITH AN EQUIVALENT OPENING SIZE OF #80 SIEVE AND A MINIMUM FLOW RATE OF 125 GPM PER SQUARE FOOT.

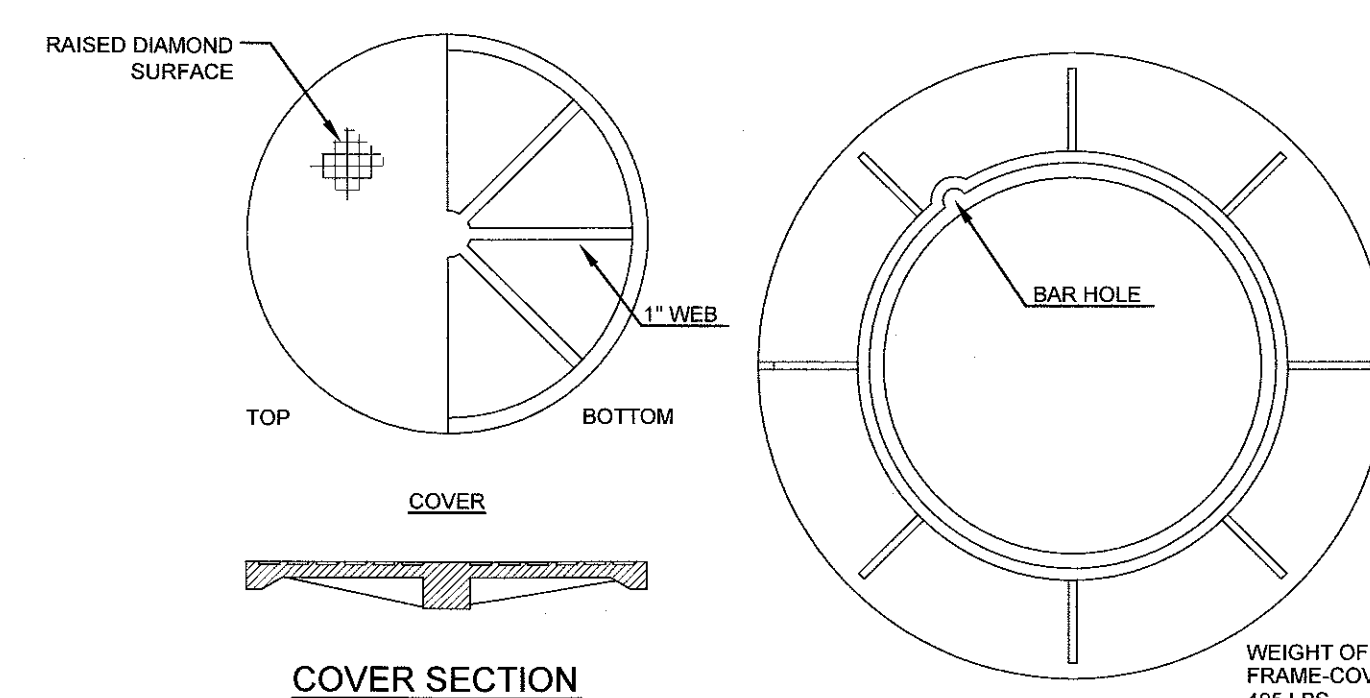
SAND FILTER SECTION

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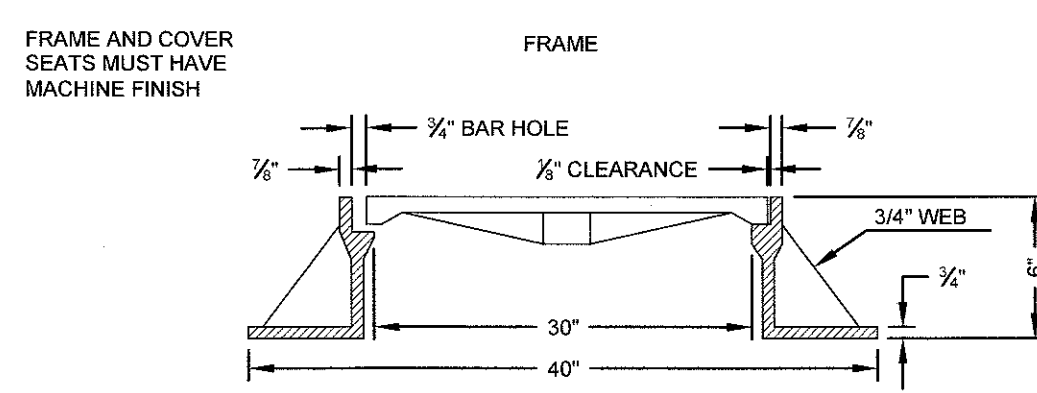


CB1.060 DIVERSION STRUCTURE PLAN VIEW DETAIL

SCALE: 1"=2'

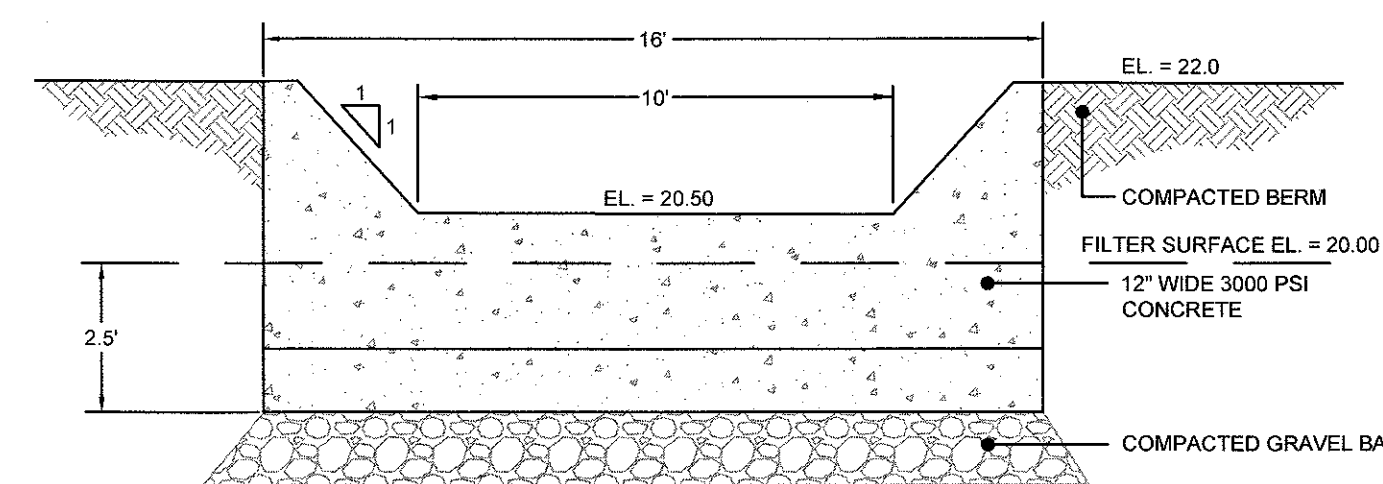


COVER SECTION



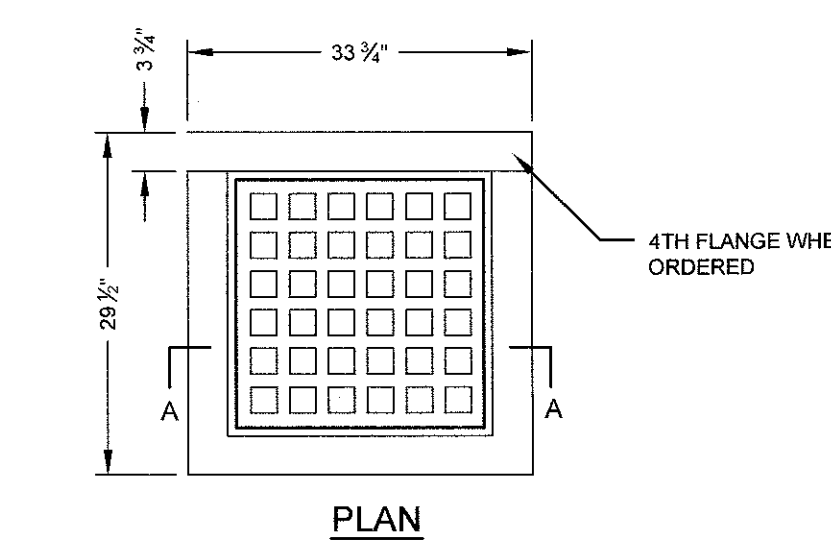
ROUND FRAME AND COVER

SCALE: NOT TO SCALE

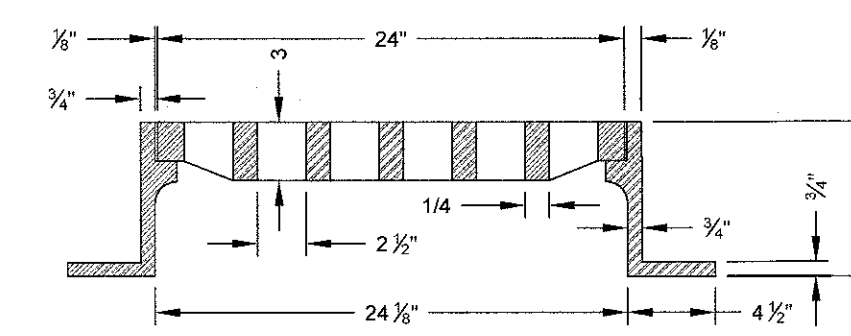


BIORETENTION B-3 CONCRETE OUTLET WEIR DETAIL

SCALE: NOT TO SCALE



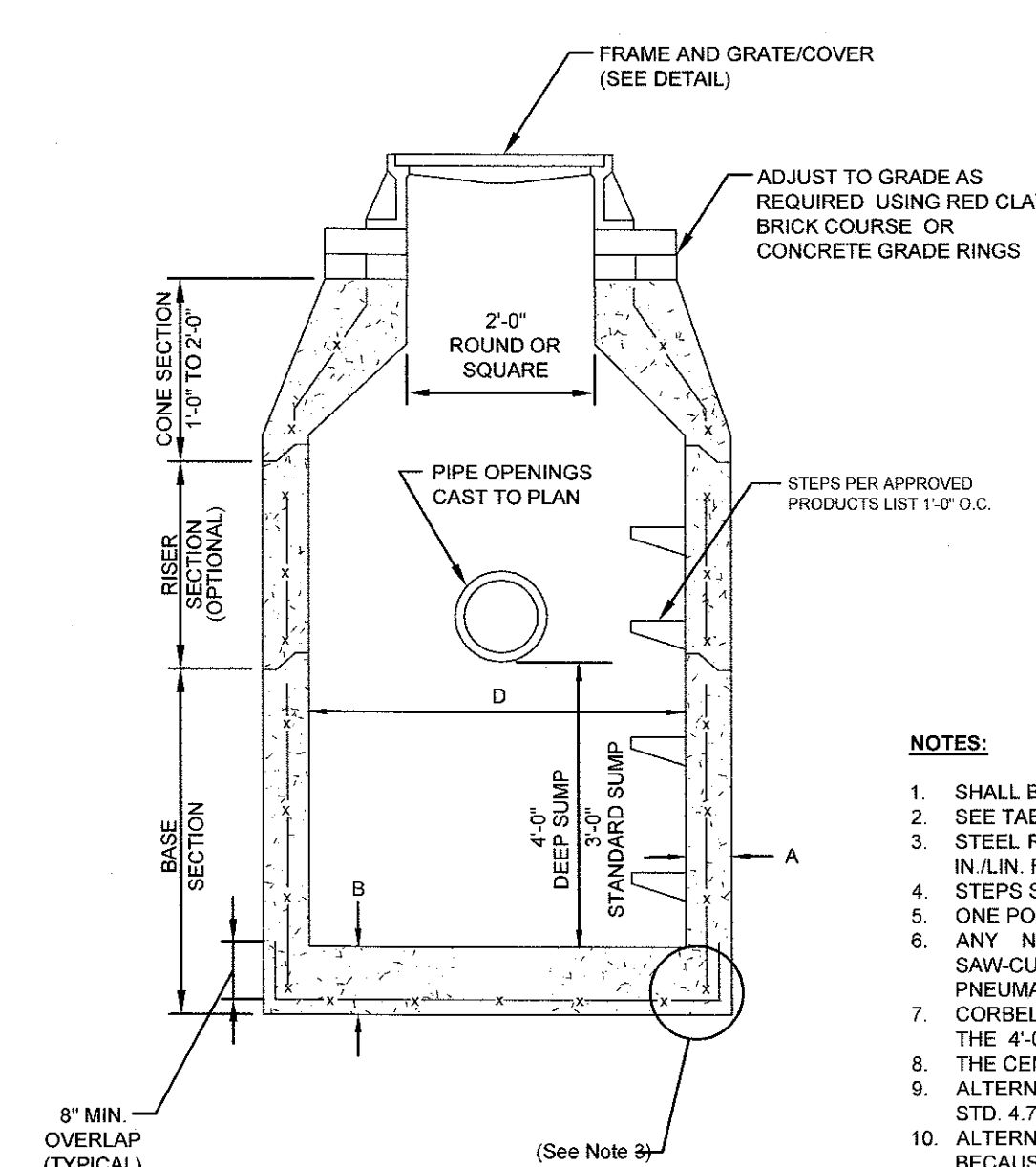
PLAN



SECTION A-A

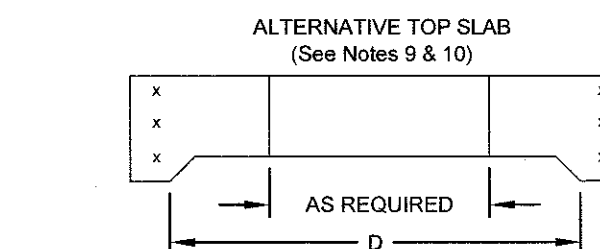
SQUARE FRAME AND GRATE (RIDOT 6.3.0)

SCALE: NOT TO SCALE



PRECAST ROUND CATCH BASIN & DRAIN MANHOLE (RIDOT 4.4.0)

SCALE: NOT TO SCALE



ALTERNATIVE TOP SLAB

(See Notes 9 & 10)

CATCH BASIN DIAMETER (D)	TABLE 1		CIRCUMFERENTIAL STEEL REINFORCEMENT REQUIRED*
	A	B	
4'-0"	5"	6"	0.12 SQ. IN./LIN. FT.
5'-0"	6"	7"	0.15 SQ. IN./LIN. FT.
6'-0"	7"	8"	0.18 SQ. IN./LIN. FT.
8'-0"	9"	8"	REFER TO MANUFACTURER

* FOR LONGITUDINAL (VERTICAL STANDING) REINFORCEMENT REFER TO ASTM C478, ITEM 8.1.2

NOTES:

1. SHALL BE ACCORDANCE WITH SECTION 702 OF THE R.I. STANDARD SPECIFICATION.
2. SEE TABLE 1 FOR STEEL REINFORCEMENT REQUIREMENTS.
3. STEEL REINFORCEMENT FOR BASE SECTION BOTTOM SHALL BE A MINIMUM OF 0.12 SQ. IN./LIN. FT. (BOTH WAYS).
4. STEPS SHALL CONFORM TO STD. 5.3.0 AND SHALL BE INSTALLED AT THE CASTING PLANT.
5. ONE POUR MONOLITHIC BASE SECTION.
6. ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAWCUTTING AND/OR CORING ONLY. NO JACK-HAMMERS, HAMMERS AND CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.
7. CORBEL MADE OF RED CLAY BRICK WILL BE PERMITTED FOR THE "CONE SECTION" OF THE 4'-0" CATCH BASIN ONLY.
8. THE CENTERLINE OF THE OPENING MUST BE WITHIN 2'-0" FROM THE STEPS.
9. ALTERNATIVE TOP SLAB IS STEEL REINFORCED TO MEET OR EXCEED H-25 LOADING (SEE STD. 4.7.2).
10. ALTERNATIVE TOP SLAB IS ONLY FOR USE WHEN REDUCING SECTION DOES NOT FIT BECAUSE OF STRUCTURE DEPTH.
11. REFER TO STD. 5.2.0 FOR MAXIMUM PIPE SIZES.

No.	Revision	Date	App.
1	SUBMISSION REVISIONS	21MAY21	

Designed By: JJR Drawn by: JJR Checked by: GES
Scale: AS SHOWN Date: 22APR21

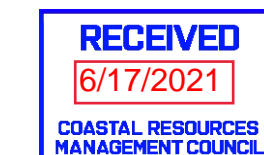
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ROGER WILLIAMS AVENUE
EAST PROVIDENCE
RHODE ISLAND

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10 GREEN STREET
PROVIDENCE, RI 02903

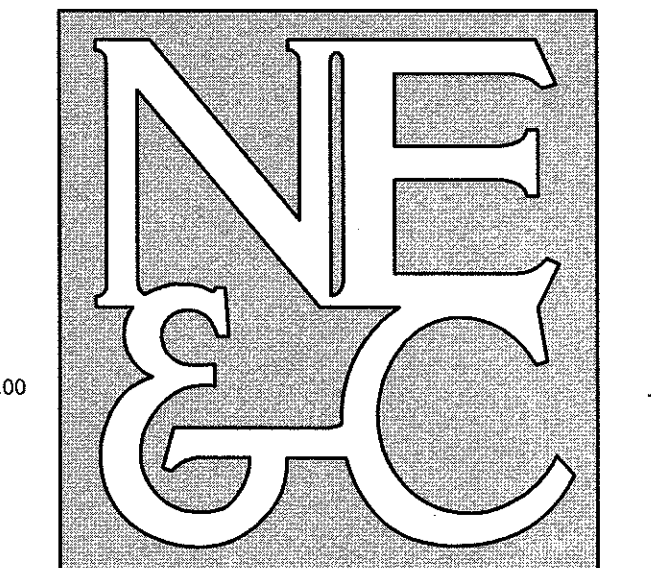
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Drawing Title:
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DETAIL SHEET 2

	Drawing Number: C-19
	Sheet 19 of 22
	Project Number: 20072.0
	Survey Index:



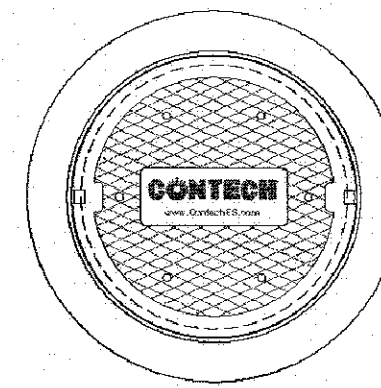
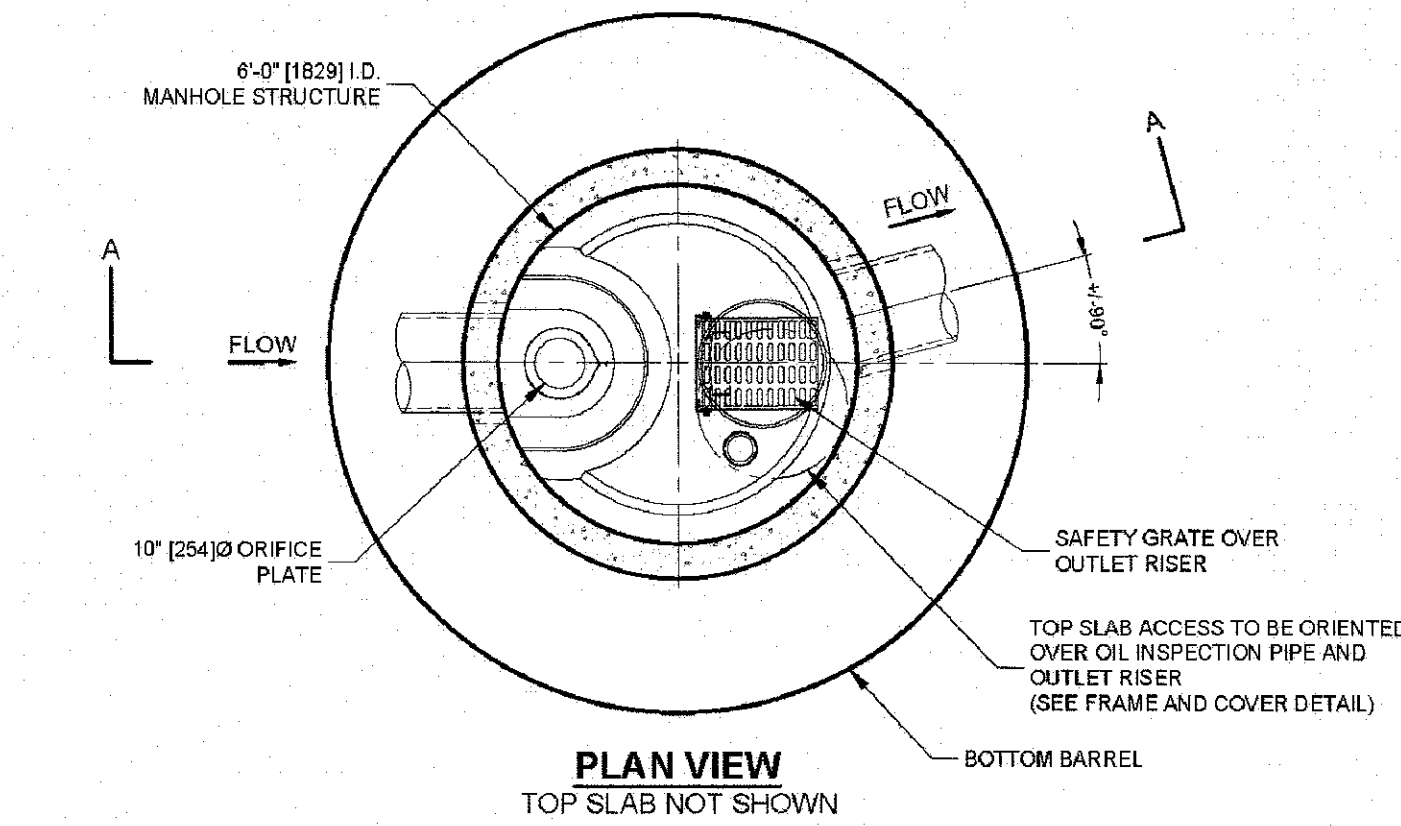
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A KNOWLEDGE CORPORATION®

6 VALLEY ROAD MIDDLETOWN RHODE ISLAND 02842
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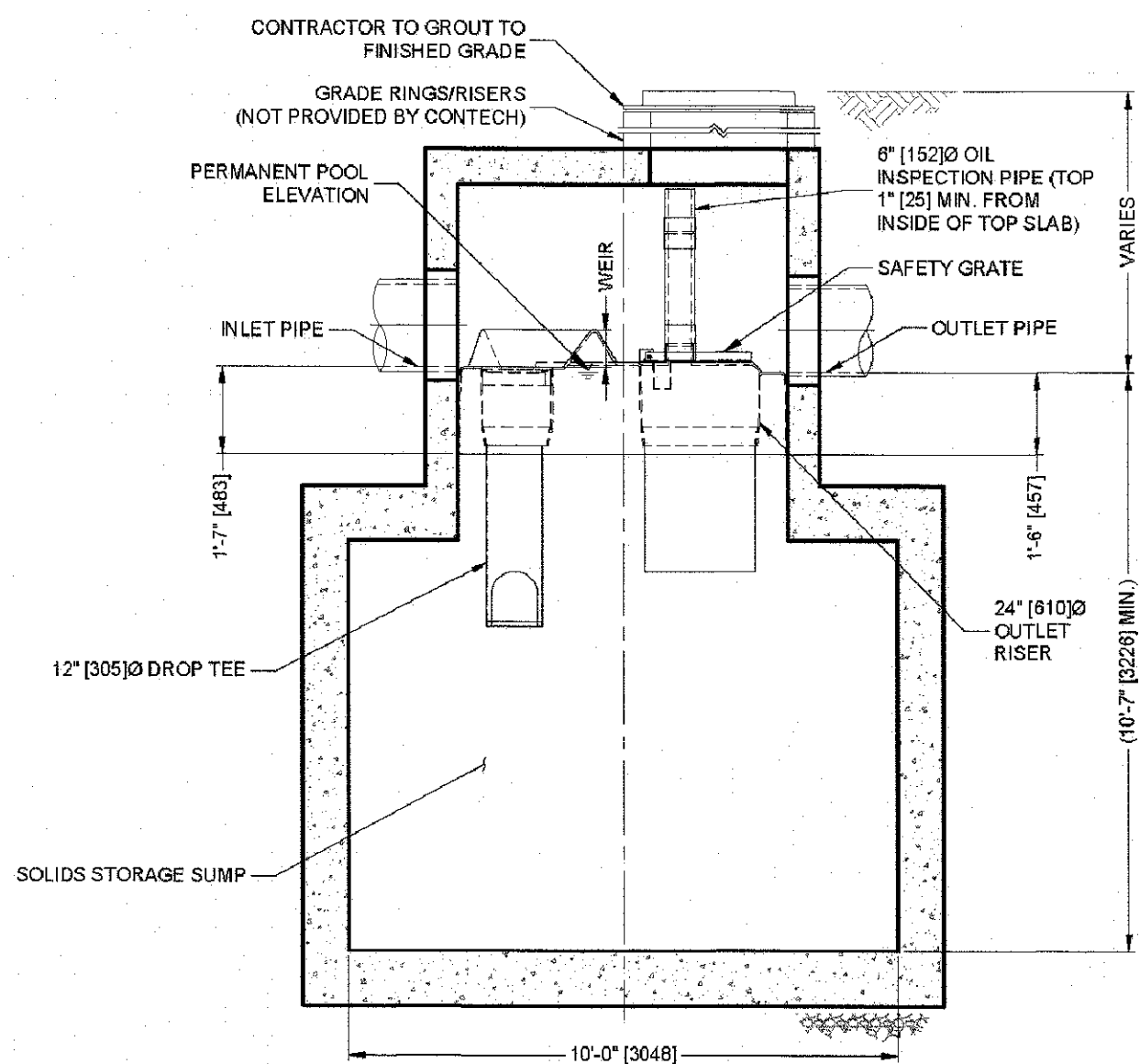
SITE/CIVIL
 LAND PLANNING
 WATERFRONT
 SURVEYING
 GEOTECHNICAL
 ENVIRONMENTAL
 TRANSPORTATION
 STRUCTURAL



FRAME AND COVER
 (MAY VARY)
 NOT TO SCALE

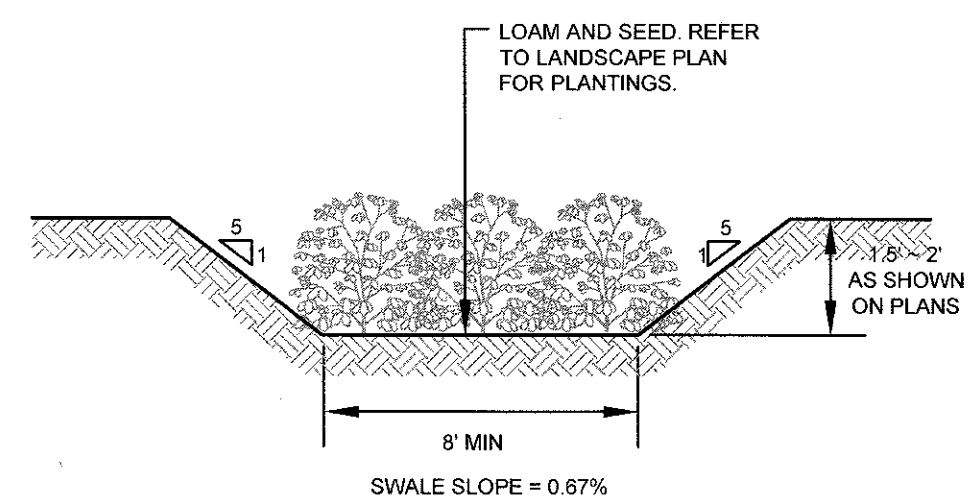
NOTES
 PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
 SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT. PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.contechES.com
 STORMCEPTOR WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
 STORMCEPTOR STRUCTURE SHALL MEET AASHTO H200 LOAD RATING, ASSUMING EARTH COVER OF 0'-2' (610) AND GROUNDWATER TABLE AT OR BELOW THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. STINGS SHALL MEET AASHTO M309 AND BE CAST WITH THE CONTECH LOGO.
 STORMCEPTOR STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C478 AND AASHTO LOAD FACTOR DESIGN METHOD. TERMINATE UNITS ARE SHOWN IN MILLIMETERS (mm).

INSTALLATION NOTES
 1. SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
 2. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMCEPTOR MANHOLE STRUCTURE.
 3. CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
 4. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPE(S). MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
 5. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.



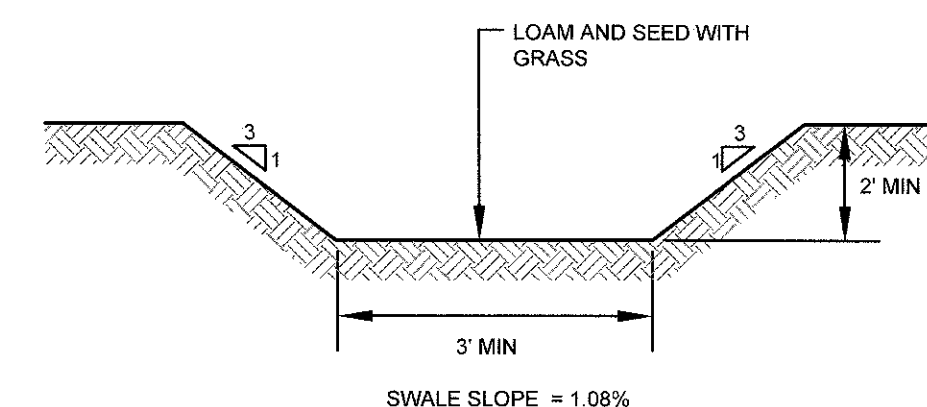
SECTION A-A

STORMCEPTOR STC4800 STANDARD DETAIL (BIORETENTION B-1 PRETREATMENT)
 SCALE: NOT TO SCALE

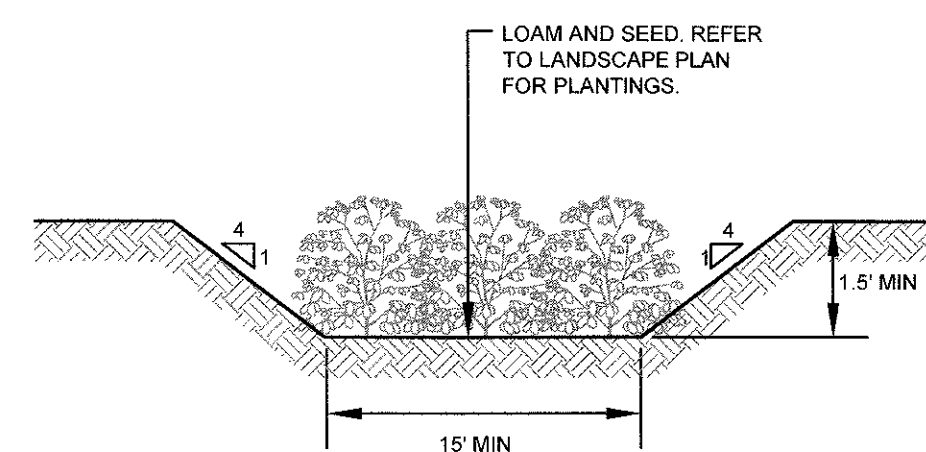


NOTE: PLANTINGS MAY BE SELECTED FROM THE RHODE ISLAND COASTAL PLANT GUIDE OR APPENDIX B OF THE RI STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL. REFER TO LANDSCAPE PLAN.

SWALE 1: (VEGETATED DRY) CROSS SECTION
 SCALE: NOT TO SCALE

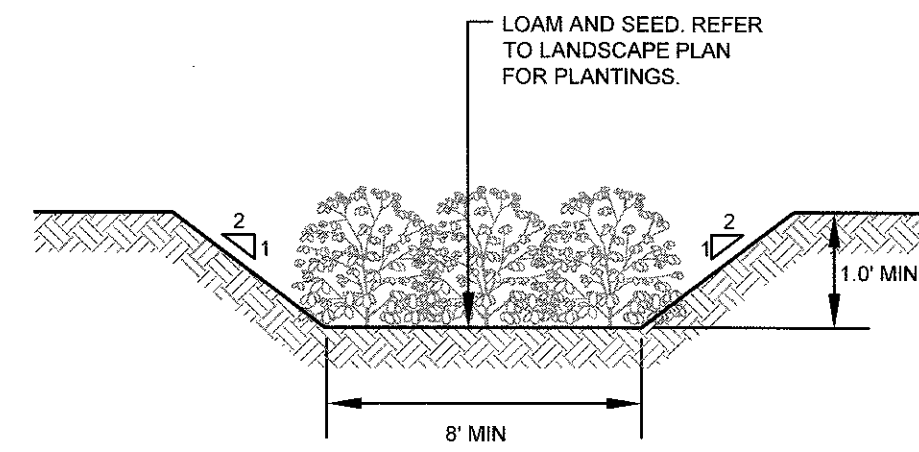


SWALE 2: (GRASS) CROSS SECTION
 SCALE: NOT TO SCALE



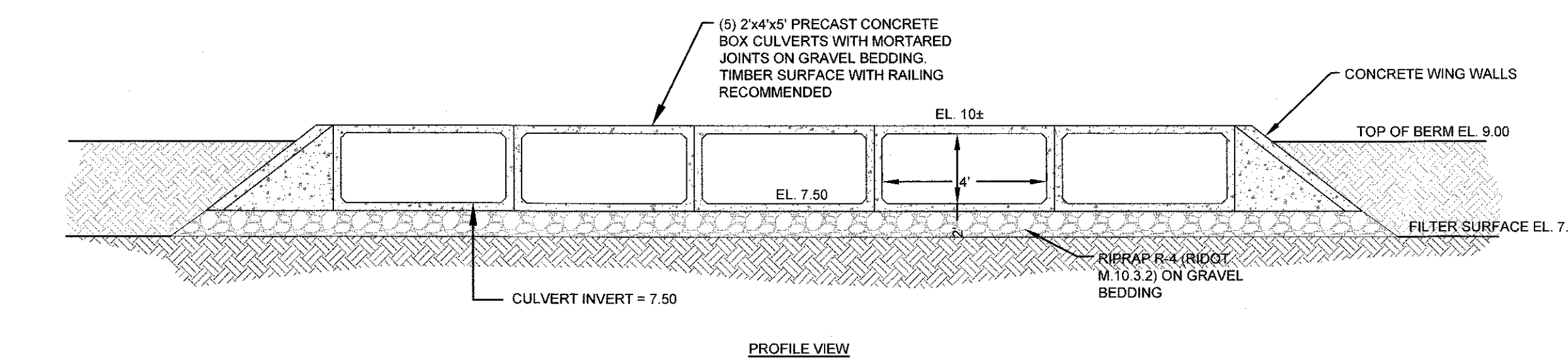
NOTE: PLANTINGS MAY BE SELECTED FROM THE RHODE ISLAND COASTAL PLANT GUIDE OR APPENDIX B OF THE RI STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL. REFER TO LANDSCAPE PLAN.

SWALE 3: (VEGETATED DRY) CROSS SECTION
 SCALE: NOT TO SCALE

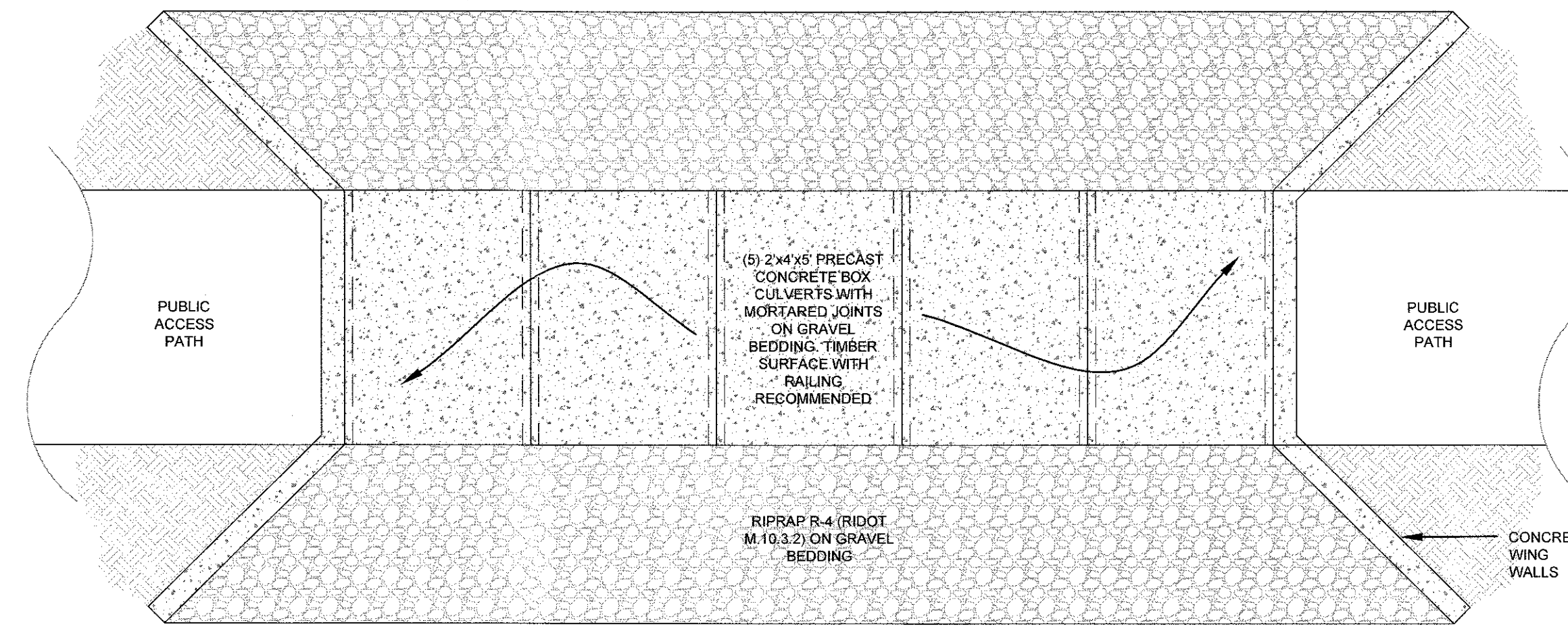


NOTE: PLANTINGS MAY BE SELECTED FROM THE RHODE ISLAND COASTAL PLANT GUIDE OR APPENDIX B OF THE RI STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL. REFER TO LANDSCAPE PLAN.

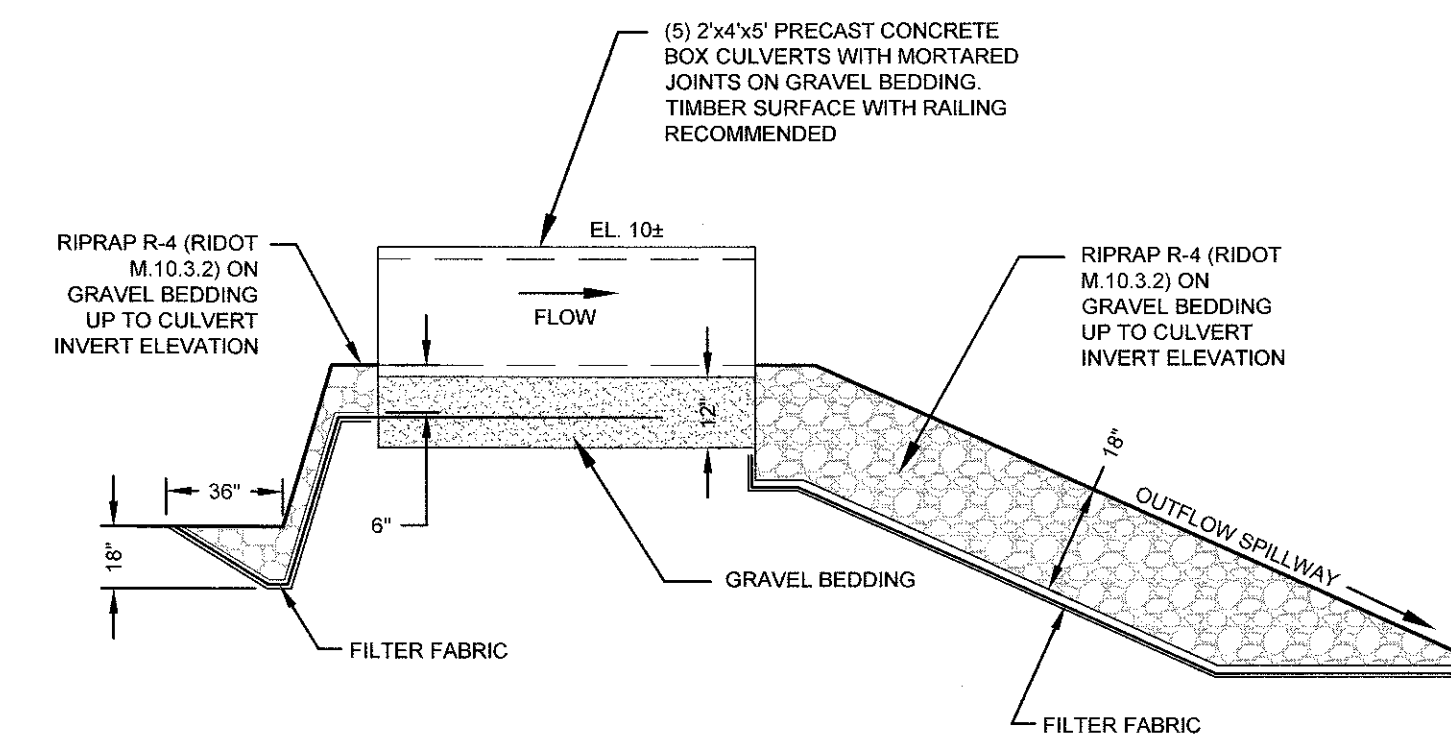
SWALE 4: (VEGETATED DRY) CROSS SECTION
 SCALE: NOT TO SCALE



PROFILE VIEW



TOP VIEW



SECTION VIEW

SAND FILTER B-2 OVERFLOW WEIR DETAILS
 SCALE: NOT TO SCALE



SUBMISSION REVISIONS		21MAY21	
No.	Revision	Date	App.
1			

Designed By: JJR Drawn by: JJR Checked by: GES
 Scale: AS SHOWN Date: 22APR21

Project Title:
"EAST POINT"
 MAP 203 BLOCK 1 LOT 4
 MAP 303 BLOCK 13 LOTS 4 & 5
 ROGER WILLIAMS AVENUE
 EAST PROVIDENCE
 RHODE ISLAND

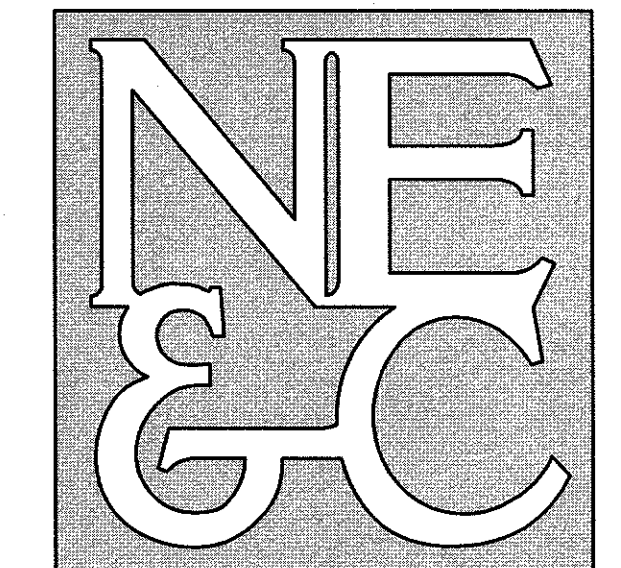
Client/Owner:
 NOBLE DEVELOPMENT, LLC
 10 GREEN STREET
 PROVIDENCE, RI 02903

Issued for:
 PERMITTING

Drawing Title:
PROPOSED
 DETAIL SHEET 3

	Drawing Number: C-20
	Sheet 20 of 22
	Project Number: 20072.0
	Survey Index: -

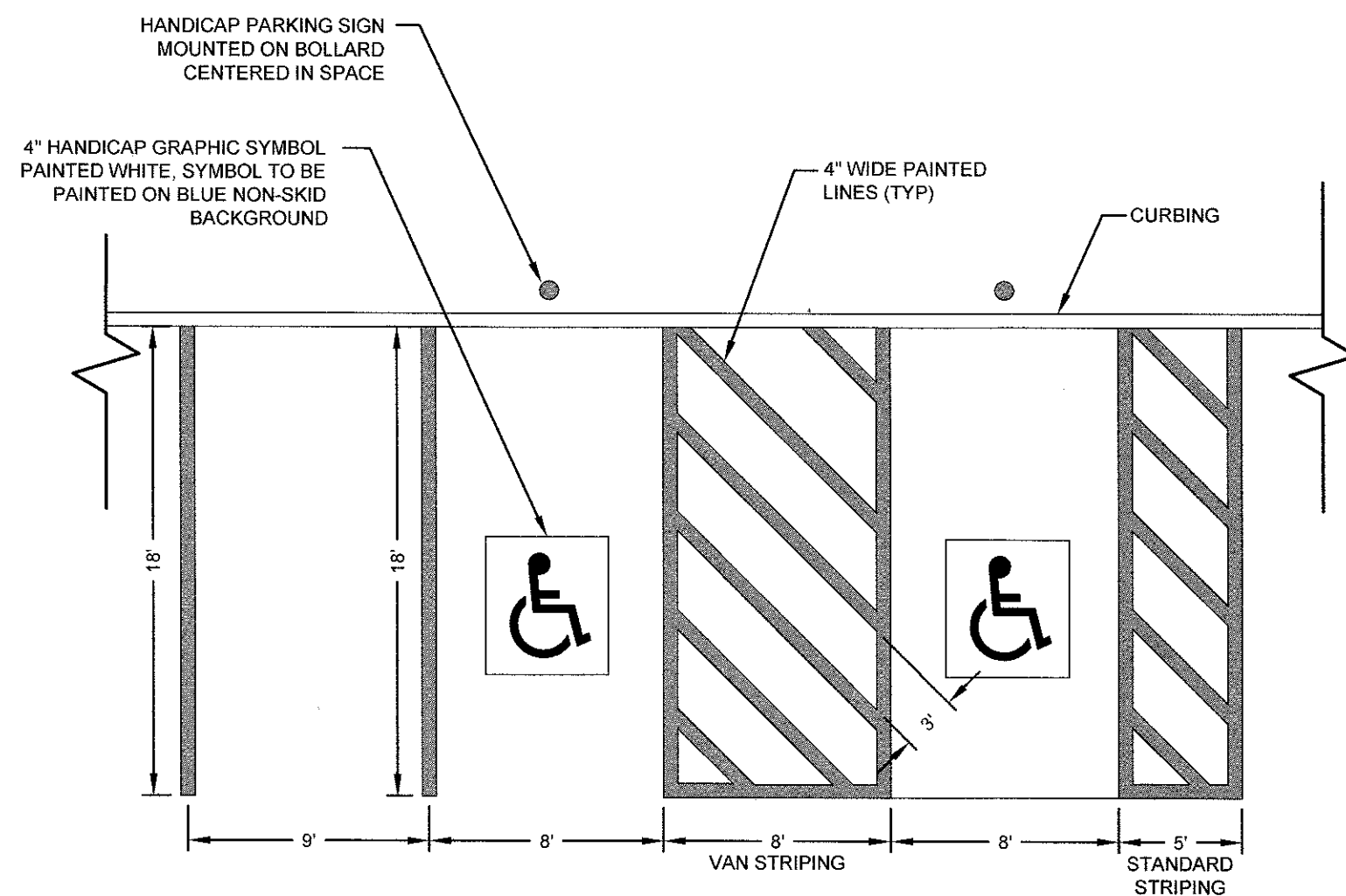
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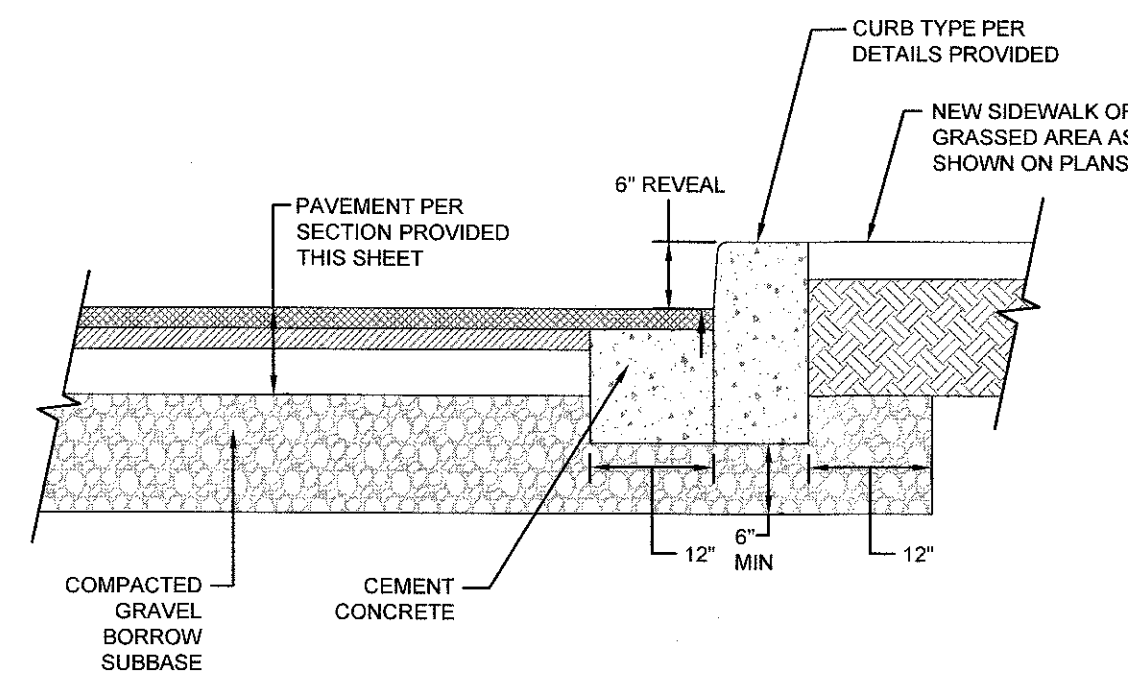
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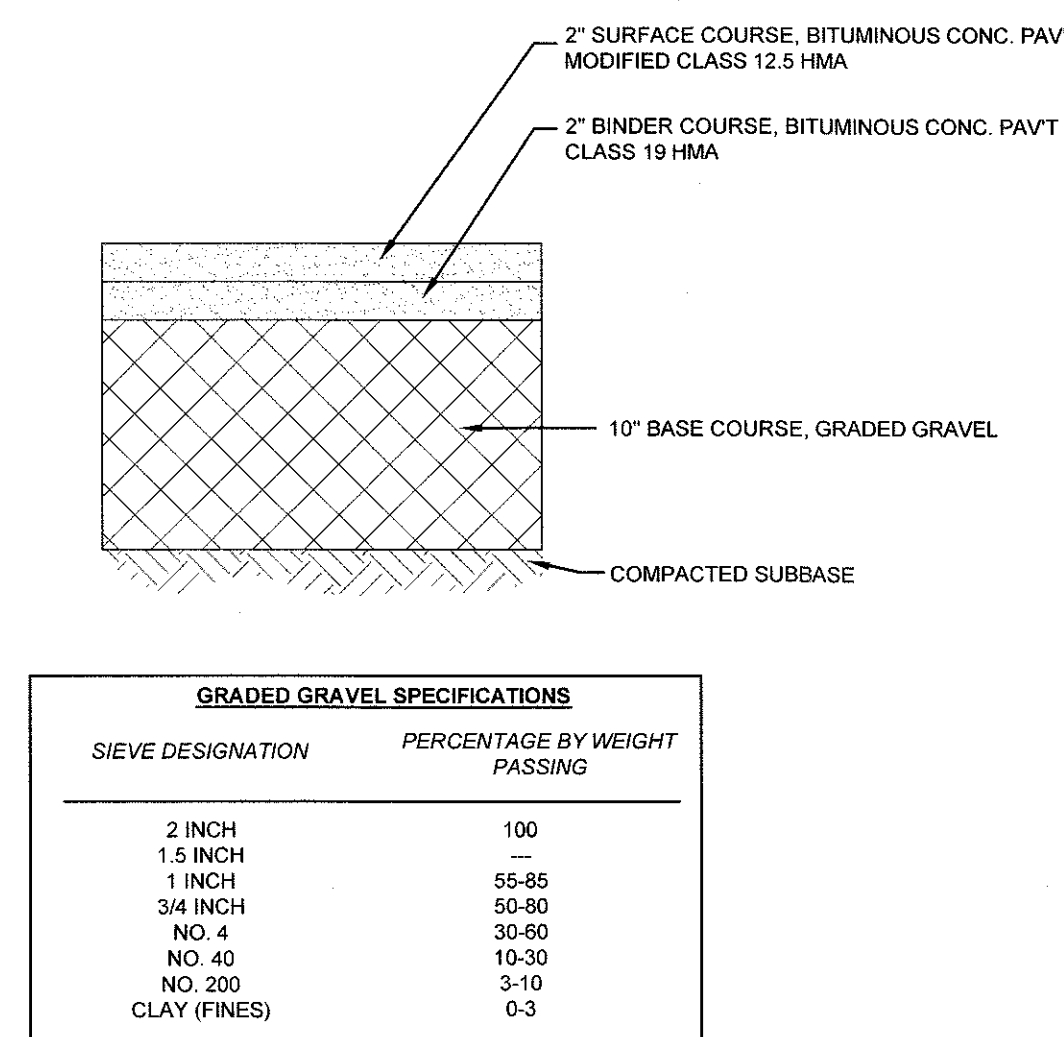
SITE/CIVIL
 LAND PLANNING
 WATERFRONT
 SURVEYING
 GEOTECHNICAL
 ENVIRONMENTAL
 TRANSPORTATION
 STRUCTURAL



PARKING STALL STRIPING
 SCALE: NOT TO SCALE



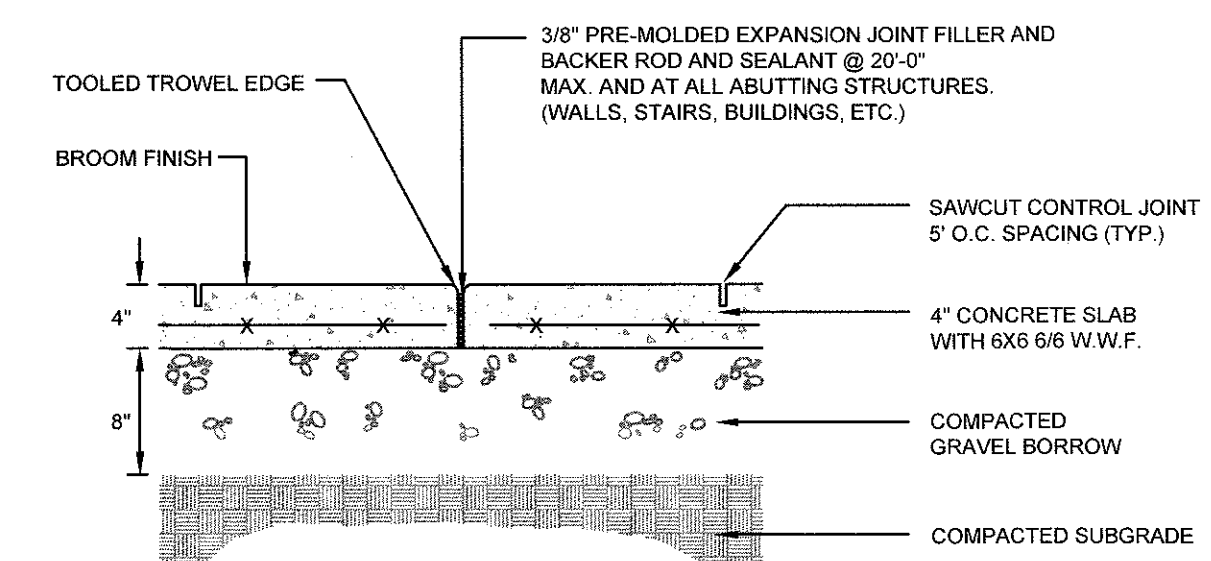
CURB SETTING DETAIL
 SCALE: NOT TO SCALE



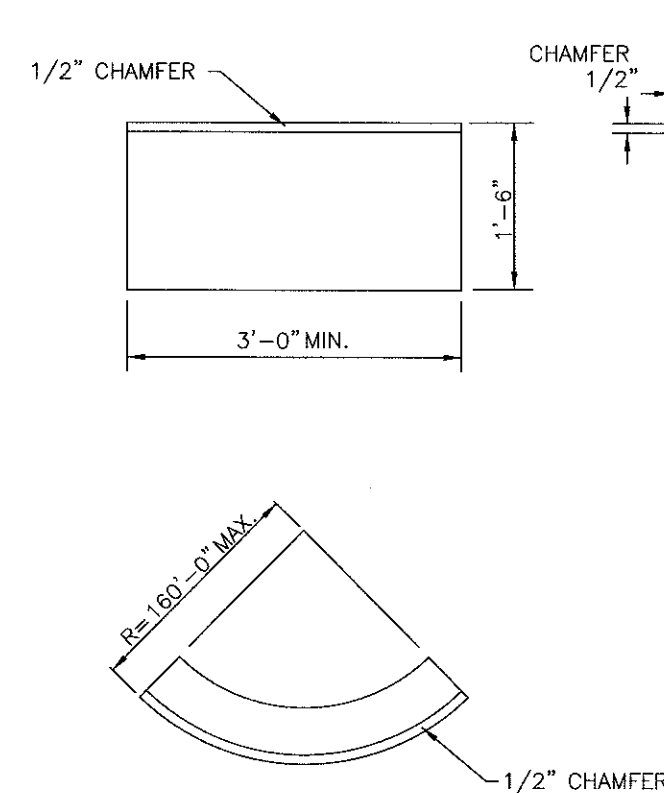
GRADED GRAVEL SPECIFICATIONS

SIEVE DESIGNATION	PERCENTAGE BY WEIGHT PASSING
2 INCH	100
1.5 INCH	---
3/4 INCH	55-85
NO. 4	30-60
NO. 40	10-30
NO. 200	3-10
CLAY (FINES)	0-3

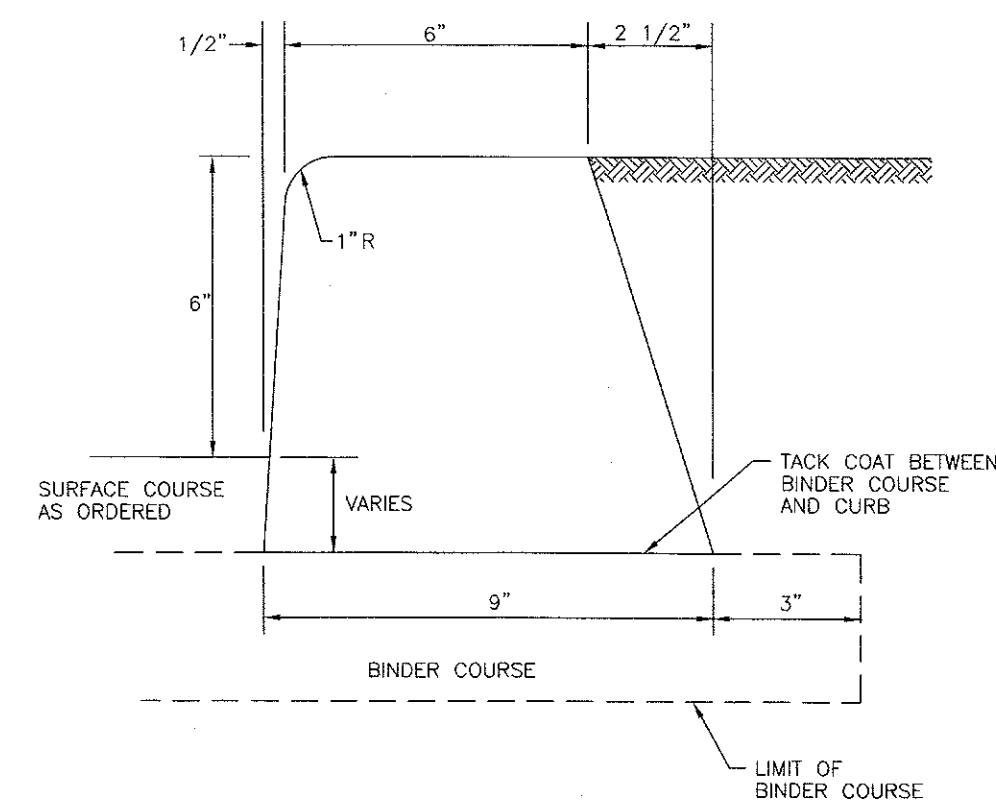
TYPICAL BITUMINOUS PAVEMENT SECTION
 SCALE: NOT TO SCALE



CONCRETE WALKWAY SECTION
 SCALE: NOT TO SCALE



CIRCULAR CURB

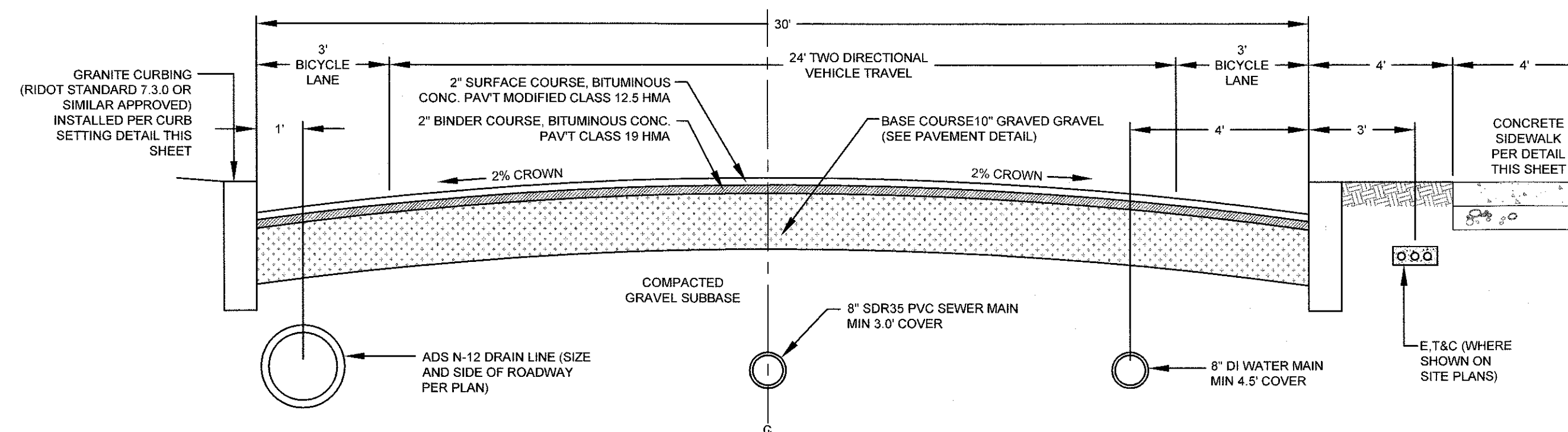


NOTE: SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.

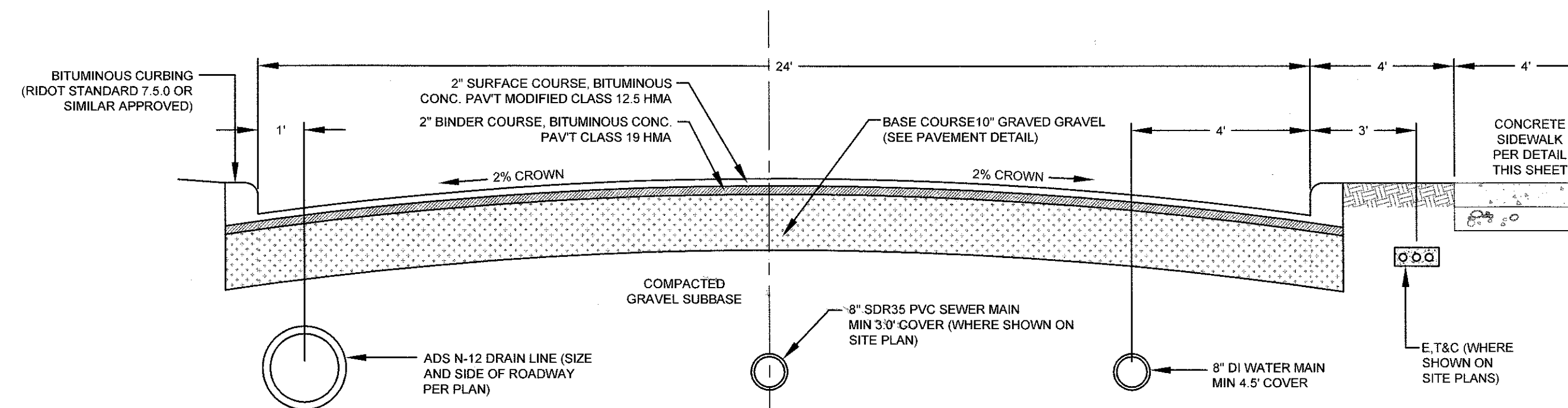
NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
 2. TOP SURFACE TO BE DRESSED BY SAW. REMAINDER MAY BE QUARRY SPLIT.
 3. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR PIECES TO BE 3'-0".
 4. CIRCULAR CURB IS REQUIRED ON CURVES WITH RADIUS OF 160'-0" OR LESS. STRAIGHT CURB TO BE USED ON CURVES OF MORE THAN 160'-0" RADIUS.

GRANITE CURB (MAIN ROAD ONLY) RIDOT STD 7.3.0
 SCALE: NOT TO SCALE

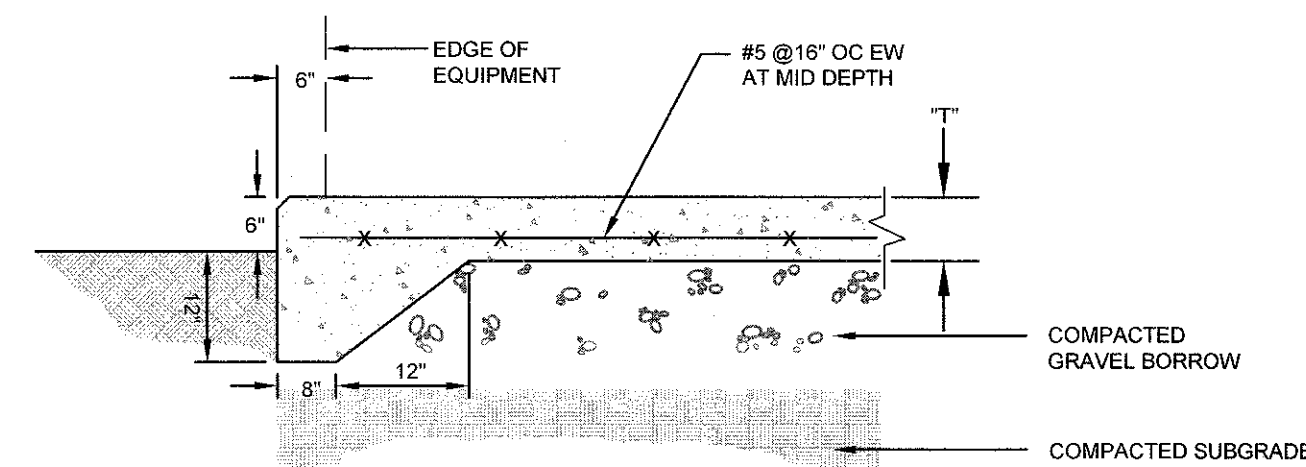
GRANITE CURB (RESIDENTIAL ACCESS ROADS) RIDOT STD 7.5.0
 SCALE: NOT TO SCALE



ROAD SECTION (30' WIDE MAIN ROAD)
 SCALE: NOT TO SCALE

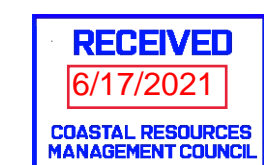


ROAD SECTION (24' RESIDENTIAL ACCESS ROADS 2 & 3)
 SCALE: NOT TO SCALE



NOTE: IF LENGTH OR WIDTH EXCEEDS 8'-0" THEN "T" = 8", OTHERWISE "T" = 6"

TYPICAL EXTERIOR EQUIPMENT PAD SECTION
 SCALE: NOT TO SCALE



No.	Revision	Date	App.
1	SUBMISSION REVISIONS	21MAY21	

Designed by: JJR Drawn by: JJR Checked by: GES
 Scale: AS SHOWN Date: 22APR21

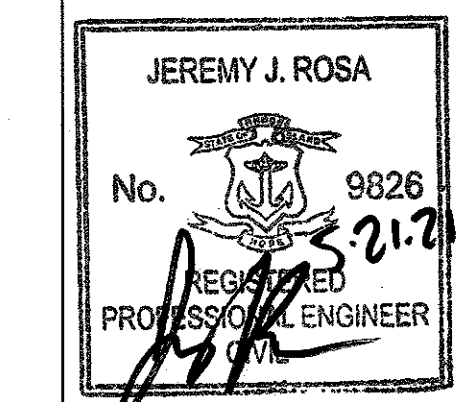
Project Title:
"EAST POINT"
 MAP 203 BLOCK 1 LOT 4
 MAP 303 BLOCK 13 LOTS 4 & 5
 ROGER WILLIAMS AVENUE
 EAST PROVIDENCE
 RHODE ISLAND

Client/Owner:
 NOBLE DEVELOPMENT, LLC
 10 GREEN STREET
 PROVIDENCE, RI 02903

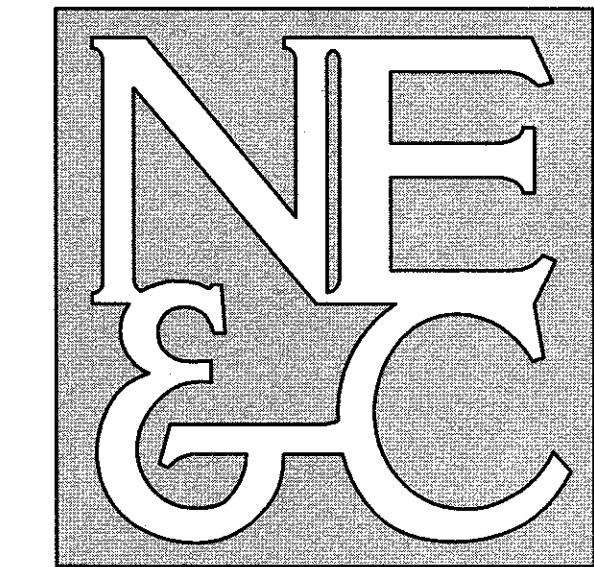
Issued for:
 PERMITTING

Drawing Title:
PROPOSED
 DETAIL SHEET 4

Drawing Number: C-21
Sheet 21 of 22
Project Number: 20072.0
Survey Index: -

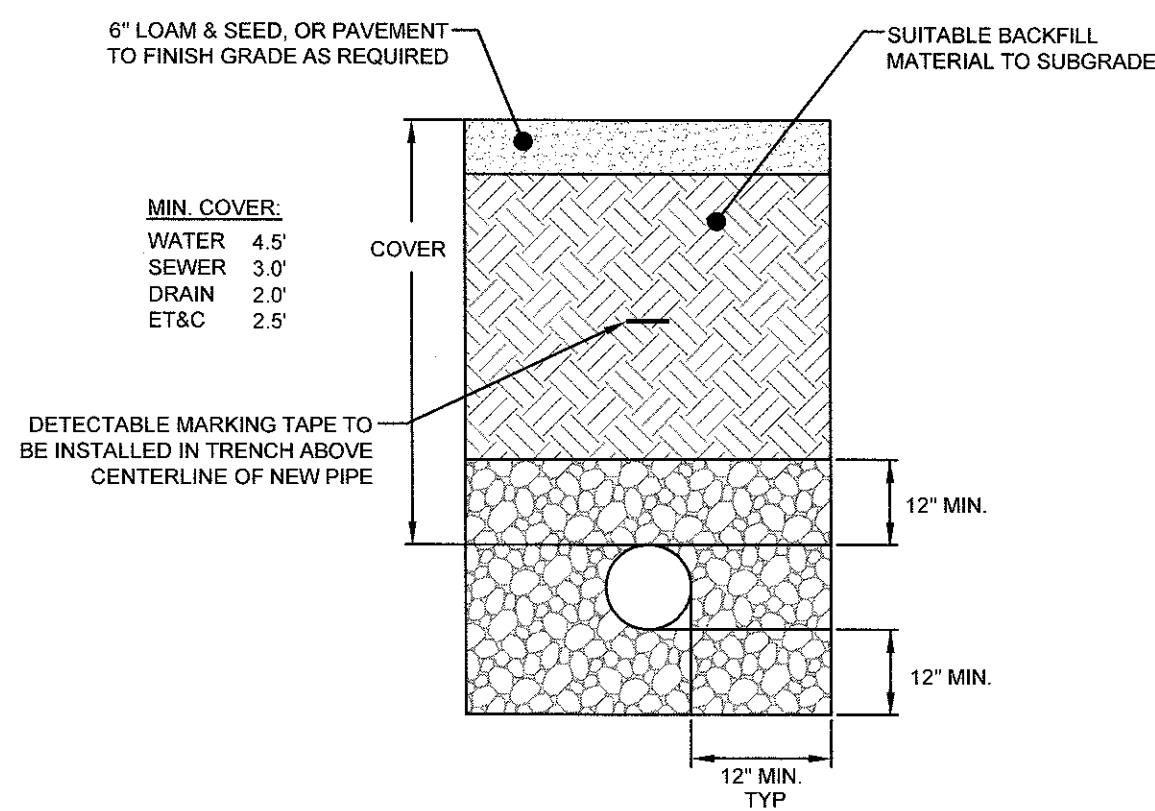


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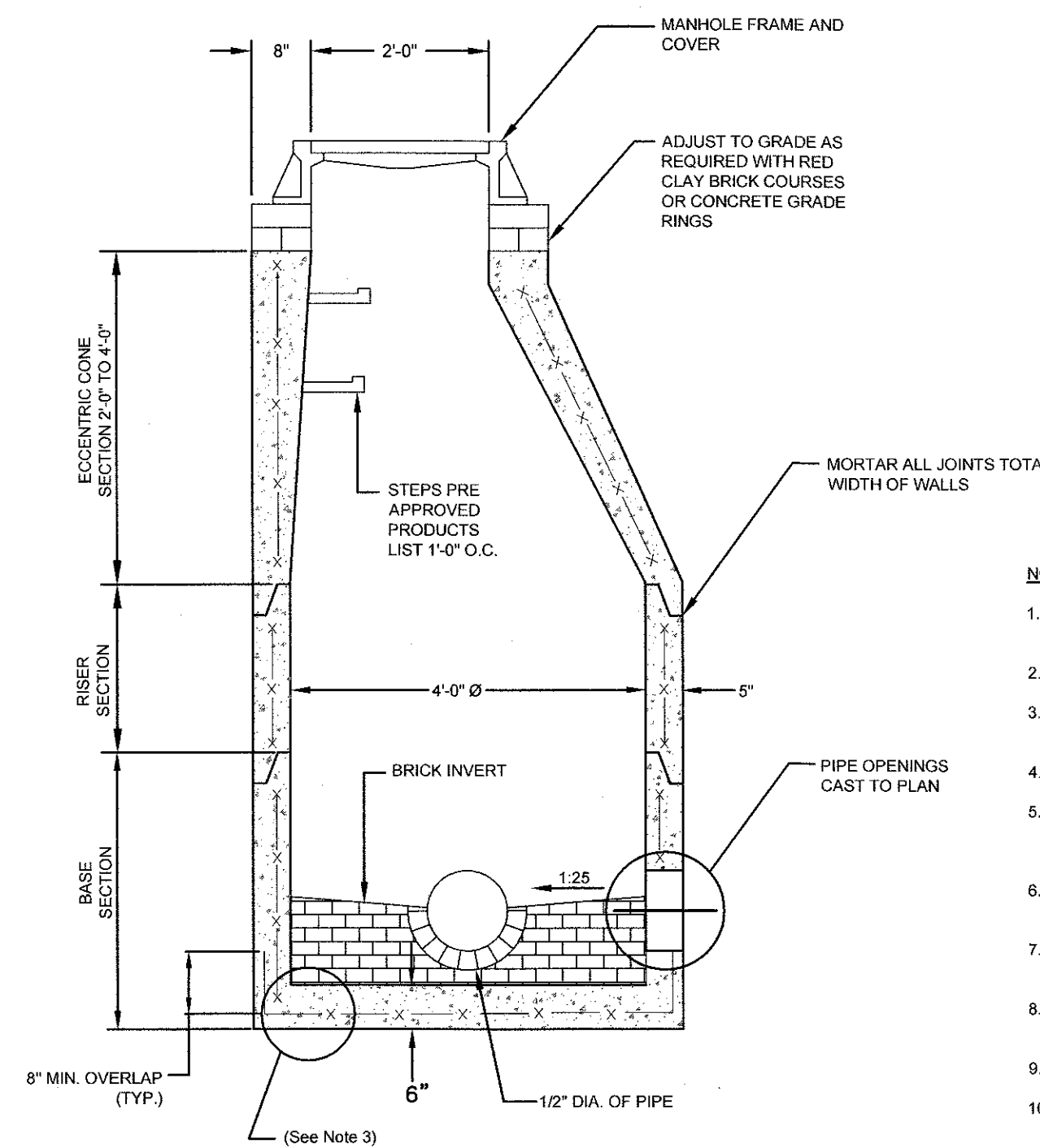


UTILITY TRENCH DETAIL

SCALE: NOT TO SCALE

NOTES:

- UNSATURABLE MATERIAL SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 12-INCHES BELOW THE DESIGN INVERT ELEVATION.
- TRENCH PROTECTION SHALL BE REQUIRED IN ACCORDANCE WITH OSHA REGULATIONS, AND AS OTHERWISE REQUIRED TO PROTECT UTILITIES, ROADWAYS, AND ADJACENT STRUCTURES.
- SEWER AND DRAIN PIPES SHALL BE LAID BEGINNING AT THE DOWNSTREAM END OF THE PIPE LINE.
- ALL PVC SEWER PIPES SHALL BE IPEX RING-TITE SDR 35, OR SIMILAR APPROVED.
- ALL DRAIN PIPES SHALL BE ADS N-12 TYPE IB (SOILTIGHT) UNLESS OTHERWISE INDICATED.
- ALL SEWER PIPE AND GASKETS SHALL CONFORM TO ASTM 3034 AND ASTM F679.
- ALL NEW SEWER MANHOLES SHALL HAVE KOR-N-SEAL CONNECTIONS, TYPICAL OR EQUAL.
- BACKFILL MATERIAL SHALL BE PLACED IN LAYERS NOT TO EXCEED 12" IN HEIGHT WHEN INSTALLED UNDER LANDSCAPED AREAS ONLY. INSTALLATIONS UNDER PAVEMENT REQUIRE BACKFILL MATERIAL TO BE PLACED IN LAYERS NOT TO EXCEED 6" IN HEIGHT. THESE LAYERS SHALL BE COMPACTED TO 95% MAXIMUM DENSITY (ASTM D 1586). SUITABLE BACKFILL SHALL BE FREE OF LOAM, CLAY, ORGANIC MATTER AND PARTICLES LARGER THAN 2 INCHES IN DIAMETER.
- SEWER AND DRAINAGE PIPE TRENCHES SHALL BE BEDDED WITH CRUSHED STONE OR SCREENED GRAVEL. THESE MATERIALS MUST CONFORM TO RIDOT STANDARD M.01.09 TYPE II MATERIAL.
- WATER PIPE TRENCHES MUST BE BEDDED WITH SAND CONTAINING NO PARTICLES LARGER THAN 3/8". THIS MATERIAL MUST CONFORM TO AASHTO M6 REQUIREMENTS.
- UTILITY INSTALLATIONS SHALL CONFORM TO ALL REQUIREMENTS OF THE CITY OF EAST PROVIDENCE PUBLIC WORKS DEPARTMENT AND THE CITY ENGINEER.
- WHEN TRENCH EXCAVATION IS ADJACENT TO OR UNDER EXISTING STRUCTURES OR FACILITIES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY SHEETING AND BRACING THE EXCAVATION AND STABILIZING THE EXISTING GROUND TO RENDER IT SAFE AND SECURE FROM POSSIBLE SLIDES, CAVE-INS AND SETTLEMENT AND FOR PROPERLY SUPPORTING EXISTING STRUCTURES AND FACILITIES WITH BEAMS, STRUTS OR UNDERPINNING TO FULLY PROTECT THEM FROM DAMAGE.



PRECAST SEWER MANHOLE DETAIL (RIDOT 4.2.0)

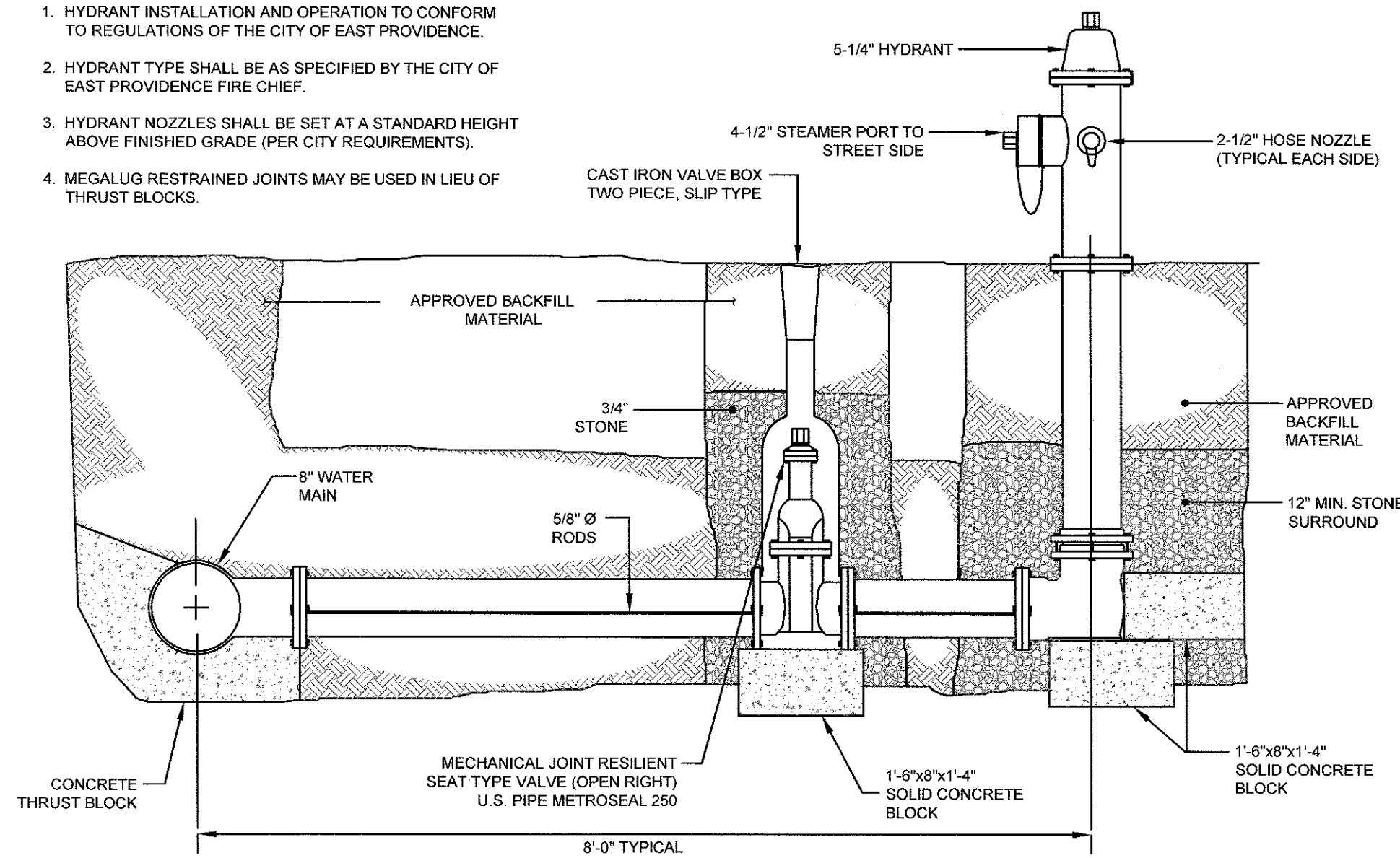
SCALE: NOT TO SCALE

NOTES:

- SHALL BE IN ACCORDANCE WITH SECTION 702 OF THE R.I. STANDARD SPECIFICATIONS.
- CIRCUMFERENTIAL STEEL REINFORCEMENT REQUIRED = 0.12 SQ. IN./LIN.FT. MINIMUM.
- STEEL REINFORCEMENT FOR BASE SECTION SHALL BE A MINIMUM OF 0.12 SQ. IN./LIN. FT. (BOTH WAYS)
- ONE FOUR MONOLITHIC BASE SECTION.
- ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS AND CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.
- STEPS SHALL CONFORM TO STD. 5.3.0 AND SHALL BE INSTALLED AT THE CASTING PLANT.
- ALTERNATE TOP SLAB IS STEEL REINFORCED TO MEET OR EXCEED H-25 LOADING (SEE STD. 4.7.2).
- ALTERNATE TOP SLAB IS ONLY FOR USE WHEN REDUCING SECTION DOES NOT FIT BECAUSE OF STRUCTURE DEPTH.
- REFER TO STD. 5.2.0 FOR MAXIMUM PIPE SIZES.
- BENCHING TO SLOPE AT NOT LESS THAN 1:30, NOT MORE THAN 1:12.

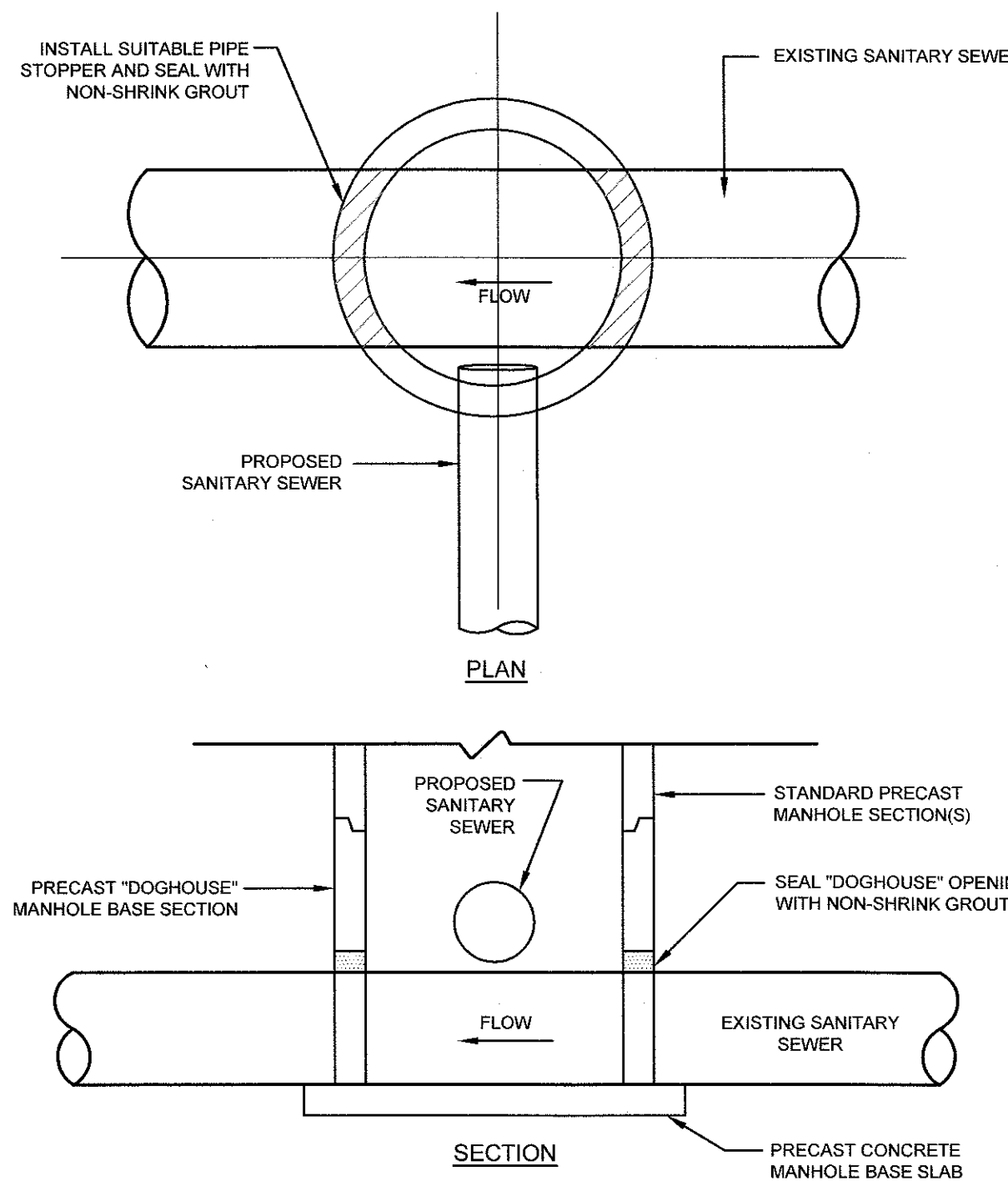
HYDRANT NOTES

- HYDRANT INSTALLATION AND OPERATION TO CONFORM TO REGULATIONS OF THE CITY OF EAST PROVIDENCE.
- HYDRANT TYPE SHALL BE AS SPECIFIED BY THE CITY OF EAST PROVIDENCE FIRE CHIEF.
- HYDRANT NOZZLES SHALL BE SET AT A STANDARD HEIGHT ABOVE FINISHED GRADE (PER CITY REQUIREMENTS).
- MEGALUG RESTRAINED JOINTS MAY BE USED IN LIEU OF THRUST BLOCKS.



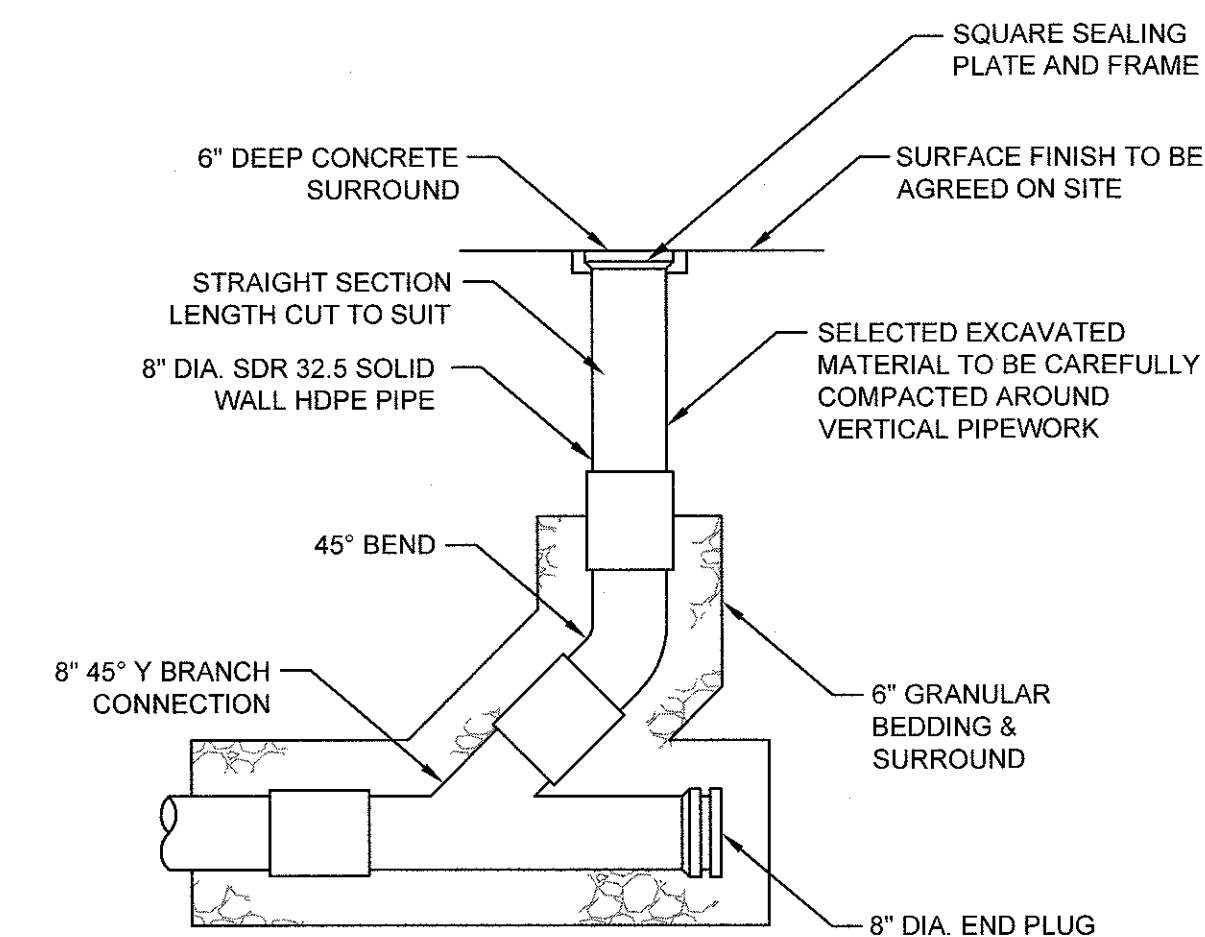
HYDRANT DETAIL

SCALE: NOT TO SCALE



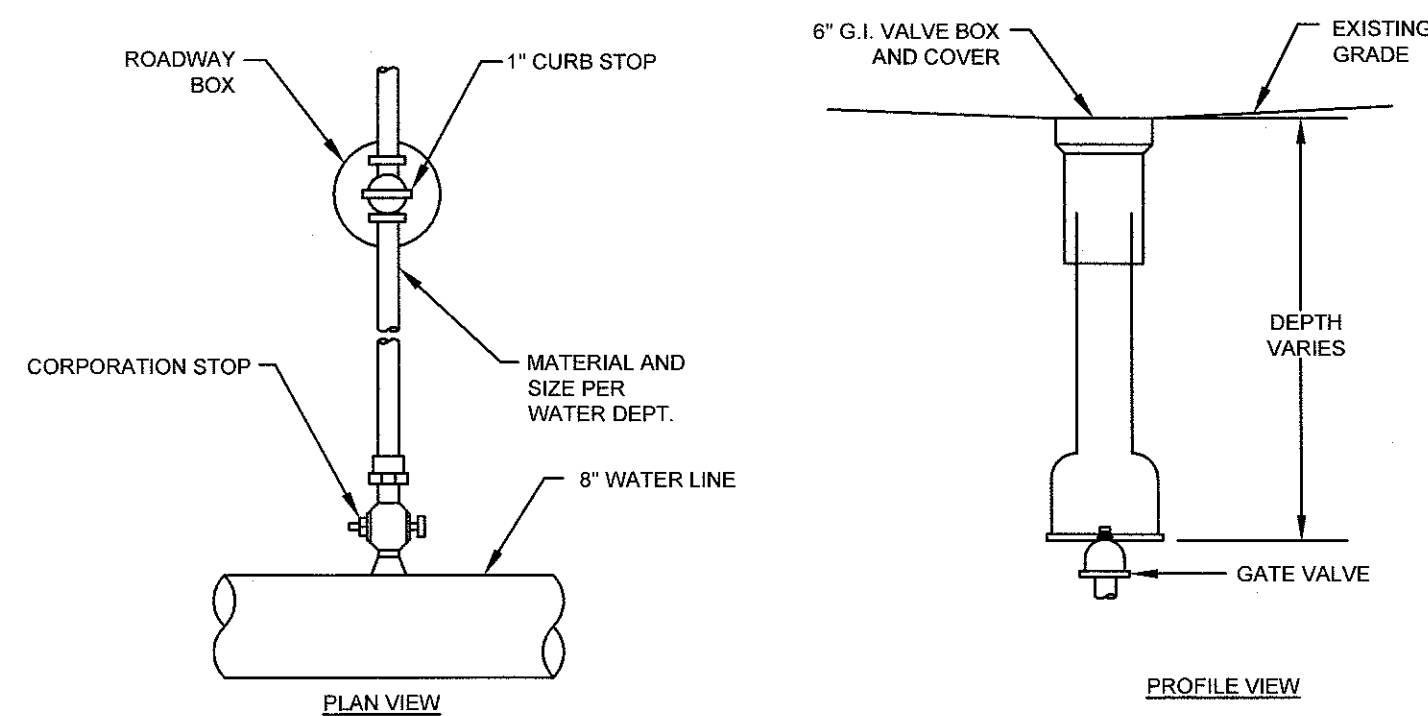
DOGHOUSE MANHOLE

SCALE: NOT TO SCALE



SEWER CLEANOUT DETAIL

SCALE: NOT TO SCALE



WATER GATE VALVE/SERVICE CURB STOP

SCALE: NOT TO SCALE



SUBMISSION REVISIONS		21MAY21	
No.	Revision	Date	App.
1			
Designed By: JJR		Drawn by: JJR	Checked by: GES
Scale: AS SHOWN		Date: 22APR21	
Project Title:			
"EAST POINT" MAP 203 BLOCK 1 LOT 4 MAP 303 BLOCK 13 LOTS 4 & 5 ROGER WILLIAMS AVENUE EAST PROVIDENCE RHODE ISLAND			
Client/Owner:			
NOBLE DEVELOPMENT, LLC 10 GREEN STREET PROVIDENCE, RI 02903			
Issued for:			
PERMITTING			
Drawing Title:			
PROPOSED DETAIL SHEET 5			
Drawing Number:		C-22	
Sheet		22 of 22	
Project Number:		20072.0	
Survey Index:			
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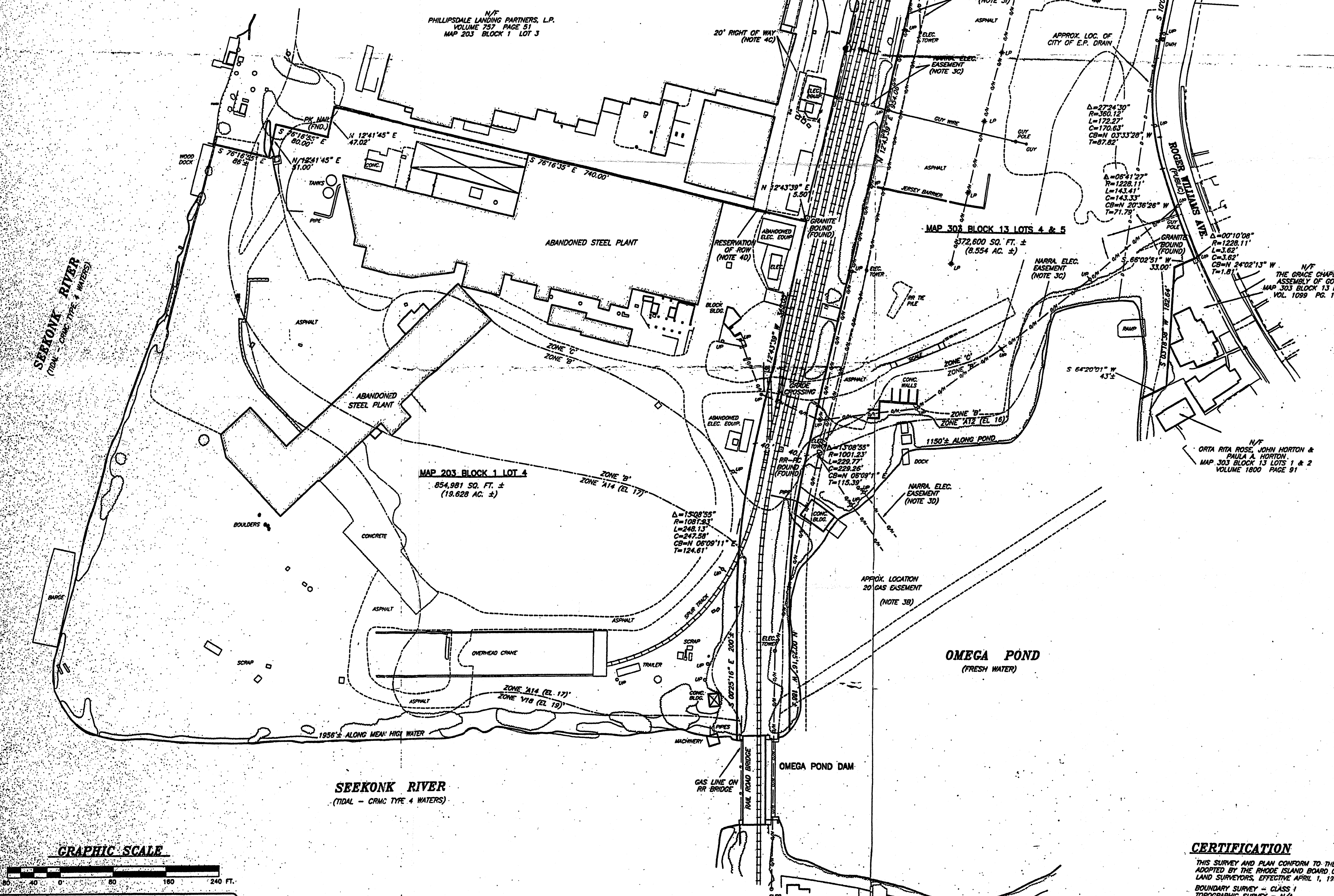
SURVEYOR'S CERTIFICATE

I hereby certify to the U.S. Department of Housing and Urban Development (HUD), The City of East Providence, RI and Mortgage Guarantees & Title Company that:
 I have caused the ground survey, per record description of the land shown hereon located in East Providence, RI in September, 2002, updated March 6, 2003 and August 12, 2003, and that it and this map was made in accordance with HUD Survey Instructions and Report, Form HUD-2457, and with the Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA, ACSM and NSPS in 1999, and includes items 1-4, 6, 7(a), 8-10, 11(a) and 13-15 of Table A thereof. Pursuant to the Accuracy Standards as adopted by ALTA, NSPS and ACSM and in effect on the date of this certification, the undersigned further certifies that the survey measurements were made in accordance with the Minimum Angle, Distance and Closure Requirements for Survey Measurements Which Control Land Boundaries for ALTA/ACSM Land Title Surveys.
 To the best of my knowledge, belief and information, except as shown hereon, there are no encroachments either way across property lines, title lines and lines of actual possession on the same, and the premises are subject to a 100/500 year return frequency flood hazard, and such flood condition is shown on the Federal Flood Insurance Rate Map, Community Panel No. 445398-0001 C.

LEGEND

- | | | | |
|--------|-----------------------|---------|------------------------------|
| N/F | - NOW OR FORMERLY | PK NAIL | - MASONRY NAIL |
| A.P. | - ASSESSORS PLAT | PE | - PEDESTAL |
| DH | - DRILL HOLE | RHB | - RHODE ISLAND HIGHWAY BOUND |
| (FND.) | - FOUND | FE | - FLARED END |
| AC | - PLUS OR MINUS | RCP | - REINFORCED CONCRETE PIPE |
| S.F. | - SQUARE FEET | SG | - SPOT GRADE |
| ○○○○○ | - STONE WALL | EC | - EXISTING CONTOUR |
| — | - FENCE | INV. | - INVERT |
| STY. | - STORY | CB | - CATCH BASIN |
| AC | - ACRES | SSM | - SANITARY SEWER MANHOLE |
| W/F | - WOOD FRAMED | SDM | - STORM DRAIN MANHOLE |
| SHP | - STATE HIGHWAY PLAT | EL | - ELECTRIC HANDHOLE |
| R/W | - RETAINING WALL | DI | - DROP INLET |
| — | - ZONING SETBACK LINE | WG | - WATER GATE |
| SP | - STRIP PIPE | GP | - GAS GATE |
| B | - BOLLARD | LP | - LIGHT POLE |
| — | - OVERHEAD WIRES | UP | - UTILITY POLE |
| — | - STORM DRAIN | GL | - GAS LINE |

1837 8-15-03
 RICHARD S. LIPSITZ REG. NO. DATE

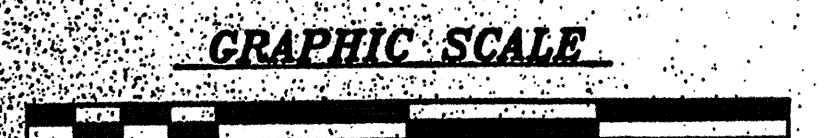


NOTES & REFERENCES

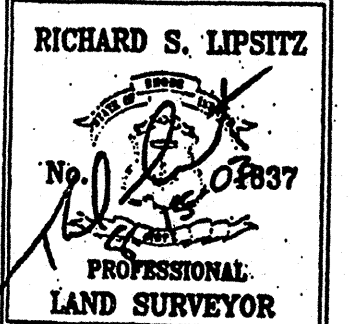
- REFERENCE IS MADE TO THE FOLLOWING MAPS & PLANS:
 - "PLAN OF ROGER WILLIAMS AVENUE FROM WILSON AVENUE TO PAWTUCKET AVENUE MADE FOR USE OF THE COMMITTEE, WALTER M. DEXTER, FRANCIS L. HILL AND ORLAND FREEBORN APPOINTED BY THE TOWN COUNCIL SCALE 50 FEET PER INCH OCT. 1898 W.M. DEXTER, ENG."
 - "PLAT OF LAND SOLD BY THE RUMFORD CHEMICAL WORKS TO THE RICHMOND PAPER COMPANY SCALE 100 FEET TO AN INCH APRIL, 1883 PLATTED BY S.B. CUSHING."
 - "PLAT OF LAND IN EAST PROVIDENCE OWNED IN PART BY FRANK A. SAYLES AND IN PART BY THE AGAWAM FINISHING COMPANY SCALE 40 FT TO AN INCH SURVEYED MAY, 1900 BY W.G.H. TEMPLE."
 - "PHILLIPSDALE PLAT EAST PROVIDENCE, RHODE ISLAND SCALE 80 FT TO AN INCH JULY 1927 BY WATERMAN ENGINEERING COMPANY."
 - "PLAN OF LAND IN EAST PROVIDENCE, R.I. BELONGING TO CARTER CORPORATION SCALE: 1"=80' MARCH, 1963 WATERMAN ENGINEERING COMPANY."
 - "PLAN SHOWING EXCHANGE OF LAND IN EAST PROVIDENCE, R.I. BETWEEN THE OKONITE COMPANY AND WASHBURN WIRE COMPANY MAY, 1960 SCALE: 1"=40' WATERMAN ENGINEERING COMPANY."
 - "SURVEY OF LAND BELONGING TO WASHBURN WIRE COMPANY EAST PROVIDENCE, RHODE ISLAND DECEMBER, 1975 PREPARED BY P.H. GUILMETTE INC."
 - "TOPOGRAPHIC SURVEY PLAN MAP 203 BLOCK 1 LOT 4 MAP 303 BLOCK 13 LOTS 4 & 5 ROGER WILLIAMS AVE. & BOURNE AVE. EAST PROVIDENCE, R.I. PREPARED FOR GEONOVA DEVELOPMENT COMPANY SCALE: 1"=40' 1 CI DATE: SEPT. 23, 2002 WATERMAN ENGINEERING COMPANY."
- REFERENCE IS MADE TO THE FOLLOWING CITY OF EAST PROVIDENCE, RHODE ISLAND LAND EVIDENCE RECORDS REGARDING RECORD TITLE TO THE PREMISES SURVEYED:
 - VOLUME 1429 PAGE 160 - PINAG AKTIENGESSELLSCHAFT, APRIL 22, 1999
- THESE PREMISES MAY BE SUBJECT TO THE FOLLOWING EASEMENTS, RIGHTS OF WAY OR AGREEMENTS OF RECORD:
 - VOLUME 983 PAGE 100 - CONSERVATION RESTRICTION - B2 #3 (NOT PLOTTABLE)
 - VOLUME 256 PAGE 389 - 20' PROVIDENCE GAS COMPANY EASEMENT - B2 #8
 - VOLUME 268 PAGE 245 - NARRAGANSETT ELECTRIC COMPANY EASEMENT - B2 #12
 - VOLUME 285 PAGE 22 - NARRAGANSETT ELECTRIC COMPANY EASEMENT - B2 #14 (NOT PLOTTABLE)
 - VOLUME 176 PAGE 83 - TRENCH & WATER PIPELINE EASEMENT - B2 #11
 - RIGHTS OF OTHERS IN AND TO OMEGA POND AND / OR TEN MILE RIVER, SO CALLED - B2 #15
 - RIGHTS OF OTHERS TO DRAINAGE PIPES CROSSING THE PREMISES SURVEYED - B2 #18 (NOT PLOTTABLE)
 - RIGHTS OF OTHERS IN AND TO THE WATERS OF THE SEEKONK RIVER BELOW THE MEAN HIGH WATER LINE OR ANY FILLED LANDS BELOW THE PRIMITIVE MEAN HIGH WATER LINE OF THE SEEKONK RIVER - B2 #17
 - VOLUME 173 PAGE 378 - BLACKSTONE VALLEY SEWER DISTRICT COMMISSION EASEMENT - B2 #18
- THESE PREMISES MAY BE BENEFITED BY THE FOLLOWING EASEMENTS, RIGHTS OF WAY OR AGREEMENTS OF RECORD:
 - VOLUME 20 PAGE 185 - RIGHT TO BUILD & MAINTAIN A FENCE ALONG THE RAIL ROAD ROW, TO PUT IN A "TURN CUT" AT THE STEEL WORKS ON THE WESTERLY SIDE OF THE RR ROW, THE RIGHT TO CONSTRUCT AND MAINTAIN A STONE DAM BETWEEN THE ABUTMENTS OF THE BRIDGE OVER THE TEN MILE RIVER & THE RIGHT TO CONSTRUCT, REPAIR & MAINTAIN A "WATER TRENCH" UNDER THE RAIL ROAD BETWEEN STATIONS 116 & 118 - B2 #1
 - VOLUME 20 PAGE 190 - RIGHT TO BUILD A WOOD DAM INSTEAD OF A STONE DAM AS REF. IN NOTE 4A - B2 #2
 - VOLUME 108 PAGE 450 - 20' ROW ACROSS LOT 3 - B2 #6
 - VOLUME 206 PAGE 336 - RESERVATION OVER A PORTION OF LAND CONVEYED TO LOT 3 - B2 #7
 - VOLUME 147 PAGE 71 - SANITARY SEWER EASEMENT - B2 #9
- THE PREMISES EASTERLY OF THE RAILROAD ARE SITUATED IN ZONES 'A12 (EL. 16), B & C' & THE PREMISES WESTERLY OF THE RAILROAD ARE SITUATED IN ZONES 'A18 (EL. 19), A14 (EL. 17) & B' AS DEFINED ON: "NATIONAL FLOOD INSURANCE PROGRAM FIRM FLOOD INSURANCE RATE MAP CITY OF EAST PROVIDENCE, RHODE ISLAND PROVIDENCE COUNTY PANEL 1 OF 8 COMMUNITY PANEL NUMBER 445398-0001 C MAP REVISED: JUNE 1, 1986 FEDERAL EMERGENCY MANAGEMENT AGENCY."
- THESE PREMISES ARE SITUATED IN A 'I3' (INDUSTRIAL-HEAVY MANUFACTURING) ZONE.

DIMENSIONAL REQUIREMENTS	
MIN. LOT AREA	= 60,000 SF
MIN. LOT WIDTH	= 200'
MIN. LOT DEPTH	= 250'
FRONT YARD S/B	= 30'
SIDE YARD S/B	= 20'
REAR YARD S/B	= 20'
MAX. LOT COVERAGE	= 60%
MAX. BLDG. HGT.	= 40'

NOTE - ZONING INFORMATION IS FROM CURRENT ZONING AND MAY NOT REFLECT THE CONDITIONS AT THE TIME OF CONSTRUCTION OR ANY VARIANCES GRANTED.
- THE UTILITIES SHOWN HEREON ARE FROM INFORMATION OBTAINED FROM UTILITY COMPANIES AND MUNICIPAL DEPTS., SUPPLEMENTED BY FIELD LOCATIONS OF VISIBLE STRUCTURES. THERE MAY BE OTHER UTILITIES PRESENT ON THE SITE THAT ARE NOT SHOWN ON THIS PLAN. THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL UTILITY LOCATIONS AND MUST NOTIFY "DIG-SAFE" PRIOR TO ANY EXCAVATION, DEMOLITION OR CONSTRUCTION COMMENCING.



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CERTIFICATION

THIS SURVEY AND PLAN CONFORM TO THE FOLLOWING CLASS STANDARDS AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS, EFFECTIVE APRIL 1, 1994.
 BOUNDARY SURVEY - CLASS 1
 TOPOGRAPHIC SURVEY - N/A

1837 8-15-03
 RICHARD S. LIPSITZ REG. NO. DATE
 WATERMAN ENGINEERING COMPANY

2	8/12/03	SURVEY UPDATE, HUD CERTIFICATION ADDED	RSL
1	3/6/03	NOTES 3 & 4, ROW, EASEMENTS, ETC. ADDED	RSL
NO.	DATE	REVISION	BY
BOUNDARY SURVEY PLAN MAP 203 - BLOCK 1 - LOT 4 MAP 303 - BLOCK 13 - LOTS 4 & 5 ROGER WILLIAMS AVE & BOURNE AVE. - EAST PROVIDENCE, RI			
PREPARED FOR: GEONOVA DEVELOPMENT COMPANY 1114 AVENUE OF THE AMERICAS - NEW YORK, NEW YORK 10036			
WATERMAN ENGINEERING CO. CIVIL ENGINEERS - SURVEYORS EAST PROVIDENCE, RHODE ISLAND			PROJECT NO. 102-104 SCALE 1"=80' DATE SEPT. 23, 2002 DRAWN BY RSL CHECKED BY LRS FILENAME 02104s1.dwg
1 of 1 SHTS			



DR. 616 SH. 16