



State of Rhode Island
Coastal Resources Management Council
Oliver H. Stedman Government Center
4808 Tower Hill Road, Suite 3
Wakefield, RI 02879-1900

(401) 783-3370
Fax (401) 783-2069

PUBLIC Re-NOTICE

File Number: 2021-09-093 Date: May 10, 2022

This office has under consideration the application of:

William & Nancy Gilbane
91 Lighthouse Drive
Jupiter, FL 33469

for a State of Rhode Island Assent to construct and maintain: A residential boating facility consisting of a 4' x 64' fixed timber pier, with 1200lb boat lift extending 67' seaward of the cited MLW mark. A 17' length variance is required to Red Book 650-RICR-20-00-01 Section 1.3.1(D)(11)(l)(2), a 22' property line extension setback variance (southerly) is required to Section 1.3.1(D)(11)(k) and submerged aquatic vegetation (SAV) variances are required to Sections 1.3.1(D)(11)(w) & 1.3.1(R)(3)(e)(1). The re-Notice is required due to the proposed boat lift, which also shortened the facility 6' and removed the proposed float/Special Exception from the original notice.

Project Location:	1159 Succotash Road
City/Town:	Narragansett
Plat/Lot:	I-J / 64-2
Waterway:	Point Judith Pond Channel, Type 5, Commercial/Recreational Harbors

Plans of the proposed work can be requested at Cstaff1@crmc.ri.gov.

In accordance with the Administrative Procedures Act (Chapter 42-35 of the Rhode Island General Laws) you may request a hearing on this matter.

You are advised that if you have good reason to enter protests against the proposed work it is your privilege to do so. It is expected that objectors will review the application and plans thoroughly, visit site of proposed work if necessary, to familiarize themselves with the conditions and cite what law or laws, if any, would in their opinion be violated by the work proposed.

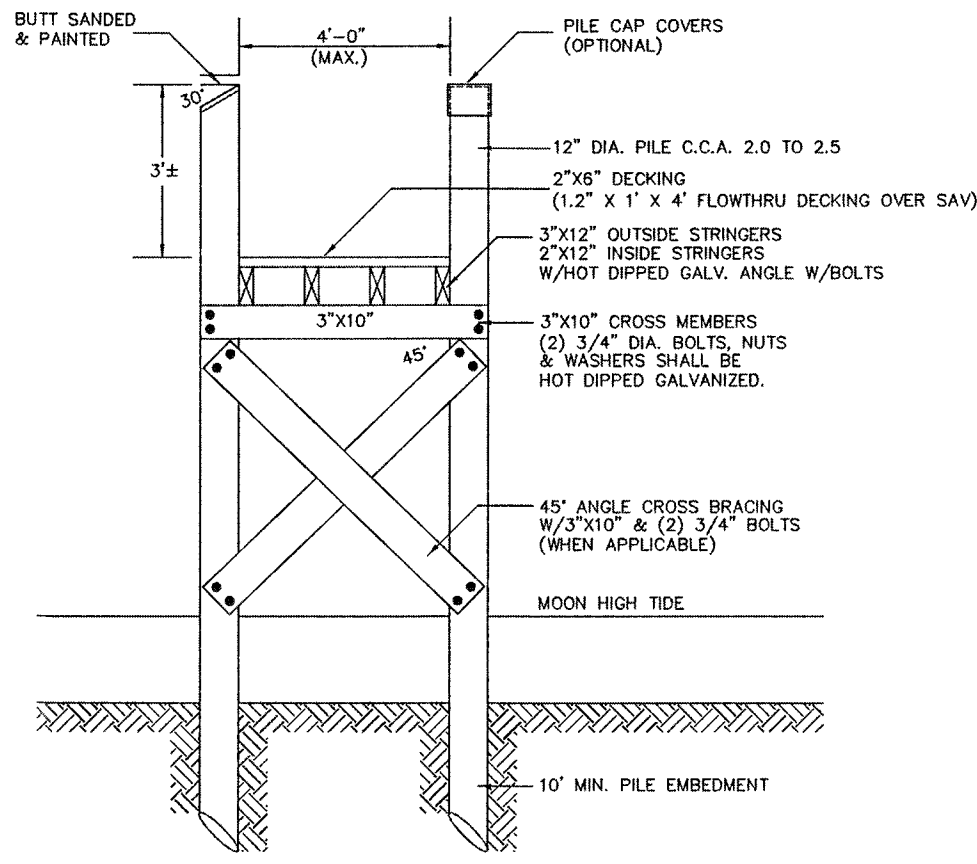
If you desire to protest, you must attend the scheduled hearing and give sworn testimony. A notice of the time and place of such hearing will be furnished you as soon as possible after receipt of your request for hearing. If you desire to request a hearing, to receive consideration, it should be in writing (**with your correct mailing address, e-mail address and valid contact number**) and be received at this office on or before June 10, 2022.

Please email your comments/hearing requests to: cstaff1@crmc.ri.gov; or mail via USPS to: Coastal Resources Management Council; O. S. Government Center, 4808 Tower Hill Road, Rm 116; Wakefield, RI 02879.

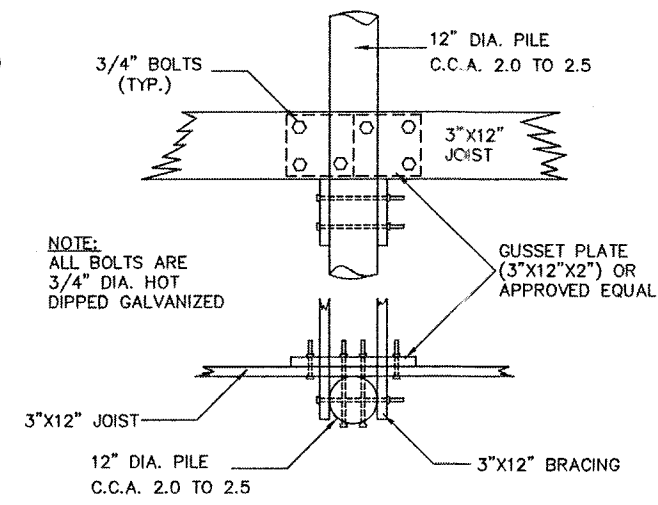
/lat



LOCATION MAP
NOT TO SCALE



DECK CROSS SECTION
NOT TO SCALE



DETAIL "A"
NOT TO SCALE

CONSTRUCTION NOTES

1. ALL CONSTRUCTION TO BE DONE WITH HOT DIPPED GALVANIZED CONNECTORS.
2. BOLTED CONSTRUCTION TO BE 5/8" DIA. BOLTS AND FLAT WASHERS THROUGH-OUT EXCEPT DECKING MAY BE NAILED WITH HOT DIPPED GALVANIZED NAILS.
3. ALL LUMBER TO BE TREATED WITH NON-LEACHING WOOD PRESERVATIVES.
4. NO CREOSOTE SHALL BE APPLIED TO ANY PORTION OF THE STRUCTURE.

PROPERTY OWNER:

WILLIAM J. GILBANE, JR.
91 LIGHTHOUSE DRIVE
JUPITER, FL 33469

POINT JUDITH POND

NOTE:

THIS PLAN DEPICTS PENDING CRMC FILE #A2021-09-093

BOAT LIFT SHALL ADHERE TO STANDARDS SET FORTH UNDER SECTION 1.3.1(P) AND 1.3.1(R) OF 650-RICR-20-00-1 (THE CRMC RED BOOK), BOAT LIFT CAPACITY CAN BE NO GREATER THAN 1,200 LB AND 12 FT IN LENGTH

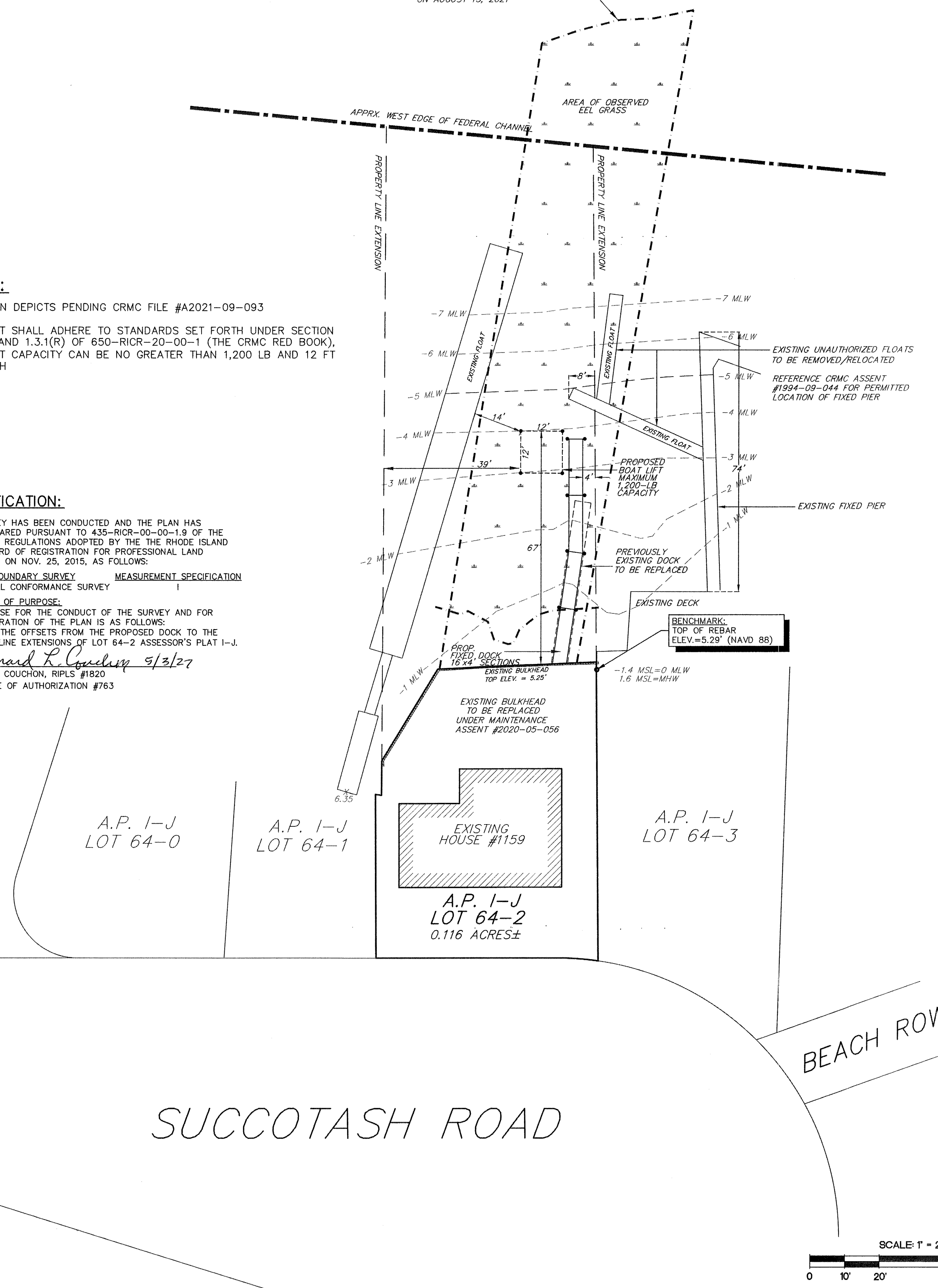
CERTIFICATION:

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOV. 25, 2015, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY: DIMENSIONAL CONFORMANCE SURVEY
MEASUREMENT SPECIFICATION: 1

STATEMENT OF PURPOSE: THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: TO DEPICT THE OFFSETS FROM THE PROPOSED DOCK TO THE PROPERTY LINE EXTENSIONS OF LOT 64-2 ASSESSOR'S PLAT I-J.

BY: Richard L. Couchon 5/3/22
RICHARD L. COUCHON, RIPLS #1820
CERTIFICATE OF AUTHORIZATION #763

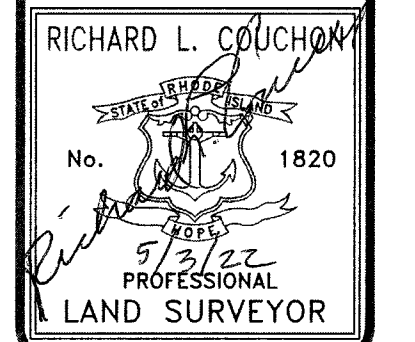
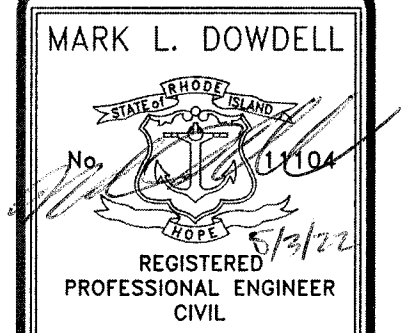


DOCK PLAN
PREPARED FOR

WILLIAM GILBANE

ASSESSOR'S PLAT I-J LOT 64-2
SITUATED IN THE TOWN OF
NARRAGANSETT, RHODE ISLAND

NO.	REVISION	DATE
1.	CRMC COMMENTS	12/06/21
2.	CRMC COMMENTS	04/04/22
3.	CRMC COMMENTS	04/29/22

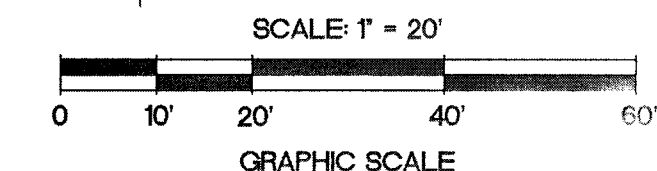


DE DOWDELL ENGINEERING

DOWDELL ENGINEERING ASSOCIATES, LLC
CIVIL & ENVIRONMENTAL ENGINEERS
SURVEYORS & LAND PLANNERS
P.O. BOX 1884 • 3949 OLD POST ROAD
C/O RILEYSTOWN, RHODE ISLAND 02813
CALL: 401-885-1100
WEBSITE: dowdelleng.com EMAIL: mark@dowdelleng.com

JOB NO. 3525	DRAWN BY: R.L.C.
DWG. NO. 3525-DCK	CHECKED: M.L.D.
SCALE: AS NOTED	APPROVED: W.D.D.
	DATE: SEPT. 24, 2021

SHEET: 1
1 OF 1 SHEETS





State of Rhode Island
Coastal Resources Management Council
 Oliver H. Stedman Government Center
 4808 Tower Hill Road, Suite 3
 Wakefield, RI 02879-1900

(401) 783-3370
 Fax (401) 783-2069

PUBLIC NOTICE

File Number: 2021-09-093 Date: January 13, 2022

This office has under consideration the application of:

William & Nancy Gilbane
 91 Lighthouse Drive
 Jupiter, FL 33469

for a State of Rhode Island Assent to construct and maintain: A residential boating facility consisting of a 4' x 32' fixed timber pier, 3' x 20' access ramp and 6' x 24' (144sf) terminal float. The facility seeks to replace an unauthorized fixed pier and the application notes that abutting potentially unauthorized facilities significantly impact the project site. A 23' length variance is required to Red Book 650-RICR-20-00-01 Section 1.3.1(D)(11)(l)(2), a 22' property line extension setback variance is required to Section 1.3.1(D)(11)(k), submerged aquatic vegetation (SAV) variances are required to Sections 1.3.1(D)(11)(w) & 1.3.1(R)(3)(e)(1). A special exception is required for a float over SAV in accordance with Section 1.3.1(R)(2)(b).

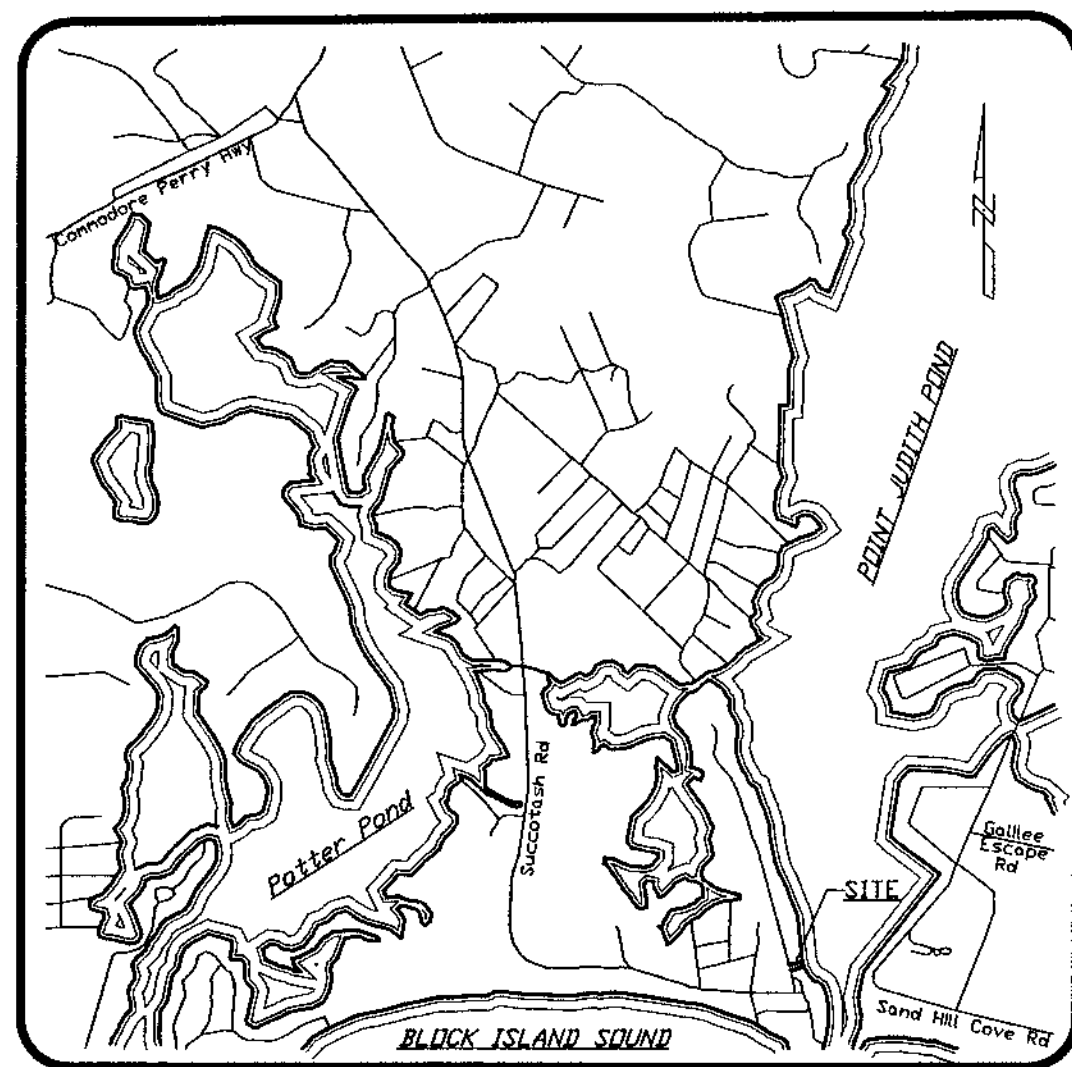
Project Location:	1159 Succotash Road
City/Town:	Narragansett
Plat/Lot:	I-J / 64-2
Waterway:	Point Judith Pond, Type 5, Commercial/Recreational Harbors

Plans of the proposed work may be seen at the CRMC office in Wakefield.

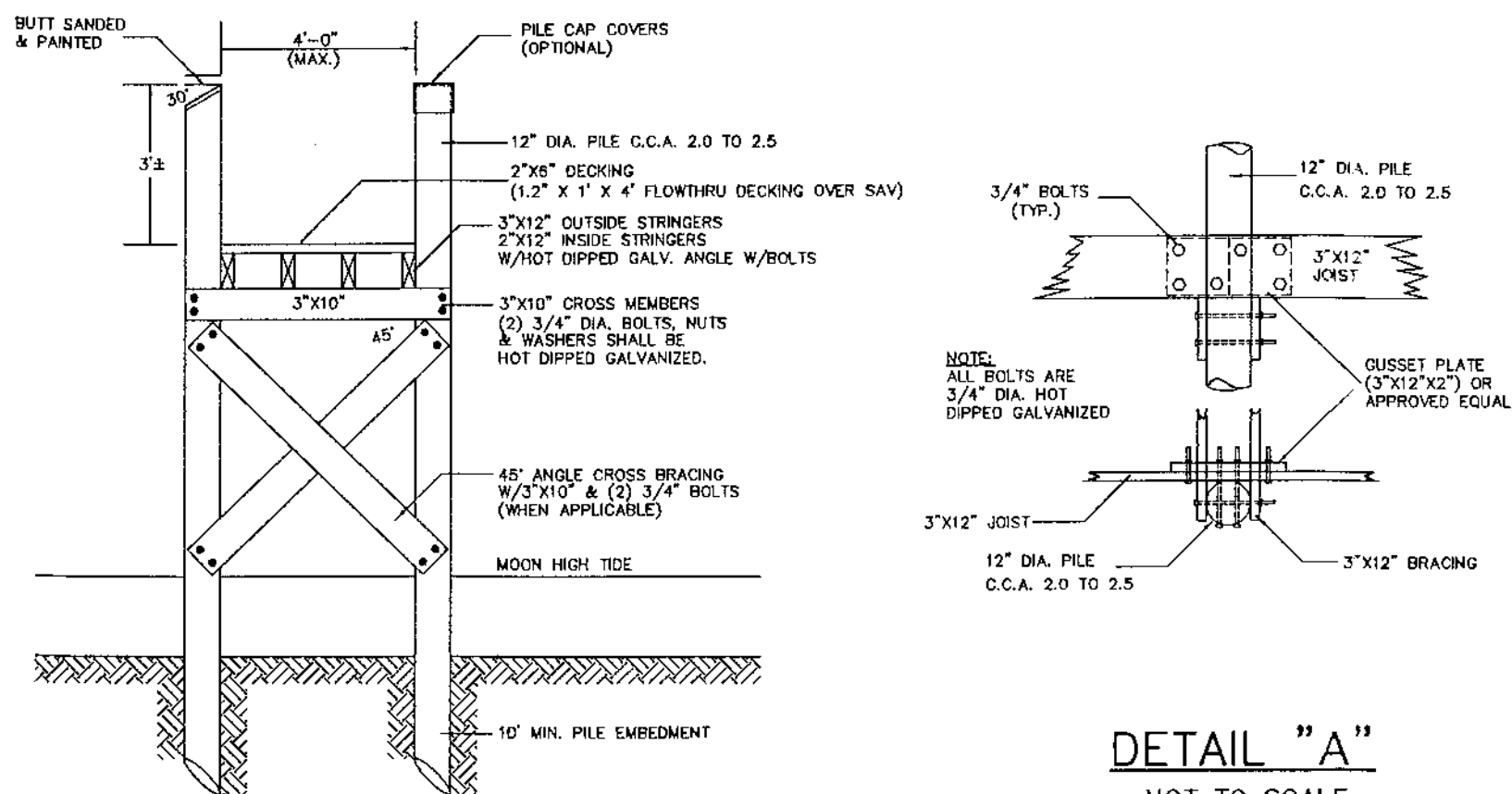
In accordance with the Administrative Procedures Act (Chapter 42-35 of the Rhode Island General Laws) you may request a hearing on this matter.

You are advised that if you have good reason to enter protests against the proposed work it is your privilege to do so. It is expected that objectors will review the application and plans thoroughly, visit site of proposed work if necessary, to familiarize themselves with the conditions and cite what law or laws, if any, would in their opinion be violated by the work proposed.

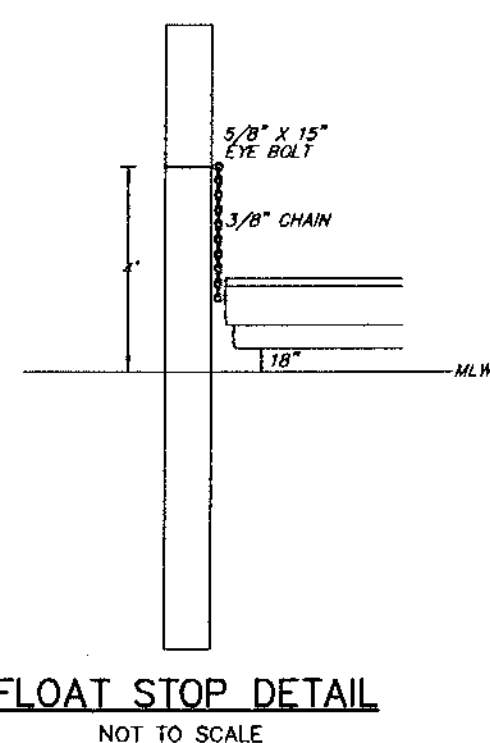
If you desire to protest, you must attend the scheduled hearing and give sworn testimony. A notice of the time and place of such hearing will be furnished you as soon as possible after receipt of your request for hearing. If you desire to request a hearing, to receive consideration, it should be in writing (**with your correct mailing address, e-mail address and valid contact number**) and be received at this office on or before February 13, 2022.



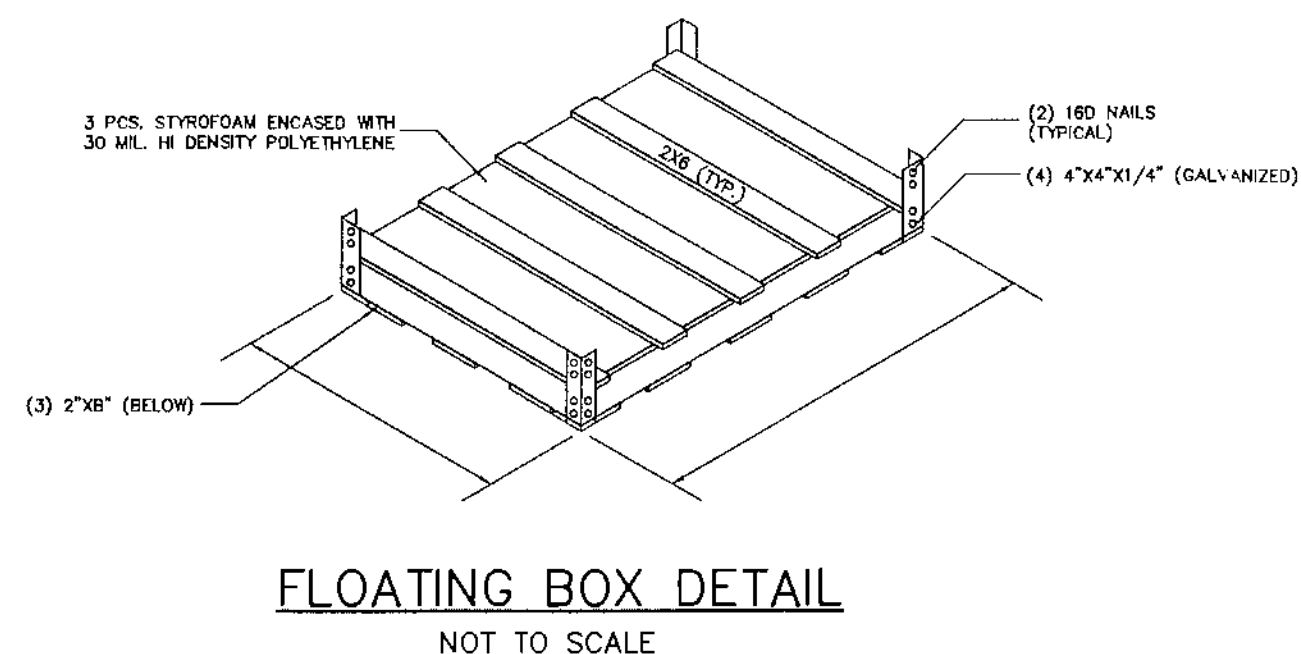
LOCATION MAP
NOT TO SCALE



DECK CROSS SECTION
NOT TO SCALE



FLOAT STOP DETAIL
NOT TO SCALE



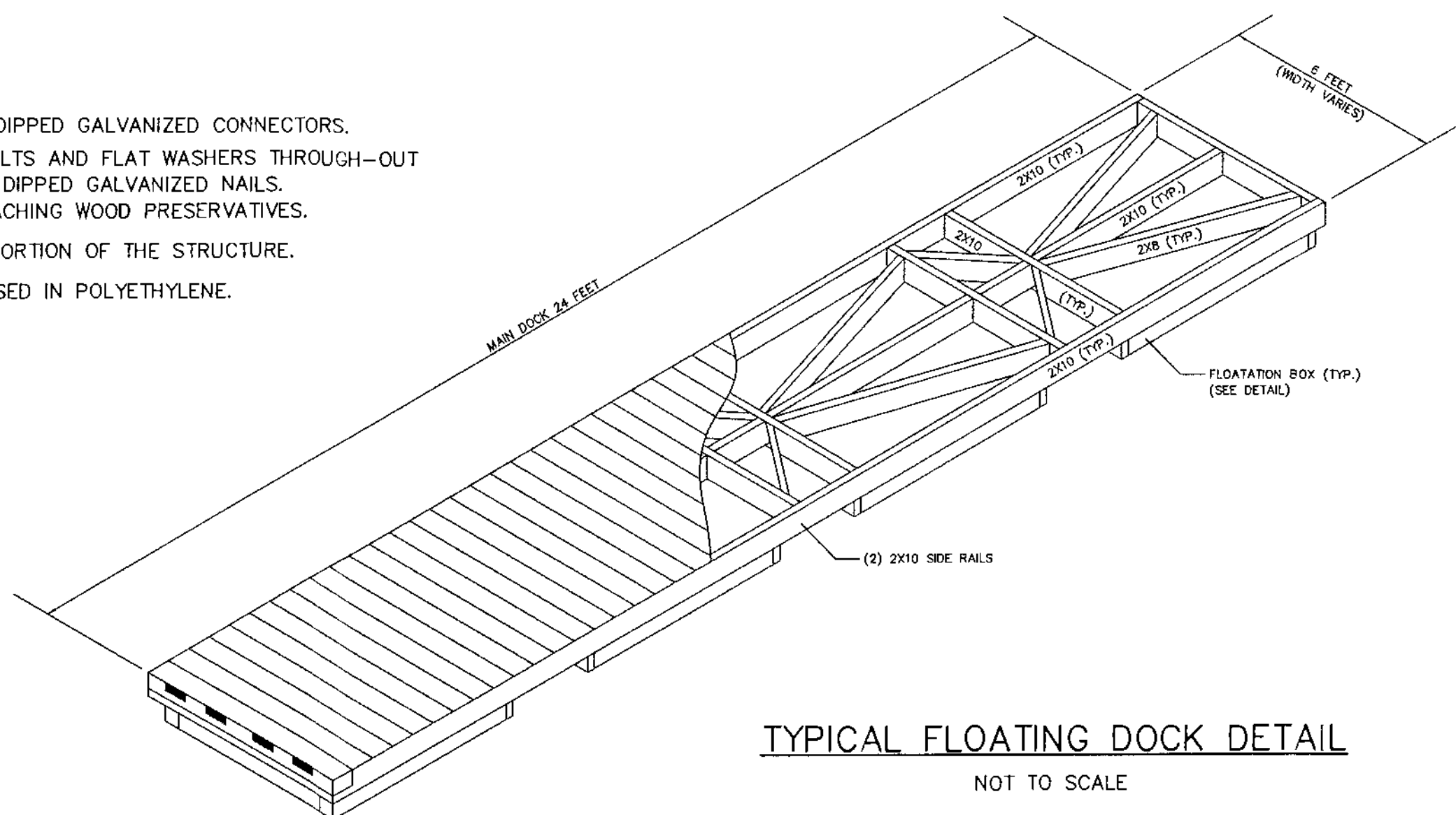
FLOATING BOX DETAIL
NOT TO SCALE

CONSTRUCTION NOTES

1. ALL CONSTRUCTION TO BE DONE WITH HOT DIPPED GALVANIZED CONNECTORS.
2. BOLTED CONSTRUCTION TO BE 5/8" DIA. BOLTS AND FLAT WASHERS THROUGH-OUT EXCEPT DECKING MAY BE NAILED WITH HOT DIPPED GALVANIZED NAILS.
3. ALL LUMBER TO BE TREATED WITH NON-LEACHING WOOD PRESERVATIVES.
4. NO CREOSOTE SHALL BE APPLIED TO ANY PORTION OF THE STRUCTURE.
5. PROPOSED FLOAT TO BE COMPLETELY ENCASED IN POLYETHYLENE.

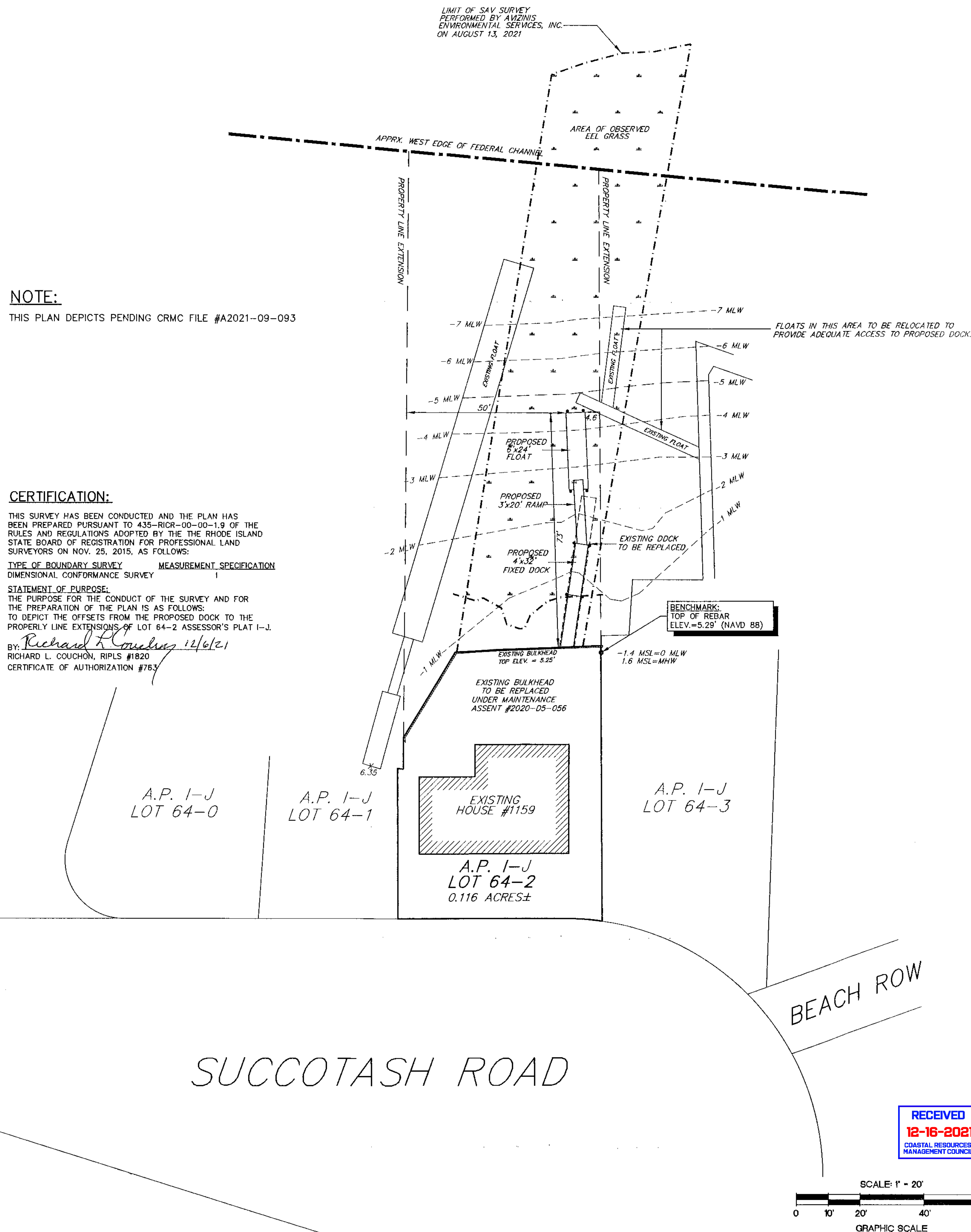
PROPERTY OWNER:

WILLIAM J. GILBANE, JR.
91 LIGHTHOUSE DRIVE
JUPITER, FL 33469



TYPICAL FLOATING DOCK DETAIL
NOT TO SCALE

POINT JUDITH POND



NOTE:
THIS PLAN DEPICTS PENDING CRMC FILE #A2021-09-093

CERTIFICATION:
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TO DEPICT THE OFFSETS FROM THE PROPOSED DOCK TO THE PROPERLY LINE EXTENSIONS OF LOT 64-2 ASSESSOR'S PLAT I-J.
BY: *Richard L. Couchon* 12/6/21
RICHARD L. COUCHON, RIPLS #1820
CERTIFICATE OF AUTHORIZATION #763

DOCK PLAN
PREPARED FOR
WILLIAM GILBANE
ASSESSOR'S PLAT I-J LOT 64-2
SITUATED IN THE TOWN OF
NARRAGANSETT, RHODE ISLAND

NO.	REVISION	DATE
1.	CRMC COMMENTS	12/06/21

WILLIAM D. DOWDELL
No. 4217
REGISTERED PROFESSIONAL ENGINEER
12/07/21

RICHARD L. COUCHON
No. 1820
PROFESSIONAL LAND SURVEYOR
12/07/21

DE DOWDELL ENGINEERING ASSOCIATES, LLC
CIVIL & ENVIRONMENTAL ENGINEERS
SURVEYORS & LAND PLANNERS
P.O. BOX 1684 • 3949 OLD POST ROAD
CHARLESTOWN, RHODE ISLAND 02813
WEBSITE: dowdelleng.com EMAIL: mark@dowdelleng.com

JOB NO. 3525	DRAWN BY: R.L.C.
DWG. NO. 3525-DCK	CHECKED: M.L.D.
SCALE: AS NOTED	APPROVED: W.D.D.
SHEET: 1	DATE: SEPT. 24, 2021
1 OF 1 SHEETS	

