



State of Rhode Island  
**Coastal Resources Management Council**  
Oliver H. Stedman Government Center  
4808 Tower Hill Road, Suite 3  
Wakefield, RI 02879-1900

(401) 783-3370  
Fax (401) 783-2069

## **PUBLIC NOTICE**

File Number: 2022-09-003 Date: September 22, 2022

This office has under consideration the application of:

Timothy Deschenes & Alyssa Merkle  
90 King Phillip Avenue  
Bristol, RI 02809

for a State of Rhode Island Assent to construct and maintain: A residential boating facility consisting of a 4' x 97' fixed timber pier/stairs leading to a 3' x 20' access ramp and 10' x 15' (150sf) terminal float. The facility is proposed to extend 69' seaward of the cited MLW mark, for a total distance of 131', requiring a 19' length variance to Redbook 650-RICR-20-00-01 Section 1.3.1(D)(11)(l). The facility also requires a 15' property line setback variance to both the north and south, per Section 1.3.1(D)(11)(k).

Project Location:	90 King Philip Avenue
City/Town:	Bristol
Plat/Lot:	147 / 63
Waterway:	Mt. Hope Bay, Type II, Low Intensity Use

Plans of the proposed work can be requested at [Cstaff1@crmc.ri.gov](mailto:Cstaff1@crmc.ri.gov).

In accordance with the Administrative Procedures Act (Chapter 42-35 of the Rhode Island General Laws) you may request a hearing on this matter.

You are advised that if you have good reason to enter protests against the proposed work it is your privilege to do so. It is expected that objectors will review the application and plans thoroughly, visit site of proposed work if necessary, to familiarize themselves with the conditions and cite what law or laws, if any, would in their opinion be violated by the work proposed.

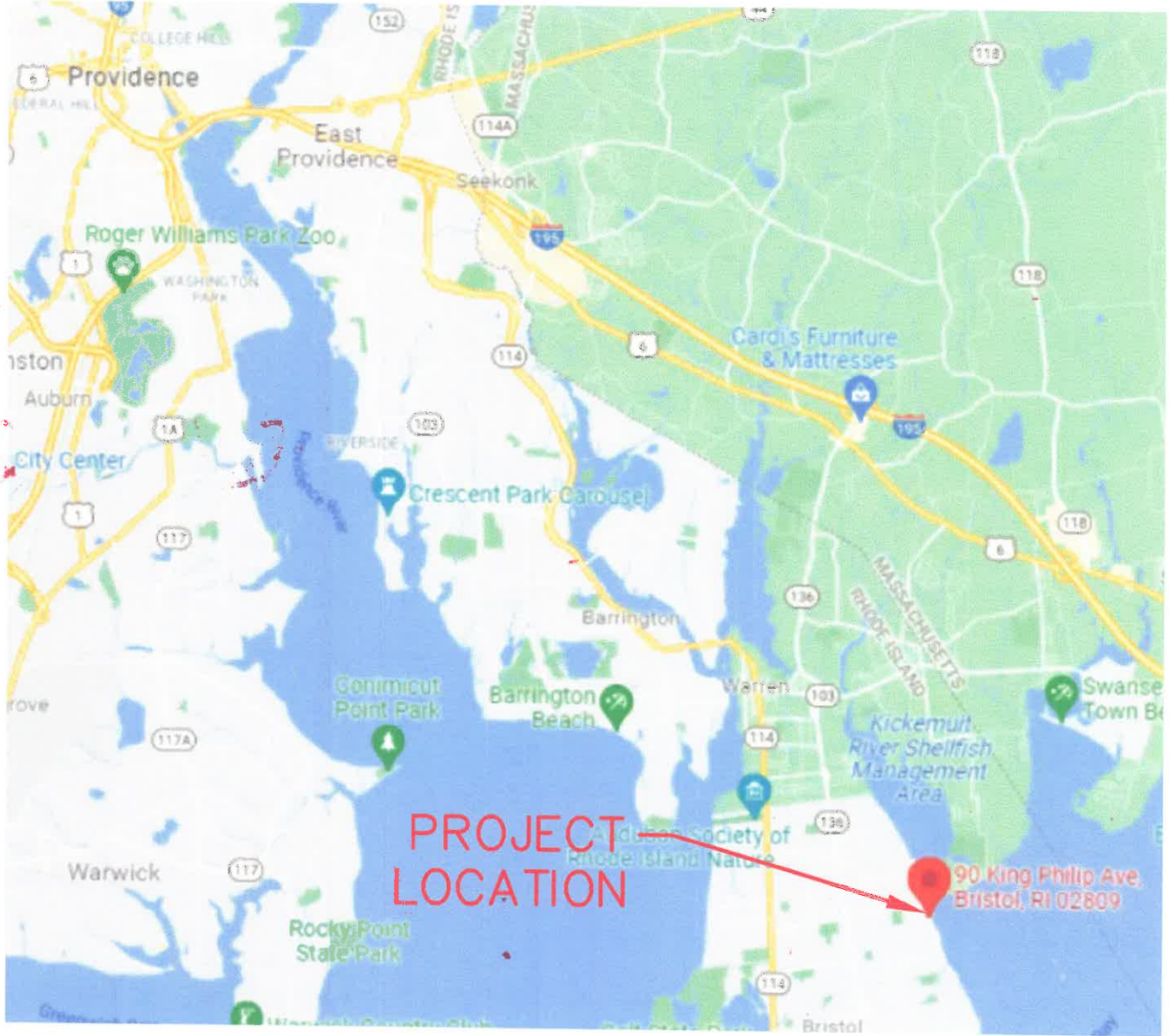
If you desire to protest, you must attend the scheduled hearing and give sworn testimony. A notice of the time and place of such hearing will be furnished you as soon as possible after receipt of your request for hearing. If you desire to request a hearing, to receive consideration, it should be in writing (**with your correct mailing address, e-mail address and valid contact number**) and be received at this office on or before **October 22, 2022**.

Please email your comments/hearing requests to: [cstaff1@crmc.ri.gov](mailto:cstaff1@crmc.ri.gov); or mail via USPS to: Coastal Resources Management Council; O. S. Government Center, 4808 Tower Hill Road, Rm 116; Wakefield, RI 02879.

/ajt



RECEIVED  
AUG 25 2022  
COASTAL RESOURCES  
MANAGEMENT COUNCIL



LOCUS PLAN  
NTS

**GENERAL SPECIFICATIONS:**

IN THE EVENT THAT ANY PILE PENETRATION CANNOT BE ATTAINED THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER. FOR ANY LOCATION WHERE PILE DEPTH CAN NOT BE ACHIEVED THE CONTRACTOR SHALL RECORD THESE LOCATIONS AND SUBMIT RECORDS TO THE DESIGN ENGINEER.

ALL WOOD PILING SHALL BE 12" DIAMETER SOUTHERN PINE WITH A MINIMUM TOP DIAMETER OF 8". MINIMUM PILE DIAMETER AT MAXIMUM SHALL BE 10". PRESURE TREATMENT SHALL BE 2.5 LB/CF CCA. PILES SHALL BE DRIVEN TO TOPPING AS INDICATED ON THE PLAN. PILES MAY BE DRIVEN USING A VIBRATORY HAMMER AS LONG AS THE MINIMUM PILE PENETRATION CAN BE ATTAINED.

ALL OTHER STRUCTURAL MEMBERS SHALL BE SOUTHERN PINE OR EQUIVALENT. MINIMUM TREATMENT FOR CROSS BRACING SHALL BE 2.5 LB/CF OF CCA. DIAGONAL BRACING SHALL NOT BE CUT BELOW THE MAIN LINE. ALL CUTTING OF SUCH MEMBERS SHALL BE DONE ON THE END ABOVE WATER FOR ALL OTHER MEMBERS (STRINGERS, HEADERS, WOOD DECKING AND ANY POST OR RAILS) TREATMENT SHALL BE 2.5 LB/CF CCA.

ALL METAL CONNECTION MATERIALS SHALL BE HOT DIPPED GALVANIZED. BOLTS SHALL BE A MINIMUM OF 308S STEEL. ALL BOLTED CONNECTIONS FOR HEADERS AND BRACING MEMBERS SHALL BE LOCATED A MINIMUM OF 2" FROM THE END OF THE MEMBER, AND 3" FROM THE EDGE OF THE MEMBER MEMBERS THAT ARE SPLIT OR CRACKED IN THE AREA OF THE BOLT LOCATION SHALL NOT BE USED. FOR ALL 1" BOLTS PROVIDE 2" MINIMUM BOTH SIDES.

DECKING FOR FRIED DOCK SHALL BE 5/8" COMPPOSITE. ALTERNATIVELY 2X8 MEMBERS CAN BE USED. FASTENERS FOR DECKING SHALL BE 22" STAINLESS STEEL SCREWS TWO AT EACH ATTACHMENT LOCATION.

FLOATING DOCK SHALL BE OF WOOD CONSTRUCTION AND HAVE APPROXIMATELY 18" FREEBOARD AND 6" DRAFT. DECKING SHALL BE 5/8" COMPPOSITE. FLOATING DOCKS SHALL HAVE HEAVY UTILITY RISERS AND OUTSIDE CORNER HARDWARE AT EACH CORNER LOCATION (POLLARISE PH-C AND 10-IN OR EQUAL), ANGLE CLIPS (POLLARISE PH-C OR EQUAL) SHALL BE PROVIDED FOR INTERIOR STRUCTURAL MEMBERS AS INDICATED. CLIPS SHALL BE FASTENED USING 3/4" GALVANIZED LAG BOLTS INTO EACH CONNECTING MEMBER.

PLANT DRAG SHALL BE FOAM FILLED POLYETHYLENE WITH UV INHIBITORS AND SHALL HAVE STRUCTURAL MOUNTING PLATES. DESIGN IS BASED ON PLANT DRAWING AS MANUFACTURED BY TUSTON PLANTS. ANY PROPOSED CHANGES SHALL BE APPROVED BY THE DESIGN ENGINEER.

REQUIRED FLOAT FRAMES AT ALL EDGES IN CONTACT WITH STRUCTURAL MEMBERS. FOLLOW MANUFACTURE SPECIFICATIONS. 1" LAG BOLTS WITH 1/2" WASHERS AND 1" FASTENER INTO STRUCTURAL MEMBER SHALL BE A REQUIRED MINIMUM. WHERE TWO SQUARES MEET ON THE SAME STRUCTURAL MEMBER, USE ONE FASTENER FOR EACH SQUARE.

PILE HOLDERS FOR FLOATING DOCK PILES SHALL BE HEAVY DUTY GALVANIZED, CHAIN TYPE TOP LOZE WITH 1/2" PILING (POLLARISE PH-C OR EQUAL). PLACEMENT OF ALL PILES SHALL BE SO AS TO ALLOW PLANT TO BE TIED OFF FROM PILING SUCH THAT NO CONTACT WITH PILING OCCURS.

AS AN ALTERNATIVE, PILE HOLDERS FOR FLOATING DOCK MAY BE HEAVY DUTY GALVANIZED, SINGLE ROLLER TYPE FOR USE WITH 1/2" PILING (POLLARISE PH-HR OR EQUAL). PLACEMENT OF ALL PILES SHALL BE SO AS TO ALLOW MOVEMENT OF THE PLANT TO AVOID EXCESSIVE BUREAU OF DOCKS.

REQUIRED PILE HOLDERS TO FLOATING DOCK WITH 4-8" THROUGH BOLTS (ON HORIZONTAL DIRECTIONS) AND 4-8" LAG BOLTS (VERTICAL DIRECTION). USE 2"x4" SPIKE BLOCK BENEATH OUTSIDE MEMBER TO PROVIDE ADEQUATE WIDTH FOR FASTENING. USE METAL BACKER PLATES FOR 2" THROUGH BOLTS.

CLEATS SHALL BE PROVIDED FOR FLOATING DOCK, TWO ON EACH SIDE 1" FROM EACH END. CLEAT SIZE SHALL BE 1/2" (POLLARISE C-10-M OR EQUAL) AND SHALL BE FASTENED TO WOOD MEMBERS USING CLEAT ANGLES.

A VINYL BUMPER STRIP SHALL BE PROVIDED ALONG THE OUTBOARD SIDE OF THE FLOATING DOCK. BUMPER STRIP SHALL BE AS MANUFACTURED BY "POLYMER" MODEL VBR-2 OR EQUAL. BUMPER SHALL BE ALUMINUM AND CONSTRUCTION SHALL BE BY MANUFACTURER REGULARLY CHANGED IN THE TRADE. RAMP SHALL BE CONNECTED TO FIXED PORTION OF DOCK AS RECOMMENDED BY MANUFACTURER. ROLLER ASSEMBLY AT FLOATING DOCK SHALL BE 2" DIAMETER BY 6" WIDE SMALL ROLLER TYPE. INSTALL PLASTIC OR METAL SHEET TO DECK, FOR ROLLERS.

**UTILITY SPECIFICATIONS:**

ALL UTILITY WORK SHALL BE PERFORMED BY LICENSED CONTRACTORS IN THEIR RESPECTIVE TRADES. ALL WORK SHALL MEET REQUIREMENTS OF THE CURRENT STATE BUILDING CODES.

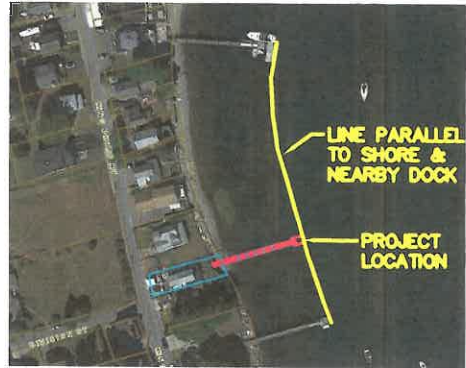
ELECTRICAL WIRE SHALL BE SIZED BY THE ELECTRICAL CONTRACTOR. WIRE SHALL BE ENCASED IN PVC CONDUIT SUITABLE FOR MARINE APPLICATION. INSTALL EXTERIOR-TYPE, MARINE GRADE, DOUBLE RECEIPTABLE AT END OF PIPES AS REQUIRED.

WATER LINE SHALL BE 5" POLYETHYLENE TUBING AS MANUFACTURED BY "AGUAPIC" OR EQUAL. INSTALL SUITABLE BACKFLOW PREVENTER AT OTHER EXISTING OVERLINE ON PIER HEAD AS REQUIRED BY CODE. PROVIDE DRAIN AT PIER HEAD TO ALLOW REMOVAL OF WATER FROM THE LINE DURING THE WINTER MONTHS. INSTALL SPOUT AT END OF PIPER AS INDICATED.

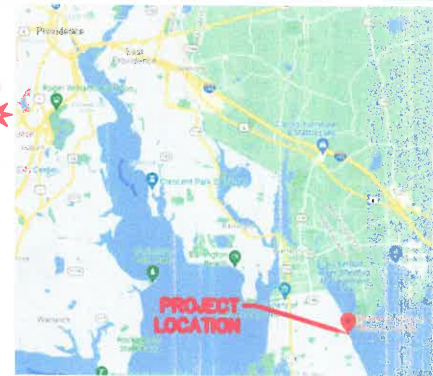
ELECTRIC/WATER UTILITY LINES SHALL BE CONNECTED AT EXISTING OVERLINE. LINES SHALL BE FUNDED A MINIMUM DEPTH OF 12" ACROSS EXISTING LAWN AREA.

UTILITY SHALL BE REQUIRED TO UNDERGO OF PIPER AS INDICATED, WITH GALVANIZED METAL FASTENERS EVERY 6" ON CENTER.

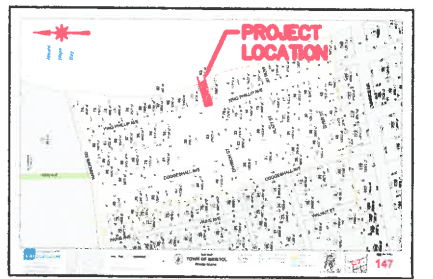
LOW VOLTAGE LIGHTING SHALL BE PROVIDED ALONG THE DOCK AS INDICATED. LIGHTING TYPE TO BE PROPOSED BY CONTRACTOR. INCLUDE LOW VOLTAGE WIRING IN ELECTRICAL CONDUIT OR SEPARATE CONDUIT AS REQUIRED BY CODE.



AERIAL PHOTO

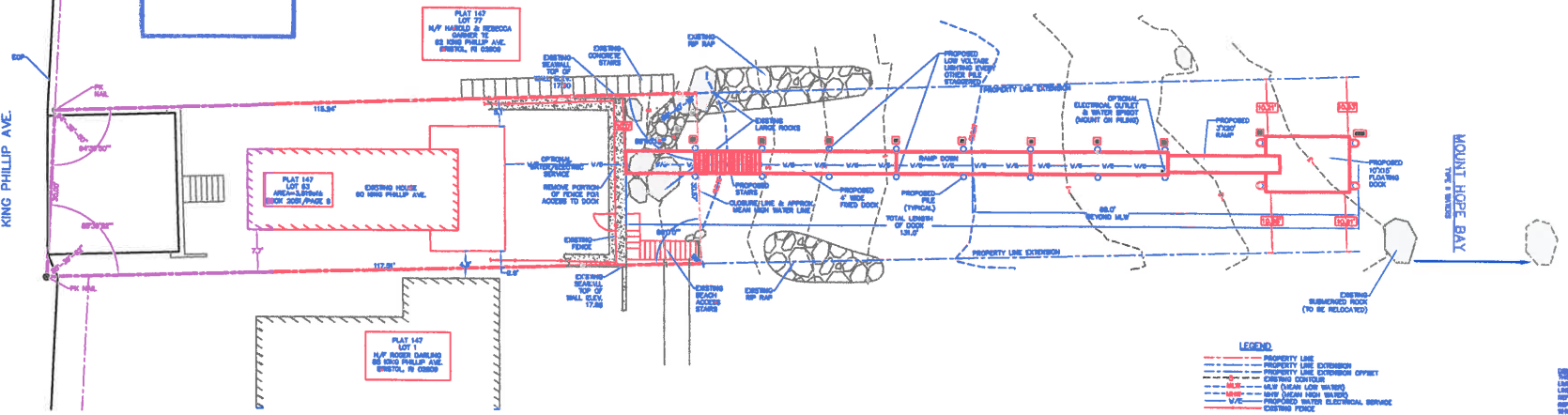


LOCUS PLAN



BRISTOL, RI PLAT MAP #147

**RECEIVED**  
**AUG 25 2022**  
 COASTAL RESOURCES  
 MANAGEMENT COUNCIL



**LEGEND**

- - - - - PROPERTY LINE
- - - - - PROPERTY LINE EXTENSION
- - - - - PROPERTY LINE EXTENSION OFFSET
- - - - - EXISTING CONDUIT
- - - - - 5/8" (MEAN LOW WATER)
- - - - - 1/2" (MEAN HIGH WATER)
- - - - - PROPOSED WATER ELECTRICAL SERVICE
- - - - - EXISTING FENCE



**NOTES:**  
 ALL MOORINGS FOUND WITHIN 50' OF END OF PROPOSED DOCK HAVE BEEN SHOWN ON PLAN

**DATUM:**  
 REFERENCE DATUM IS MEAN LOW WATER

**REFERENCE PLAN:**  
 - PLAN ENTITLED "BOUNDARY SURVEY & SITE PLAN, PLAT 147, LOT 63, 90 KING PHILIP AVENUE, BRISTOL, RI 02809  
 OWNER/APPLICANT: ALYSSA MERKLE & TIMOTHY DECHENES  
 PREPARED BY: M&F ENGINEERING ASSOCIATES  
 DATED: DECEMBER 13, 2021

**OWNER INFO:**  
 TIMOTHY DESCHENES TE & ALYSSA MERKLE  
 1868 COMMONWEALTH AVE.  
 BRIGHTON, MA 02135  
**SITE LOCATION:**  
 90 KING PHILIP AVE.  
 BRISTOL, RI 02809

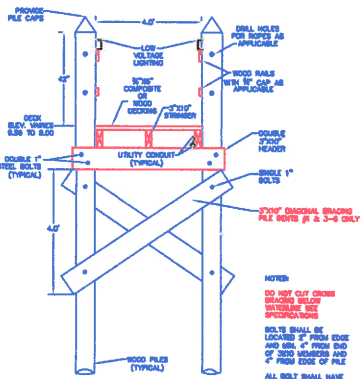


NO.	DATE	BY	REVISIONS

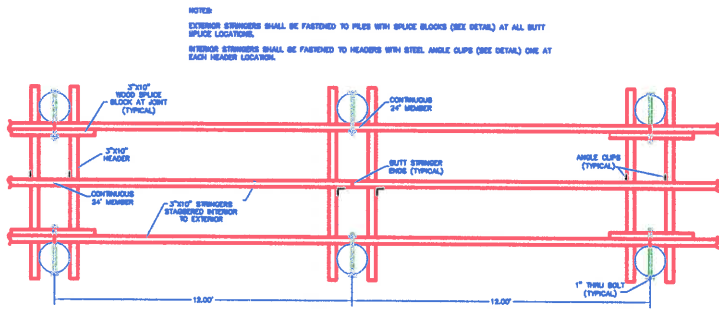
DESIGN: RD	VS
CHK: RB	RB
DATE: 12/21/21	

**SEI**  
**SITE ENGINEERING INC.**  
 CIVIL • ELECTRICAL • ENVIRONMENTAL  
 75 ROAD STREET  
 BRISTOL, RI 02809  
 PHONE: (401) 285-0887

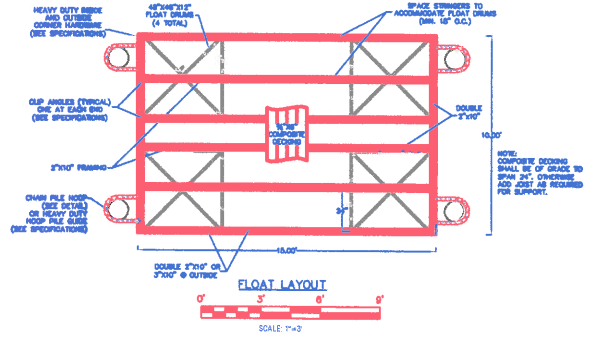
**SITE PLAN AND SPECIFICATIONS**  
**RESIDENTIAL BOATING FACILITY**  
 PLAT 147, LOT 63  
 90 KING PHILIP AVE. BRISTOL, RHODE ISLAND.  
**DK-1**



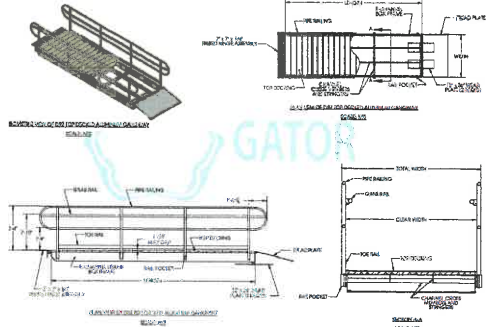
TYPICAL CROSS SECTION  
NOT TO SCALE



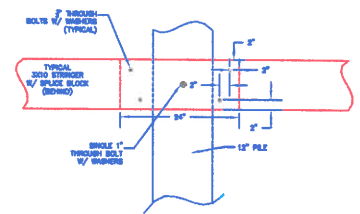
TYPICAL STRINGER LAYOUT  
NOT TO SCALE



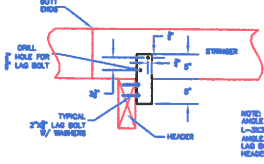
SCALE 1\"/>



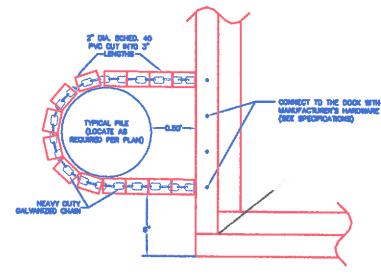
PROPOSED ALUMINUM RAMP  
NOT TO SCALE



SPUCE BLOCK DETAIL  
NOT TO SCALE

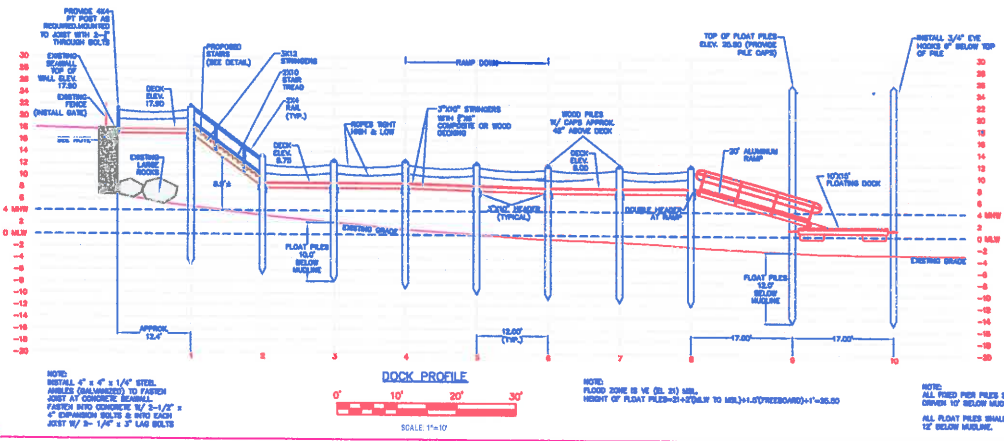


STRINGER/HEADER CONNECTION DETAIL  
NOT TO SCALE



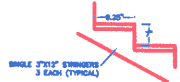
CHAIN HOOP DETAIL  
SCALE 1\"/>

RECEIVED  
 AUG 25 2022  
 COASTAL RESOURCES  
 MANAGEMENT COUNCIL



DOCK PROFILE  
SCALE 1\"/>

STAIR RISE SHALL BE 7"  
 STAIR RUN SHALL BE 9.25"  
 (2X10)



STAIR DETAIL  
NOT TO SCALE

OWNER INFO:  
 TIMOTHY DESCHENES TE  
 & ALYSSA MERKLE  
 1888 COMMONWEALTH AVE.  
 BRIGHTON, MA 02135  
 SITE LOCATION:  
 90 KING PHILLIP AVE.  
 BRISTOL, RI 02809



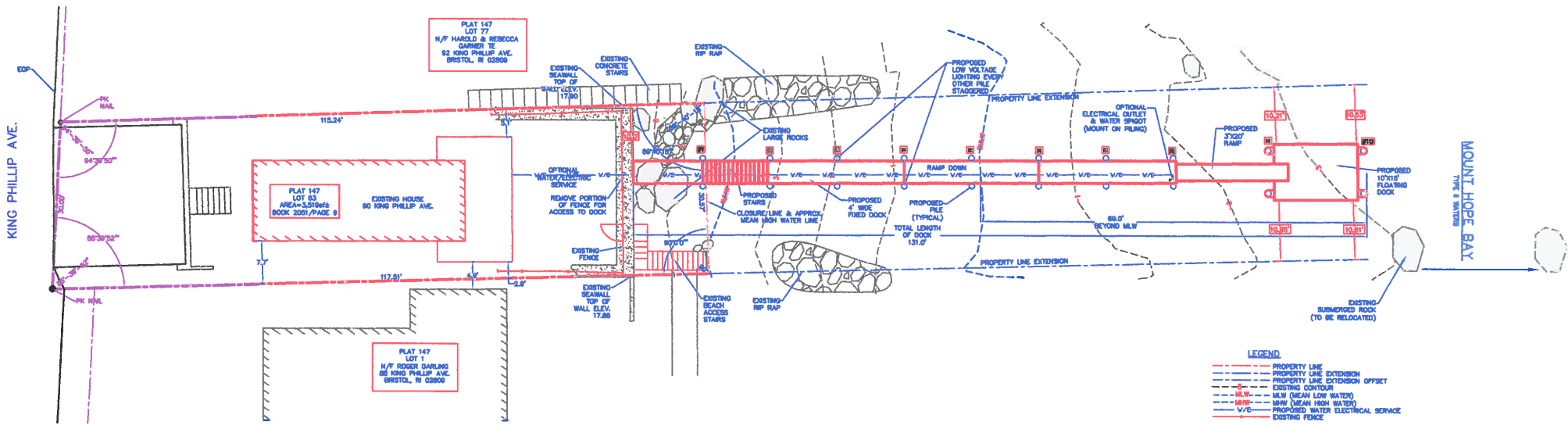
NO.	DATE	DESCRIPTION	BY	CHKD.	APPVD.

DESIGN	RG	VS			
DR.					
CHK.					
DATE:	12/21/21				

**SEI**  
 SITE ENGINEERING INC.  
 CIVIL - MARINE - ENVIRONMENTAL  
 10 WOOD STREET  
 BRISTOL, RI 02809  
 PHONE: (401) 886-8871

**DOCK PROFILE & DETAILS**  
 RESIDENTIAL BOATING FACILITY  
 PLAT 147, LOT 63  
 90 KING PHILLIP AVE.  
 BRISTOL, RHODE ISLAND

SOLD AS SHOWN  
 (SEE PAGE 2)  
**DK-2**



- LEGEND**
- PROPERTY LINE
  - PROPERTY LINE EXTENSION
  - PROPERTY LINE EXTENSION OFFSET
  - EXISTING CONTOUR
  - MLW (MEAN LOW WATER)
  - MHW (MEAN HIGH WATER)
  - V/E PROPOSED WATER ELECTRICAL SERVICE
  - EXISTING FENCE



REFERENCE PLAN:  
 --PLAN ENTITLED "BOUNDARY SURVEY  
 & SITE PLAN, PLAT 147, LOT 63  
 90 KING PHILIP AVENUE, BRISTOL, RI 02809  
 OWNER/APPLICANT: ALYSSA MERKLE &  
 TIMOTHY DECHENES"  
 PREPARED BY: M/J ENGINEERING ASSOCIATES  
 DATED: DECEMBER 13, 2021

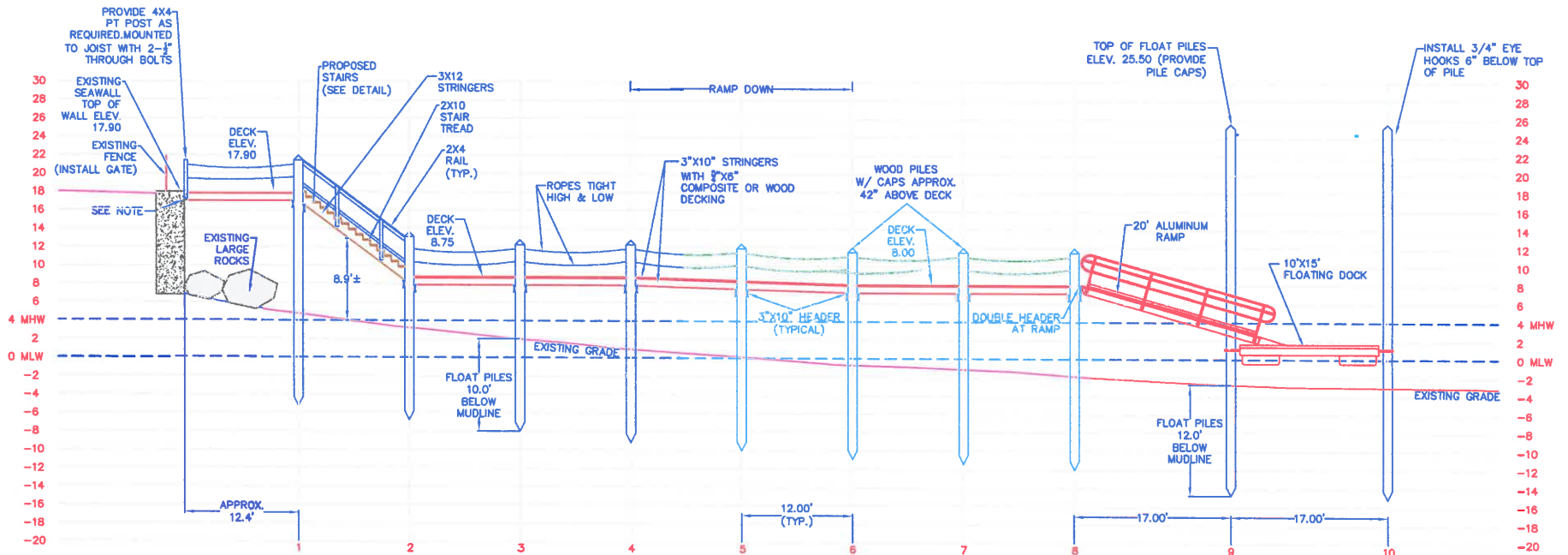
OWNER INFO:  
 TIMOTHY DESCHENES TE  
 & ALYSSA MERKLE  
 1868 COMMONWEALTH AVE.  
 BRIGHTON, MA 02135

SITE LOCATION:  
 90 KING PHILIP AVE.  
 BRISTOL, RI 02809

NOTES:  
 ALL MOORINGS FOUND WITHIN 50' OF END OF PROPOSED DOCK HAVE  
 BEEN SHOWN ON PLAN

DATUM:  
 REFERENCE DATUM IS MEAN  
 LOW WATER

**RECEIVED**  
**AUG 25 2022**  
 COASTAL RESOURCES  
 MANAGEMENT COUNCIL



NOTE:  
 INSTALL 4" x 4" x 1/4" STEEL ANGLES (GALVANIZED) TO FASTEN JOIST AT CONCRETE SEAWALL. FASTEN INTO CONCRETE W/ 2-1/2" x 4" EXPANSION BOLTS & INTO EACH JOIST W/ 2- 1/4" x 3" LAG BOLTS

**DOCK PROFILE**



SCALE: 1"=10'

NOTE:  
 FLOOD ZONE IS VE (EL 21) MSL. HEIGHT OF FLOAT PILES=21+2'(MLW TO MSL)+1.5'(FREEBOARD)+1'=25.50

NOTE:  
 ALL FIXED PIER PILES SHALL BE DRIVEN 10' BELOW MUDLINE.  
 ALL FLOAT PILES SHALL BE DRIVEN 12' BELOW MUDLINE.

**RECEIVED**  
**AUG 25 2022**  
 COASTAL RESOURCES  
 MANAGEMENT COUNCIL