

LANDSCAPE PLANS

MATUNUCK BEACH CONDOMINIUM

LOCATED AT:

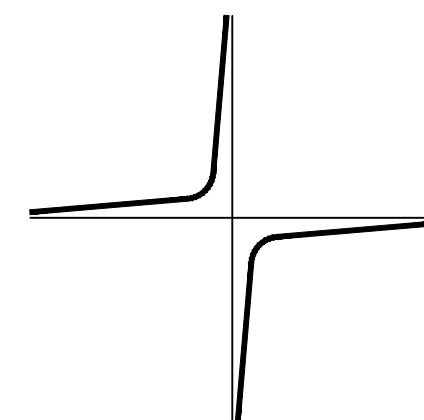
Piping Plover Drive
Assessor's Plat 92-2, Lots 56
South Kingstown, Rhode Island

PREPARED FOR THE:

Matunuck Beach Road Partners, LLC
P.O. Box 402
Narragansett, Rhode Island

SHEET INDEX

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2	DETAILS & TYPICAL PLANTING	08-11-2021	09-02-21	10-25-21	02-24-22	05-04-22	05-11-22	07-11-22
3	PLANTING NOTES & DETAILS	08-11-2021	09-02-21	10-25-21				



PREPARED BY:

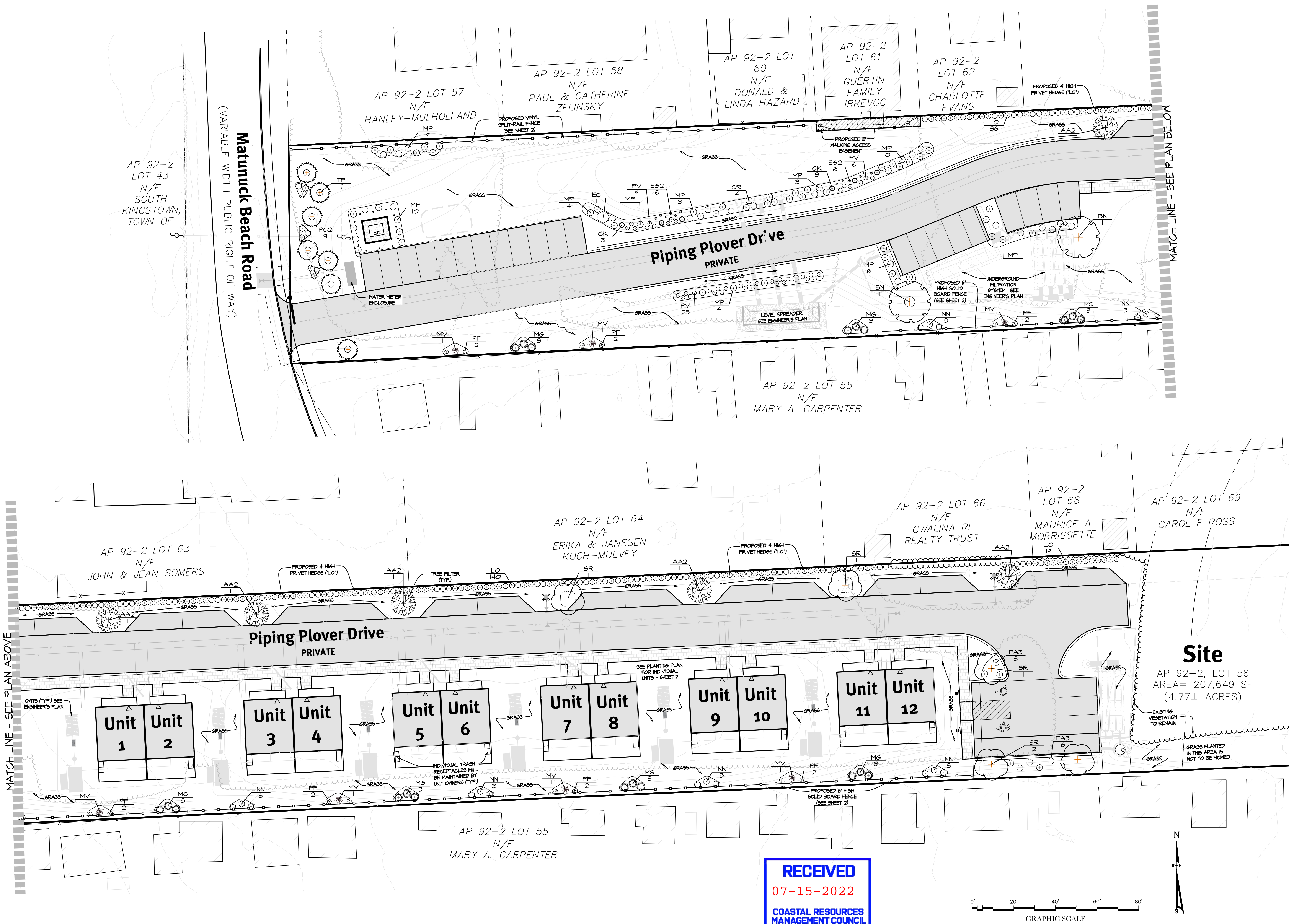
JOHN C. CARTER & CO., INC.

960 BOSTON NECK RD., NARRAGANSETT, RI
(401) 783 - 3500

LANDSCAPE ARCHITECTURE
DESIGN & BUILD

ENGINEER
DiPrete Engineering
2 Stafford Court
Cranston, Rhode Island
401-943-1000





JOHN C. CARTER & CO., INC.
 960 BOSTON NECK RD., NARRAGANSETT, RI
 (401) 783 - 3500
 LANDSCAPE ARCHITECTURE
 DESIGN & BUILD

PREPARED FOR:
PLANTING PLAN
 Matunuck Beach Road Partners, LLC

LOCATED AT:
 PIPING PLOVER DRIVE
 AP 92-2, LOT 56
 SOUTH KINGSTOWN, RHODE ISLAND

ISSUED FOR
 PERMITTING

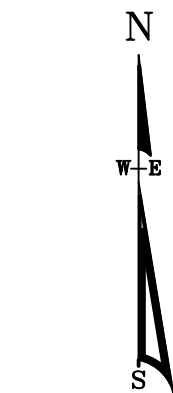
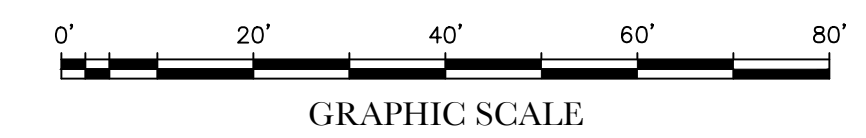
REVISIONS
 7-11-22 Plantings per National Grid & underground system components.
 5-11-22 Trees, vinyl fence per Planer.
 5-4-22 Plantings per Planning Board comments
 2-24-22 Plantings in response to new entrance road location and utility layout.
 10-25-21 Plantings in response to new layout. Road name: Fence on north property line.
 9-2-21 Plantings in response to new layout of parking & units. Trash receptacles added. Fence added. Notes added.
 SCALE 1"=20'
 DATE August 11, 2021



SHEET NUMBER

1 OF 3

RECEIVED
 07-15-2022
 COASTAL RESOURCES
 MANAGEMENT COUNCIL





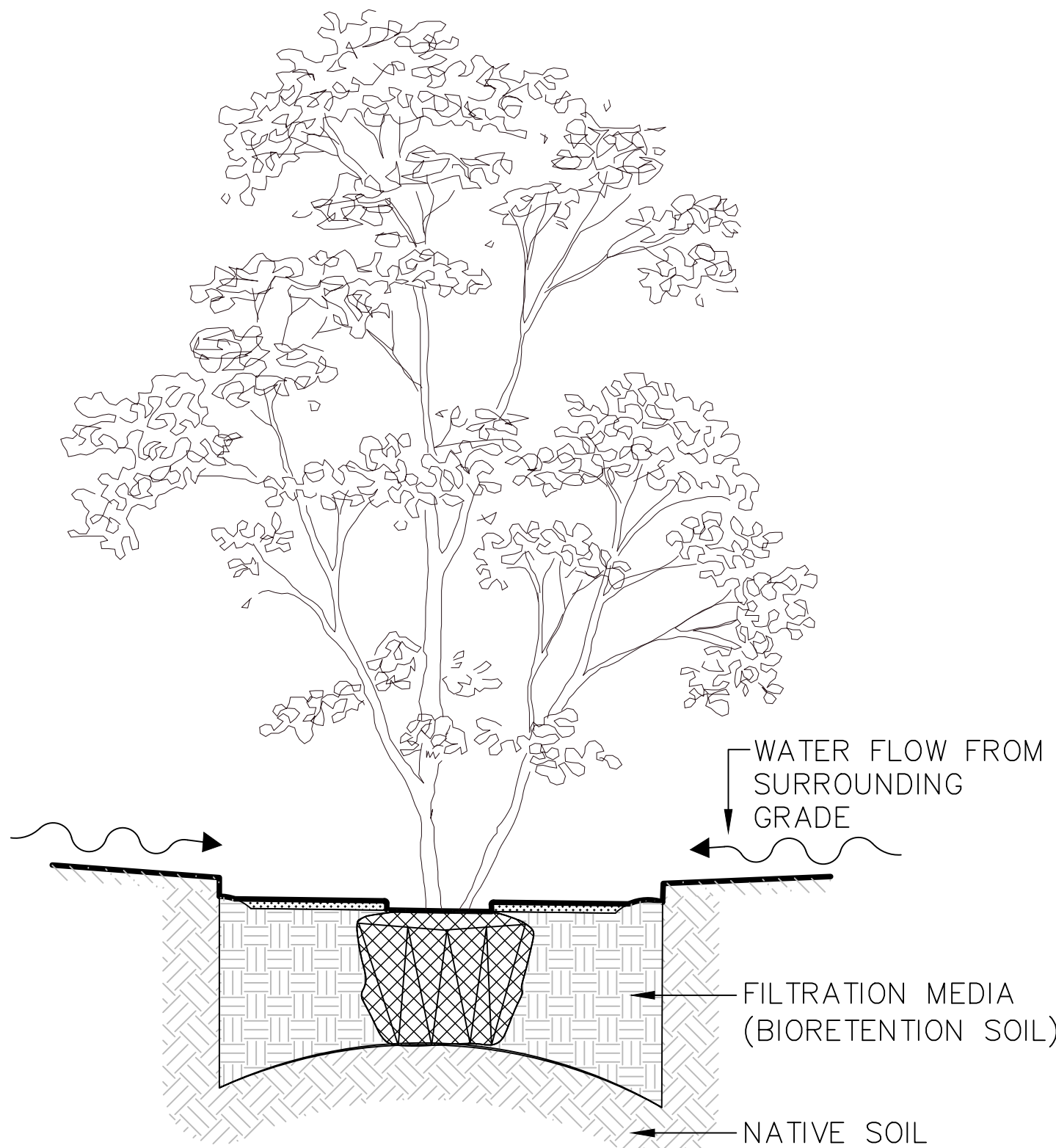
PRIVACY FENCE

A 6' PRIVACY FENCE WILL BE INSTALLED ALONG THE SOUTH PROPERTY LINE BETWEEN THE MARY GARPENTER RESIDENCES AND THE PROPOSED CONDOMINIUMS. PLANTINGS ARE PROPOSED TO SOFTEN THE EXPANSE OF THE FENCE.



WHITE VINYL SPLIT-RAIL FENCE

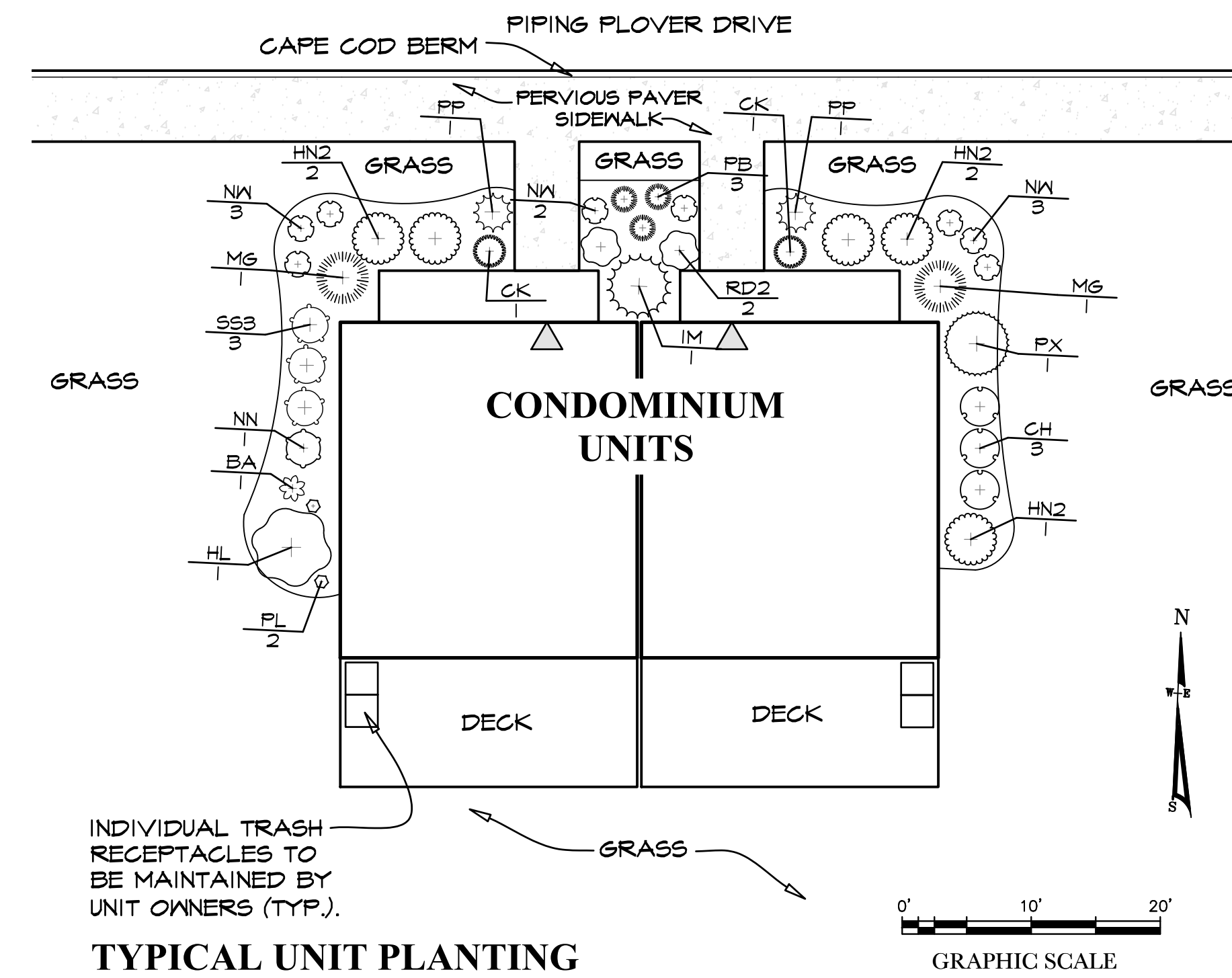
A WHITE VINYL SPLIT-RAIL FENCE WILL BE INSTALLED ALONG A SECTION OF THE NORTH PROPERTY LINE BETWEEN THE HOLDEN ROAD RESIDENCES AND THE PROPOSED CONDOMINIUMS TO DISCOURAGE CUT-THROUGH PEDESTRIAN MOVEMENTS FROM HOLDEN ROAD THROUGH THE SITE. THE FENCE WILL BE INSTALLED 6' ABOVE GRADE.



TREE FILTER

NTS

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INDIVIDUAL TRASH RECEPTACLES TO BE MAINTAINED BY UNIT OWNERS (TYP.).

TYPICAL UNIT PLANTING
SCALE: 1" = 10'

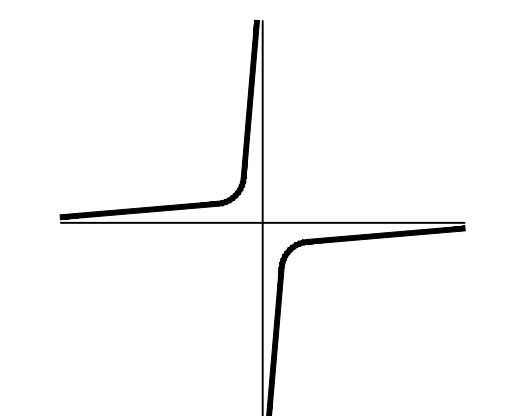
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
CH	3	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	SUMMERSWEET	15-18" HT
HN2	5	HYDRANGEA MACROPHYLLA NANTUCKET BLUE	NANTUCKET BLUE HYDRANGEA	18-24" HT
HL	1	HYDRANGEA PANICULATA 'LIMELIGHT' TM	LIMELIGHT HYDRANGEA	18-24" HT.
IM	1	ILEX X MESERVEAE 'BLUE MAID' TM	BLUE MAID HOLLY - PYRAMIDAL FORM	24-36" HT
PX	1	PIERIS X 'BROWNER'S BEAUTY'	BROWNER'S BEAUTY HYBRID PIERIS	18-24" HT
PP	2	PINUS MUGO 'FUMILIO'	MUGO PINE	5 GAL
SSS	3	SPIRAEA JAPONICA 'SHIROBANA'	SHIROBANA SPIREA	15-18" HT
GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
CK	2	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	2 GAL
M6	2	MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT MAIDEN GRASS	2 GAL
PB	3	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	LITTLE BUNNY FOUNTAIN GRASS	2 GAL
ANNUALS/PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
BA	1	BAPTISIA AUSTRALIS	BLUE WILD INDIGO	2 GAL

PLANT SCHEDULE: TYPICAL UNIT

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
AA2	6	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG RED MAPLE	1.5-2" CAL.
BN	2	BETULA NIGRA	RIVER BIRCH MULTI-TRUNK	12-14' HT.
SR	5	SYRINGA RETICULATA	JAPANESE TREE LILAC	1.5-2" CAL.
TP	7	THUJA PLICATA	GIANT ARBORVITAE	5-6' HT.
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
CR	14	CLETHRA ALNIFOLIA 'RUBY SPICE'	RUBY SPICE CLETHRA	18-24" HT
EC	1	ENKIANTHUS CAMPANULATUS	ENKIANTHUS	24-30" HT.
FAB	9	FOTHERGILLA GARDENII 'MT. AIRY'	DWARF MITCHALDER	15-18" HT
LO	195	LIGUSTRUM OVALIFOLIUM	CALIFORNIA PRIVET	4" MINIMUM
MP	61	MORELLA PENNSYLVANICA	NORTHERN BAYBERRY	30-36" HT.
PC2	9	PHYSOCARPUS OPULIFOLIUS 'CENTER GLOW'	CENTER GLOW NINEBARK	18-24" HT
GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
CK	6	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	2 GAL
M6	21	MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT MAIDEN GRASS	2 GAL
MV	7	MISCANTHUS SINENSIS 'VARIEGATUS'	VARIEGATED MAIDEN GRASS	2 GAL
PV	40	PANICUM VIRGATUM	SWITCH GRASS	2 GAL
ANNUALS/PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
EG2	12	EUPATORIUM MACULATUM 'GATEWAY'	GATEWAY JOE-PYE WEED	2 GAL
NN	18	NIPPONANTHEMUM NIPPONICUM	MONTAUK DAISY	2 GAL
PF	14	PEROVSKIA ATRIPLICIFOLIA 'FILIGRAN'	RUSSIAN SAGE	2 GAL

PLANT SCHEDULE: SHEET 1

ALL REQUIRED PLANT MATERIAL HAS BEEN SELECTED FROM THE PUBLICATION ENTITLED 'SUSTAINABLE TREES AND SHRUBS FOR SOUTHERN NEW ENGLAND', PER SOUTH KINGSTOWN SUBDIVISION & LAND DEVELOPMENT REGULATIONS, ARTICLE IV SPECIAL REQUIREMENTS, 6. LANDSCAPING - GENERAL STANDARDS AND SPECIFICATIONS.



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LANDSCAPE ARCHITECTURE
DESIGN & BUILD

DETAILS & TYPICAL PLANTING
PREPARED FOR:
Matunuck Beach Road Partners, LLC
LOCATED AT:
PIPING PLOVER DRIVE
A.P. 92-2, LOT 56
SOUTH KINGSTOWN, RHODE ISLAND

ISSUED FOR PERMITTING

REVISIONS

- 5-11-22 Trees, vinyl fence, pavers, & Cape Cod berm per Planner.
- 5-4-22 Plantings per Planning Board comments, wooden fence & chain-link fence notes
- 2-24-22 Planting plans for individual units due to unit design changes. Planting plans
- 10-25-21 Planting plans for individual units due to unit design changes. Sheet 1 plant list. Road name. Fence added.
- 9-2-21 Planting plans for individual units due to unit design updates. Trash receptacles & note added.

SCALE 1"=20'
DATE August 11, 2021



SHEET NUMBER

2 OF 3

NOTES:

GENERAL:

- THE EXISTING SITE INFORMATION WAS TAKEN FROM A PLAN PREPARED BY DIPRETE ENGINEERING, TITLED ACAD-2384-002-SEND-MODEL DATED JULY 13, 2021.
- ANY PROPERTY LINES DEPICTED ON THIS PLAN ARE PICTORIAL ONLY. THIS PLAN IS TO BE USED FOR THE SELECTION, LOCATION AND INSTALLATION OF LANDSCAPE MATERIALS ONLY AND IS NOT TO BE USED FOR ANY OTHER PURPOSE. ALL FOUNDATIONS, RETAINING WALLS AND DRAINAGE COMPONENTS SHALL BE STAKED OUT BY THE ENGINEER OR SURVEYOR.
- WRITTEN DIMENSIONS AND SPECIFICATIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- THE LOCATION OF UTILITIES IF SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL UTILITIES BEFORE ANY EXCAVATION. DIG-SAFE SHALL BE CONTACTED AT LEAST 72 HOURS BEFORE EXCAVATION. DIG-SAFE CAN BE REACHED AT 1-888-344-1239.

PLANTING BED PREPARATION:

ALL PLANTING BEDS ARE TO BE TREATED AS FOLLOWS:

- ALL PLANTING BEDS ARE TO BE EXCAVATED TO A DEPTH OF 8" BELOW FINISHED GRADE.
- THE BOTTOM OF THE PLANTING BEDS ARE TO BE SCARIFIED TO ENCOURAGE DRAINAGE AND PREVENT COMPACTION.
- ALL PLANTING BEDS ARE TO BE BACKFILLED WITH 8" OF LOOSE, FRIABLE, ORGANIC LOAM OR COMPOST.

PLANTING:

- PROVIDE QUALITY PLANTS IN THE GENUS, SPECIES AND VARIETY INDICATED IN THE PLANT SCHEDULE, COMPLYING WITH APPLICABLE REQUIREMENTS OF "ANSI Z601 AMERICAN STANDARD FOR NURSERY STOCK."
- PROVIDE PLANTS IN THE SIZE AND NUMBER INDICATED IN THE PLANT SCHEDULE. PLANTS SHALL BE GROWN IN NURSERIES LOCATED IN THE NORTHEASTERN U.S.
- DELIVER FRESH DUG TREES WHICH ARE BALLED AND BURLAPPED, AND SHRUBS WHICH ARE BALLED AND BURLAPPED OR IN NURSERY CONTAINERS. ALL PLANTS ARE TO BE HEALTHY, VIGOROUS AND FREE OF INSECTS AND DISEASE.
- PLANTS ARE TO BE INSTALLED AS SPECIFIED IN THE PLANTING DETAILS WITH ADEQUATE WATER PROVIDED DURING PLANTING TO ALLOW COMPACTION OF THE PLANTING SOIL TO PREVENT ANY AIR POCKETS OR SETTLEMENT AFTER PLANTING.
- ALL PLANTING BEDS ARE TO BE COVERED WITH 2" SHREDDED PINE BARK MULCH.
- AFTER THE TREES AND SHRUBS ARE PLANTED, THE DISTURBED AREAS BETWEEN THE PLANTING BEDS SHALL BE LOAMED AND SEEDED WITH A SEED MIX AS SPECIFIED IN THE LOAMING AND SEEDING NOTES.
- ALL DECIDUOUS AND EVERGREEN TREES OVER 5' TALL ARE TO BE STAKED AS SHOWN IN THE PLANTING DETAILS. TREES ARE TO REMAIN PLUMB AND SHALL BE ADJUSTED AS NEEDED. ALL STAKES AND ARBOR TIES ARE TO BE MAINTAINED AND ADJUSTED TO PREVENT GIRDLING OF THE TRUNK AND REMOVED WHEN NO LONGER NEEDED.
- PLANT SUBSTITUTIONS SHALL BE ALLOWED BASED ON AVAILABILITY AND SITE CONDITIONS. ANY SUBSTITUTIONS OF LANDSCAPE MATERIALS SHALL BE SUBJECT TO THE PRIOR WRITTEN APPROVAL OF THE ADMINISTRATIVE OFFICER WITH DIRECT APPROVAL FROM THE LANDSCAPE ARCHITECT OR OWNER.

LOCATING:

- AFTER THE PLANTING BEDS ARE PREPARED, THE PLANTS SHALL BE PLACED ON THE GROUND WHERE SHOWN ON THE PLAN.
- THE PLANTS SHALL BE ORIENTED IN SUCH A MANNER TO RESULT IN THE MOST UNIFORM AND VIGOROUS SIDE OF THE PLANT FACING THE FRONT.
- THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED AND SHALL INSPECT AND APPROVE THE LOCATIONS BEFORE THEY ARE PLANTED.

MAINTENANCE & WARRANTY:

- THE CONTRACTOR SHALL WARRANTY ALL PLANTS FOR A PERIOD OF ONE YEAR AFTER THE DATE OF SUBSTANTIAL COMPLETION AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH.
- AFTER PLANTING IS COMPLETED, THE OWNER SHALL BE RESPONSIBLE TO PROVIDE ADEQUATE WATER TO ENSURE HEALTHY AND VIGOROUS GROWTH.
- ANY PLANT WHICH IS NOT HEALTHY AND GROWING VIGOROUSLY AFTER ONE YEAR SHALL BE REPLACED BY THE CONTRACTOR IN CONFORMANCE WITH THE PLANTING SPECIFICATIONS.
- IF NECESSARY, THE CONTRACTOR SHALL OVERSEED OR SOD ANY AREAS WHICH ARE NOT SUBSTANTIALLY COVERED BY ADEQUATE GRASS GROWTH FOR TWO YEARS AFTER THE INITIAL SEED APPLICATION.

LOAMING & SEEDING:

- AREAS LABELED AS 'GRASS' ARE TO BE SEEDED OR SODDED AS DIRECTED BY THE OWNER.
- AFTER ROUGH GRADING IS COMPLETED, ALL DISTURBED AREAS WHICH ARE LABELED AS 'GRASS', ARE TO BE BROUGHT TO AN ELEVATION OF 6" BELOW THE PROPOSED FINISHED GRADE. IF COMPACTED, THE SUBGRADE IS TO BE SCARIFIED TO A DEPTH OF 12" WITH THE TEETH OF A BACKHOE TO RESULT IN AN UNCOMPACTED SUBSOIL. THEN 6" OF GOOD QUALITY TOPSOIL IS TO BE APPLIED AND RAKED TO FINISHED GRADE.
- THE TOPSOIL IS TO BE GOOD QUALITY LOAM, FERTILE AND FREE OF WEEDS, STICKS AND STONES OVER 3/4" IN SIZE AND OTHERWISE COMPLYING WITH SECTION M.10.01 OF THE RI DOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- LIME IS TO BE APPLIED AT A RATE OF ONE TON PER ACRE AND UNIFORMLY INCORPORATED INTO THE TOP 1-2" OF TOPSOIL.
- AFTER THE SEED BED IS PREPARED, THE AREA IS TO BE HYDRO-SEEDED. THE HYDRO-SEED SHALL BE APPLIED EVENLY OVER THE SURFACE WITH A BONDED 100% WOOL FIBER MATRIX USING ACCEPTED HORTICULTURAL PRACTICES. THE SLURRY SHALL INCLUDE WATER, SEED, WOOL FIBER AND A HIGH PHOSPHORUS STARTER FERTILIZER.
- RATHER THAN HYDRO-SEEDING AS DESCRIBED ABOVE, WITH PERMISSION FROM THE OWNER, THE CONTRACTOR MAY BROADCAST SEED. PRIOR TO SEEDING, FERTILIZE WITH A HIGH PHOSPHORUS STARTER FERTILIZER APPLIED AT THE MANUFACTURER'S RECOMMENDED RATES. SEED SHALL BE BROADCAST EVENLY OVER THE PREPARED SURFACE AND WORKED INTO THE TOP 1" OF SOIL.

SEED MIXES:

- PROVIDE QUALITY SEED DERIVED FROM THE VARIETY INDICATED UNDER 'SEEDING'.
- ALL SEED IS TO BE VIABLE, HEALTHY AND FREE OF INSECTS AND DISEASE.
- SEED IS TO BE INSTALLED AS SPECIFIED IN THE SEEDING NOTES WITH ADEQUATE WATER PROVIDED TO ESTABLISH A HEALTHY GRASS CATCH.
- RECOMMENDED SEEDING DATES ARE APRIL 1 TO JUNE 30 AND AUGUST 15 TO NOVEMBER 15. LATE FALL AND WINTER DORMANT SEEDING REQUIRE AN INCREASE IN THE SEEDING RATE.
- SEED SUBSTITUTIONS SHALL BE ALLOWED BASED ON AVAILABILITY ONLY WITH DIRECT APPROVAL FROM THE LANDSCAPE ARCHITECT OR OWNER.

SEED MIX SHALL BE AS FOLLOWS:

ALLEN'S (DROUGHT RESISTANT) 'FAIRPLAY'

- 40% RENEGADE TURF TYPE TALL FESCUE
- 40% PERENNIAL RYE
- 20% ACTION KENTUCKY BLUE GRASS

AVAILABLE THROUGH ALLEN'S SEED, 643 SOUTH COUNTY TRAIL, EXETER, RHODE ISLAND PHONE: 401-244-2122 OR APPROVED EQUAL.

SODDING:

IF THE AREAS THAT ARE LABELED 'GRASS' ARE TO BE SODDED:

- SOD SHALL BE LIVE, FRESH, AND OF SUITABLE CHARACTER FOR THE PURPOSE INTENDED AND FOR THE SOIL ON WHICH IT WILL BE PLACED. SODS SHALL BE AT LEAST 2-SQUARE FEET IN AREA AND SHALL BE THICK ENOUGH TO CONTAIN ALL NATURAL ROOTS WITHOUT MUTILATION. IN NO CASE WILL SODS BE PERMITTED TO BE UNDER 3/4" THICK OR OVER 1" THICK, UNLESS EXPRESS WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT IS PROCURED. SOD STORED LONGER THAN 36 HOURS WILL NOT BE ALLOWED UNDER ANY CIRCUMSTANCES.
- RECOMMENDED SODDING DATES ARE APRIL 1 TO JUNE 30 AND AUGUST 15 TO NOVEMBER 15.
- SOD INSTALLATION: THE SOD BED SHALL BE MOIST AND BE WATERED CONTINUOUSLY DURING THE SODDING OPERATION. SOD SHALL BE LAID IN THE LONGEST DIMENSION PARALLEL TO THE CONTOURS. THE FIRST ROW OF SOD SHALL BE LAID A STRAIGHT LINE WITH THE SUBSEQUENT ROWS PLACED PARALLEL TO AND TIGHTLY AGAINST EACH OTHER. LATERAL/VERTICAL JOINTS SHALL BE STAGGERED BY A MINIMUM OF 12" TO PROMOTE UNIFORM GROWTH AND STRENGTH. SOD SHALL NOT BE STRETCHED OR OVERLAPPED AND ALL JOINTS SHALL BE BUTTED TIGHT.
- AFTER THE SOD IS PLACED, IT SHALL BE PRESSED FIRMLY INTO CONTACT WITH THE SOD BED BY TAMPING OR HAND ROLLING. THIS PROCEDURE SHALL NOT DEFORM THE SOD. THE CONTRACTOR SHALL CUT THE SOD TO LINE AS INDICATED ON THE PLAN OR AS DIRECTED BY THE LANDSCAPE ARCHITECT.

NOTE

BECAUSE OF THE INTENSE BROWSING BY THE RESIDENT WHITE TAIL DEER IN THIS AREA, IT IS RECOMMENDED THAT A REPUTABLE COMPANY BE ENGAGED TO PROVIDE A SPRAY PROGRAM. THERE ARE NO PLANTS WHICH CAN BE GUARANTEED TO BE 'DEER PROOF.'

TOWN OF SOUTH KINGSTOWN

2. STREET LANDSCAPING

WHENEVER A PARKING OR LOADING AREA ADJOINS A PUBLIC STREET RIGHT-OF-WAY, OR THE RIGHT-OF-WAY OF A PRIVATE STREET WHICH IS OR MAY BE CUSTOMARILY USED BY THE PUBLIC AS ACCESS TO THE PARKING OR LOADING FACILITY, A LANDSCAPED STRIP OF LAND SHALL BE CONSTRUCTED OR MAINTAINED ALONG THE ENTIRE STREET FRONTAGE, EXCEPT FOR ANY NECESSARY DRIVEWAYS, AS PROVIDED HEREIN.

g) A STRIP OF LAND OF MINIMUM 10 FOOT WIDTH BETWEEN THE RIGHT-OF-WAY AND THE PARKING/LOADING FACILITY PLANTED AS A PARTIAL LANDSCAPE SCREEN.

AN OPTION FOR A PARTIAL LANDSCAPE SCREEN FOR YARDS GREATER THAN TEN (10) FEET WIDE IS: 4 EVERGREEN TREES PLUS 1 LOW SHRUB FOR EVERY 40 LINEAR FEET.

THERE IS ONE PARKING AREA THAT IS LOCATED APPROXIMATELY 40 FEET AWAY FROM MATUNUCK BEACH ROAD. THE LENGTH OF THE AREA TO BE SCREENED IS APPROXIMATELY 40 LINEAR FEET. A PARTIAL LANDSCAPE SCREEN IS PROPOSED TO SCREEN THIS PARKING AREA FROM THE MATUNUCK BEACH ROAD. THE PROPOSED PLANTING IS FOUR (4) EVERGREEN TREES AND NINE (9) SHRUBS.

TREES REQUIRED	TREES PROPOSED	SHRUBS REQUIRED	SHRUBS PROPOSED
4	6	1	12

3. PERIMETER LANDSCAPING - PARKING LOTS AND LOADING FACILITIES

THE PERIMETER OF THE PARKING LOT AND LOADING FACILITY SHALL BE SURROUNDED BY A LANDSCAPED STRIP AS ILLUSTRATED IN FIGURE 7. THE WIDTH OF THE PERIMETER LANDSCAPING STRIP SHALL BE AS FOLLOWS:

NO LESS THAN 10 (TEN) FEET IN WIDTH WHERE THE PARKING AREA CONTAINS FIVE (5) SPACES OR MORE OR WHICH EXCEEDS 2500 SQ. FT. OF PAVED AREA; AND NO LESS THAN FIVE (5) FEET IN WIDTH WHERE THE PARKING AREA CONTAINS LESS THAN FIVE (5) SPACES OR WHICH HAS LESS THAN 2500 SQ. FT. OF PAVED PARKING AREA.

LANDSCAPING OF THE PERIMETER OF A PARKING LOT SHALL INCLUDE AT LEAST ONE TREE PLUS THREE (3) LOW SHRUBS OR GROUNDCOVER PLANTS FOR EVERY THIRTY-FIVE LINEAR FEET OF PERIMETER.

LANDSCAPE STRIPS SURROUNDING THE PARKING AREAS OF AT LEAST TEN FEET IN WIDTH ARE PROVIDED WHERE PARKING AREAS CONTAIN FIVE SPACES OR MORE OR EXCEEDS 2500 SQ. FT. OF PAVED AREA AND NO LESS THAN FIVE (5) FEET IN WIDTH WHERE THE PARKING AREA CONTAINS LESS THAN FIVE (5) SPACES OR WHICH HAS LESS THAN 2500 SQ. FT. OF PAVED PARKING AREA.

A SIX FOOT HIGH SOLID BOARD FENCE IS PROPOSED FOR THE SOUTH PROPERTY LINE WHICH WILL HELP TO PROVIDE SCREENING. IN ADDITION, AT LEAST ONE (1) TREE PLUS THREE (3) LOW SHRUBS OR GROUNDCOVER PLANTS FOR EVERY THIRTY-FIVE (35) LINEAR FEET OF PARKING PERIMETER IS PROVIDED.

TREES REQUIRED	TREES PROPOSED	SHRUBS REQUIRED	SHRUBS PROPOSED
18	20	59	134

4. INTERIOR LANDSCAPING

THE INTERIOR AREAS OF PARKING LOTS (EXCLUSIVE OF LOADING AREAS) SHALL ALSO BE LANDSCAPED. THE MINIMUM AMOUNT OF INTERIOR PARKING LOT LANDSCAPING SHALL BE PROVIDED IN ACCORDANCE WITH THE FOLLOWING TABLE:

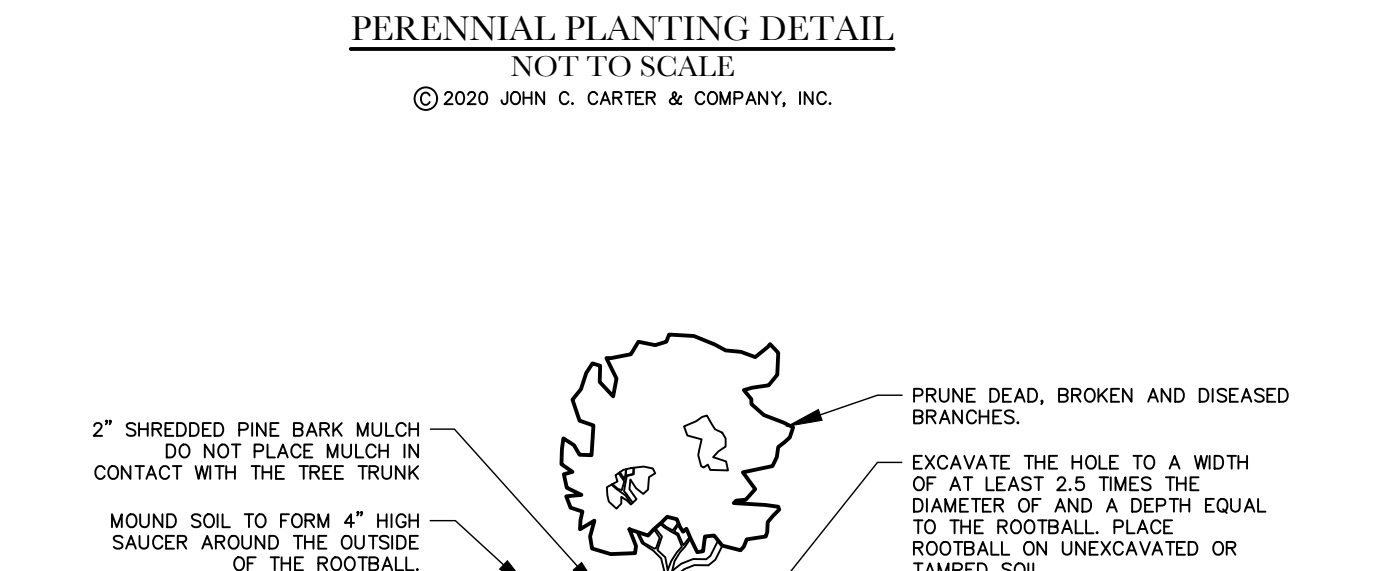
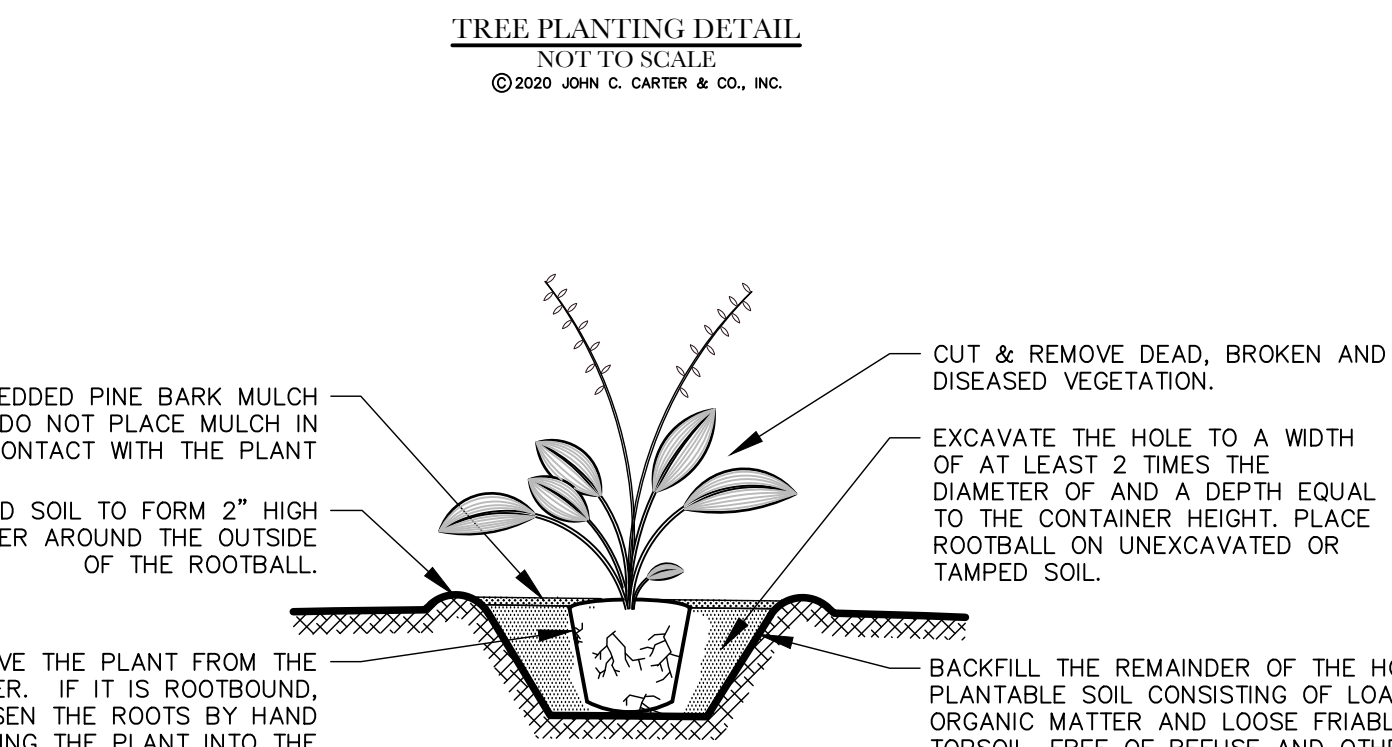
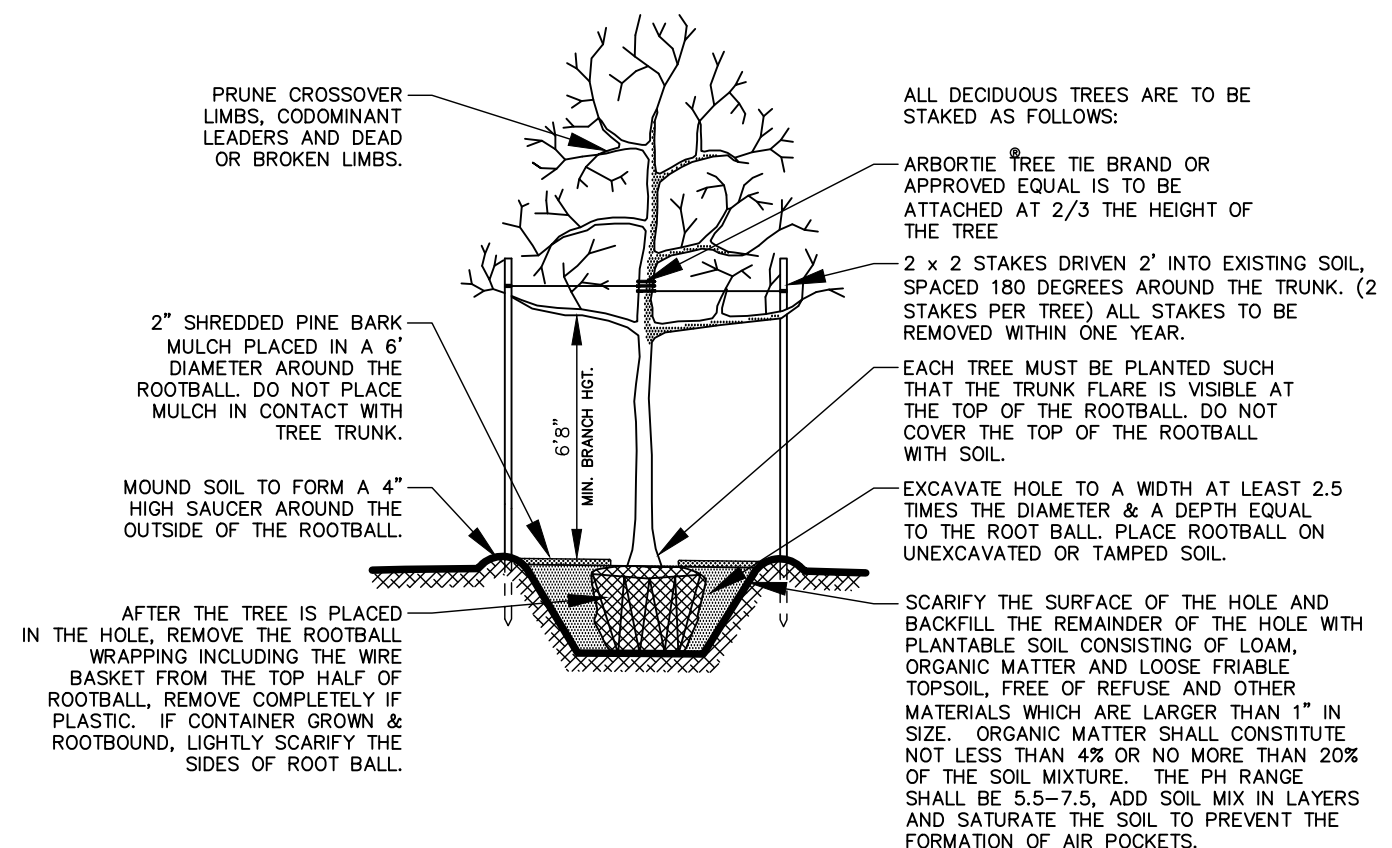
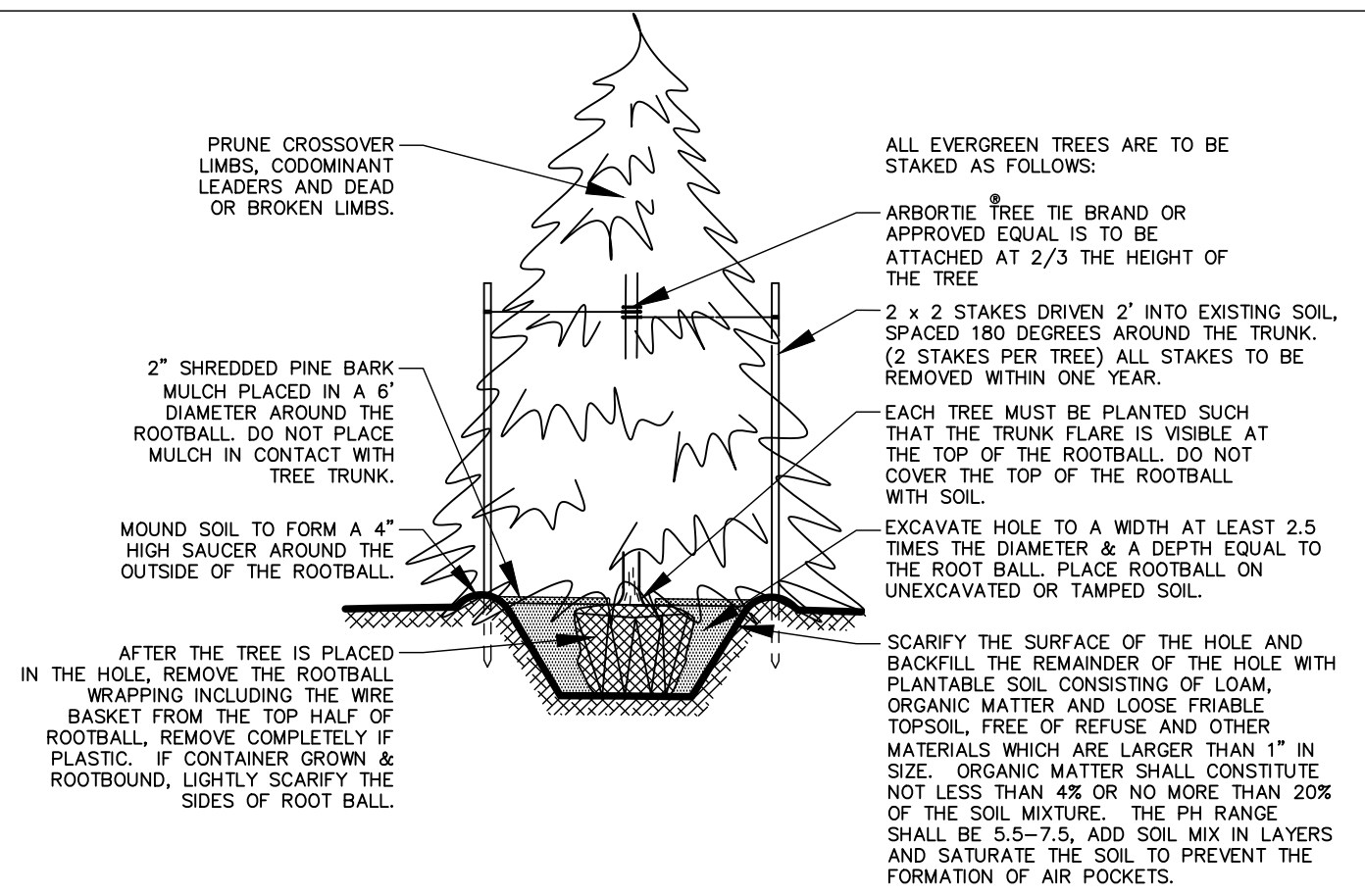
TOTAL AREA OF PARKING LOT	MINIMUM PERCENT OF TOTAL PARKING LOT AREA THAT MUST BE AN INTERIOR LANDSCAPE AREA
<2500 SQ. FT.	NO REQUIREMENT
2500 TO 20,000 SQ. FT.	5%

SUCH INTERIOR LANDSCAPING SHALL BE PROVIDED AS A COMBINATION OF ANY OF THE MAYS PROVIDED BELOW.

g) 1-FOOT WIDE X 18' INTERMEDIATE ISLANDS: AT LEAST 1 TREE, PLUS AT LEAST 3 LOW SHRUBS OR GROUNDCOVER PLANTS AND/OR TURF GRASS.

WHERE PARKING AREAS ARE LESS THAN 2500 SQ. FT. NO LANDSCAPE PLANTING IS REQUIRED.

THERE IS ONE PARKING AREA THAT MEASURES 2,092 SQ. FT. NO INTERIOR LANDSCAPE PLANTING IS REQUIRED.



JOHN C. CARTER & CO., INC.
960 BOSTON NECK RD., NARRAGANSETT, RI
(401) 783 - 3500

LANDSCAPE ARCHITECTURE
DESIGN & BUILD

PLANTING NOTES & DETAILS

PREPARED FOR:
Matunuck Beach Road Partners, LLC

LOCATED AT:
PIPING PLOVER DRIVE
A.P. 92-2, LOT 56
SOUTH KINGSTOWN, RHODE ISLAND

ISSUED FOR PERMITTING

REVISIONS

10-25-21 Road name on title block
9-2-21 Planting notes: Interior Landscaping.

SCALE None
DATE August 11, 2021

SHEET NUMBER
3 OF 3

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Permitting Submission

Matunuck Beach Condos

Matunuck Beach Road
 South Kingstown, Rhode Island
 Assessor's Plat 92-2 Lot 56



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- L1-L3 Landscape Architect Plan by Others



Applicable State Permits:

1. RIDEM QWTS APPLICATION #2032-1432, 2132-0908, 2132-0909, 2132-0910, 2132-0911, 2132-0912.
2. CRMC ASSENT - TO BE SUBMITTED
3. HISTORICAL PRESERVATION & HERITAGE COMMISSION CRMC FILE NO. 2019-03-087 (DATED: APRIL 15, 2019)
4. CRMC PRELIMINARY DETERMINATION FILE NO. 2019-03-087 (DATE: MARCH 25, 2019)

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 Two Stafford Court Cranston, RI 02920
 tel 401-943-1000 fax 401-464-6006 www.diprete-eng.com

CHRISTOPHER A. DUHAMEL
 REGISTERED PROFESSIONAL ENGINEER CIVIL

The plan set must not be used for construction purposes unless stamped, issued for construction, and stamped by a registered professional engineer of DiPrete Engineering. The engineer shall be responsible for the accuracy of the information provided in this plan set. DiPrete Engineering does not warrant plans by any other party. The contractor is responsible for all of the means, methods, safety and construction of this project. DiPrete Engineering assumes no responsibility for damages incurred due to locations of existing utilities. See Utility Note on sheet 3.

Rev.	Date	Description	Design By
1	05-02-2022	CRMC Response to Comments	N.D.K.
2	05-02-2022	Revised Stormtech & UIS Detail Sheet - 1	N.D.K.
3	05-02-2022	Revised Stormtech & UIS Detail Sheet - 2	N.D.K.
4	05-02-2022	Revised Stormtech & UIS Detail Sheet - 3	N.D.K.
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100	05-02-2022	Revised Stormtech & UIS Detail Sheet - 3	N.D.K.

Cover Sheet
Matunuck Beach Condos
 Assessor's Plat 92-2 Lot 56
 South Kingstown, Rhode Island
Matunuck Beach Road Partners, LLC
 P.O. Box 385
 Wakefield, RI 02880

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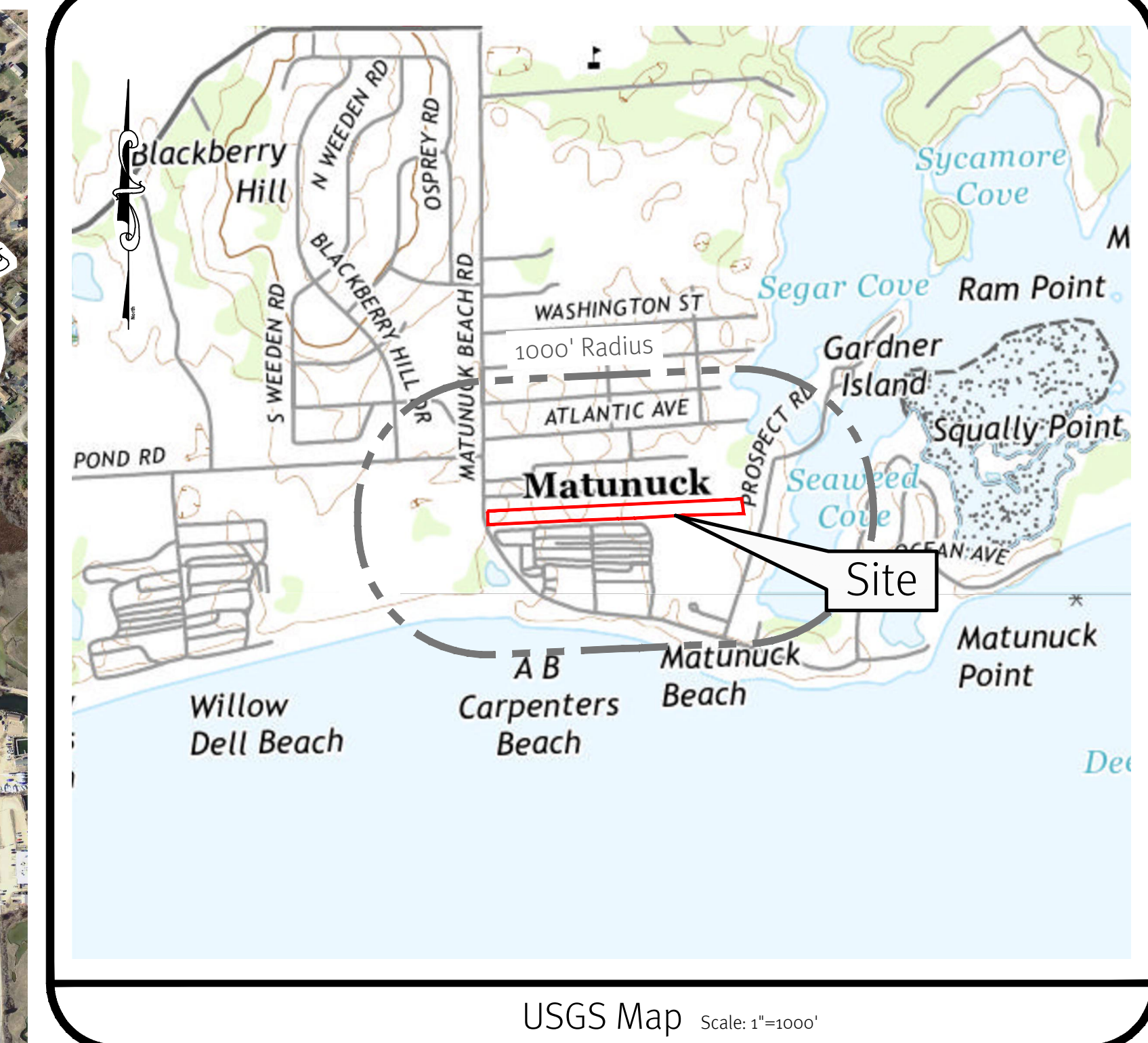
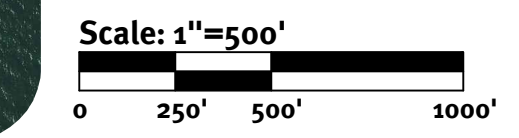


Image obtained from RIGIS 2014 Aerial Photography.



RECEIVED
07-15-2022
**COASTAL RESOURCES
MANAGEMENT COUNCIL**

DiPrete Engineering
Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-664-6006 www.diprete-eng.com

CHRISTOPHER A. DUHAMEL
REGISTERED PROFESSIONAL ENGINEER CIVIL

This plan set must not be used for construction purposes unless stamped, issued for construction, and stamped by a registered professional engineer of DiPrete Engineering. The contractor is responsible for all of the means, methods, safety and implementation of this plan and design. Engineering assumes no responsibility for damages incurred due to locations of existing utilities. See Utility Note on Sheet 3.

NO.	DATE	DESCRIPTION	BY
1	05-02-2022	CHDK Response to Comments	B.D.K.
2	05-02-2022	Revised Plans	P.A.R.
3	05-02-2022	Response to IBC Comments	S.P.B.
4	05-02-2022	CHDK Assent Application Submission	S.P.B.
5	05-02-2022	Work Submission	A.C.
6	05-02-2022	Revised Plans	B.D.K.
7	05-02-2022	Revised Plans	B.D.K.
8	05-02-2022	Revised Plans	B.D.K.
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16	05-02-2022	Revised Plans	B.D.K.
17	05-02-2022	Revised Plans	B.D.K.
18	05-02-2022	Revised Plans	B.D.K.
19	05-02-2022	Revised Plans	B.D.K.
20	05-02-2022	Revised Plans	B.D.K.

Aerial Half Mile Radius
Matunuck Beach Condos
Assessors: BRG 022 Lot 66
South Kingstown, Rhode Island
Project Owner
Matunuck Beach Road Partners, LLC
P.O. Box 385
Waketield, RI 02880
DE JOB No: 2389-002 Copyright 2022 by DiPrete Engineering Associates, Inc.

General Notes:

- THE SITE IS LOCATED ON THE TOWN OF SOUTH KINGSTOWN ASSESSOR'S PLAT 92-2 LOT 56.
- THE SITE IS APPROXIMATELY 4.77± ACRES AND IS ZONED R20 AND CN.
- THE OWNER OF AP 92-2 LOT 56 IS: EILEEN R. BIANCUZZO
12 LISTER DRIVE
BARRINGTON, RI 02806
- THIS SITE IS LOCATED IN FEMA FLOOD ZONES AE, X (SHADED) AND X (UNSHADED). REFERENCE FEMA FLOOD INSURANCE RATE MAP 440900193J, DATED OCTOBER 16, 2013. (FLOOD PLAN DESCRIPTIONS SHOWN BELOW)

ZONE AE – THIS SITE IS LOCATED IN FEMA FLOOD ZONE AE. ZONE AE ARE SPECIAL FLOOD HAZARD AREAS INUNDAED BY 100-YEAR FLOOD. BASE FLOOD ELEVATIONS HAVE BEEN DETERMINED.

ZONE X (SHADED) – THIS SITE IS LOCATED IN FEMA FLOOD ZONE X. ZONE X ARE AREAS OF 0.2% ANNUAL CHANCE OF FLOOD; AREAS OF 1% ANNUAL CHANCE OF FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

ZONE X (UNSHADED) – THIS SITE IS LOCATED IN FEMA FLOOD ZONE X. ZONE X ARE AREAS WHERE THERE IS MINIMAL FLOODING.
- THE BOUNDARY LINE AS SHOWN ON THIS PLAN DEPICTS THE RESULTS OF A CLASS I BOUNDARY RETRACEMENT SURVEY AS PERFORMED BY DIPRETE ENGINEERING ASSOCIATES, INC. THIS PLAN IS NOT TO BE CONSTRUED AS A CLASS I BOUNDARY RETRACEMENT SURVEY PLAN AND IS NOT SUITABLE FOR RECORDING AS A CLASS I STANDARD SURVEY PLAN.
- CONTOUR DATA SHOWN ON THIS PLAN CONFORMS TO A T-4 TOPOGRAPHICAL SURVEY STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS; SAID DATA IS BASED ON ELEVATION INFORMATION THAT WAS COLLECTED WITH AIRBORNE LIDAR TECHNOLOGY FOR THE ENTIRE AREA OF RHODE ISLAND BETWEEN APRIL 22 AND MAY 6, 2011 AS PART OF THE NORTHEAST LIDAR PROJECT. THIS DATA'S POSITIONAL ACCURACY AND RELIABILITY HAS NOT BEEN VERIFIED BY DIPRETE ENGINEERING AND IS SUBJECT TO CHANGES AN AUTHORITY FIELD SURVEY MAY DISCLOSE.
- ALL WORK PERFORMED HEREIN IS TO BE GOVERNED BY CURRENT EDITIONS OF THE RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, TOWN OF SOUTH KINGSTOWN STANDARD SPECIFICATIONS AND DETAILS AND SPECIFICATIONS INCLUDED AS PART OF THE DRAWINGS. IN AREAS OF CONFLICT BETWEEN THE DIFFERENT SPECIFICATIONS, THE DESIGN PLANS AND PROJECT SPECIFICATIONS WILL TAKE PRECEDENCE OVER THE GENERAL SPECIFICATIONS AND THE DESIGN ENGINEER WILL INTERPET THE CONSTRUCTION REQUIREMENT. THE CONTRACTOR IS ADVISED TO SUBMIT A REQUEST FOR INFORMATION (RFI) FOR ANY AREAS OF CONFLICT BEFORE COMMITTING TO CONSTRUCTION.
- THE SITE IS WITHIN A:
SALT PONDS SPECIAL AREA MANAGEMENT PLAN (CRMC)
NARROW RIVER LAND TRUST (TOWN)
STATEWIDE IMPORTANCE FARMLAND SOILS
COASTAL RESILIENCY OVERLAY DISTRICT (TOWN)
SPECIAL FLOOD HAZARD AREA OVERLAY DISTRICT (TOWN)
- THE SITE IS NOT WITHIN A:
HISTORIC CEMETERY
UNIQUE HISTORIC FEATURES
UNIQUE NATURAL FEATURES
NATURAL HERITAGE AREA
GROUNDWATER PROTECTION AREA
TMDL WATERSHED
DRINKING WATER SUPPLY WATERSHED (RIDEM)
NATURAL REGISTER OF HISTORIC PLACES
- THE FOLLOWING DOCUMENTS ARE CONSIDERED PART OF THE PROJECT PLANS AND THE CONTRACTOR/ OWNER MUST MAINTAIN THESE DOCUMENTS AS PART OF A FULL PLAN SET:

• SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC). THE SESC CONTAINS THE FOLLOWING:
o EROSION CONTROL MEASURES
o SHORT TERM MAINTENANCE
o ESTABLISHMENT OF VEGETATIVE COVER
o CONSTRUCTION POLLUTION PREVENTION
o SEQUENCE OF CONSTRUCTION

• STORMWATER OPERATION AND MAINTENANCE PLAN (O&M). THE O&M CONTAINS:
o LONG TERM MAINTENANCE
o LONG TERM POLLUTION PREVENTION
- THE SITE IS TO BE SERVED BY PUBLIC WATER AND PRIVATE OWTS.
- PROPOSED RIGHTS OF WAY ARE TO BE 22.0' WIDE WITH 20' WIDE PAVEMENT (10' TRAVEL LANES AND 12" BITUMINOUS BERM ON BOTH SIDES IN SOME AREAS).
- THE STORMWATER MANAGEMENT SYSTEM MEETS THE RIDEM BEST MANAGEMENT PRACTICES.
- THE SITE IS PROPOSED TO BE BUILT IN ONE PHASE.
- CRMC COASTAL WETLAND AND BUFFER TO BE PROTECTED BY A CONSERVATION EASEMENT.
- SOIL EVALUATIONS WERE COMPLETED BY DIPRETE ENGINEERING ON 02/20/2019 AND 11/09/2020.
- WETLAND EDGE DELINEATED BY DIPRETE ENGINEERING AND LOCATED BY DIPRETE ENGINEERING USING SUBMETER GPS ON FEBRUARY 20, 2019.
- ANY PROPRIETARY PRODUCTS REFERENCED IN THIS PLAN SET ARE REPRESENTATIVE OF THE MINIMUM DESIGN REQUIREMENTS FOR THE PURPOSES IT PROPOSES TO SERVE. ALTERNATIVES TO ANY PROPRIETARY PRODUCT MAY BE SUBMITTED TO THE ENGINEER OF RECORD FOR CONSIDERATION, WHICH MUST BE ACCOMPANIED BY APPROPRIATE SPECIFICATION SHEETS/ DESIGN CALCULATIONS THAT DEMONSTRATE THE ALTERNATIVE(S) MEET THE MINIMUM DESIGN PARAMETERS OF THE PRODUCT SHOWN ON THE PLANS. NO ALTERNATIVES MAY BE USED WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
- THIS PLAN SET MAY REFERENCE AND/ OR INCLUDE REPRODUCTIONS OF PROPRIETARY PRODUCTS/ DETAILS BY OTHERS, AND/ OR THEIR ASSOCIATED SPECIFICATIONS. ANY REFERENCED OR REPRODUCED PROPRIETARY PRODUCT OR DETAIL BY OTHERS THAT IS SHOWN ON DIPRETE PLANS IS STRICTLY FOR INFORMATION/ SPECIFICATION PURPOSES ONLY. DIPRETE ENGINEERING DOES NOT WARRANT ANY PROPRIETARY PRODUCTS, DETAILS BY OTHERS OR THEIR RESPECTIVE DESIGNS. IF A DIPRETE ENGINEERING PLAN INCLUDES A PROPRIETARY PRODUCT/ DETAIL BY OTHERS (EITHER EXPLICITLY OR IMPLIED) AND IS STAMPED BY A REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING, SAID STAMP DOES NOT EXTEND TO ANY PORTION OF THE PROPRIETARY PRODUCT/ DETAIL BY OTHERS OR ITS DESIGN.

Soil Information:

(REFERENCE: SOIL MAPPING OBTAINED FROM RIGIS. SOIL GEOGRAPHIC DATA DEVELOPED BY THE RHODE ISLAND SOIL SURVEY PROGRAM IN PARTNERSHIP WITH THE NATIONAL COOPERATIVE SOIL SURVEY)

SOIL NAME	DESCRIPTION
BhB**	BRIDGEHAMPTON SILT LOAM, 3 TO 8 PERCENT SLOPES
FTA	FORTRESS SAND
MK	MATUNUCK MUCKY PEAT
MU	MERRIMAC-URBAN LAND COMPLEX

NOTE: *PRIME FARMLAND
**FARMLAND OF STATEWIDE IMPORTANCE

Soil Erosion and Sedimentation Control Notes:

- THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL EROSION AND SEDIMENT CONTROL ON SITE WHICH MUST BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE APPLICABLE REGULATIONS AND AUTHORITY HAVING JURISDICTION. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER, THE DIRECTOR OF PUBLIC WORKS, THE TOWN ENGINEER, AND RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
- ALL EROSION CONTROL INCLUDING (BUT NOT LIMITED TO) TEMPORARY SEDIMENT TRAPS, ETC. TO BE INSTALLED PER THE LATEST EDITION OF THE RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL (RISESC) HANDBOOK AND THE SOIL EROSION & SEDIMENTATION CONTROL PLANS(S). NOTE THE SOIL EROSION AND SEDIMENT CONTROL SHOWN ON THESE PLANS ARE THE MINIMUM QUANTITY/ TYPE OF EROSION CONTROL DEVICES AND MATERIALS DEEMED REQUIRED BY DIPRETE ENGINEERING TO MEET THE OBJECTIVES OF THE RISESC HANDBOOK, BUT IS CONSIDERED A GUIDE ONLY. ADDITIONAL MEASURES/ ALTERNATE CONFIGURATIONS MAY BE REQUIRED IN ORDER TO MEET THE RISESC HANDBOOK BASED ON FACTORS INCLUDING (BUT NOT LIMITED TO) SITE PARAMETERS, WEATHER, INSPECTIONS AND UNIQUE FEATURES. THE SESC WILL CONTINUE TO EVOLVE THROUGHOUT CONSTRUCTION/PHASES. PURSUANT TO NOTE 1 ABOVE, SESC REMAINS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE SITE IS FULLY STABILIZED AND/ OR SESC RESPONSIBILITIES ARE ASSUMED BY THE OWNER IN WRITING.
- ONCE THE SEDIMENT TRAPS ARE NO LONGER REQUIRED AND ALL TRIBUTARY AREAS HAVE BEEN STABILIZED, THE TEMPORARY SEDIMENTATION TRAPS TO BE CLEANED AND BROUGHT TO FINAL DESIGN GRADES.
- INLET PROTECTION IS TO BE INSTALLED ON ALL CATCH BASINS ONCE CONSTRUCTED.
- FOR SEQUENCE OF CONSTRUCTION, PROJECT PHASING AND CONSTRUCTION PHASING SEE SESC PLAN.
- CONTRACTOR MAY MODIFY SEQUENCE OF CONSTRUCTION WITH APPROVAL FROM DESIGN ENGINEER AND OWNER.
- IF CONCRETE TRUCKS ARE WASHED OUT ON SITE, ALL WASHOUT MUST BE COMPLETED IN THE DESIGNATED CONCRETE WASHOUT AREA.

Demolition Notes:

- CONTRACTOR TO OBTAIN ALL FEDERAL, STATE, AND MUNICIPAL APPROVALS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR TO PERFORM DAILY SWEEPING AT CONSTRUCTION ENTRANCE DURING DEMOLITION AND CONSTRUCTION TO MINIMIZE SEDIMENTS ON EXTERNAL STREETS.
- ANY EXISTING BUILDING(S) AND PROPERTY PROPOSED TO REMAIN WHICH ARE DAMAGED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (R&D) ALL MATERIALS INDICATED ON THE PLANS UNLESS SPECIFIED OTHERWISE HERE IN. R&D MATERIALS MUST INCLUDE BUT ARE NOT LIMITED TO PAVEMENT, GRAVEL, CATCH BASINS, MANHOLES, GRATES/FRAMES/COVERS, AND ANY EXCESS SOIL THAT IS NOT INCORPORATED INTO THE WORK.
- IN ADDITION TO THOSE AREAS SPECIFICALLY DESIGNATED ON THE PLANS, ALL DISTURBED AREAS INCLUDING THE CONTRACTOR'S STOCKPILE AND STAGING AREAS WITHIN THE LIMIT OF WORK MUST BE RESTORED TO MATCH THE DESIGN PLANS.
- CONTRACTOR MUST DOCUMENT LOCATION OF ALL SUBSURFACE UTILITIES REMAINING IN PLACE AFTER DEMOLITION (ACTIVE AND INACTIVE/ABANDONED). LOCATION MUST BE DOCUMENTED BY FIELD SURVEY OR SWING TIES. COPIES OF LOCATION DOCUMENTATION MUST BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF DEMOLITION AND PRIOR TO START OF NEW CONSTRUCTION. A MARKER MUST BE INSTALLED TO FINISH GROUND AT ALL INSTALLED CAPS/PLUGS. THE MARKER CAN BE A POST IN CONSTRUCTION AREAS OR PAINTED ON A PERMANENT SURFACE.

Layout and Materials:

- DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
- CURBING WITHIN THE PUBLIC RIGHT OF WAY TO BE CONCRETE. CURBING WITHIN THE SITE TO BE BITUMINOUS BERM OR AS LABELED ON THE PLANS.
- SIDEWALK WITHIN THE PUBLIC RIGHT OF WAY TO BE CONCRETE. SIDEWALK WITHIN THE SITE TO BE PERVIOUS CONCRETE OR AS LABELED ON THE PLANS.
- SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR MUST REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
- SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
- PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION MUST BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
- CONTRACTOR MUST NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS. CONTRACTOR MUST VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE STAMPED PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
- ALL GUARDRAIL ONSITE MUST BE STEEL BACKED TIMBER GUARDRAIL WITH STEEL POSTS, IN CONFORMANCE WITH SECTION 5.4.1.7 OF THE ASHTO ROADSIDE DESIGN GUIDE. ALTERNATIVE GUARDRAILS WILL BE CONSIDERED BY THE DESIGN ENGINEER IF THEY ARE DOT APPROVED EQUAL AND ACCEPTABLE TO THE OWNER. ALTERNATIVES MUST BE APPROVED IN WRITING BY THE OWNER AND DESIGN ENGINEER PRIOR TO CONSTRUCTION.

Americans with Disabilities Act Notes:

- ALL IMPROVEMENTS MUST COMPLY WITH THE "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG)" BY THE DEPARTMENT OF JUSTICE (CURRENT EDITION).
- MAXIMUM RUNNING SLOPE ALONG ALL ACCESSIBLE PATHS OF TRAVEL MUST BE 4.5% (0.045 FT/FT), AND MAXIMUM CROSS SLOPE ACROSS ALL ACCESSIBLE PATHS OF TRAVEL MUST BE 1.5% (0.015 FT/FT).
- ADA PARKING SPACES AND LOADING AREAS: THE STEEPEST SLOPE OF THE SPACE, MEASURED IN ANY DIRECTION (INCLUDING DIAGONAL), MUST BE LESS THAN OR EQUAL TO 2% (0.02 FT/FT). DIPRETE ENGINEERING GENERALLY RECOMMENDS A MAXIMUM OF 1.4% (0.014 FT/FT) BE USED FOR BOTH RUNNING AND CROSS SLOPES IN ORDER TO COMPLY.
- A MINIMUM 5'-5" LANDING MUST BE PROVIDED IN FRONT OF ALL PUBLICLY ACCESSIBLE BUILDING ENTRANCES/ EGRESSES. THE STEEPEST SLOPE OF THE LANDING, MEASURED IN ANY DIRECTION (INCLUDING DIAGONAL), MUST BE LESS THAN OR EQUAL TO 2% (0.02 FT/FT). DIPRETE ENGINEERING GENERALLY RECOMMENDS A MAXIMUM OF 1.4% (0.014 FT/FT) BE USED FOR BOTH RUNNING AND CROSS SLOPES IN ORDER TO COMPLY.
- FOR EVERY 6 (OR FRACTION OF 6) ADA PARKING SPACES, AT LEAST ONE MUST BE A VAN PARKING SPACE. FOR EXAMPLE, IF 7 ADA PARKING SPACES ARE REQUIRED, A MINIMUM OF 2 MUST BE VAN SPACES.
- NOTWITHSTANDING THE NOTES LISTED ABOVE, TOWN OR STATE-SPECIFIC STANDARDS MAY BE MORE STRINGENT AND OVERRULED. IT IS THE RESPONSIBILITY OF THE USER OF THIS PLAN SET TO MAINTAIN COMPLIANCE WITH THE CONTROLLING STANDARD.
- NOTE THAT THE GRADING/ PLAN VIEWS AND DETAILS CONTAINED WITHIN THIS PLAN SET MAY NOT SHOW THE DETAIL NECESSARY TO CONSTRUCT WALKWAYS, RAMPS AND SPACES TO COMPLY WITH THE ABOVE REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE LEVEL OF CARE NECESSARY TO BE CERTAIN THAT THE CONSTRUCTED PRODUCT MEETS ADA/ CONTROLLING STANDARDS. IN THE EVENT OF ANY NON COMPLIANCE, THE CONTRACTOR MUST NOTIFY THE DESIGNER BEFORE CONSTRUCTION FOR ADVICE IN FINDING A RESOLUTION.

Grading and Utility Notes:

- CONSTRUCTION TO COMMENCE FALL 2021 OR UPON RECEIPT OF ALL NECESSARY APPROVALS.
- THE CONTRACTOR MUST COORDINATE WITH ALL OF THE APPROPRIATE UTILITY COMPANIES FOR AGREEMENTS TO SERVICE THE PROPOSED BUILDINGS. THIS MUST BE DONE PRIOR TO CONSTRUCTION. NO REPRESENTATIONS ARE MADE BY DIPRETE ENGINEERING THAT UTILITY SERVICE IS AVAILABLE.
- THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING FINISH GRADING AND DRAINAGE AROUND THE BUILDINGS TO ENSURE SURFACE WATER AND/OR GROUNDWATER ARE DIRECTED AWAY FROM THE STRUCTURES.
- PRIOR TO START OF CONSTRUCTION, CONTRACTOR MUST VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES. CONTRACTOR MUST NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- ALL PROPOSED UNDERGROUND UTILITIES SERVING THE SITE AND BUILDINGS TO BE COORDINATED WITH OWNER, ARCHITECT, AND ENGINEER PRIOR TO INSTALLATION.
- ALL RETAINING WALLS AND STEEP SLOPES ARE SUBJECT TO FINAL STRUCTURAL DESIGN. DIPRETE ENGINEERING IS NOT PROVIDING THE STRUCTURAL DESIGN OF THESE ITEMS. ALL WALLS AND STEEP SLOPES ARE TO BE DESIGNED AND BUILT UNDER THE DIRECTION OF A RHODE ISLAND LICENSED PROFESSIONAL ENGINEER SUITABLY QUALIFIED IN GEOTECHNICAL ENGINEERING AND CERTIFIED TO THE OWNER PRIOR TO THE COMPLETION OF THE PROJECT. SHOP DRAWINGS TO BE SUBMITTED PRIOR TO CONSTRUCTION. FINAL STRUCTURAL DESIGN MUST INCORPORATE THE INTENT OF THE GRADING SHOWN ON THESE PLANS AND ALL WORK MUST BE WITHIN THE LIMIT OF DISTURBANCE SHOWN ON THE PLANS.
- ALL CUT AND FILL AREAS ARE TO BE DONE UNDER THE DIRECTION OF A PROFESSIONAL GEOTECHNICAL ENGINEER WITH TESTING AND CERTIFICATION TO BE PROVIDED TO THE APPLICANT AT THE COMPLETION OF THE PROJECT. DIPRETE ENGINEERING IS NOT PROVIDING THE FILL SPECIFICATION, GEOTECHNICAL ENGINEERING, STRUCTURAL ENGINEERING SERVICES, OR SUPERVISION AS PART OF THESE DRAWINGS.
- NO STOCKPILING OF MATERIAL TO BE LOCATED IN THE RIGHT OF WAY AND NO OPEN TRENCHES ARE TO BE LEFT OVERNIGHT.
- ALL LOAM IN DISTURBED AREAS TO BE STOCKPILED FOR FUTURE USE.
- ALL EXCESS SOIL, TREES, ROCKS, BOULDERS, AND OTHER REFUSE, MUST BE DISCARDED OFF SITE IN AN ACCEPTABLE MANNER AT AN APPROVED LOCATION. STUMPS MUST BE GROUND ON SITE OR REMOVED.
- THE SITE WILL HAVE 6" CONCRETE CURBING. SITE GRADING/CONTOURS SHOWN ON THE PLANS DO NOT NECESSARILY REFLECT THE APPROPRIATE CURBING. THE CONTRACTOR TO INSTALL CURBING WITH APPROPRIATE REVEAL UNLESS OTHERWISE NOTED.
- NO STUMP DUMPS ARE PROPOSED ON SITE.

DRAINAGE

ALL DRAINAGE PIPING TO BE HIGH-DENSITY POLYETHYLENE (HDPE) WITH WATERTIGHT JOINTS WHERE INSTALLED WITHIN THE SEASONAL HIGH GROUNDWATER, UNLESS NOTED OTHERWISE ON THE PLANS OR IN THE SPECIFICATIONS.

DRAINAGE STRUCTURES TO BE AS FOLLOWS (UNLESS OTHERWISE NOTED ON PLANS):

- MANHOLES TO BE RIDOT STD. 4.2.0, 4.2.1 OR 4.2.2 AS REQUIRED
- DRAINAGE MANHOLE COVERS TO BE RIDOT STD 6.2.1
- DROP INLETS TO BE RIDOT STD. 4.5.0, 4.5.1 OR 4.5.2.
- APRON STONE, WHERE REQUIRED, TO BE RIDOT STD 7.1.7 OR 7.1.8.

ALL DRAINAGE STRUCTURES MUST BE WATERTIGHT.

DRAINAGE CONNECTIONS FROM ALL YARD DRAINS (YD), AREA DRAINS (AD), TRENCH DRAINS (TD), FRENCH DRAINS (FD), WALL DRAINS (WD), AND DOWNSPOUTS (DS) ARE SHOWN FOR SCHEMATIC PURPOSES ONLY. THE LEVEL OF DETAIL SHOWN DOES NOT INCLUDE ALL JOINTS THAT MAY BE REQUIRED FOR CONSTRUCTION. ALL FITTINGS & PIPE SLOPES TO TIE INTO MAIN TRUNK LINE TO BE FIELD FIT BY CONTRACTOR.

ONSITE WASTEWATER TREATMENT SYSTEM

MULTIPLE ONSITE WASTEWATER TREATMENT SYSTEMS (OWTS) ARE PROPOSED TO SERVICE THE SITE. INDIVIDUAL APPROVALS WILL BE REQUIRED FOR EACH OWTS.

WATER

ALL WATER MAINS TO BE CONCRETE LINED DUCTILE IRON PIPE (CLDIP). ALL WATER MAIN IMPROVEMENTS MUST COMPLY WITH THE SOUTH KINGSTOWN WATER REGULATIONS AND ANY APPLICABLE AUTHORITY HAVING JURISDICTION, INCLUDING (BUT NOT LIMITED TO) MATERIALS, DIMENSIONS AND ACCESS COVERS. CONTRACTOR TO PROVIDE SHOP DRAWINGS AND SUBMITTALS TO THE ENGINEER OF RECORD FOR APPROVAL FOR ALL WATER IMPROVEMENTS AND APPURTENANCES INCLUDING BUT NOT LIMITED TO PIPES, VALVES, FITTINGS, HEAT ENCLOSURES, AND BACKFLOWS. ALL COMPONENTS OF THE WATER SYSTEM TO BE ASBUILT PER SOUTH KINGSTOWN WATER REQUIREMENTS. ALL COMPONENTS OF THE WATER SYSTEM TO BE INSPECTED BY SOUTH KINGSTOWN WATER. CONTRACTOR TO COORDINATE ALL IMPROVEMENTS WITH SOUTH KINGSTOWN WATER TO ENSURE INSPECTOR IS ON SITE.

IN THE CASE OF ANY NEW HYDRANT INSTALLED IN OR NEXT TO AN EXISTING SIDEWALK, THE CONTRACTOR MUST INCREASE THE WIDTH OF THE SIDEWALK, AS NECESSARY, TO MAINTAIN A MINIMUM OF 3'-0" CLEAR WIDTH FROM THE OUTERMOST COMPONENTS OF THE HYDRANT TO THE EDGE OF THE SIDEWALK. THE 3'-0" SIDEWALK WIDTH IS REQUIRED ONLY ON ONE SIDE OF THE HYDRANT TO PROVIDE A CLEAR PATH ON THE SIDEWALK.

ELECTRIC/TELECOM/GAS

PROPOSED GAS, ELECTRIC, CABLE AND DATA UTILITIES ARE SHOWN SCHEMATICALLY AND ARE PROPOSED TO BE UNDERGROUND. OWNER & CONTRACTOR TO COORDINATE FINAL DESIGN WITH APPROPRIATE UTILITY COMPANIES. ALL WORK TO BE IN ACCORDANCE WITH EACH UTILITY COMPANY'S STANDARDS AND DETAILS AS WELL AS LOCAL AND FEDERAL REGULATIONS. THIS INCLUDES BUT IS NOT LIMITED TO, POLES, TRANSFORMERS, PULL BOXES, CONCRETE PADS, CONCRETE ENCASEMENTS AND CONDUITS. CONNECTION POINTS FOR ELECTRIC AND TELECOM UTILITIES, AT THE EXISTING INFRASTRUCTURE, ARE CURRENTLY SHOWN AS UNDERGROUND UTILITIES. THESE UTILITIES MAY BE UNDERGROUND OR OVERHEAD AND WILL BE COORDINATED WITH NATIONAL GRID PRIOR TO CONSTRUCTION.

SITE LIGHTING

SITE LIGHTING (TEMPORARY AND PERMANENT) MUST BE DIRECTED AWAY FROM AND SHIELDED FROM ENVIRONMENTALLY SENSITIVE AREAS AND ABUTTING LANDS. EXACT LOCATIONS OF LIGHT POLE TO BE COORDINATED WITH OTHER UTILITIES AND TO BE LOCATED WITHIN THE STREET RIGHTS OF WAY. FINAL LIGHTING AND CONDUIT LOCATIONS BY OTHERS.

Abbreviations Legend

ADA	AMERICANS WITH DISABILITY ACT
AHJ	AUTHORITY HAVING JURISDICTION
AP	ASSESSOR'S PLAT
BC	BOTTOM OF CURB
BT	BOTTOM OF TESTHOLE
BIT	BITUMINOUS (BERM)
BIO	BIORETENTION
BS	BASEMENT SLAB ELEVATION
BW	FINISHED GRADE AT BOTTOM OF WALL
CB	CATCH BASIN
(C)	CALCULATED
€	CENTERLINE
(CA)	CHORD ANGLE
CLDIP	CONCRETE LINED DUCTILE IRON PIPE
CO	CLEAN OUT
CONC	CONCRETE
(D)	DEED
DCB	DOUBLE CATCH BASIN
DI	DROP INLET
DMH	DRAINAGE MANHOLE
DP	DETENTION POND
ELEV	ELEVATION
EOP	EDGE OF PAVEMENT
ESC	EROSION AND SEDIMENT CONTROL
EX	EXISTING
FES	FLARED END SECTION
FFE	FINISH FLOOR ELEVATION
GS	GARAGE SLAB ELEVATION
GW	GROUND WATER TABLE
HW	HEADWALL
HC	HIGH CAPACITY CATCH BASIN GRATE
HOPE	HIGH DENSITY POLYETHYLENE
ID	INLINE DRAIN
INV	INVERT
IP	INFILTRATION POND
LF	LINEAR FEET
LOD	LIMIT OF DISTURBANCE
LP	LIGHT POLE
(M)	MEASURED
N/F	NOW OR FORMERLY

OHW	OVERHEAD WIRE
PE	POLYETHYLENE
P	PROPERTY LINE
PR	PROPOSED
PVC	POLYVINYL CHLORIDE
R	RADIUS
R&D	REMOVE AND DISPOSE
RCP	REINFORCED CONCRETE PIPE
RIBH	RHODE ISLAND
RL	HIGHWAY BOUND
ROW	RIGHT OF WAY
S	SLOPE
SD	SUBDRAIN
SED	SEDIMENT FOREBAY
SF	SQUARE FOOT
SFL	STATE FREEWAY LINE
SFM	SEWER FORCE MAIN
SG	SLAB ON GRADE ELEVATION
SHL	STATE HIGHWAY LINE
SMH	SEWER MANHOLE
SNDF	SAND FILTER
SS	SIDE SLOPE
STA	STATION
TC	TOP OF CURB
TD	TRENCH DRAIN
TF	TOP OF FOUNDATION
TRANS	TRANSITION
TW	TOP OF WALL (FINISHED)
TR	GRADE AT TOP OF WALL
TYP	TYPICAL
UDS	UNDERGROUND
UIS	DETENTION SYSTEM
UIS	UNDERGROUND
INF	INFILTRATION SYSTEM
UP	UTILITY POLE
WO	WALKOUT ELEVATION
WQ	WATER QUALITY

Existing Legend

(AS SHOWN ON PROPOSED PLANS)

NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS

	PROPERTY LINE		NAIL FOUND/SET
	ASSESSORS LINE		DRILL HOLE FOUND/SET
	BUILDING		BOUND FOUND/SET
	SIGN		BOLLARD
	SOIL EVALUATION		CATCH BASIN
	DOUBLE CATCH BASIN		FLARED END SECTION
	GULLY POLE		ELECTRIC MANHOLE
	UTILITY/POWER POLE		LIGHTPOST
	SEWER/SEPTIC MANHOLE		CLEANOUT
	HYDRANT		IRRIGATION VALVE
	WATER VALVE		WELL
	MONITORING WELL		UNKNOWN MANHOLE
	GAS VALVE		BENCH MARK
	STREAM FLOW DIRECTION		

Proposed Legend

NOT ALL ITEMS SHOWN WILL

	PROPERTY LINE		DRAINAGE LINE
	BUILDING SETBACKS		PERFORATED SUBDRAIN
	CHAINLINK FENCE		SWALE
	SEWER FORCE MAIN		GAS LINE
	WATER LINE		HYDRANT ASSEMBLY
	WATER SHUT OFF		WATER VALVE
	THRUST BLOCK		SEWER LINE
	OVERHEAD WIRE		ELECTRIC, TELEPHONE, CABLE LINE
	LIMIT OF DISTURBANCE/ LIMIT OF CLEARING		SEDIMENTATION BARRIER, SILT FENCE (RIDOT STD 9.2.0), COMPOST SOCK OR APPROVED EQUAL
	ASPHALT PAVEMENT		SLOPES STEEPER THAN 3:1 (2:1 OR 1:1 SLOPES)
	HEAVY DUTY ASPHALT PAVEMENT		UNDERGROUND INFILTRATION OUTLINE
	STORMCRETE POROUS CONCRETE		POND ACCESS
	CONCRETE		RIPRAP
	PAVER/ POROUS SIDEWALK		SAND FILTER
	ASPHALT SIDEWALK		BIO RETENTION
	SAWCUT LINE		CATCH BASIN
	SIGN (RIDOT STD 24.6.2 AS APPLICABLE)		DOUBLE CATCH BASIN
	SINGLE LIGHT		MANHOLE
	DOUBLE LIGHT		FLARED END SECTION
	OVERHANGING LIGHT		HEADWALL
	ACCESSIBLE PARKING SPACE SYMBOLS		
	BUILDING INGRESS/EGRESS		

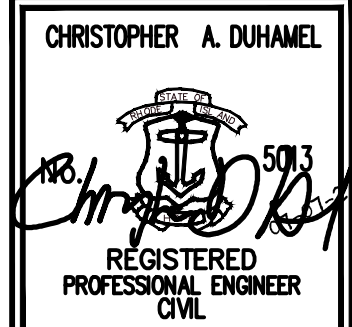
Utility Note:

ALL UNDERGROUND UTILITIES SHOWN ON THESE PLANS WERE PROVIDED BY OTHERS AND ARE APPROXIMATE ONLY. LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE EXCAVATION, BLASTING, UTILITY INSTALLATION, BACKFILLING, GRADING, PAVEMENT RESTORATION, AND ALL OTHER SITE WORK. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THESE DOCUMENTS. CONTACT DIG SAFE A MINIMUM OF 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT B11. DIG SAFE IS RESPONSIBLE FOR CONTACTING MEMBER UTILITY COMPANIES. DIG SAFE MEMBER UTILITY COMPANIES ARE RESPONSIBLE TO MARK ONLY THE FACILITIES THAT THEY OWN OR MAINTAIN. NON DIG SAFE MEMBER COMPANIES ARE NOT NOTIFIED BY DIG SAFE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AND NOTIFY IF ANY PRIVATELY OWNED OR NON DIG SAFE MEMBER UTILITIES ARE IN THE AREA.

PER THE CODE OF FEDERAL REGULATIONS – TITLE 29, PART 1926 IT IS THE SITE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ACCURATE UNDERGROUND UTILITY LINE LOCATIONS FROM THE UTILITY COMPANIES, UTILITY OWNERS AND, OR VIA UNDERGROUND UTILITY LOCATION EQUIPMENT AS NEEDED TO ESTABLISH ACCURATE LOCATIONS PRIOR TO ANY EXCAVATION. THE USE OF PROFESSIONAL UTILITY LOCATING COMPANIES PRIOR TO ANY EXCAVATION IS RECOMMENDED.

DIPRETE ENGINEERING IS NOT A PROFESSIONAL UTILITY LOCATION COMPANY, AND IS NOT RESPONSIBLE FOR UNDERGROUND UTILITIES DEPICTED OR NOT, EITHER IN SERVICE OR ABANDONED. ANY SIZES, LOCATIONS, EXISTENCE, OR LACK OF EXISTENCE OF UTILITIES SHOWN ON THESE PLANS SHOULD BE CONSIDERED APPROXIMATE UNTIL VERIFIED BY A PROFESSIONAL UTILITY LOCATION COMPANY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED.

Diprete Engineering










This plan set must not be used for construction purposes unless stamped/issued for construction and stamped by a registered Professional Engineer of Diprete Engineering.






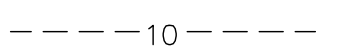
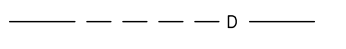



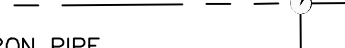





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1	05/02/2022	CLM	CLM: Response to Comments
2	05/02/2022	CLM	CLM: Final Review and Approval
3	05/02/2022	CLM	CLM: Final Review and Approval
4	05/02/2022	CLM	CLM: Final Review and Approval
5	05/02/2022	CLM	CLM: Final Review and Approval
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14	05/02/2022	CLM	CLM: Final Review and Approval
15	05/02/2022	CLM	CLM: Final Review and Approval
16	05/02/2		

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List of Possible Encroachments:

-  BUILDING 3.3' OVER PROPERTY LINE
-  SHED 0.2' OVER PROPERTY LINE
-  SIDEWALK 4.4' OVER PROPERTY LINE
-  WOOD STAIRS 1.9' OVER PROPERTY LINE
-  MAINTAINED LAWN AREA
-  MAINTAINED LAWN AREA
-  ARCHWAY 1.0' OVER PROPERTY LINE

Legend
NOT ALL ITEMS SHOWN WILL APPEAR ON THE SURVEY

 BUILDING	 ASSESSOR'S PLAT	 NAIL FOUND/SET
 AP	 NOW OR FORMERLY	 DRILL HOLE FOUND/SET
 N/F	 DEED	 IRON ROD/PIPE FOUND/SET
 (D)	 MEASURED	 BOUND FOUND/SET
 (M)	 CHORD ANGLE	 SIGN
 (CA)	 HANDICAPPED	 BOLLARD
 HC	 PROPERTY LINE	 SOIL EVALUATION
 ASSESSOR'S LINE	 TREETLINE	 CATCH BASIN
 GUARDRAIL	 FENCE	 DOUBLE CATCH BASIN
 RETAINING WALL	 STONE WALL	 DMH
 MINOR CONTOUR LINE	 MAJOR CONTOUR LINE	 FES
 WATER LINE	 SEWER LINE	 EMH
 SFM	 SEWER FORCE MAIN	 UP
 G	 GAS LINE	 LIGHTPOST
 E	 ELECTRIC LINE	 SMH
 OHW	 OVERHEAD WIRES	 SEWER VALVE
 D	 DRAINAGE LINE	 CLEANOUT
		 HYDRANT
		 IRRIGATION VALVE
		 WATER VALVE
		 WELL
		 MONITORING WELL
		 UNKNOWN MANHOLE
		 GAS VALVE
		 B-1
		 WETLAND FLAG
		 BENCH MARK
		 SHRUB
		 TREE



Locus Map Not To Scale

General Notes:

- THE PARCEL IS FOUND ON ASSESSOR'S PLAT 92-2, LOT 56 IN THE TOWN OF SOUTH KINGSTOWN, WASHINGTON COUNTY, RHODE ISLAND.
- THE OWNER PER DEED BOOK 1060, PAGE 711 IS EILEEN R. BIANCUZZO.
- BASED ON GRAPHICAL PLOTTING ONLY, THE PARCEL IS LOCATED IN ZONE AE (ELEV.=13'), ZONE X, AND ZONE VE (ELEV.=16') PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP 4409C0193J, DATED OCTOBER 16, 2013. THIS DESIGNATION MAY CHANGE BASED UPON REVIEW BY A FLOOD ZONE SPECIALIST OR BY THE RESULTS OF A COMPREHENSIVE FLOOD STUDY.
- THE PARCEL IS ZONED R20 AND CN BASED ON THE TOWN OF SOUTH KINGSTOWN GIS. ANY OVERLAY DISTRICTS, SPECIAL PERMITS OR VARIANCES SPECIFIC TO THIS SITE ARE NOT TAKEN INTO CONSIDERATION. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
- THERE WERE NO CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY.
- FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING ON OCTOBER 7, 2019 AND FEBRUARY 10, 2022. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THAT DATE.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR ANY UNKNOWN OR UNRECORDED EASEMENTS, DEEDS OR CLAIMS THAT A TITLE REPORT WOULD DISCLOSE.
- CONTOUR DATA SHOWN ON THIS PLAN CONFORMS TO A T-4 TOPOGRAPHICAL SURVEY STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS; SAID DATA IS BASED ON ELEVATION INFORMATION THAT WAS COLLECTED WITH AIRBORNE LIDAR TECHNOLOGY FOR THE ENTIRE AREA OF RHODE ISLAND BETWEEN APRIL 22 AND MAY 6, 2011 AS PART OF THE NORTHEAST LIDAR PROJECT. THIS DATA'S POSITIONAL ACCURACY AND RELIABILITY HAS NOT BEEN VERIFIED BY DIPRETE ENGINEERING AND IS SUBJECT TO CHANGES AN AUTHORITY FIELD SURVEY MAY DISCLOSE.

Plan References:

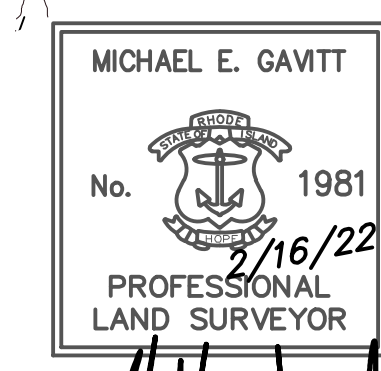
- PLAN OF LAND AT MATUNUCK IN THE TOWN OF SOUTH KINGSTOWN, R.I. CONVEYED BY S. LEROY CARPENTER TO JOHN W. MILLER AND ELLIE C. MILLER. SCALE 1"=40'. DATED MAY, 1934. PLAN BY LEON L. HOLLAND, CIVIL ENGINEER. RECORDED IN DEED BOOK 48, PAGE 568-569.
- MAP OF TUCKER ROAD SUBDIVISION OF PALMER ESTATE TOWN OF SOUTH KINGSTOWN, R.I. HENRY A. HOLDEN, OWNER. SCALE 1"=60'. DATED SEPTEMBER, 1925. PLAN BY EARL WHALEY AND LATHROP HOLDEN. RECORDED IN BOOK 47, PAGE 230-231.
- ADMINISTRATIVE SUBDIVISION PLAN SHOWING A REDIVISION OF CERTAIN LAND OF: MARY A. CARPENTER MAP NO. 92-2 LOTS 52, 53 & MAP NO. 93-1 LOT 1 AND DAVID VAN PELT YALE MAP NO. 93-1 LOT NO. 12 ON MATUNUCK BEACH ROAD AND PROSPECT STREET ROAD IN THE TOWN OF SOUTH KINGSTOWN, R.I. SCALE 1"=50'. DATED OCTOBER, 2000. PLAN BY LLOYD L. WHALEY. RECORDED ON CARD C2000-55.
- PLAT OF CAMPGROUND AT MATUNUCK BEACH PROPERTY OF THE ESTATE OF ARTHUR B. CARPENTER SURVEYED AND PLATTED. SCALE 1"=80'. DATED 1949-1950. PLAN BY LEON L. HOLLAND, CIVIL ENGINEER. RECORDED IN BOOK 12 PAGE 689.
- DIANA TUTALO ET AL 106 SYCAMORE LANE, WAKEFIELD, RI 02879 SUBDIVISION A.P. 92-2 LOT 71 SOUTH KINGSTOWN, RHODE ISLAND. SCALE 1"=40'. DATED JUNE 28, 1994. PLAN BY RAYMOND W. SCHWAB ASSOCIATES, INC. RECORDED IN BOOK PL 24, PAGE 55.

Datum Note:

- ELEVATIONS SHOWN HEREON, IN U.S. SURVEY FEET, ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS DETERMINED BY DIPRETE ENGINEERING USING REAL TIME KINEMATIC G.P.S. OBSERVATIONS.

**This Plan Should Be Indexed
By The Following Streets:**

- Matunuck Beach Road

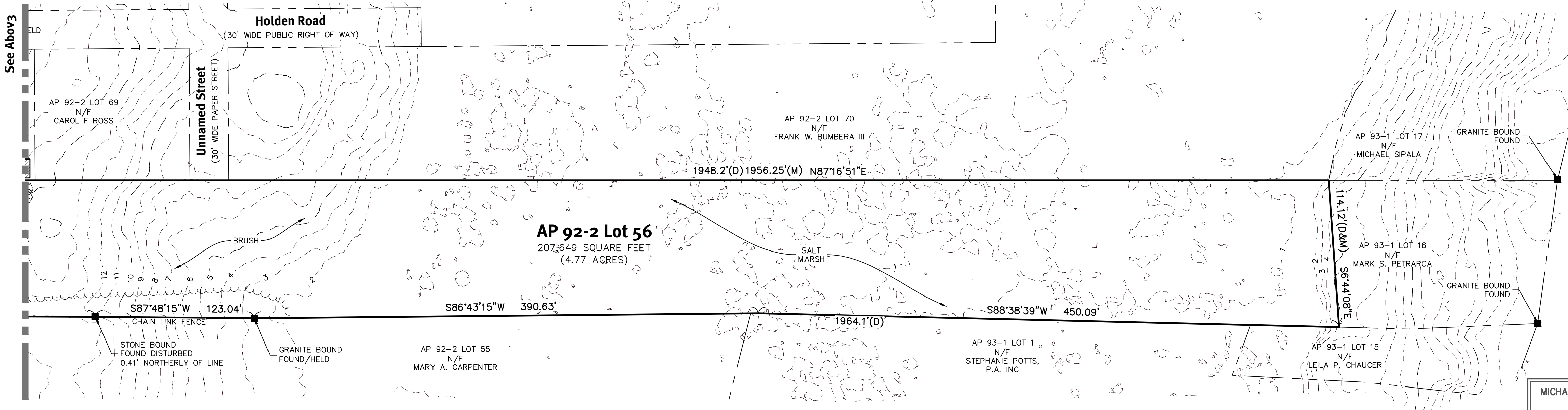
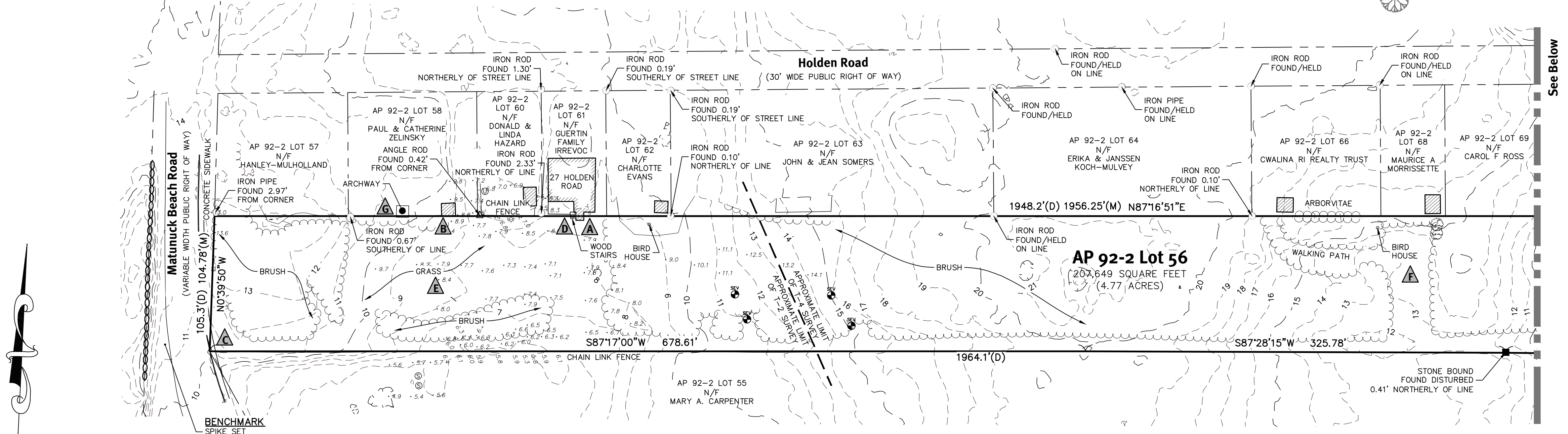
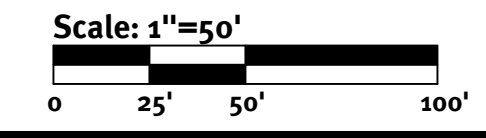


Certification:

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF SURVEY	MEASUREMENT SPECIFICATION
COMPREHENSIVE BOUNDARY SURVEY	CLASS 1
DATA ACCUMULATION SURVEY (LIMITED)	CLASS T-2
DATA ACCUMULATION SURVEY (LIMITED)	CLASS T-4

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
PERIMETER RETRACEMENT PERFORMED BY DIPRETE ENGINEERING FOR THE PURPOSE OF SITE ENGINEERING AND PERMITTING.



Diprete Engineering
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tel 401-943-1000 fax 401-644-6006 www.diprete-eng.com

Boston • Providence • Newport

**Boundary and Topographic Survey
Matunuck Beach Condos**
South Kingstown, Rhode Island

CLIENT
Stephen DeSimone
PO Box 5674, Wakefield, Rhode Island 02880

Drawn By: A.L.F.

No.	Date	Description	By:
1	7/16/22	Boundary and Topographic Survey	A.L.F.
2	07/29/19	Boundary and Topographic Survey	A.L.F.

**Boundary and Topographic Survey
Matunuck Beach Condos**
South Kingstown, Rhode Island

CLIENT
Stephen DeSimone
PO Box 5674, Wakefield, Rhode Island 02880

DE JOB NO: 2389-002-A01 Copyright 2022 by Diprete Engineering Associates, Inc.

SHEET **4** OF 15

Soil Erosion Control Legend:

- TEMPORARY SEDIMENT TRAP
- EROSION CONTROL (COMPOST SOCK, SILT FENCE (RI STD 9.2.0) OR APPROVED EQUAL)
- CLASS C SILT FENCE
- LIMIT OF DISTURBANCE (NO SEDIMENT CONTROL)
- LIMIT OF DISTURBANCE (WITH SEDIMENT CONTROL)
- TRIBUTARY AREA TO SESC BMP
- TEMPORARY DIVERSION BERM
- CONSTRUCTION ENTRANCE (RIDOT STD 9.9.0)
- INFILTRATING AREA (TO BE PROTECTED BY COMPOST SOCK OR SILT FENCE)
- FINAL CONTOUR GRADE
- INLET SEDIMENT CONTROL

Soil Erosion Control Implementation Phasing

- Phase IA** - INSTALL EROSION CONTROL SILT FENCE & STONE CONSTRUCTION ENTRANCE.
- Phase IB** - INSTALL TEMPORARY SEDIMENTATION TRAP, CONSTRUCT CLEAN WATER DIVERSIONS
- Phase IIA** - CLEAR AND GRUB IMPERVIOUS AREAS, CONSTRUCT PROPOSED BUILDING & INSTALL UTILITIES WITH ROADWAYS, INSTALL DRAINAGE NETWORK WORKING FROM THE DOWN GRADIENT BASINS UP TO THE START OF NETWORK, INSTALL ASPHALT PAVING.
- Phase IIB** - STABILIZE ALL DISTURBED AREAS, DE-CONSTRUCT DIVERSIONS AND TEMPORARY SEDIMENTATION TRAPS.

GENERAL NOTES:

1. THE TEMPORARY SEDIMENT TRAPS MUST MEET ALL REQUIREMENTS FOR TEMPORARY SEDIMENT TRAPS OUTLINED IN THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK (LATEST REVISION) SECTION SIX: SEDIMENT CONTROL MEASURES
2. THE TEMPORARY SEDIMENT TRAP MUST PROVIDE A STORAGE VOLUME FOR ONE INCH OF RUNOFF FROM THE CONTRIBUTING AREA. HALF OF THE STORAGE MUST BE PROVIDED IN THE FORM OF WET STORAGE. SEE DETAIL BELOW SECTION 6 OF THE RISESCH.
3. ALL CUT AND FILL SLOPES MUST BE 2:1 OR FLATTER EXCEPT FOR THE EXCAVATED WET STORAGE AREA WHERE SLOPES MUST NOT EXCEED 1.5:1.
4. THE OUTLET MUST BE LOCATED AT THE MOST DISTANT HYDRAULIC POINT FROM THE INLET.
5. THE OUTLET CONSISTS OF A PERVIOUS STONE DIKE WITH A CORE OF MODIFIED RIPRAP AND FACED ON THE UPSTREAM SIDE WITH STONE.
6. TEMPORARY SEDIMENT TRAPS MUST OUTLET ONTO STABILIZED GROUND.
7. MAXIMUM HEIGHT OF A TEMPORARY SEDIMENT TRAP EMBANKMENT IS LIMITED TO 5 FEET (BOTTOM OF DRY STORAGE TO TOP OF EMBANKMENT). TOTAL EMBANKMENT HEIGHT MUST NOT EXCEED 6 FEET (BOTTOM OF WET STORAGE TO TOP OF EMBANKMENT).
8. SIDE SLOPES OF THE EMBANKMENT MUST BE 2:1 OR FLATTER.
9. MODIFIED RIPRAP: SHALL MEET THE REQUIREMENTS OF RIDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SUBSECTION M.10.03.2.
10. FILTER STONE: SHALL MEET THE REQUIREMENTS OF RIDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SUBSECTION M.01.03 TABLE I, COLUMN V FILTER STONE.
11. THE SITE IS WITHIN A:
 - SALT PONDS SPECIAL AREA MANAGEMENT PLAN (CRMC) STATEWIDE IMPORTANCE FARMLAND SOILS
 - NARROW RIVER LAND TRUST (TOWN)
 - COASTAL RESILIENCY OVERLAY DISTRICT (TOWN)
 - SPECIAL FLOOD HAZARD AREA OVERLAY DISTRICT (TOWN)
 - OWTS CRITICAL RESOURCE AREA
12. THE SITE IS NOT WITHIN A:
 - LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES
 - NATURAL HERITAGE AREA
 - GROUNDWATER PROTECTION AREA
 - TMDL WATERSHED
 - DRINKING WATER SUPPLY WATERSHED (RIDEM)
13. THERE ARE NO STONE WALLS ON SITE.
14. THERE ARE NO HISTORIC BUILDINGS ON SITE.
15. THERE ARE NO AGRICULTURAL USES ON SITE.
16. THERE ARE NO UNIQUE NATURAL FEATURES ON SITE.

INSPECTION, MAINTENANCE, AND REMOVAL REQUIREMENTS:

1. INSTALL "SEDIMENT STORAGE" STAKE WITH A MARKER AT ONE HALF OF THE WET STORAGE VOLUME.
2. INSPECT THE TEMPORARY SEDIMENT TRAP AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.25 INCH OR GREATER.
3. CHECK THE OUTLET TO ENSURE THAT IT IS STRUCTURALLY SOUND AND HAS NOT BEEN DAMAGED BY EROSION OR CONSTRUCTION EQUIPMENT.
4. CHECK FOR SEDIMENT ACCUMULATION AND FILTRATION PERFORMANCE.
5. WHEN SEDIMENTS HAVE ACCUMULATED TO ONE HALF THE MINIMUM REQUIRED VOLUME OF THE WET STORAGE, DEWATER THE TRAP AS NEEDED, REMOVE SEDIMENTS AND RESTORE THE TRAP TO ITS ORIGINAL DIMENSIONS.
6. DISPOSE OF THE SEDIMENT REMOVED FROM THE BASIN IN A SUITABLE AREA AS DESIGNATED BY THE GEOTECHNICAL ENGINEER.
7. THE TEMPORARY SEDIMENT TRAP MAY BE REMOVED AFTER THE CONTRIBUTING DRAINAGE AREA IS STABILIZED.

INSTALLATION NOTES:

1. CLEAR, GRUB AND STRIP ANY VEGETATION AND ROOT MAT FROM ANY PROPOSED EMBANKMENT AND OUTLET AREA.
2. REMOVE STONES AND ROCKS WHOSE DIAMETER IS GREATER THAN THREE (3) INCHES AND OTHER DEBRIS.
3. EXCAVATE WET STORAGE AND CONSTRUCT THE EMBANKMENT AND/OR OUTLET AS NEEDED TO ATTAIN THE NECESSARY STORAGE REQUIREMENTS.
4. USE ONLY FILL MATERIAL FOR THE EMBANKMENT THAT IS FREE FROM EXCESSIVE ORGANICS, DEBRIS, LARGE ROCKS (OVER SIX (6) INCHES) OR OTHER UNSUITABLE MATERIALS. COMPACT THE EMBANKMENT IN 9-INCH LAYERS BY TRAVERSING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED.
5. STABILIZE THE EARTHEN EMBANKMENT USING ANY OF THE FOLLOWING MEASURES: SEEDING FOR TEMPORARY VEGETATION COVER; SEEDING FOR PERMANENT VEGETATIVE COVER; OR SLOPE PROTECTION, IMMEDIATELY AFTER INSTALLATION.

INSTALLATION NOTES:

(REFERENCE: SOIL MAPPING OBTAINED FROM RIGIS, SOIL GEOGRAPHIC DATA DEVELOPED BY THE RHODE ISLAND SOIL SURVEY PROGRAM IN PARTNERSHIP WITH THE NATIONAL COOPERATIVE SOIL SURVEY)

SOIL NAME DESCRIPTION

BhB**	BRIDGEHAMPTON SILT LOAM, 3 TO 8 PERCENT SLOPES
FIA	FORTRESS SAND
Mk	MATUNUCK MUCKY PEAT
MU	MERRIMAC-URBAN LAND COMPLEX

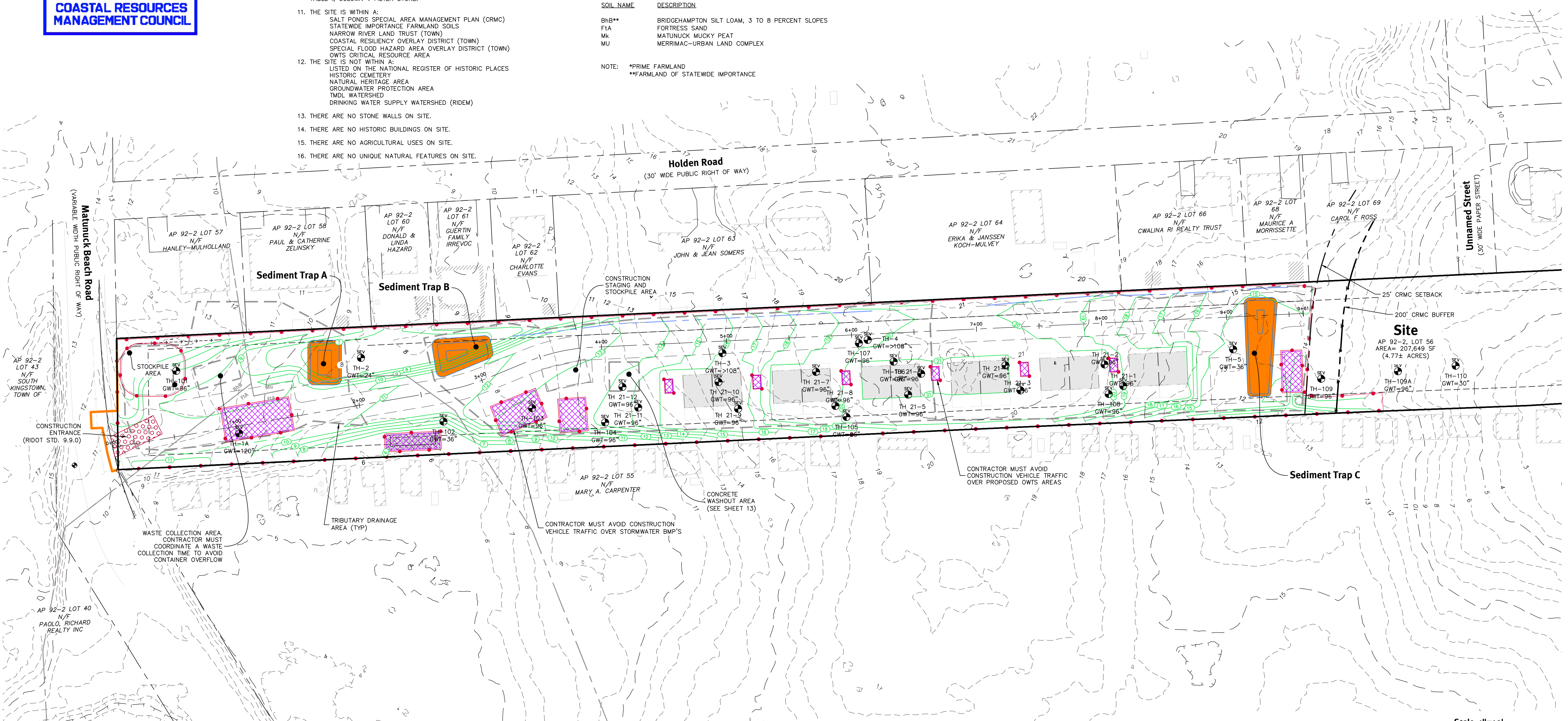
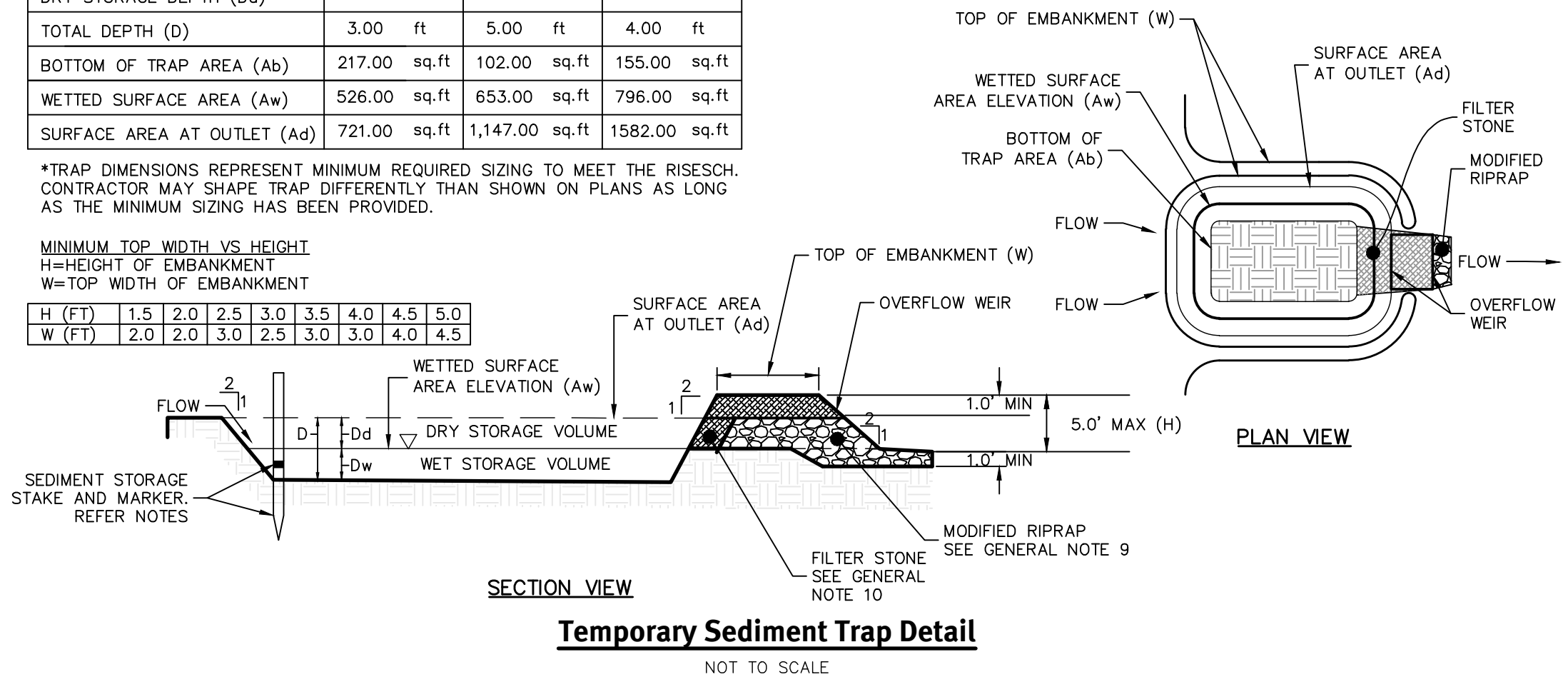
NOTE: *PRIME FARMLAND
**FARMLAND OF STATEWIDE IMPORTANCE

SEDIMENT TRAP DIMENSIONS*	TRAP A	TRAP B	TRAP C
TRIBUTARY DRAINAGE AREA	0.39 ac	0.80 ac	0.67 ac
WET STORAGE DEPTH (Dw)	2.00 ft	3.00 ft	2.00 ft
DRY STORAGE DEPTH (Dd)	1.00 ft	2.00 ft	2.00 ft
TOTAL DEPTH (D)	3.00 ft	5.00 ft	4.00 ft
BOTTOM OF TRAP AREA (Ab)	217.00 sq.ft	102.00 sq.ft	155.00 sq.ft
WETTED SURFACE AREA (Aw)	526.00 sq.ft	653.00 sq.ft	796.00 sq.ft
SURFACE AREA AT OUTLET (Ad)	721.00 sq.ft	1,147.00 sq.ft	1582.00 sq.ft

*TRAP DIMENSIONS REPRESENT MINIMUM REQUIRED SIZING TO MEET THE RISESCH. CONTRACTOR MAY SHAPE TRAP DIFFERENTLY THAN SHOWN ON PLANS AS LONG AS THE MINIMUM SIZING HAS BEEN PROVIDED.

MINIMUM TOP WIDTH VS HEIGHT
H=HEIGHT OF EMBANKMENT
W=TOP WIDTH OF EMBANKMENT

H (FT)	1.5	2.0	2.5	3.0	3.5	4.0	4.5	5.0
W (FT)	2.0	2.0	3.0	2.5	3.0	3.0	4.0	4.5



DiPrete Engineering
Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-464-6006 www.diprete-eng.com

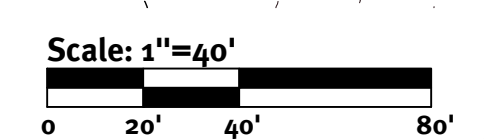
CHRISTOPHER A. DUHAMEL
REGISTERED PROFESSIONAL ENGINEER CIVIL

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NO.	DATE	DESCRIPTION	BY
1	06-22-2022	CRMC Response Comments	N.D.K.
2	06-22-2022	Revised Storm Water Management Plan	N.D.K.
3	06-22-2022	Response to CRMC Comments	N.D.K.
4	06-22-2022	Response to CRMC Comments	N.D.K.
5	06-22-2022	CRMC Assent Application Submission	N.D.K.
6	06-22-2022	CRMC Assent Application Submission	N.D.K.
7	06-22-2022	CRMC Assent Application Submission	N.D.K.
8	06-22-2022	CRMC Assent Application Submission	N.D.K.
9	06-22-2022	CRMC Assent Application Submission	N.D.K.
10	06-22-2022	CRMC Assent Application Submission	N.D.K.

Soil Erosion & Sediment Control Plan
Matunuck Beach Condos
Assessors: 02-27-0666
South Kingstown, Rhode Island
Project Owner:
Matunuck Beach Road Partners, LLC
P.O. Box 385
Waketield, RI 02880

Note: This Plan Must Be Reproduced In Color



Dimensional Regulations:

CURRENT ZONING:	R-20 (DUPEX WITH OUT PUBLIC SEWER)
MINIMUM LOT AREA:	40,000 SF
MINIMUM FRONTAGE AND LOT WIDTH:	100'
MINIMUM FRONT YARD:	35'
MINIMUM CORNER SIDE YARD:	25'
MINIMUM SIDE YARD:	15'
MINIMUM REAR YARD:	35'
MAXIMUM STRUCTURE HEIGHT:	35'
MAXIMUM LOT BUILDING COVERAGE:	25%
	ACCSY BLDG: 10'
	ACCSY BLDG: 10'
	ACCSY BLDG: 15'

CURRENT ZONING:	CN - MULTI HOUSEHOLD STRUCTURES UP TO 12 UNITS
MINIMUM LOT AREA:	15,000 SF FOR FIRST 2 D.U. + 5,000 SF PER EACH ADDITIONAL D.U.
MINIMUM FRONTAGE AND LOT WIDTH:	100'
MINIMUM FRONT YARD:	25'
MINIMUM CORNER SIDE YARD:	20'
MINIMUM SIDE YARD:	10'
MINIMUM REAR YARD:	30'
MAXIMUM STRUCTURE HEIGHT:	35'
MAXIMUM LOT BUILDING COVERAGE:	30%
	ACCSY BLDG: 10'
	ACCSY BLDG: 10'
	ACCSY BLDG: 15'

Development Data:

TOTAL SITE AREA:	4.77± ACRES
UPLAND AREA:	2.9± ACRES
TOTAL NUMBER OF BUILDINGS:	6
TOTAL NUMBER OF UNITS:	12
AFFORDABLE UNITS:	12 UNITS (25% AFFORDABLE = 3 UNITS)
LENGTH OF ROAD:	975±
PAVEMENT WIDTH:	20' (TWO 10' TRAVEL LANES)
TOTAL IMPERVIOUS:	
HOUSES, PORCHES, DECKS	11,119 SF
DRIVEWAYS, PARKING SPACES	26,294 SF
PERVIOUS PARKING/SIDEWALKS	0 SF
TOTAL:	37,413 SF (0.88 ACRES)

Density Calculation:

TOTAL SITE AREA:	4.77± ACRES
NUMBER OF UNITS*:	12 UNITS
MAXIMUM LOTS ALLOWED*:	6 LOTS

*RELIEF GRANTED ON 2/8/2020 FOR MASTER PLAN BY SOUTH KINGSTOWN PLANNING BOARD.

State Permits Received:

HISTORICAL PRESERVATION & HERITAGE COMMISSION CRMC FILE NO. 2019-03-087 (DATED: APRIL 15, 2019)
 CRMC PRELIMINARY DETERMINATION FILE NO. 2019-03-087 (DATE: MARCH 25, 2019)
 RIDEM OWTS APPLICATION #2032-1432, 2132-0908, 2132-0909, 2132-0910, 2132-0911, 2132-0912.
 CRMC PRELIMINARY DETERMINATION FILE NO. 2019-03-087 (DATE: MARCH 25, 2019)

Zoning Relief Approved

- ZONING ORDINANCE SECTION 301 - SCHEDULE OF USE REGULATIONS TABLE, USE CODE 12.1 - MULTI-HOUSEHOLD LAND DEVELOPMENT PROJECT
- ZONING ORDINANCE SECTION 401 - SCHEDULE OF DIMENSIONAL REGULATIONS, DENSITY
- SUBDIVISION & LAND DEVELOPMENT REGULATIONS - ARTICLE IV, SECTION H(9), MULTI HOUSEHOLD DWELLINGS, SUPPLEMENTARY STANDARDS.

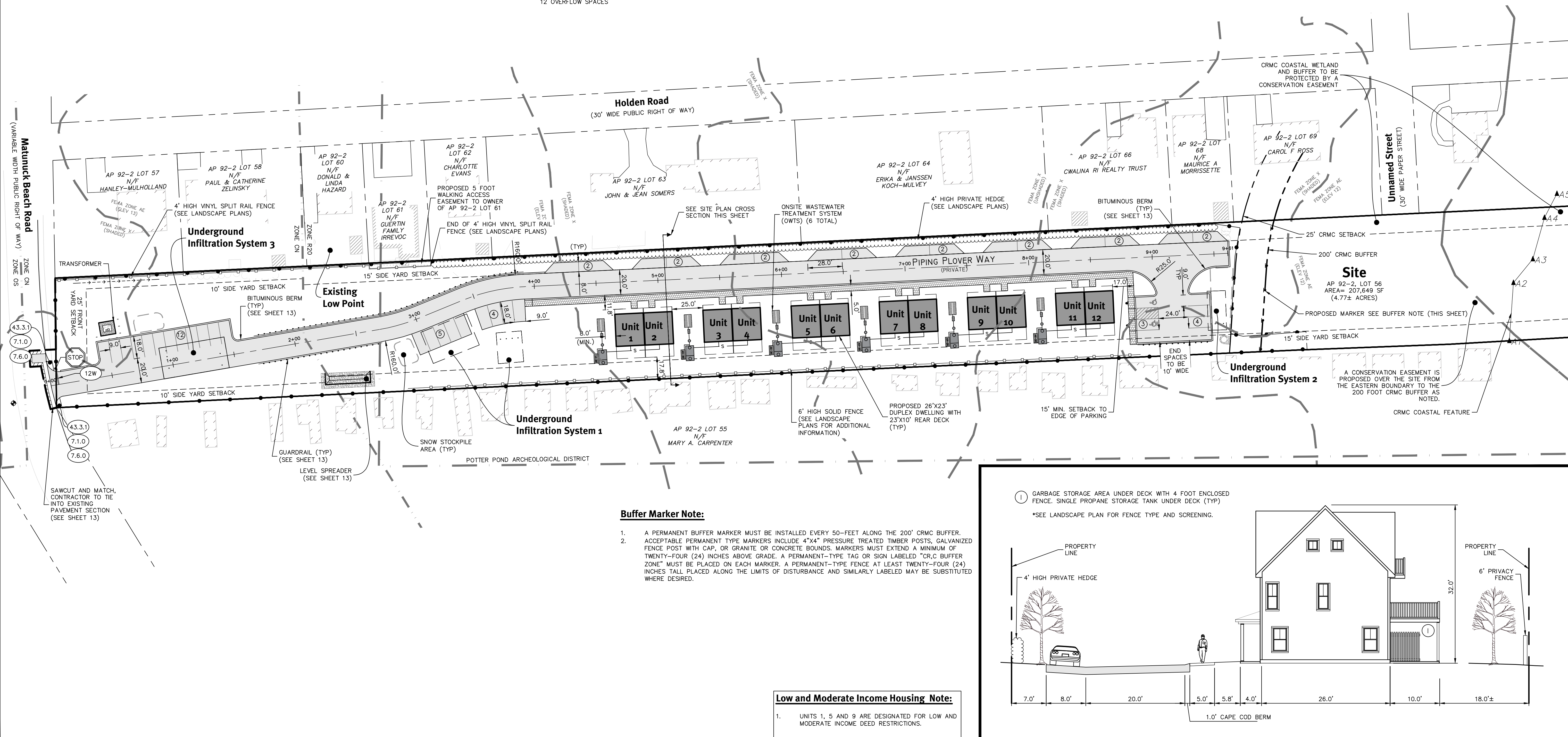
Parking Regulations:

PARKING USE:	APARTMENTS OR MULTI-HOUSEHOLD DWELLINGS
PARKING REQUIREMENT:	2 SPACES PER UNIT
UNITS PROPOSED:	12 UNITS
PARKING CALCULATION:	2 * 12 = 24 SPACES
REQUIRED PARKING SPACES:	24 SPACES
PARKING SPACES PROVIDED:	44 TOTAL SPACES 32 STANDARD SPACES (INCLUDING 2 ADA SPACES) 12 OVERFLOW SPACES



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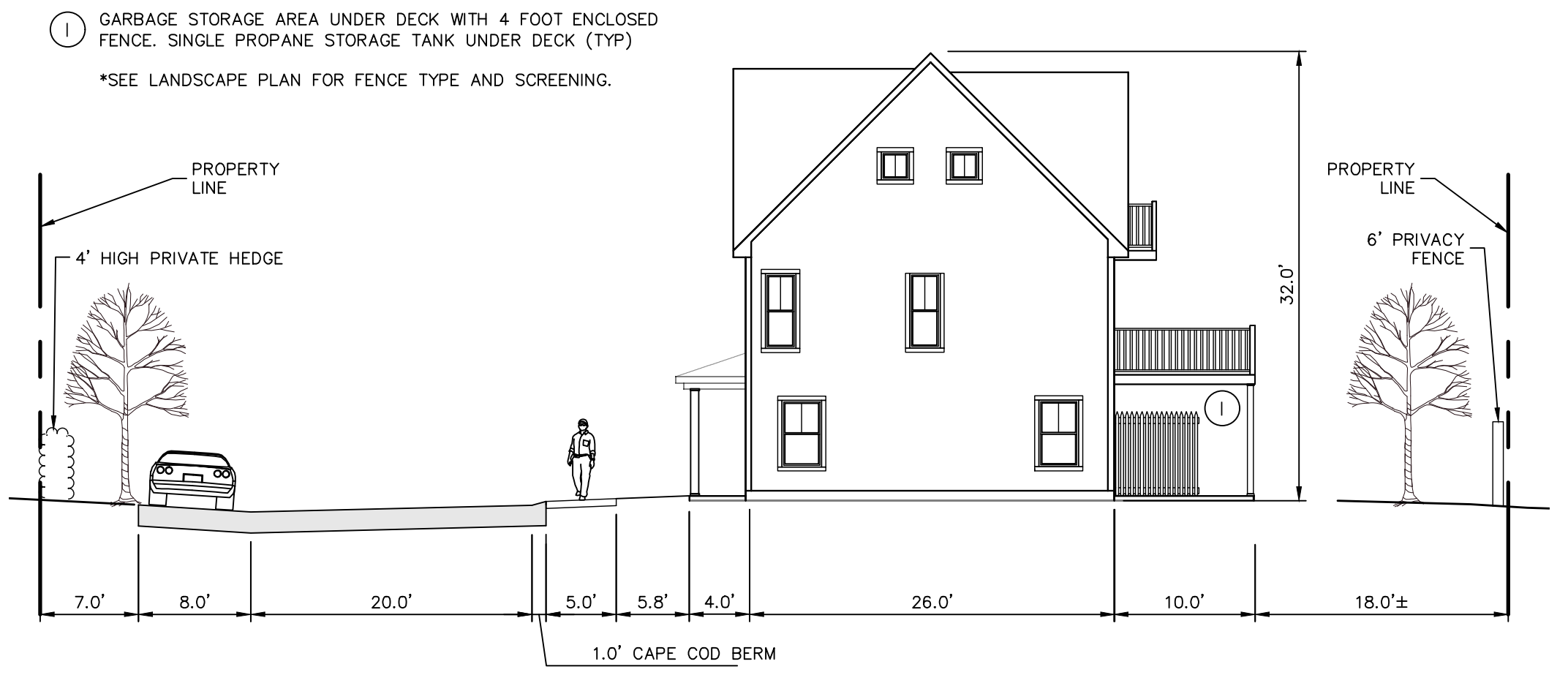


Buffer Marker Note:

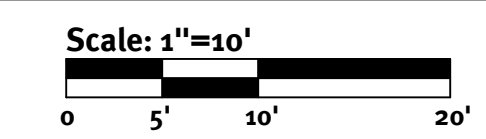
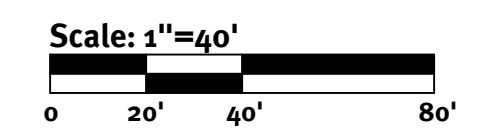
- A PERMANENT BUFFER MARKER MUST BE INSTALLED EVERY 50-FOOT ALONG THE 200' CRMC BUFFER. ACCEPTABLE PERMANENT TYPE MARKERS INCLUDE 4"x4" PRESSURE TREATED TIMBER POSTS, GALVANIZED FENCE POST WITH CAP, OR GRANITE OR CONCRETE BOUNDS. MARKERS MUST EXTEND A MINIMUM OF TWENTY-FOUR (24) INCHES ABOVE GRADE. A PERMANENT-TYPE TAG OR SIGN LABELED "CRMC BUFFER ZONE" MUST BE PLACED ON EACH MARKER. A PERMANENT-TYPE FENCE AT LEAST TWENTY-FOUR (24) INCHES TALL PLACED ALONG THE LIMITS OF DISTURBANCE AND SIMILARLY LABELED MAY BE SUBSTITUTED WHERE DESIRED.

Low and Moderate Income Housing Note:

- UNITS 1, 5 AND 9 ARE DESIGNATED FOR LOW AND MODERATE INCOME DEED RESTRICTIONS.



Site Plan Cross Section (Looking East)

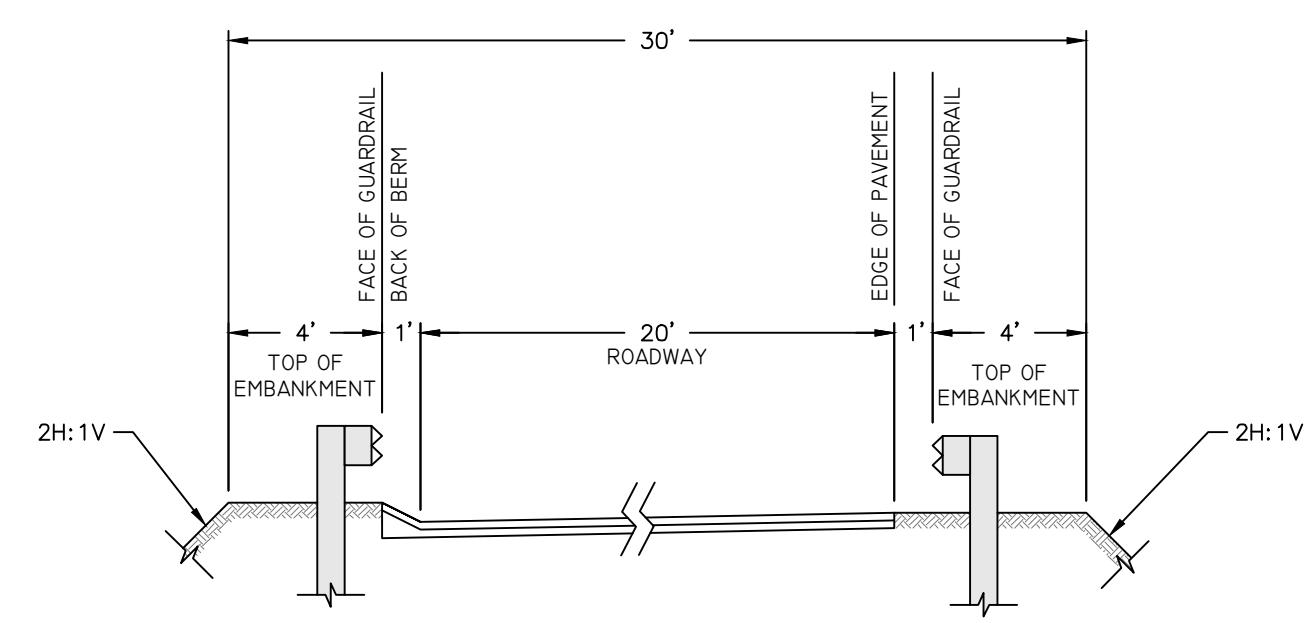
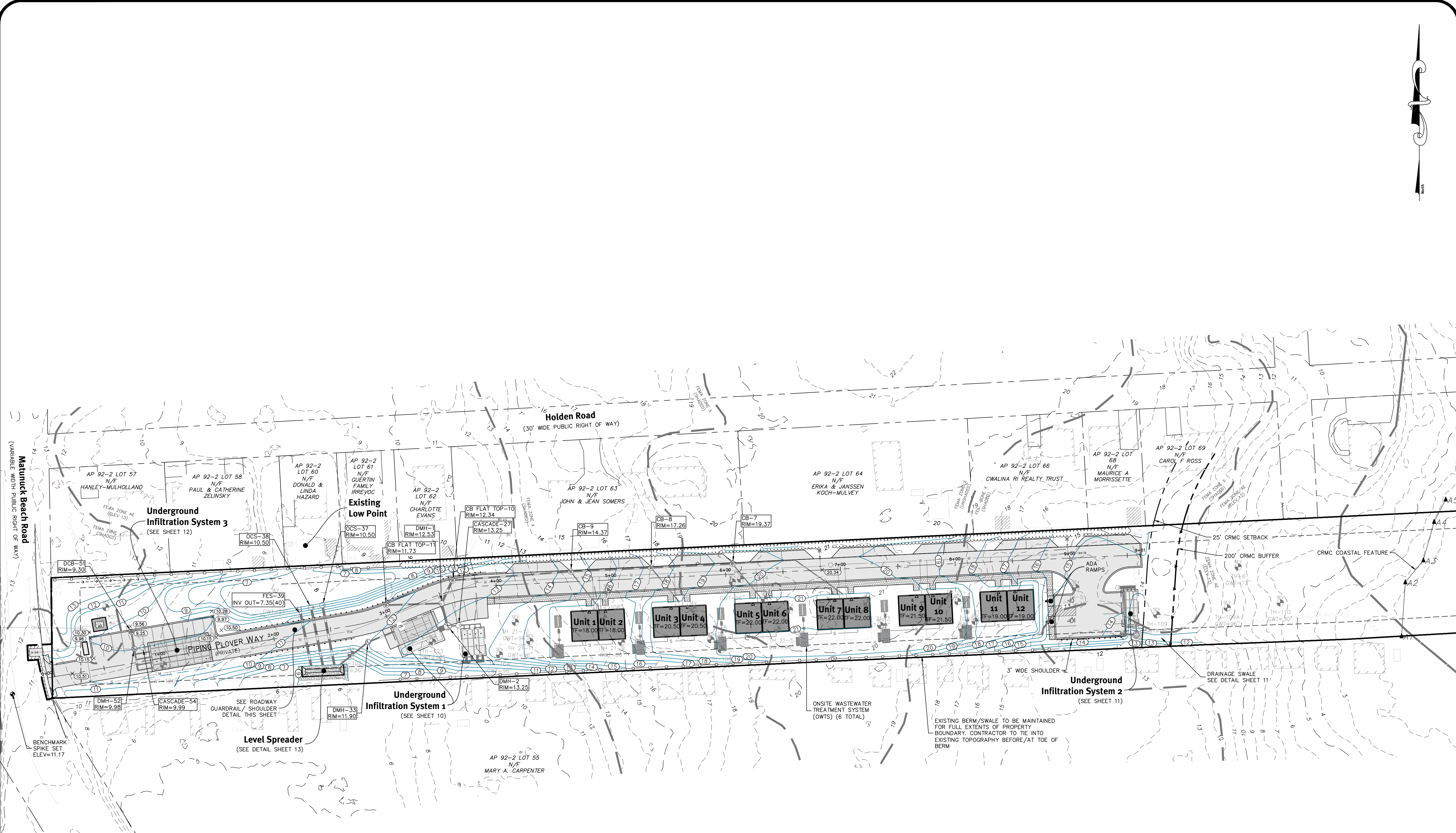


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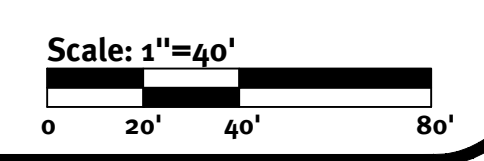
Rev.	Date	Description	By	Appr.
1	06-22-2022	CRMC Response to Comments	BDK	BDK
2	06-22-2022	Revised Unit 12 Garage Floor and Paving Buffer	BDK	BDK
3	06-22-2022	Revised Unit 12 Garage Floor and Paving Buffer	BDK	BDK
4	06-22-2022	Revised Unit 12 Garage Floor and Paving Buffer	BDK	BDK
5	06-22-2022	Revised Unit 12 Garage Floor and Paving Buffer	BDK	BDK
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12	06-22-2022	Revised Unit 12 Garage Floor and Paving Buffer	BDK	BDK

Site Layout Plan
Matunuck Beach Condos
 Assessors: BR 92-2 Lot 66
 South Kingstown, Rhode Island
Matunuck Beach Road Partners, LLC
 P.O. Box 395
 Waketield, RI 02880
 DE JOB NO: 2389-002 Copyright 2022 by DiPrete Engineering Associates, Inc.

z:\main\projects\2389-002\matunuck_beach\condos\buried_drawing\2389-002_plans.dwg Plotted: 7/7/2022



RECEIVED
07-15-2022
**COASTAL RESOURCES
MANAGEMENT COUNCIL**



DiPrete Engineering
Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-664-6006 www.diprete-eng.com

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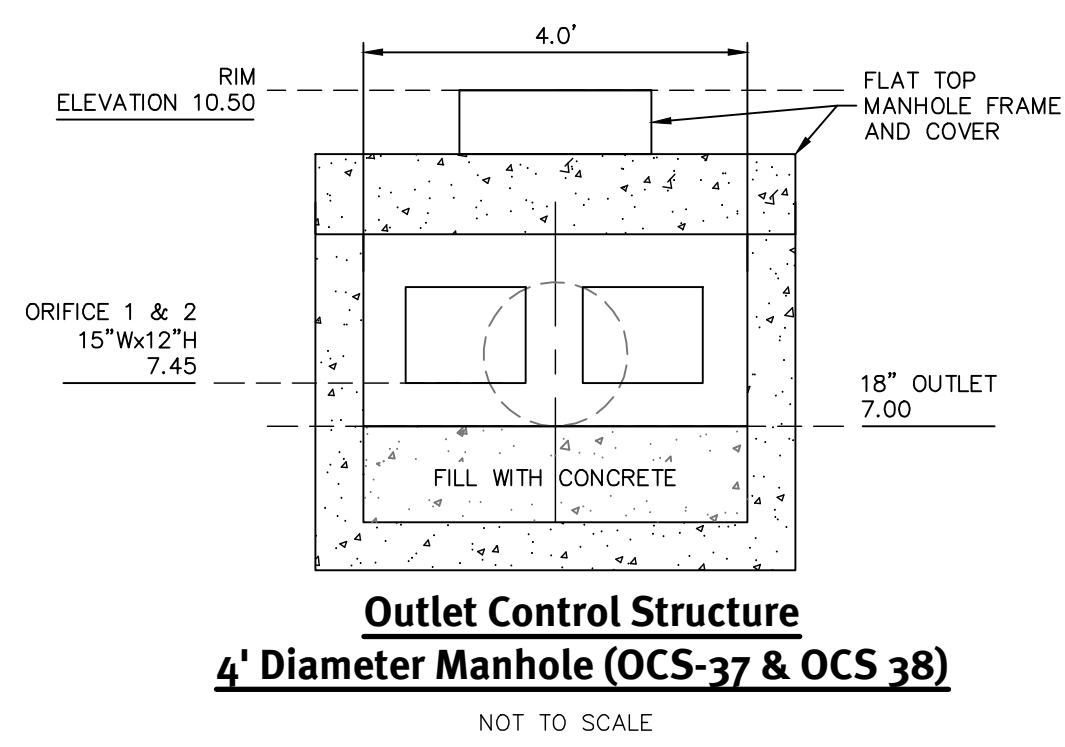
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NO.	DATE	DESCRIPTION	BY
1	05-02-2022	CHDK Response to Comments	N.D.K.
2	05-02-2022	Revised Unit 12, 11, 10, 9, 8, 7, 6, 5, 4, 3, 2, 1, 0	P.A.R.
3	05-02-2022	Response to CHDK Comments	S.B.B.
4	05-02-2022	Response to CHDK Comments	S.P.M.
5	05-02-2022	CHDK Assent Application Submission	S.P.
6	05-02-2022	CHDK Assent Application Submission	S.P.
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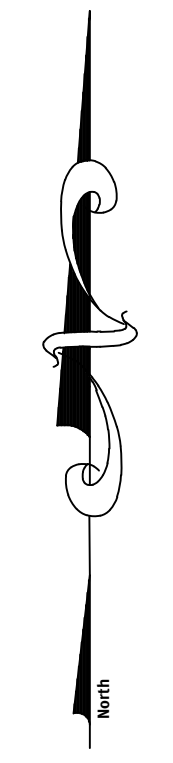
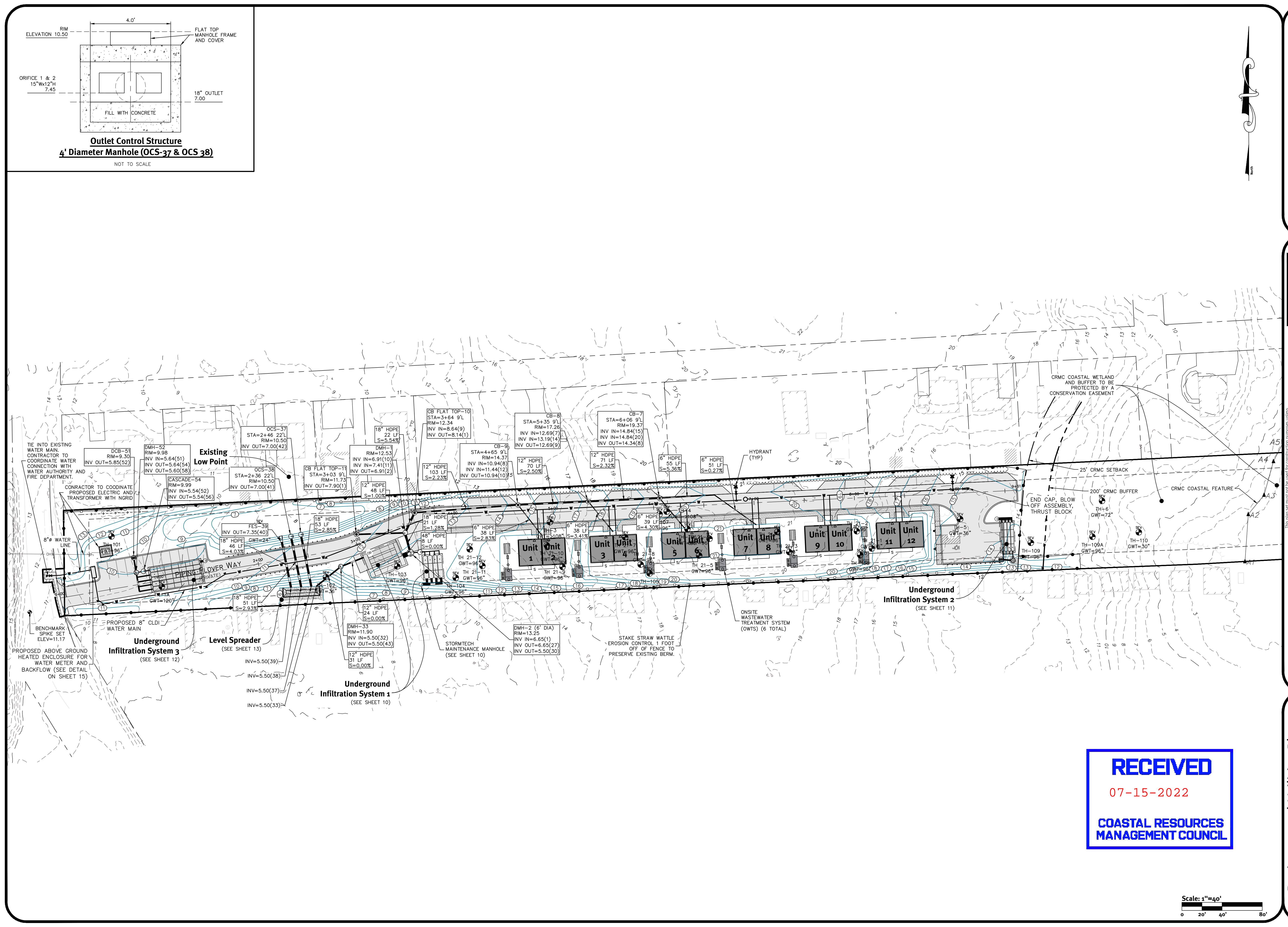
Drawn By: N.D.K. Design By: N.D.K.

Grading Plan
Matunuck Beach Condos
Assessors: Blot 02-2 Lot 66
South Kingstown, Rhode Island
Matunuck Beach Road Partners, LLC
P.O. Box 395
Waketield, RI 02880
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SHEET **7** OF 15



Outlet Control Structure
4' Diameter Manhole (OCS-37 & OCS 38)
 NOT TO SCALE



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 Two Stafford Court Cranston, RI 02920
 tel 401-943-1000 fax 401-664-6006 www.diprete-eng.com

CHRISTOPHER A. DUHAMEL

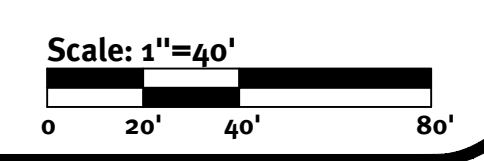
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Rev.	Date	Description
1	06-22-2022	CHRC Response to Comments
2	06-22-2022	Revised Manhole Details
3	06-22-2022	Revised to RRC Comments
4	06-22-2022	Revised to RRC Comments
5	06-22-2022	Revised to RRC Comments
6	06-22-2022	Revised to RRC Comments
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12	06-22-2022	Revised to RRC Comments

Drainage and Utilities Plan
Matunuck Beach Condos
 Assessor's Plat 02-2, Lot 66
 South Kingsdown, Rhode Island
 Significant Owner
Matunuck Beach Road Partners, LLC
 P.O. Box 385
 Wakefield, RI 02880
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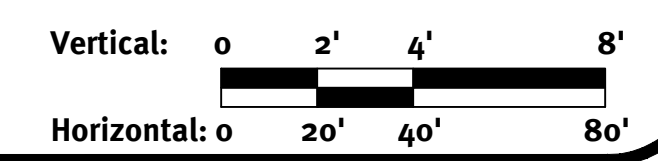
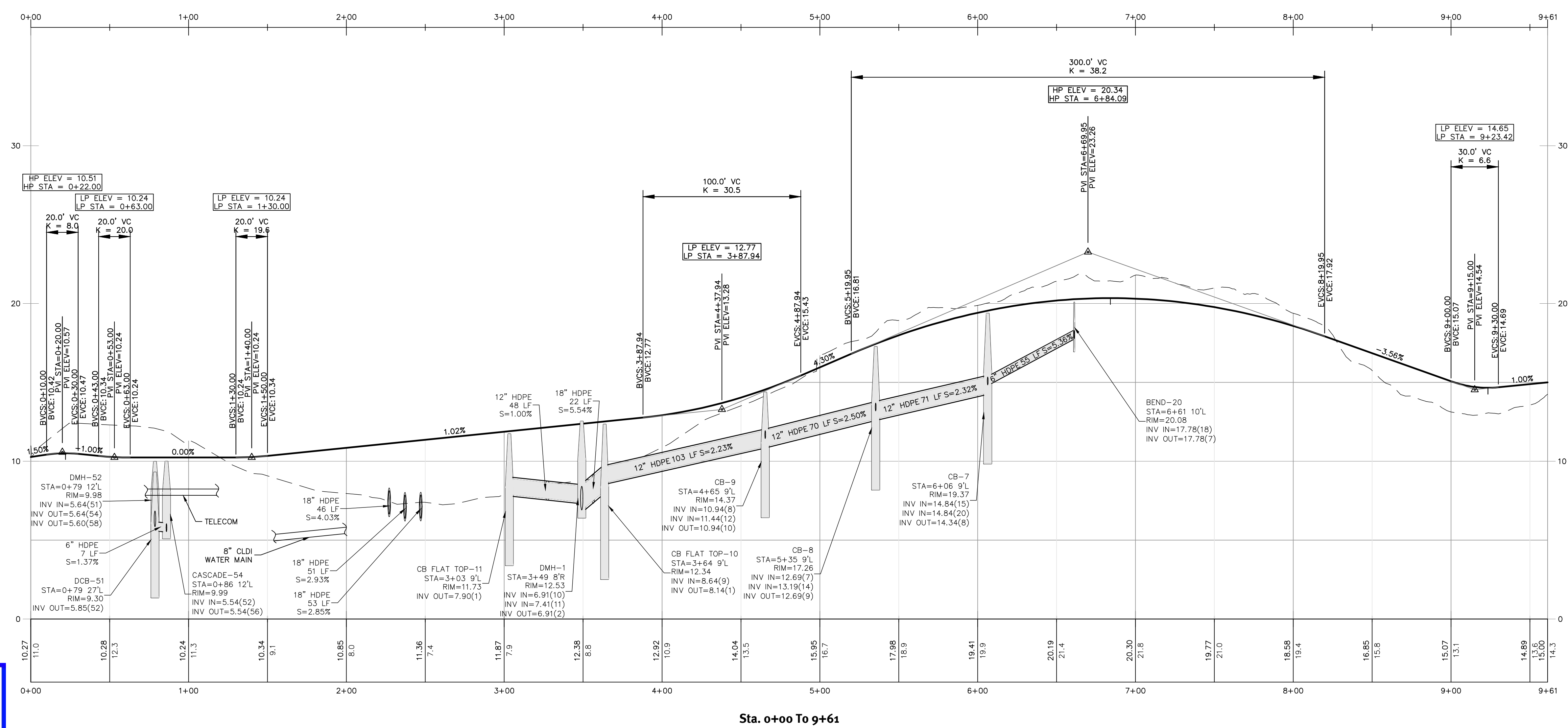
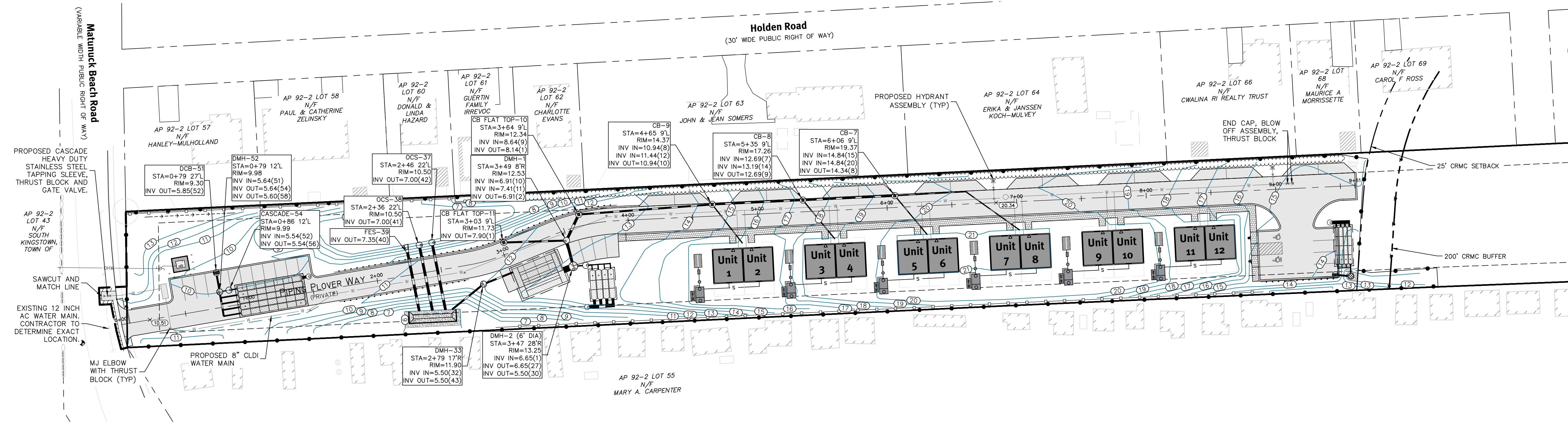
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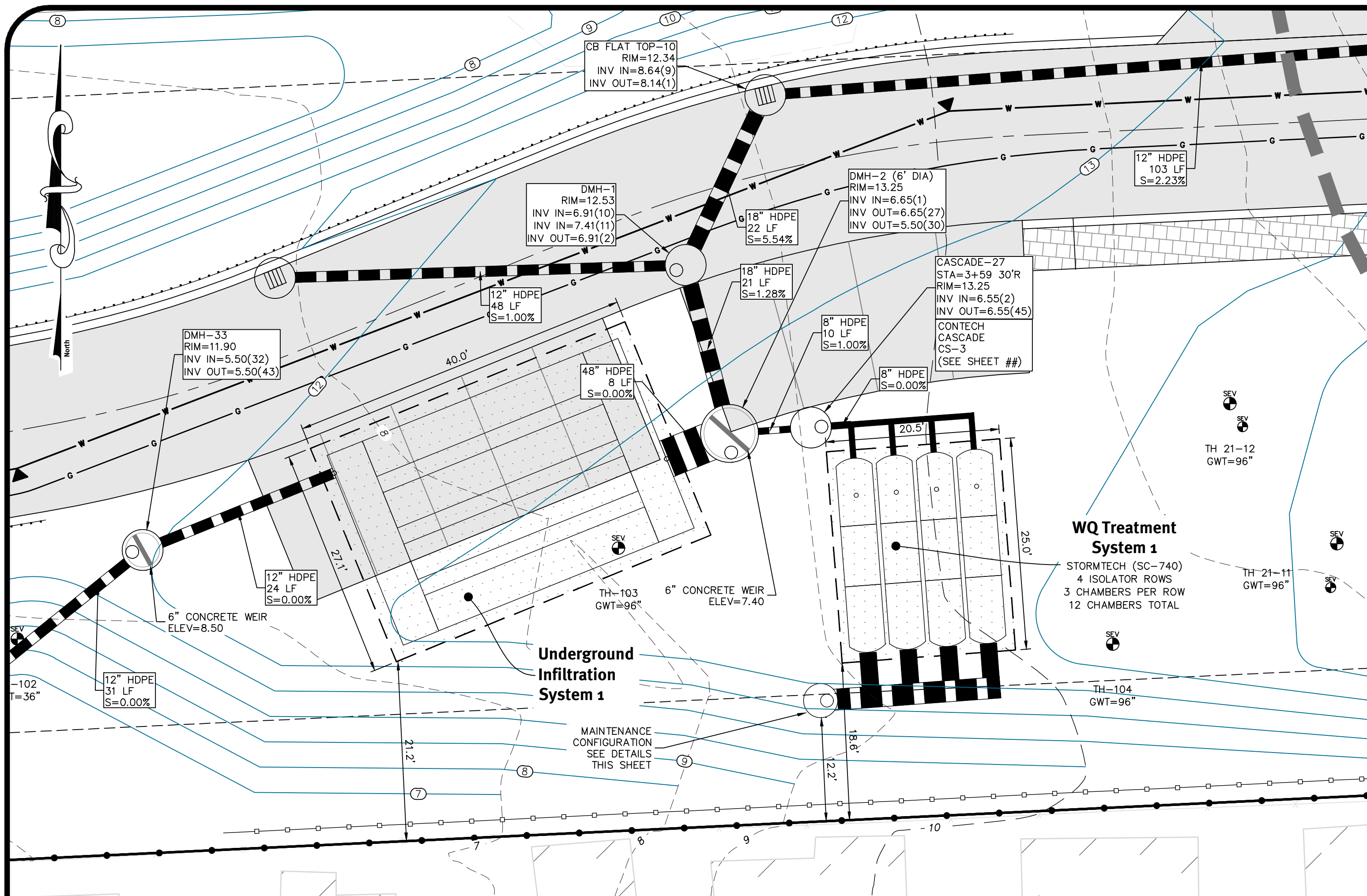
CHRISTOPHER A. DUHAMEL
REGISTERED PROFESSIONAL ENGINEER
CIVIL

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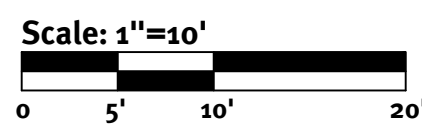
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1	06-29-2022	CHDK Response to Comments	CD	
2	06-29-2022	Revised Utility Locations, Erosion and Sedimentation Plan	CD	
3	06-29-2022	Response to CHDK Comments	CD	
4	06-29-2022	Response to CHDK Comments	CD	
5	06-29-2022	CHDK Assent Application Submission	CD	
6	06-29-2022	Work Submission	CD	
7	06-29-2022	Final Submission	CD	
8	06-29-2022	Final Submission	CD	
9	06-29-2022	Final Submission	CD	
10	06-29-2022	Final Submission	CD	

Drawn By: N.D.K. Design By: N.D.K.

Plan & Profile
Matunuck Beach Condos
Assessors: Blk 022 Lot 66
South Kingstown, Rhode Island
Project Owner:
Matunuck Beach Road Partners, LLC
P.O. Box 385
Waketield, RI 02880
DE JOB NO: 2389-002 Copyright 2022 by DiPrete Engineering Associates, Inc.



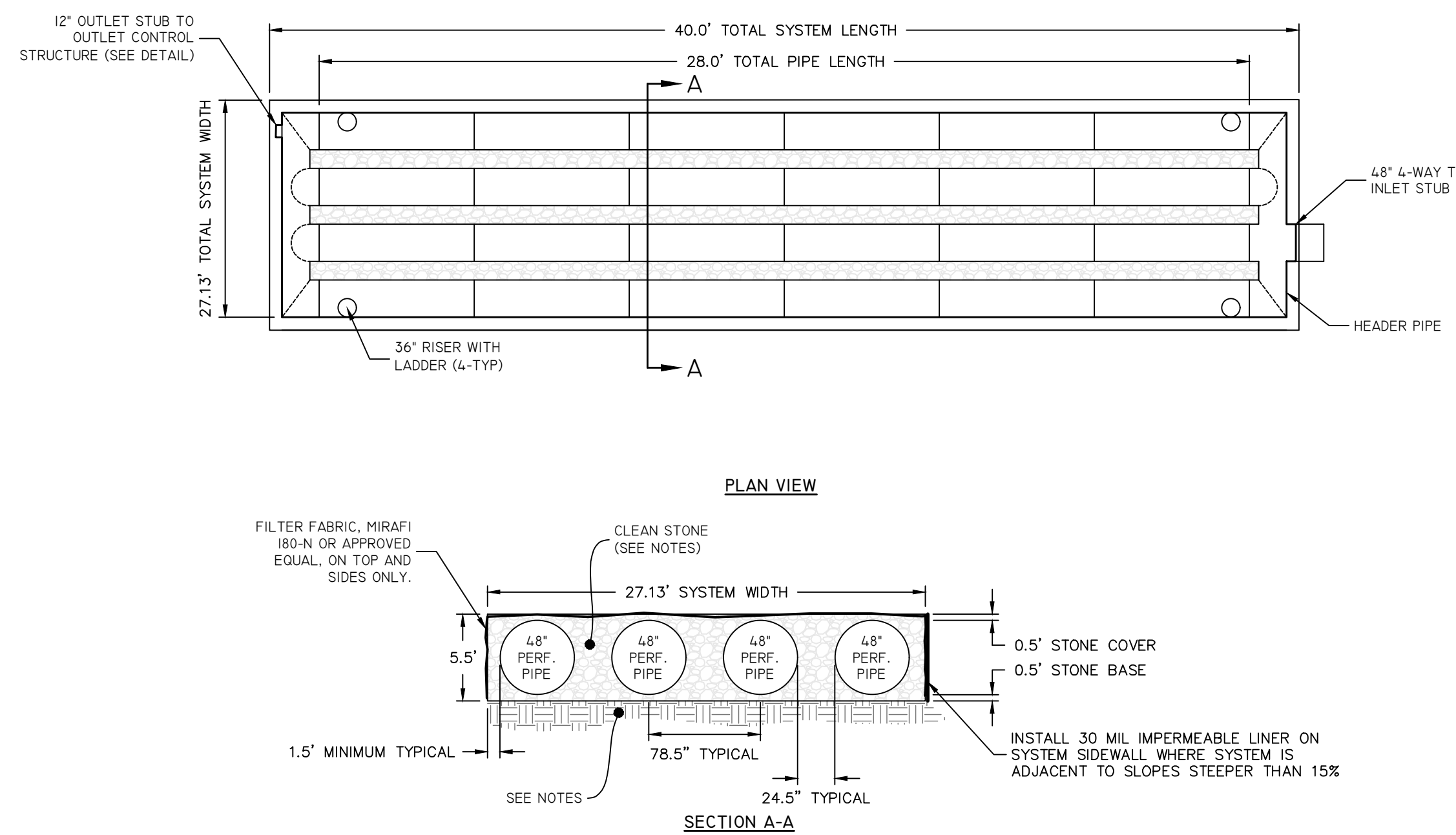
UNDERGROUND INFILTRATION SYSTEM I



NOTES:

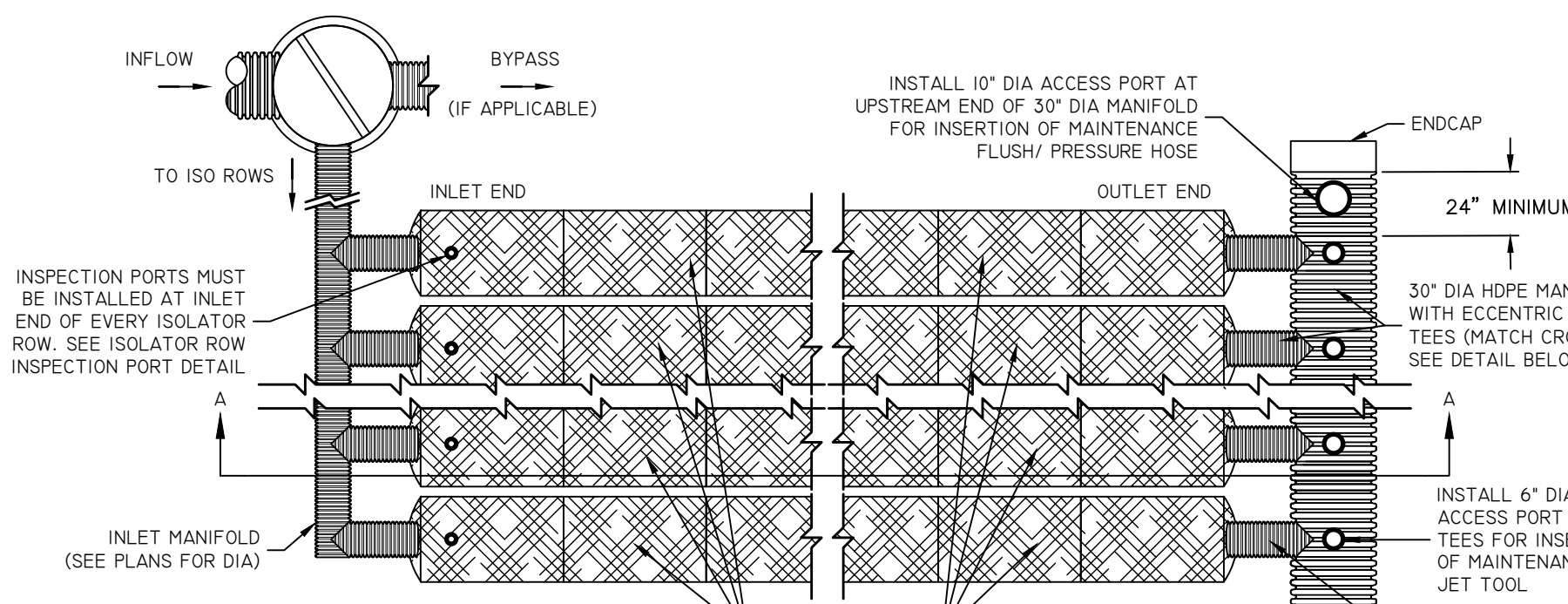
- CLEAN STONE SHALL BE CLEAN DOUBLE WASHED ANGULAR STONE. STONE MUST MEET AASHTO SPECIFICATION M-43 SIZE NO. 2 OR NO. 3.
- PIPE SHALL BE HDPE OR ALUMINIZED TYPE 2. ALL PIPE MUST BE FULLY PERFORATED. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO DESIGN ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
- HEADER PIPE CAN BE CUSTOM MANUFACTURED OR CONSTRUCTED USING PIPE FITTINGS. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO DESIGN ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
- CONTRACTOR MUST REMOVE TOP AND SUBSOILS/ EXCAVATE DOWN TO THE C HORIZON WITHIN THE FOOTPRINT OF ALL INFILTRATION DEVICES.
- IF FILL IS REQUIRED WITHIN THE FOOTPRINT OF AN INFILTRATION DEVICE, CONTRACTOR MUST REMOVE TOP AND SUBSOILS/ EXCAVATE DOWN TO THE C HORIZON AND BACKFILL WITH SUITABLE MATERIAL THAT HAS EQUAL OR GREATER INFILTRATION PARAMETERS THAN THE EXISTING HORIZONS BENEATH. ONSITE MATERIALS MAY BE USED AT THE DIRECTION OF THE SITE ENGINEER OR GEOTECHNICAL ENGINEER. OTHERWISE ASTM C-33 OR AASHTO M6 CONCRETE SAND MUST BE USED.

DESCRIPTION	UIS
TOP OF UIS STONE ELEVATION	10.50
BOTTOM OF UIS STONE ELEVATION	5.00
100 YEAR STORM ELEVATION	8.84
10 YEAR STORM ELEVATION	7.31
1 YEAR STORM ELEVATION	5.00
SEASONAL HIGH GWT ELEVATION	1.00
SOIL EVALUATION	TH-103



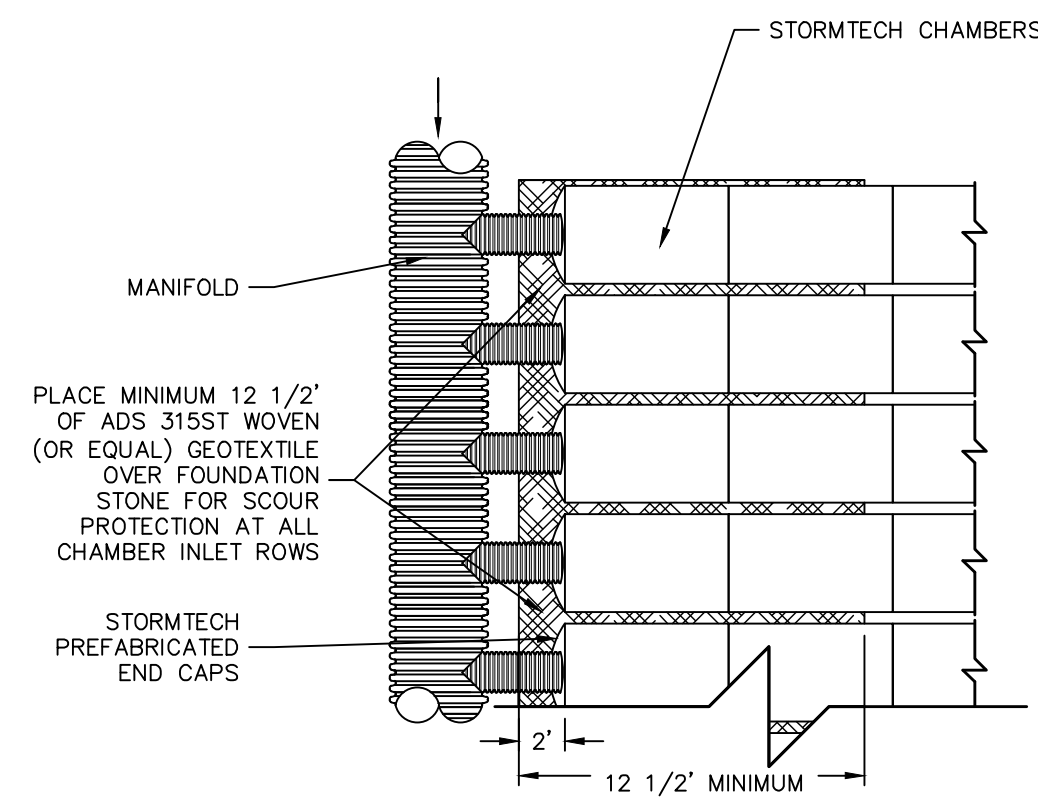
UNDERGROUND INFILTRATION SYSTEM I

NOT TO SCALE



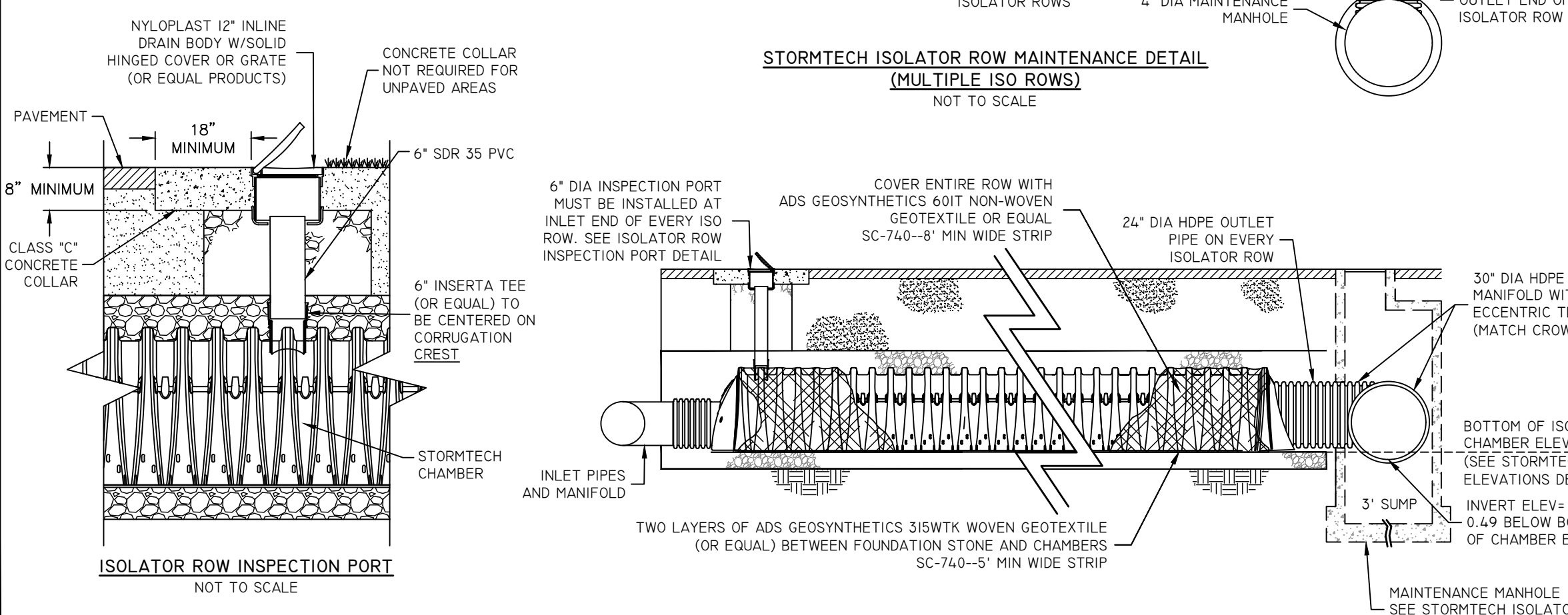
STORMTECH ELEVATIONS

NOT TO SCALE



Stormtech Manifold Detail (Typ)

NOT TO SCALE



STORMTECH ISOLATOR ROW MAINTENANCE DETAIL (MULTIPLE ISO ROWS)

NOT TO SCALE

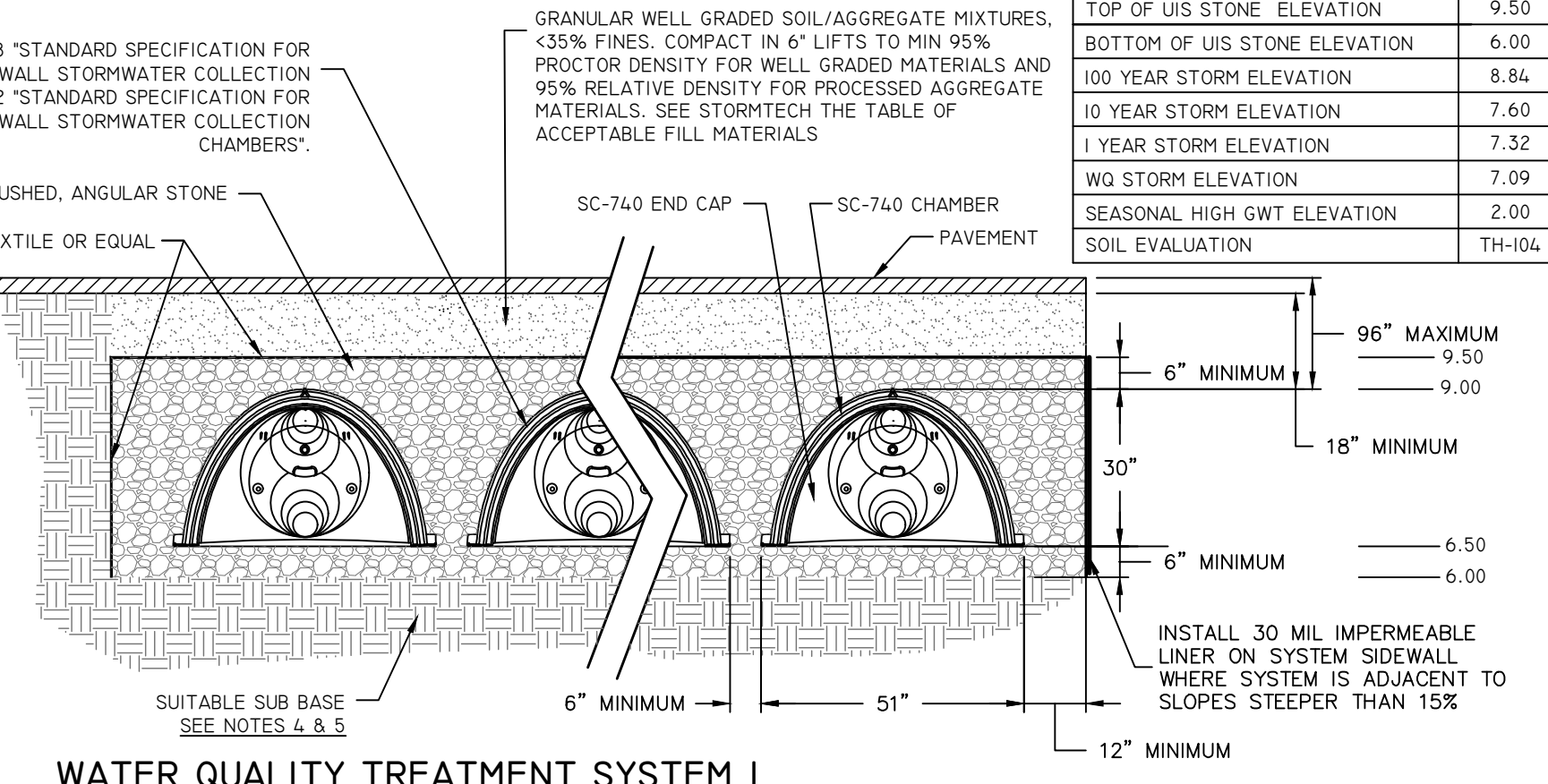
STORMTECH ISOLATOR ROW DETAIL (SC-740)

NOT TO SCALE

CHAMBERS SHALL MEET ASTM F2418 'STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS' OR ASTM F2922 'STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS'.

NOTES:

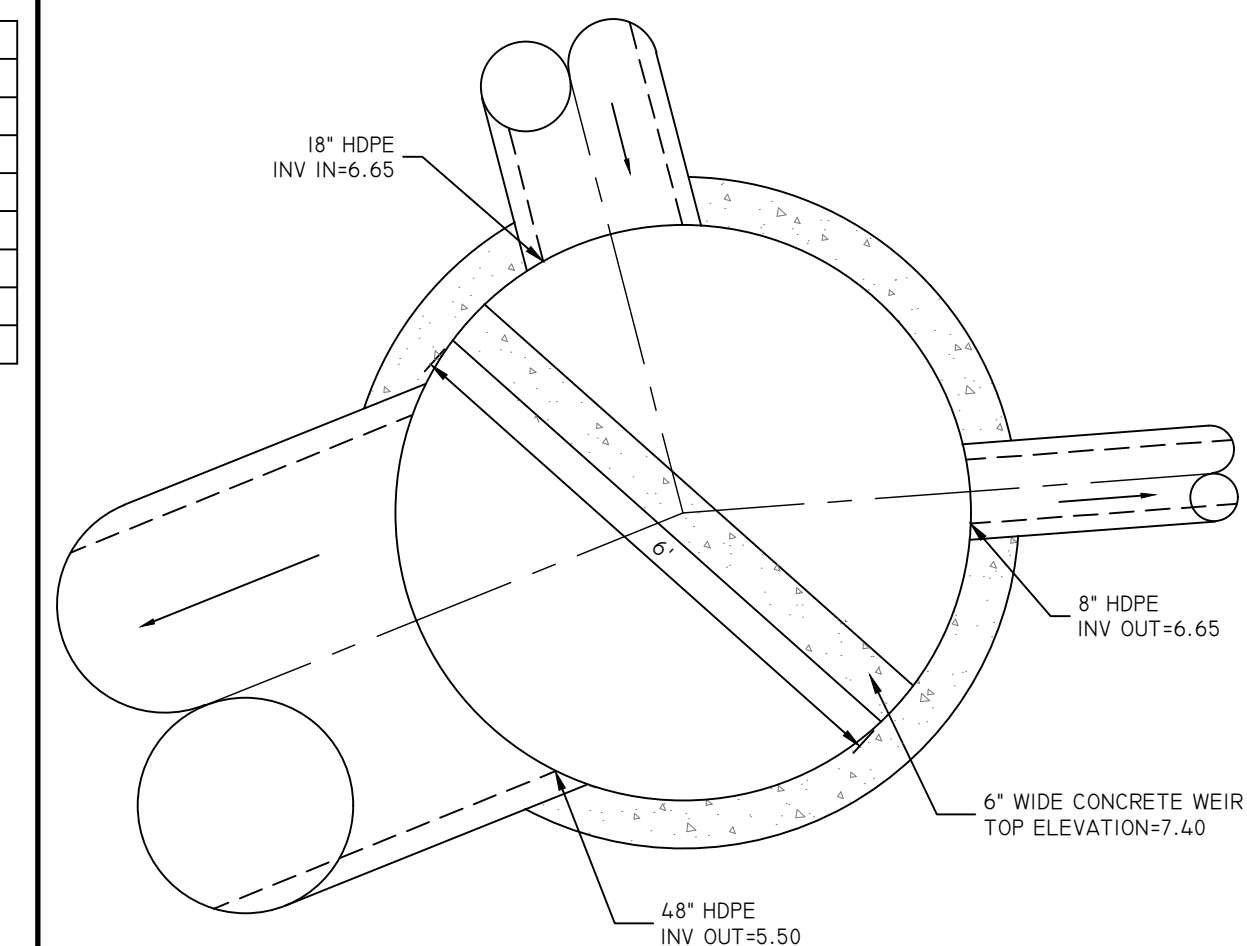
- THIS CROSS SECTION DETAILS THE REQUIREMENTS NECESSARY TO SATISFY THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12 FOR EARTH AND LIVE LOADS USING STORMTECH CHAMBERS. SEE APPLICABLE STORMTECH CONSTRUCTION GUIDES AND ALL APPLICABLE DOCUMENTS FOR SPECIFIC MATERIAL REQUIREMENTS. SEE LATEST STORMTECH DESIGN MANUAL.
- ALL STORMTECH CHAMBERS MUST BE INSTALLED PER MANUFACTURER RECOMMENDATIONS AND THESE PLANS. CONTRACTOR TO NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO INSTALLATION.
- CONTRACTOR MUST REMOVE TOP AND SUBSOILS/ EXCAVATE DOWN TO THE C HORIZON WITHIN THE FOOTPRINT OF ALL INFILTRATION DEVICES.
- IF FILL IS REQUIRED WITHIN THE FOOTPRINT OF AN INFILTRATION DEVICE, CONTRACTOR MUST REMOVE TOP AND SUBSOILS/ EXCAVATE DOWN TO THE C HORIZON AND BACKFILL WITH SUITABLE MATERIAL THAT HAS EQUAL OR GREATER INFILTRATION PARAMETERS THAN THE EXISTING HORIZONS BENEATH. ONSITE MATERIALS MAY BE USED AT THE DIRECTION OF THE SITE ENGINEER OR GEOTECHNICAL ENGINEER. OTHERWISE ASTM C-33 OR AASHTO M6 CONCRETE SAND MUST BE USED.



WATER QUALITY TREATMENT SYSTEM I
STORMTECH SC-740 TYPICAL CROSS SECTION

NOT TO SCALE

DESCRIPTION	UIS-B
TOP OF UIS STONE ELEVATION	9.50
BOTTOM OF UIS STONE ELEVATION	6.00
100 YEAR STORM ELEVATION	8.84
10 YEAR STORM ELEVATION	7.60
1 YEAR STORM ELEVATION	7.32
WG STORM ELEVATION	7.09
SEASONAL HIGH GWT ELEVATION	2.00
SOIL EVALUATION	TH-104



BYPASS MANHOLE DMH-2 (6\"/>

SCALE 1\"/>

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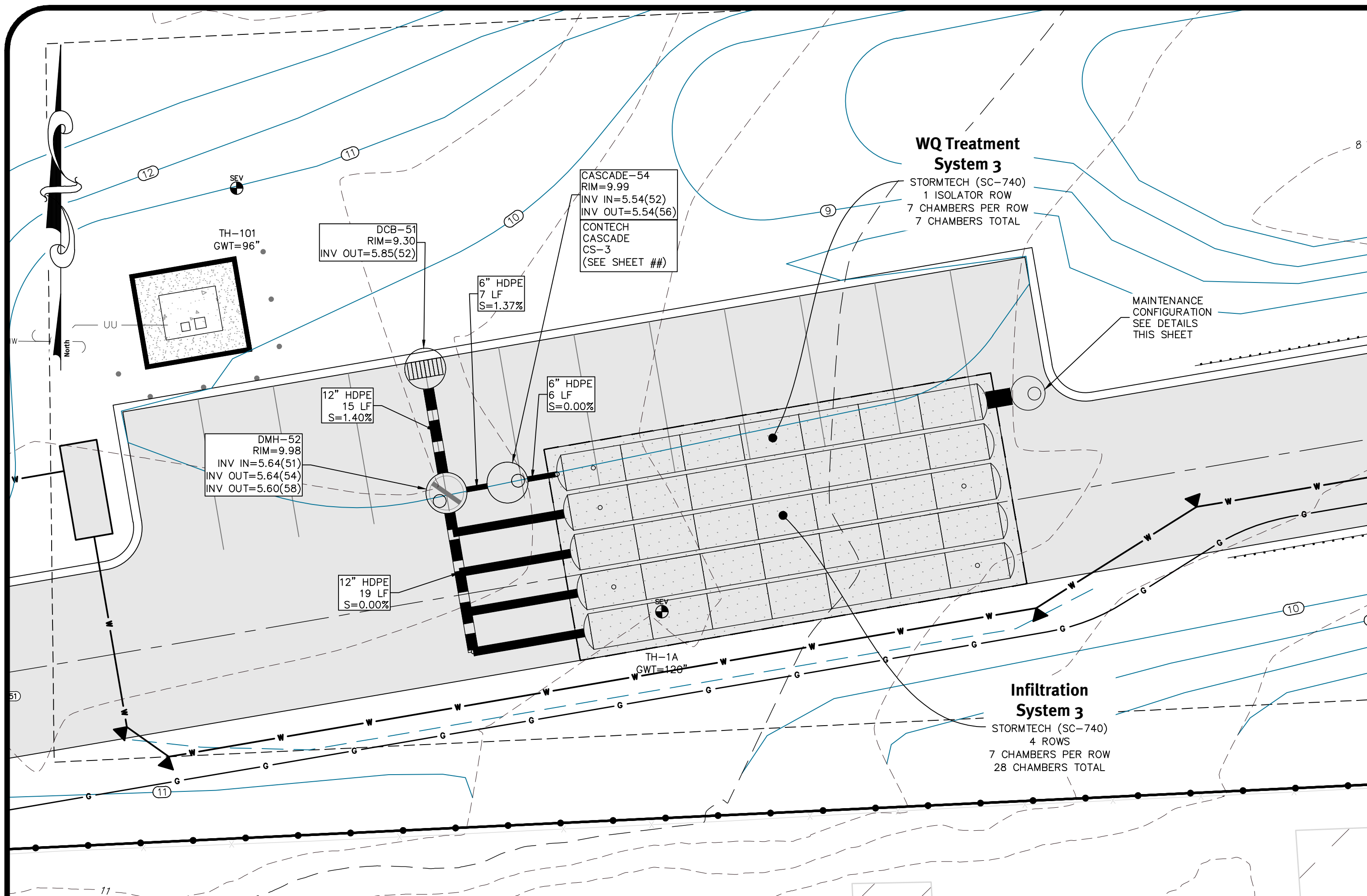
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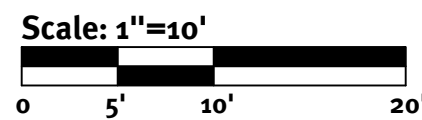
REV	DATE	DESCRIPTION	BY
1	05-22-2022	CHM, Response to Comments	N.D.K.
2	05-22-2022	Revised Stormtech Chambers and Manhole Detail	N.D.K.
3	05-22-2022	Response to R.C. Comments	N.D.K.
4	05-22-2022	CHM, Response to R.C. Comments	N.D.K.
5	05-22-2022	CHM, Response to R.C. Comments	N.D.K.
6	05-22-2022	CHM, Response to R.C. Comments	N.D.K.
7	05-22-2022	CHM, Response to R.C. Comments	N.D.K.
8	05-22-2022	CHM, Response to R.C. Comments	N.D.K.
9	05-22-2022	CHM, Response to R.C. Comments	N.D.K.
10	05-22-2022	CHM, Response to R.C. Comments	N.D.K.
11	05-22-2022	CHM, Response to R.C. Comments	N.D.K.
12	05-22-2022	CHM, Response to R.C. Comments	N.D.K.

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STORMTECH & UIS DETAIL SHEET - I
Matunuck Beach Condos
Assessors: BR 02-2, Lot 66
South Kingsdown, Rhode Island
Project Owner:
Matunuck Beach Road Partners, LLC
P.O. Box 395
Waketield, RI 02880
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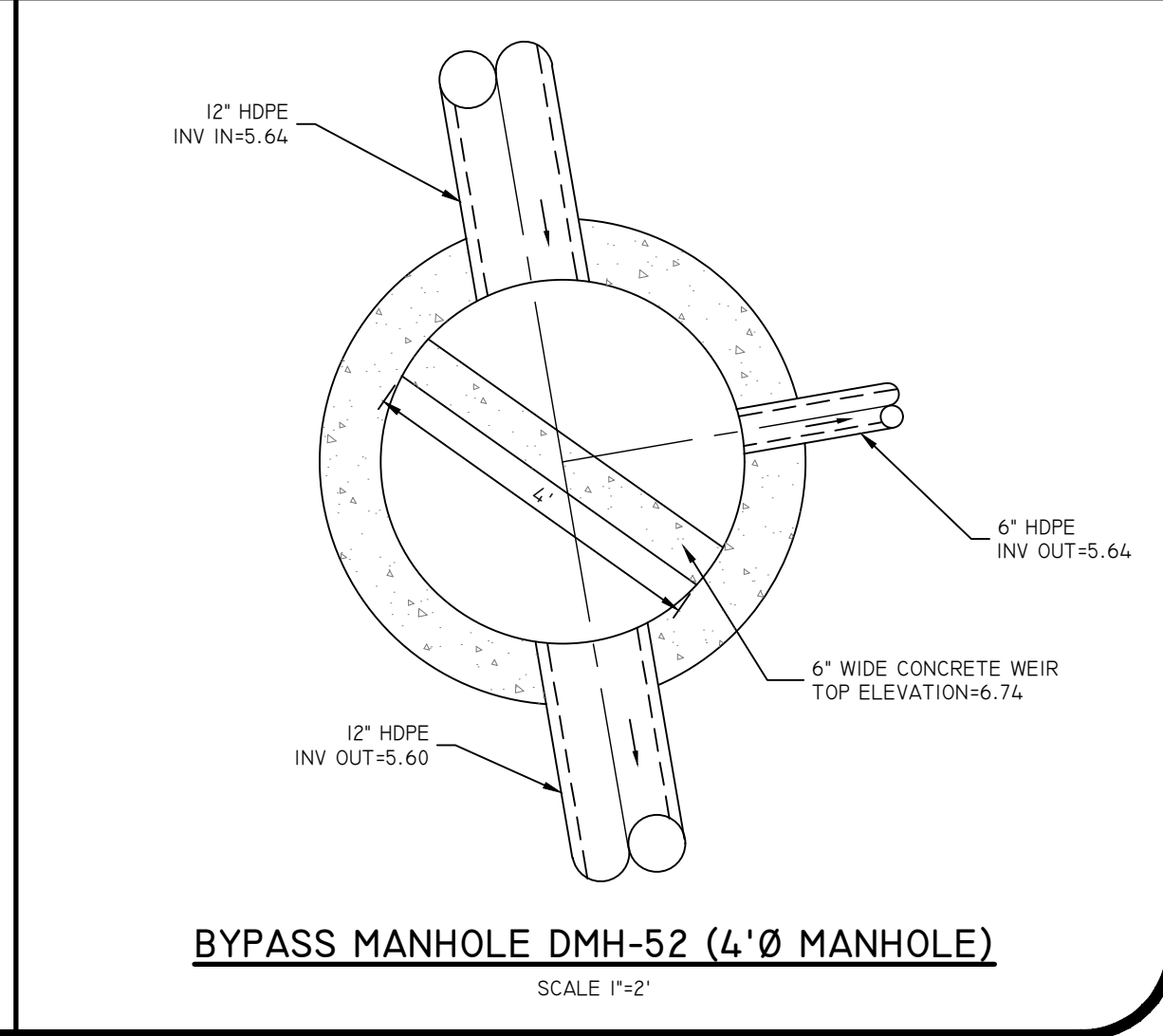
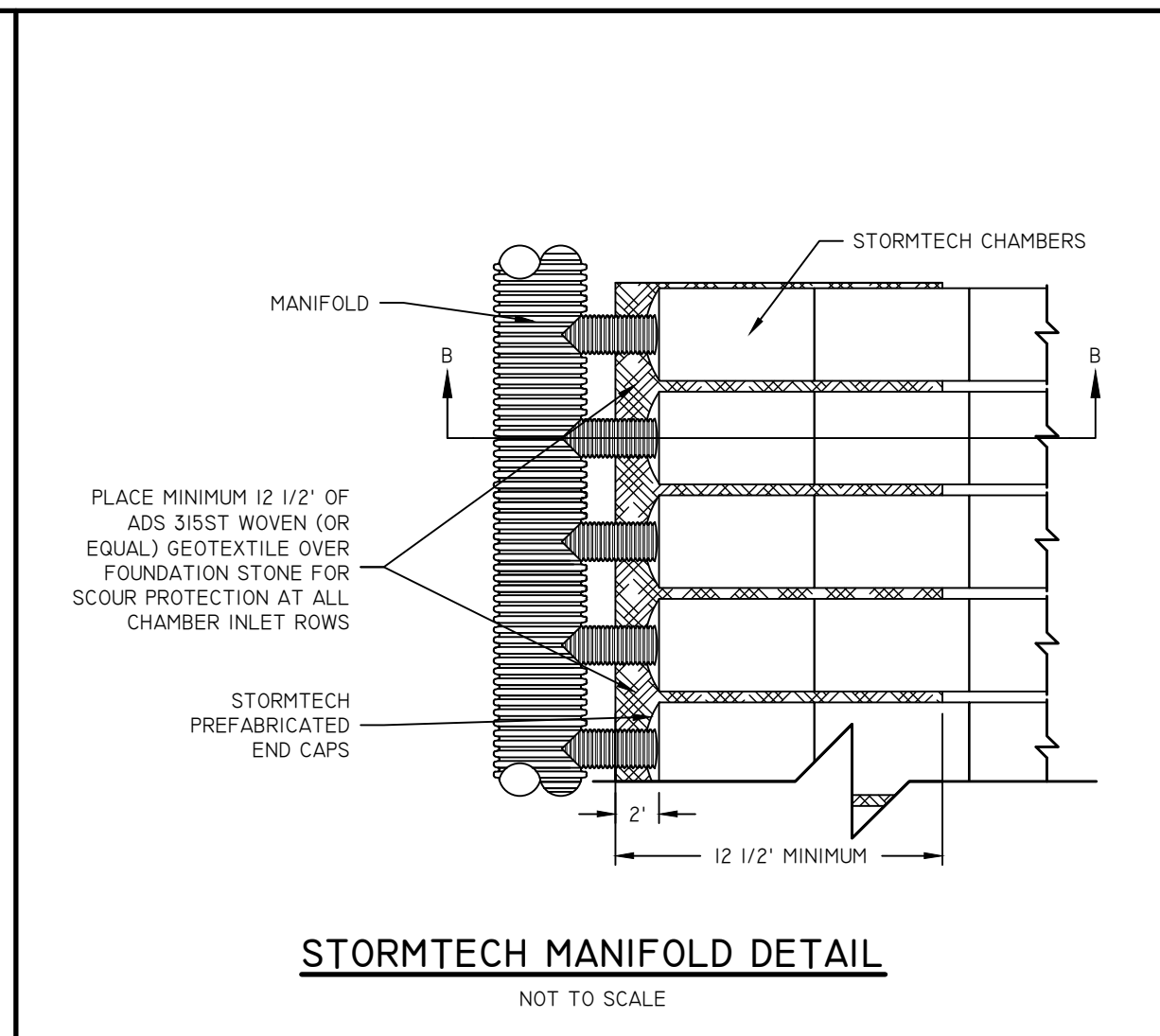
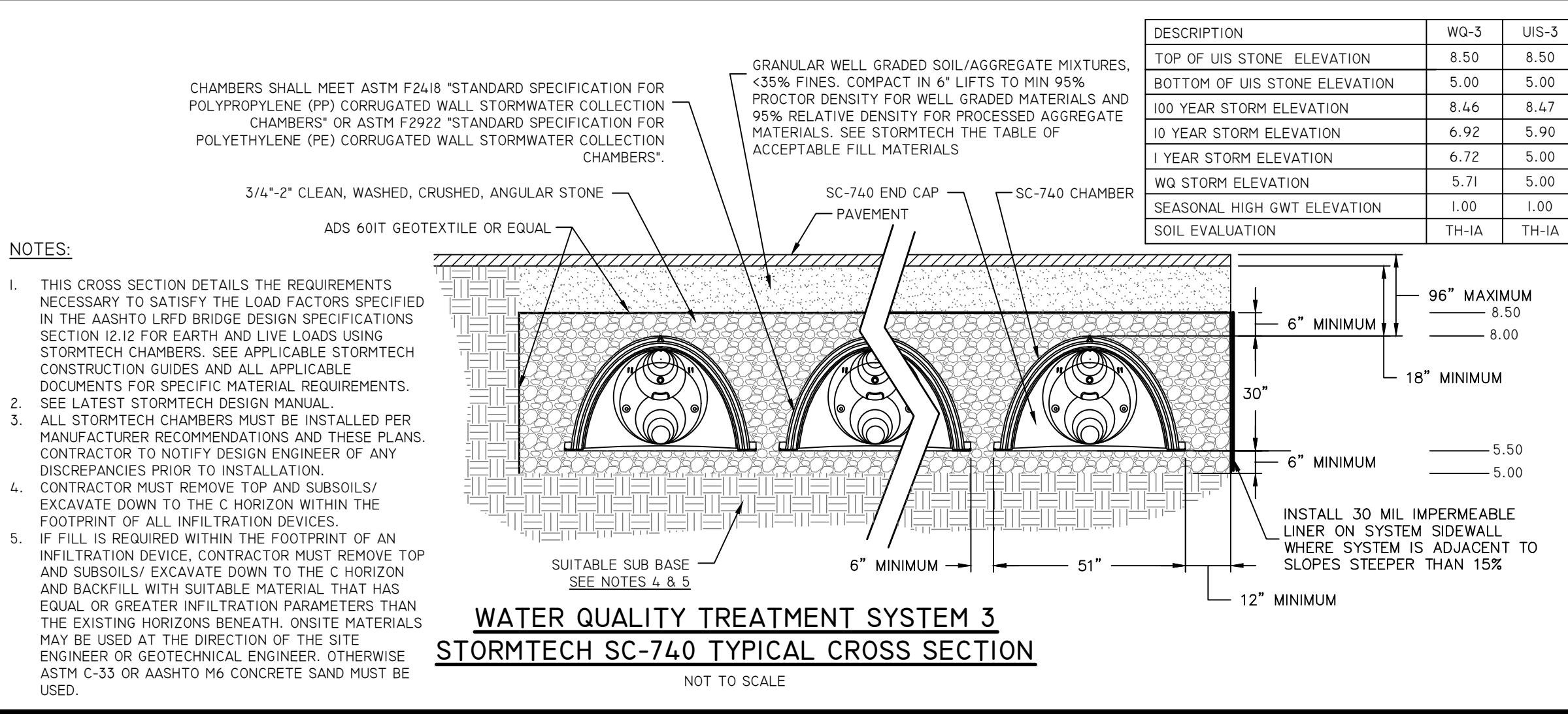
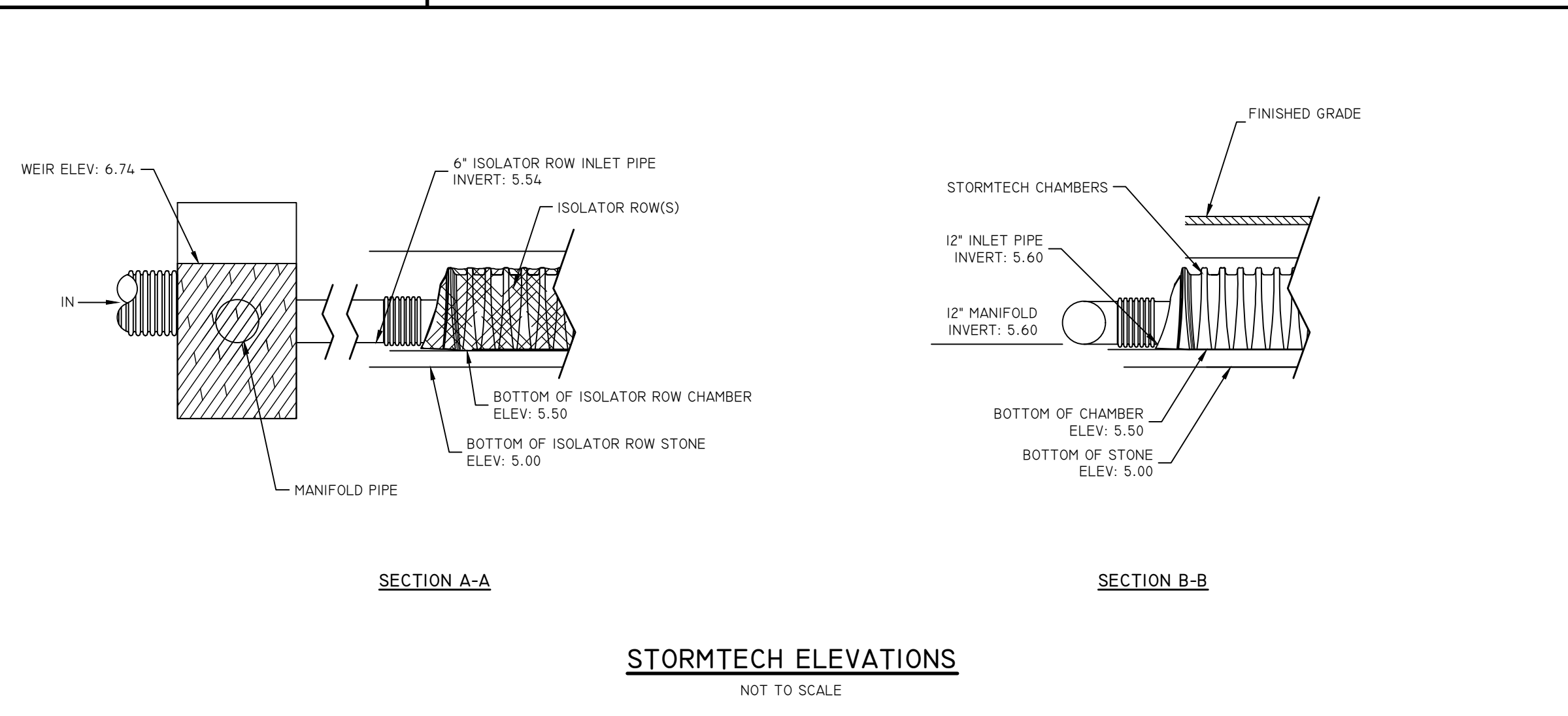
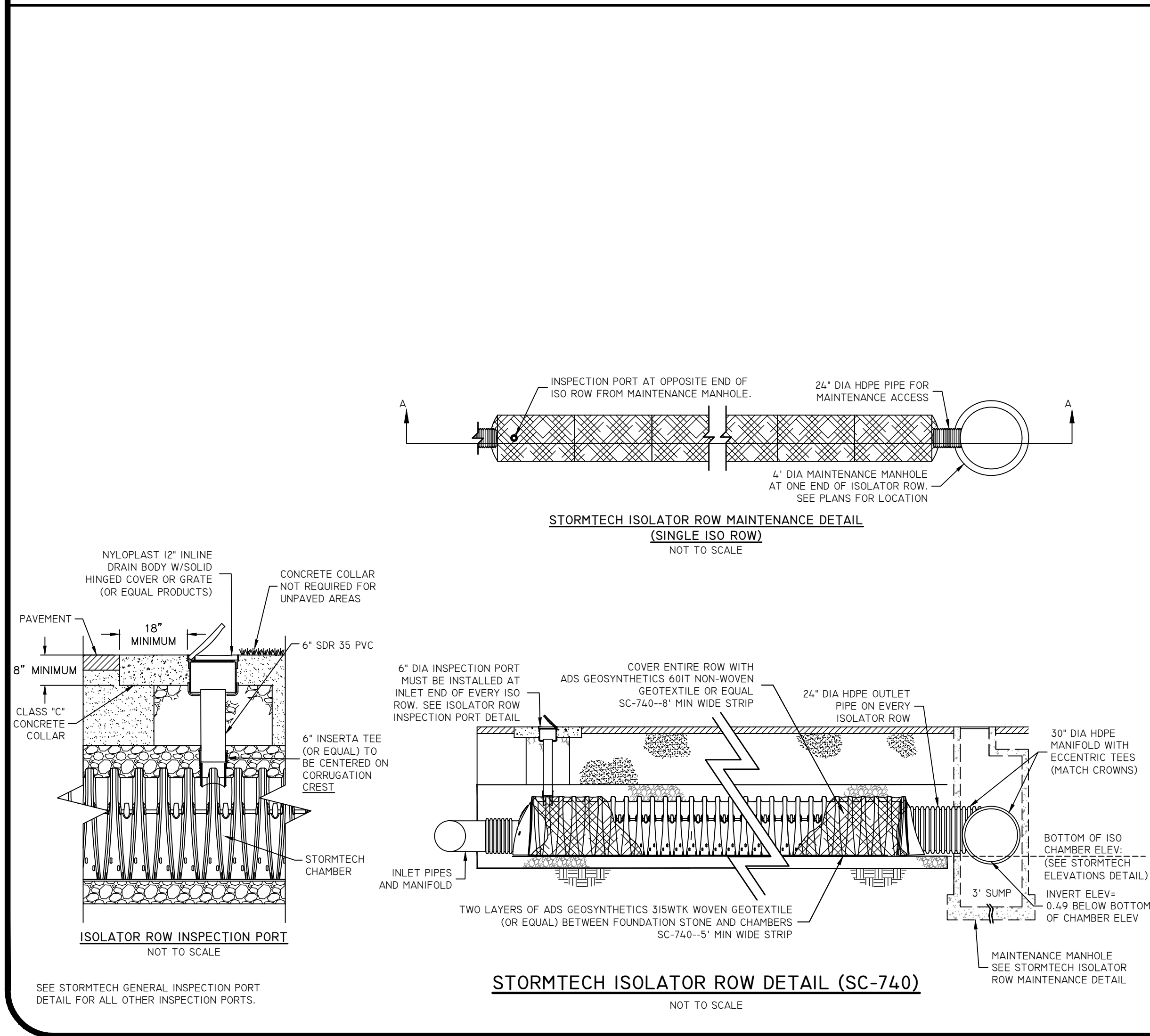
UNDERGROUND INFILTRATION SYSTEM 3



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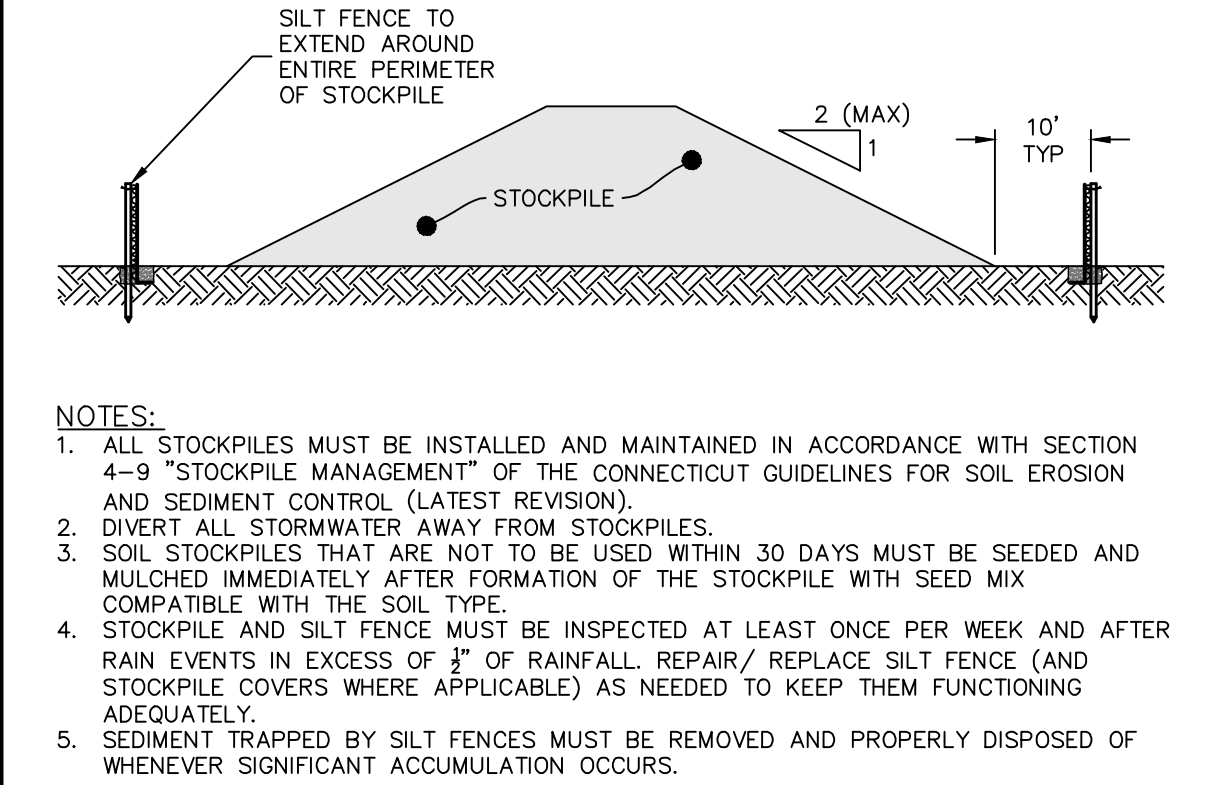
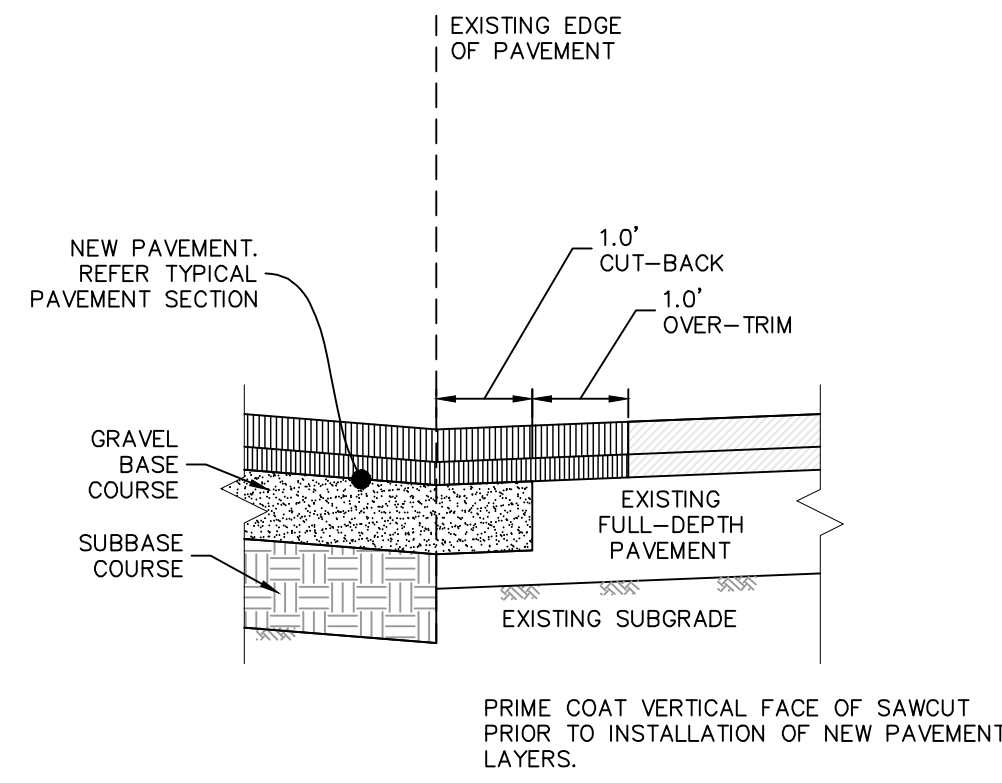
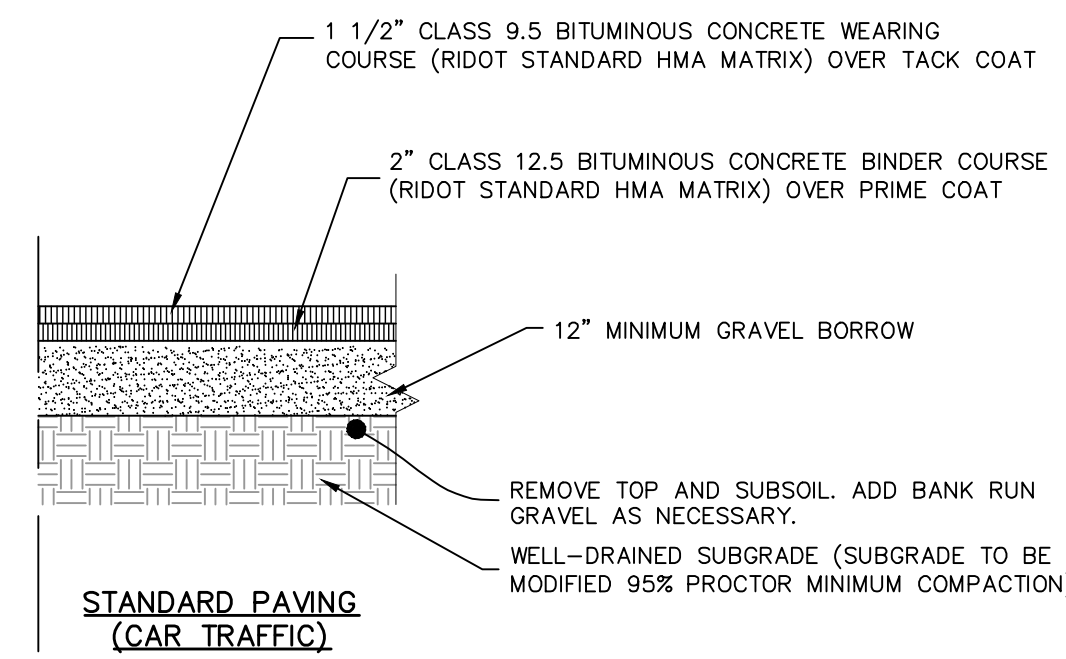


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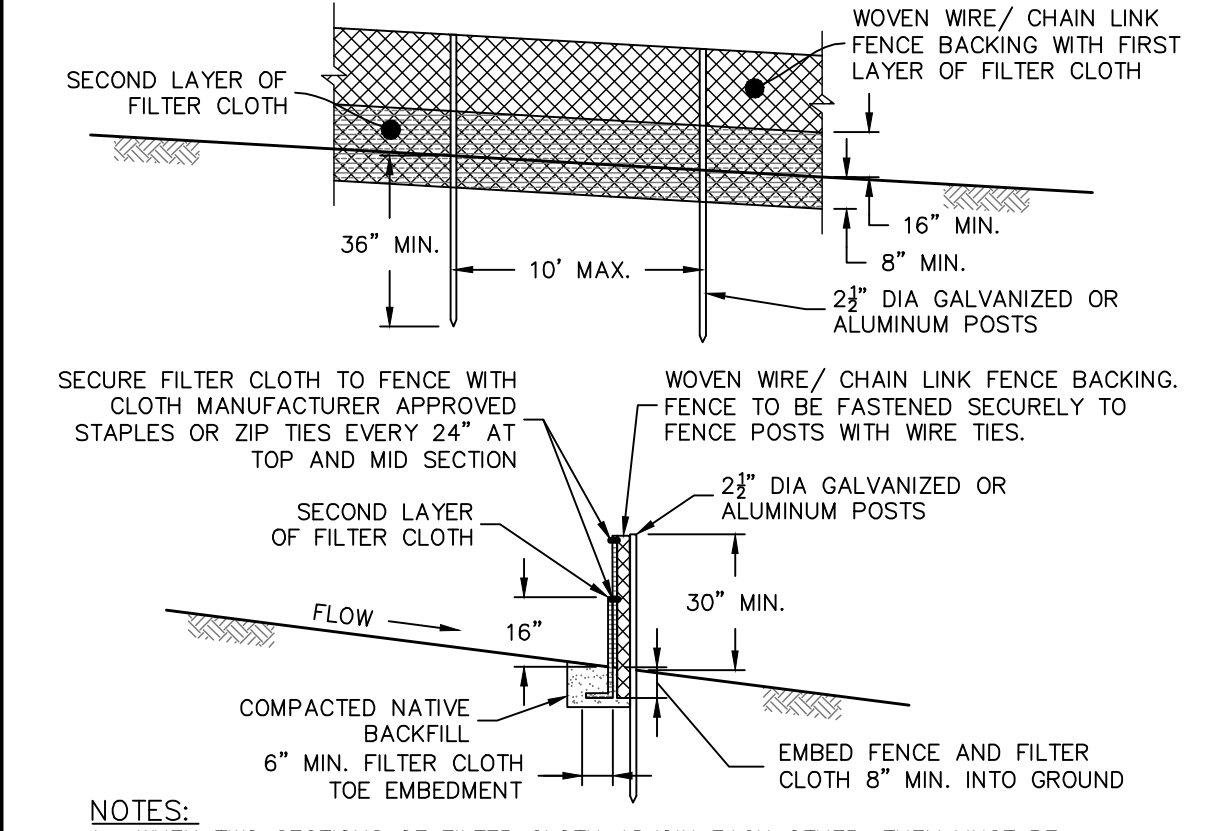
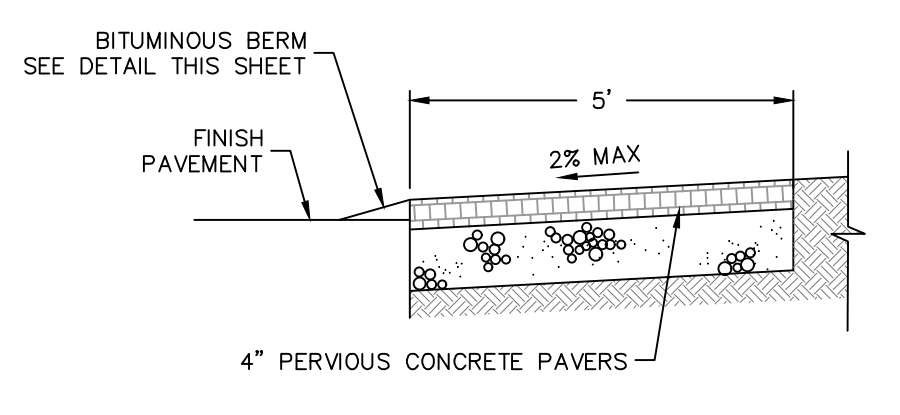
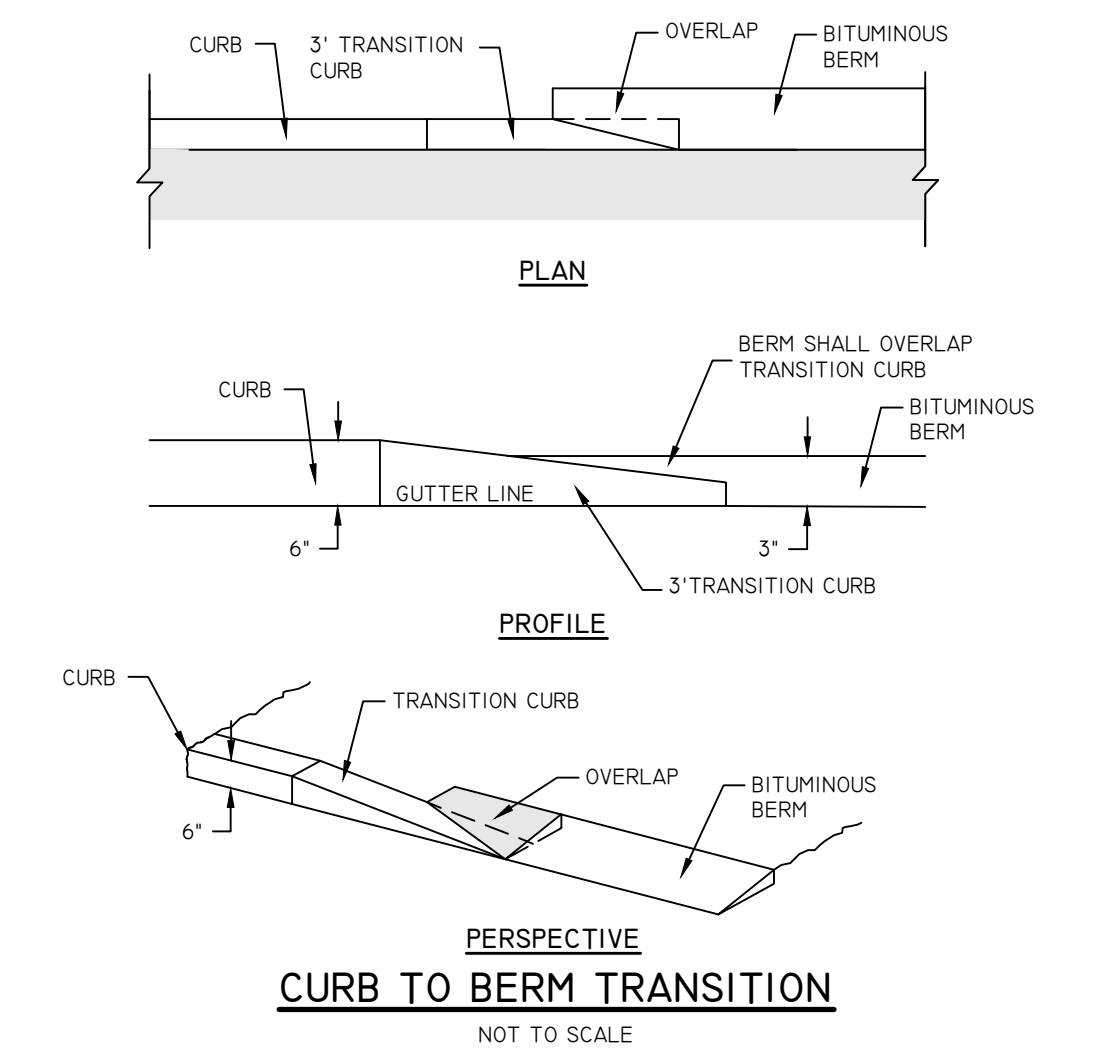
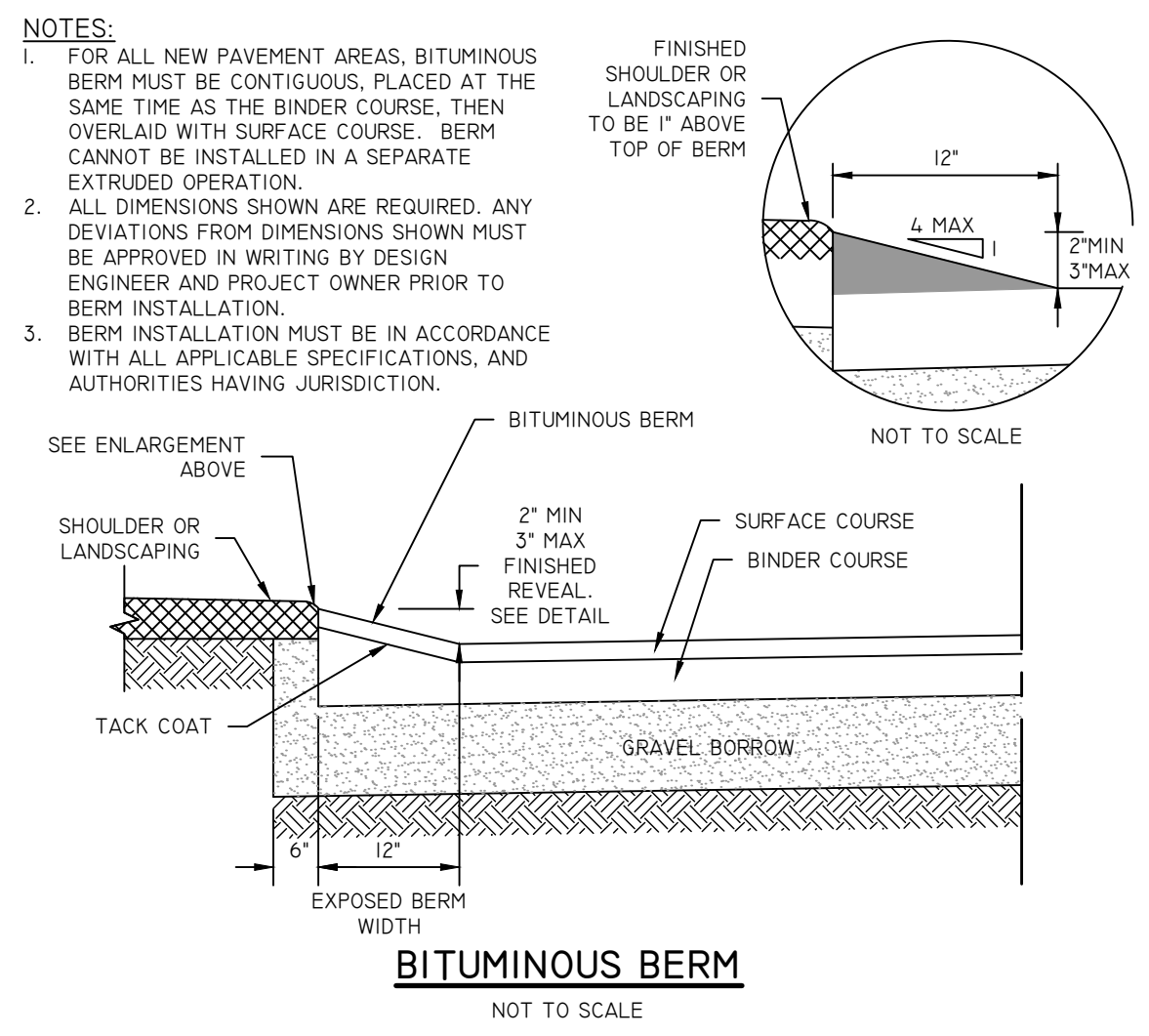
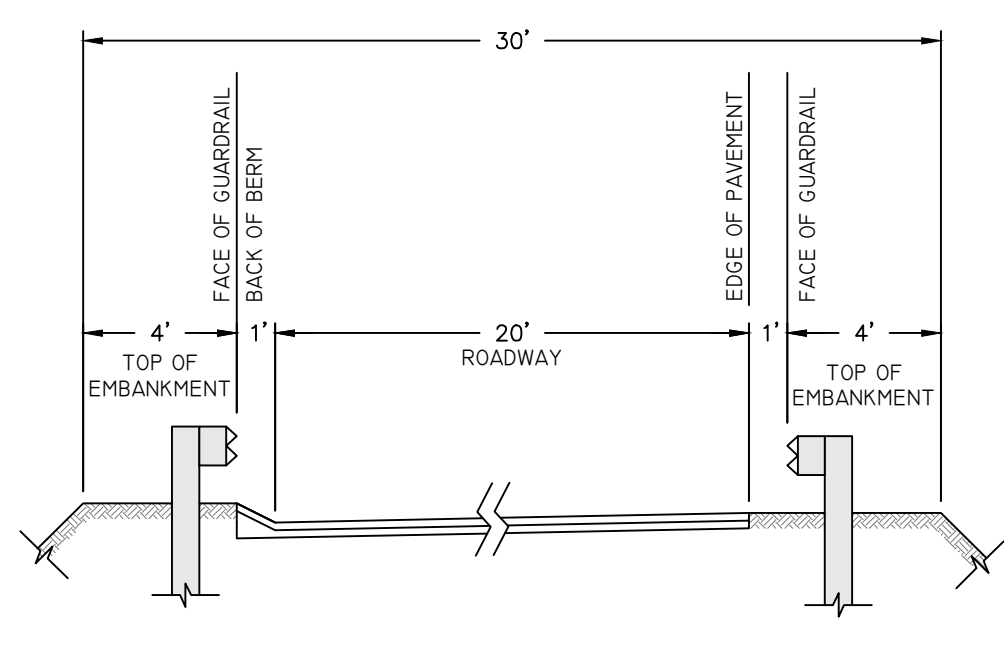
NO.	DATE	DESCRIPTION	BY	CHKD.
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2	06-12-2022	Revise Manhole Elevation	N.D.K.	N.D.K.
3	06-12-2022	Response to R.I.C. Comments	N.D.K.	N.D.K.
4	06-12-2022	Response to R.I.C. Comments	N.D.K.	N.D.K.
5	06-12-2022	CHDK, Assent Application Submission	N.D.K.	N.D.K.
6	06-12-2022	Revise Manhole Elevation	N.D.K.	N.D.K.
7	06-12-2022	Revise Manhole Elevation	N.D.K.	N.D.K.
8	06-12-2022	Revise Manhole Elevation	N.D.K.	N.D.K.
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11	06-12-2022	Revise Manhole Elevation	N.D.K.	N.D.K.
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50	06-12-2022	Revise Manhole Elevation	N.D.K.	N.D.K.

STORMTECH & UIS DETAIL SHEET - 3
Matunuck Beach Condos
South Kingsdown, Rhode Island
Adjacent Owner
Matunuck Beach Road Partners, LLC
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Waketield, RI 02880
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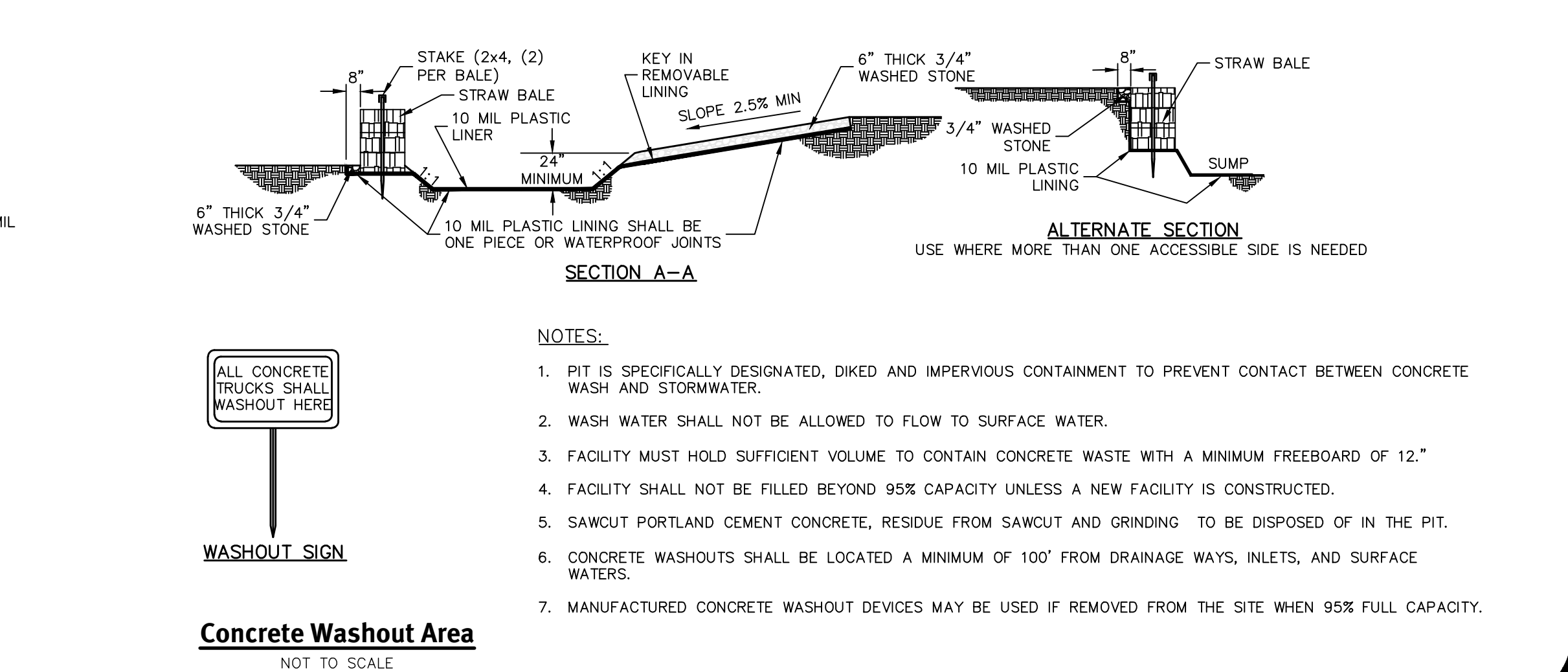
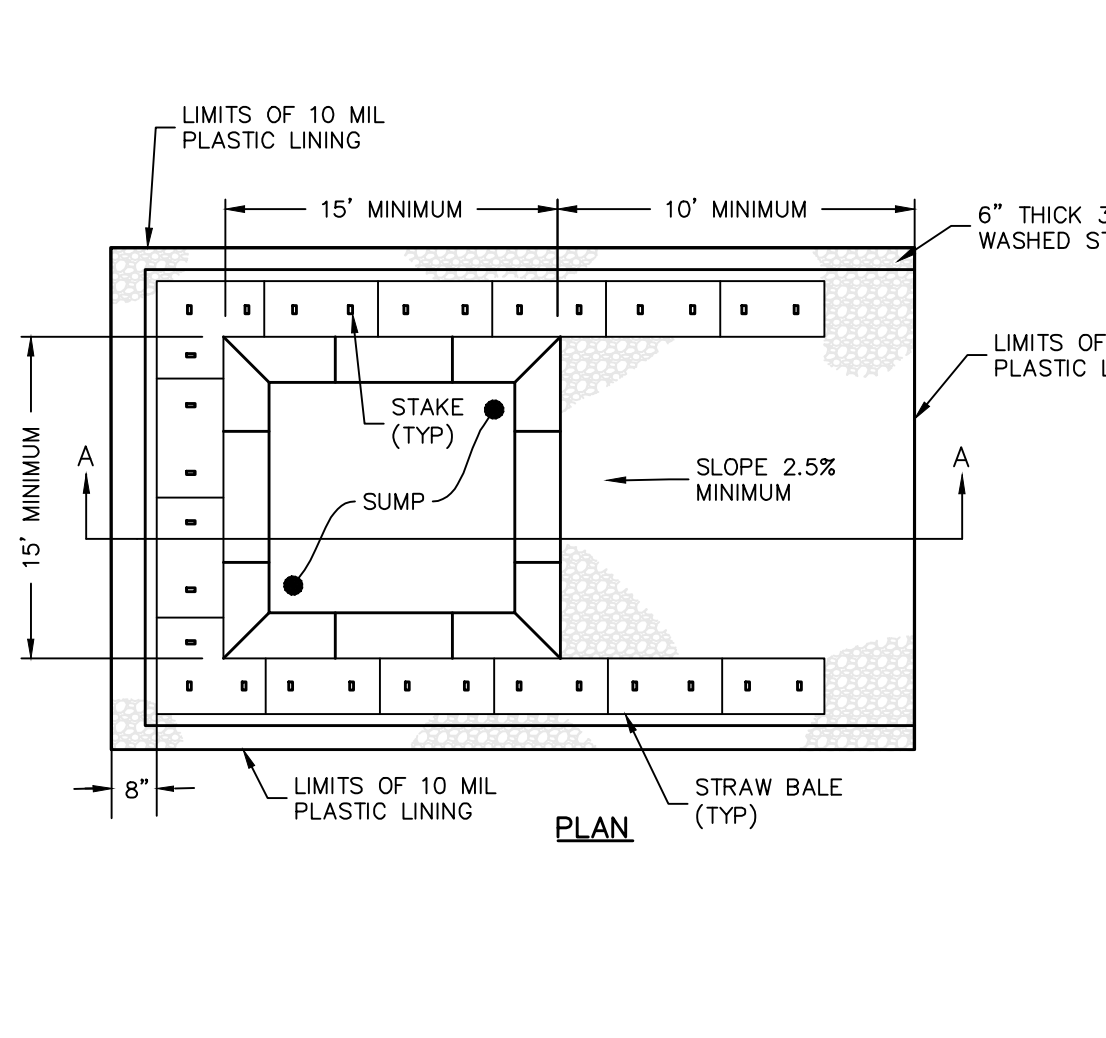
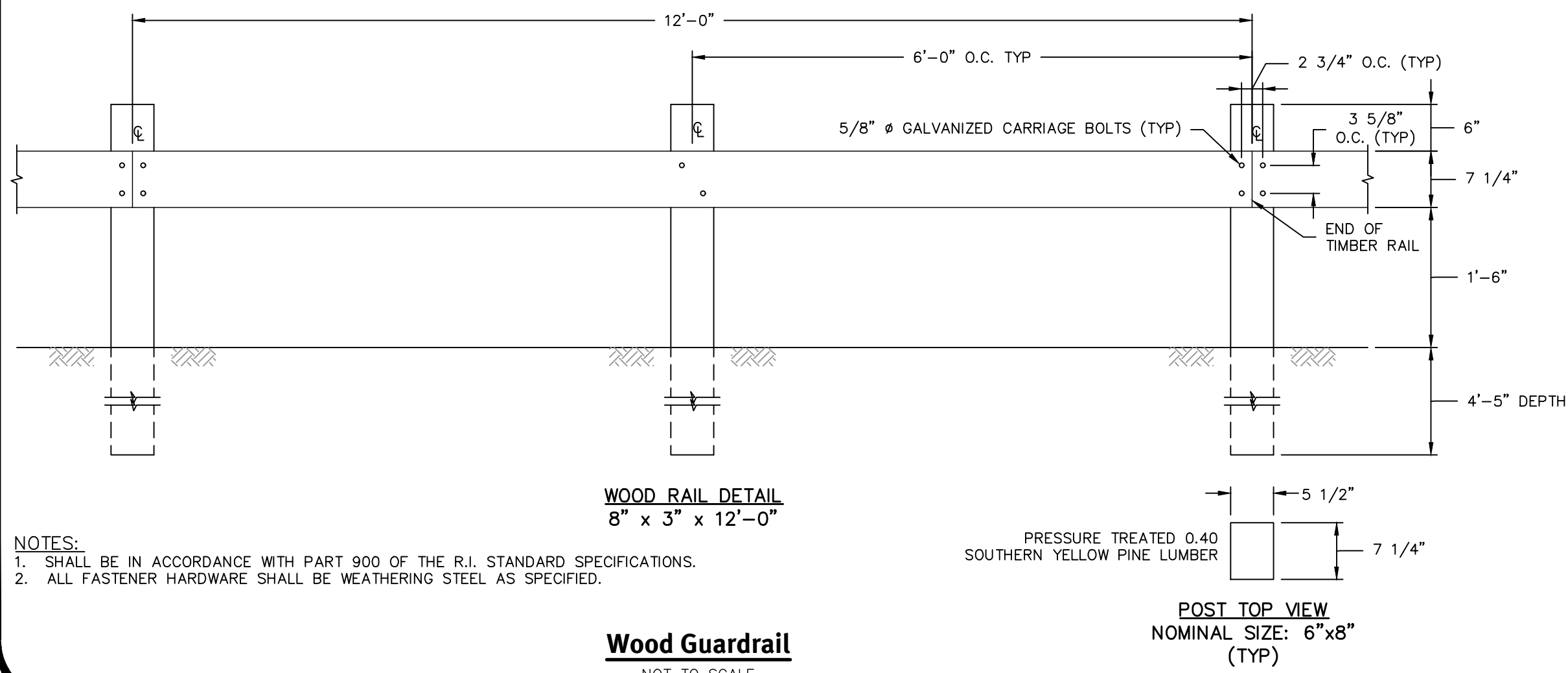
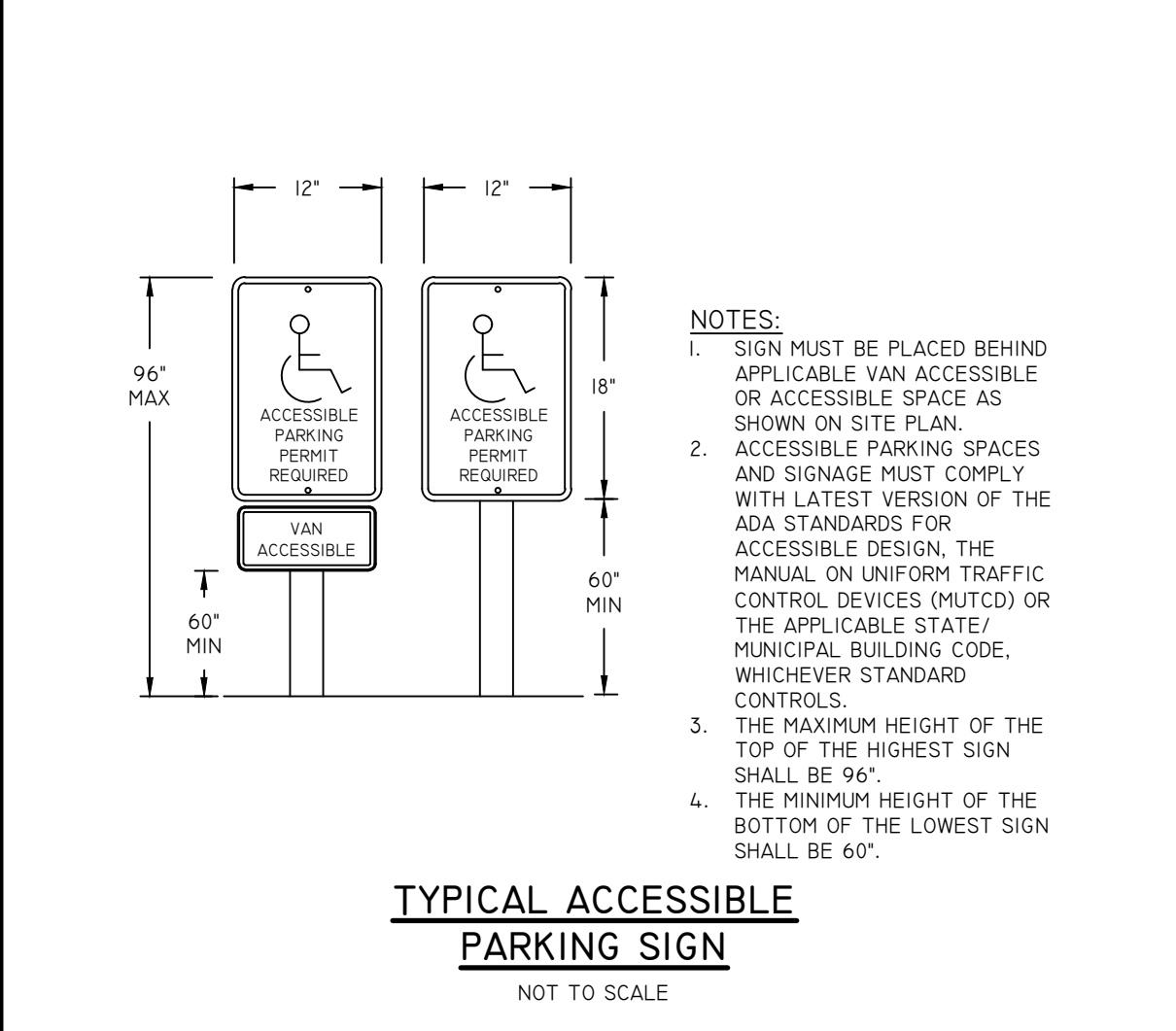
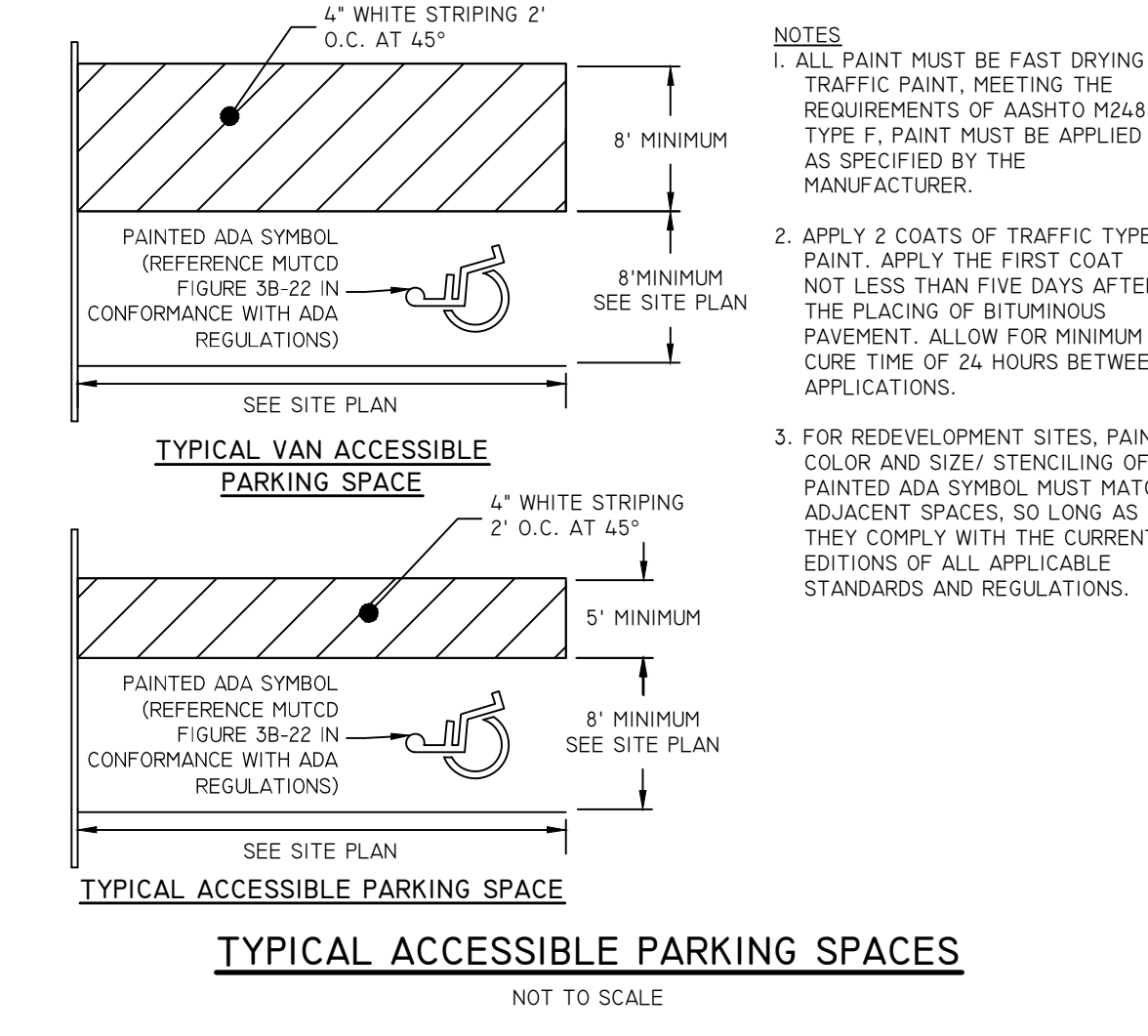
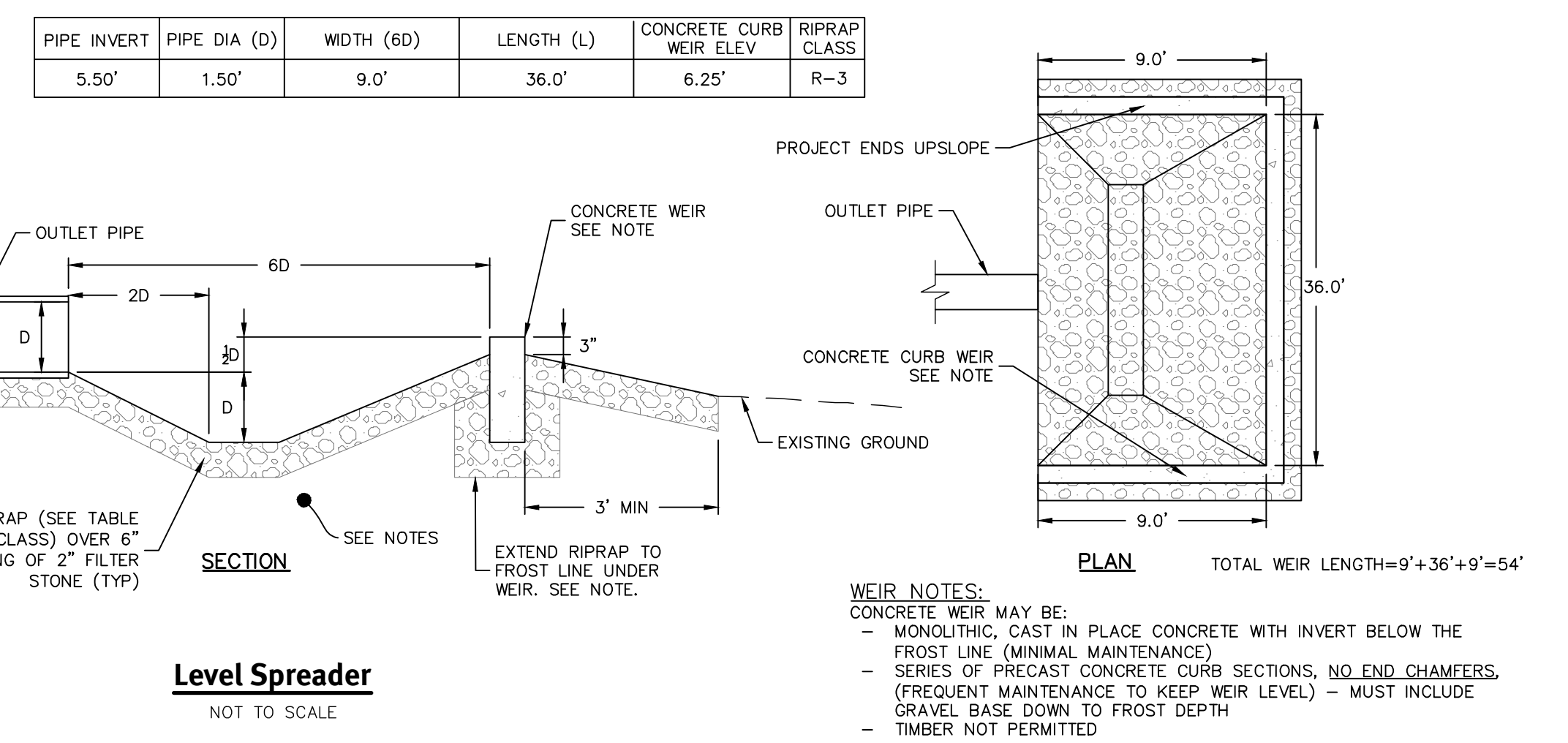


NOTES:
 1. ALL STOCKPILES MUST BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH SECTION 4-9 "STOCKPILE MANAGEMENT" OF THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL (LATEST REVISION).
 2. DIVERT ALL STORMWATER AWAY FROM STOCKPILES.
 3. SOIL STOCKPILES THAT ARE NOT TO BE USED WITHIN 30 DAYS MUST BE SEED AND MULCHED IMMEDIATELY AFTER FORMATION OF THE STOCKPILE WITH SEED MIX COMPATIBLE WITH THE SOIL TYPE.
 4. STOCKPILE AND SILT FENCE MUST BE INSPECTED AT LEAST ONCE PER WEEK AND AFTER RAIN EVENTS IN EXCESS OF 1" OF RAINFALL. REPAIR/ REPLACE SILT FENCE (AND STOCKPILE COVERS WHERE APPLICABLE) AS NEEDED TO KEEP THEM FUNCTIONING ADEQUATELY.
 5. SEDIMENT TRAPPED BY SILT FENCES MUST BE REMOVED AND PROPERLY DISPOSED OF WHENEVER SIGNIFICANT ACCUMULATION OCCURS.



NOTES:
 1. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY MUST BE OVERLAPPED BY A MINIMUM OF 6" AND FOLDED.
 2. FILTER CLOTH TO BE MIRAF 100 OR APPROVED EQUAL.

NOTES:
 1. CONTRACTOR MUST REMOVE TOP AND SUBSOILS/ EXCAVATE DOWN TO THE C HORIZON WITHIN THE FOOTPRINT OF THE LEVEL SPREADER.
 2. IF FILL IS REQUIRED WITHIN THE FOOTPRINT OF THE LEVEL SPREADER, CONTRACTOR MUST REMOVE TOP AND SUBSOILS/ EXCAVATE DOWN TO THE C HORIZON AND BACKFILL WITH SUITABLE MATERIAL THAT HAS EQUAL OR GREATER INFILTRATION PARAMETERS THAN THE EXISTING HORIZONS BENEATH. ON-SITE MATERIALS MAY BE USED AT THE DIRECTION OF THE SITE ENGINEER OR GEOTECHNICAL ENGINEER. OTHERWISE ASTM C-33 OR AASHTO M6 CONCRETE SAND MUST BE USED.
 3. CONSTRUCTION OF LEVEL SPREADER WEIR ELEVATION SHALL BE WITHIN 0.02 FEET TOLERANCE OF LEVEL ELEVATION 6.25 FT. A CERTIFICATION OF CONSTRUCTION SHALL BE PROVIDED TO THE TOWN ENGINEER.
 4. CONSTRUCTION ELEVATION SHALL BE RESURVEYED AND VERIFIED TO BE WITHIN TOLERANCE WITHIN ONE YEAR DURING MAINTENANCE BOND REVIEW PERIOD. ANY CORRECTIONS TO BE COMPLETED WITHIN 30 DAYS AS FOUND NECESSARY.



NOTES:
 1. PIT IS SPECIFICALLY DESIGNATED, DIKED AND IMPERVIOUS CONTAINMENT TO PREVENT CONTACT BETWEEN CONCRETE WASH AND STORMWATER.
 2. WASH WATER SHALL NOT BE ALLOWED TO FLOW TO SURFACE WATER.
 3. FACILITY MUST HOLD SUFFICIENT VOLUME TO CONTAIN CONCRETE WASTE WITH A MINIMUM FREEBOARD OF 12".
 4. FACILITY SHALL NOT BE FILLED BEYOND 95% CAPACITY UNLESS A NEW FACILITY IS CONSTRUCTED.
 5. SAWCUT PORTLAND CEMENT CONCRETE, RESIDUE FROM SAWCUT AND GRINDING TO BE DISPOSED OF IN THE PIT.
 6. CONCRETE WASHOUTS SHALL BE LOCATED A MINIMUM OF 100' FROM DRAINAGE WAYS, INLETS, AND SURFACE WATERS.
 7. MANUFACTURED CONCRETE WASHOUT DEVICES MAY BE USED IF REMOVED FROM THE SITE WHEN 95% FULL CAPACITY.

DiPrete Engineering
 Two Stafford Court Cranston, RI 02920
 tel 401-943-1000 fax 401-644-6006 www.diprete-eng.com

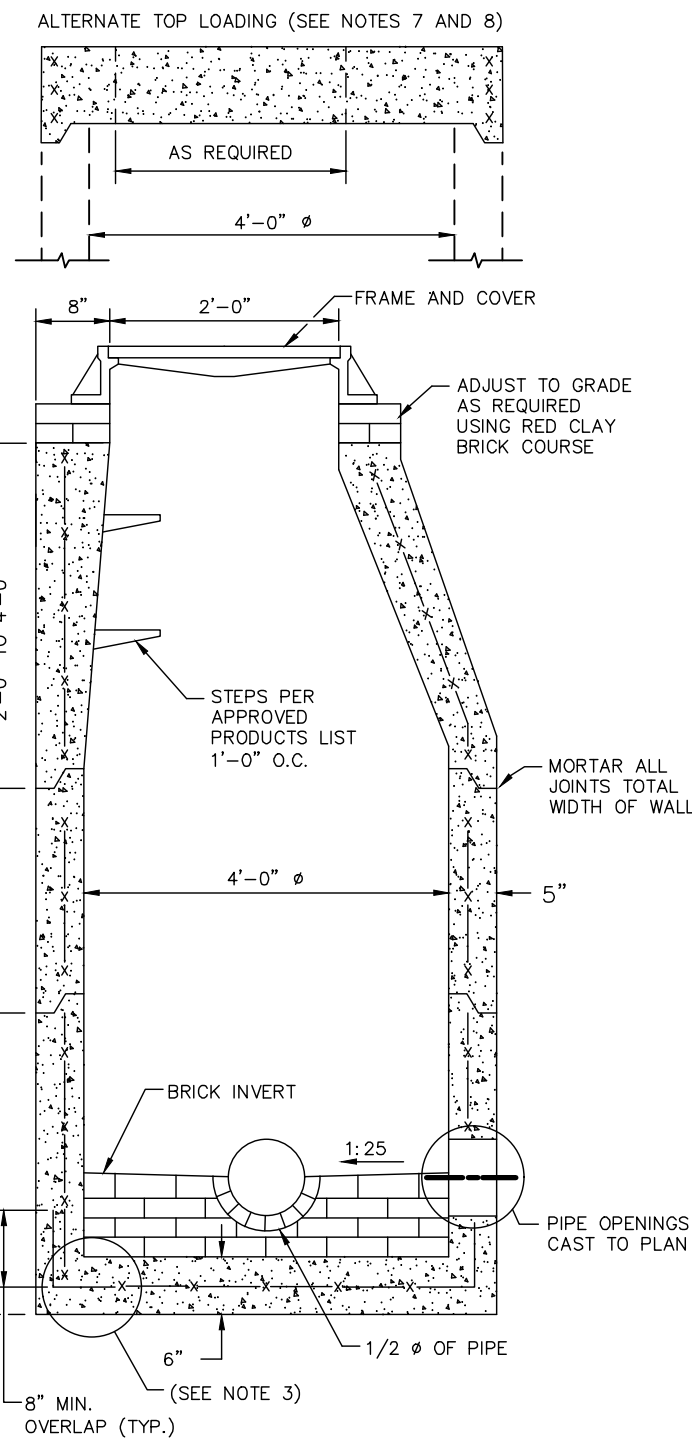
CHRISTOPHER A. DUHAMEL
 REGISTERED PROFESSIONAL ENGINEER CIVIL

This plan set must not be used for construction purposes unless stamped, issued for construction, and stamped by a registered professional engineer of DiPrete Engineering.

DATE	DESCRIPTION	BY	CHKD
05-02-2022	CHDK Response to Comments	CD	CD
05-02-2022	Revised Permit Application	CD	CD
05-02-2022	Response to TDC Comments	CD	CD
05-02-2022	Response to TDC Comments	CD	CD
05-02-2022	CHDK Assent Application Submission	CD	CD
05-02-2022	Permit Application Submission	CD	CD
05-02-2022	Permit Application Submission	CD	CD
05-02-2022	Permit Application Submission	CD	CD
05-02-2022	Permit Application Submission	CD	CD

Design By: N.D.K.

Detail Sheet - 1
Matunuck Beach Condos
 Significant Owner
 South Kingsdown, Rhode Island
Matunuck Beach Road Partners, LLC
 P.O. Box 395
 Waketield, RI 02880
 DE JOB No: 2389-002. Copyright 2022 by DiPrete Engineering Associates, Inc.



PRECAST 4'-0" ROUND MANHOLE
NOT TO SCALE

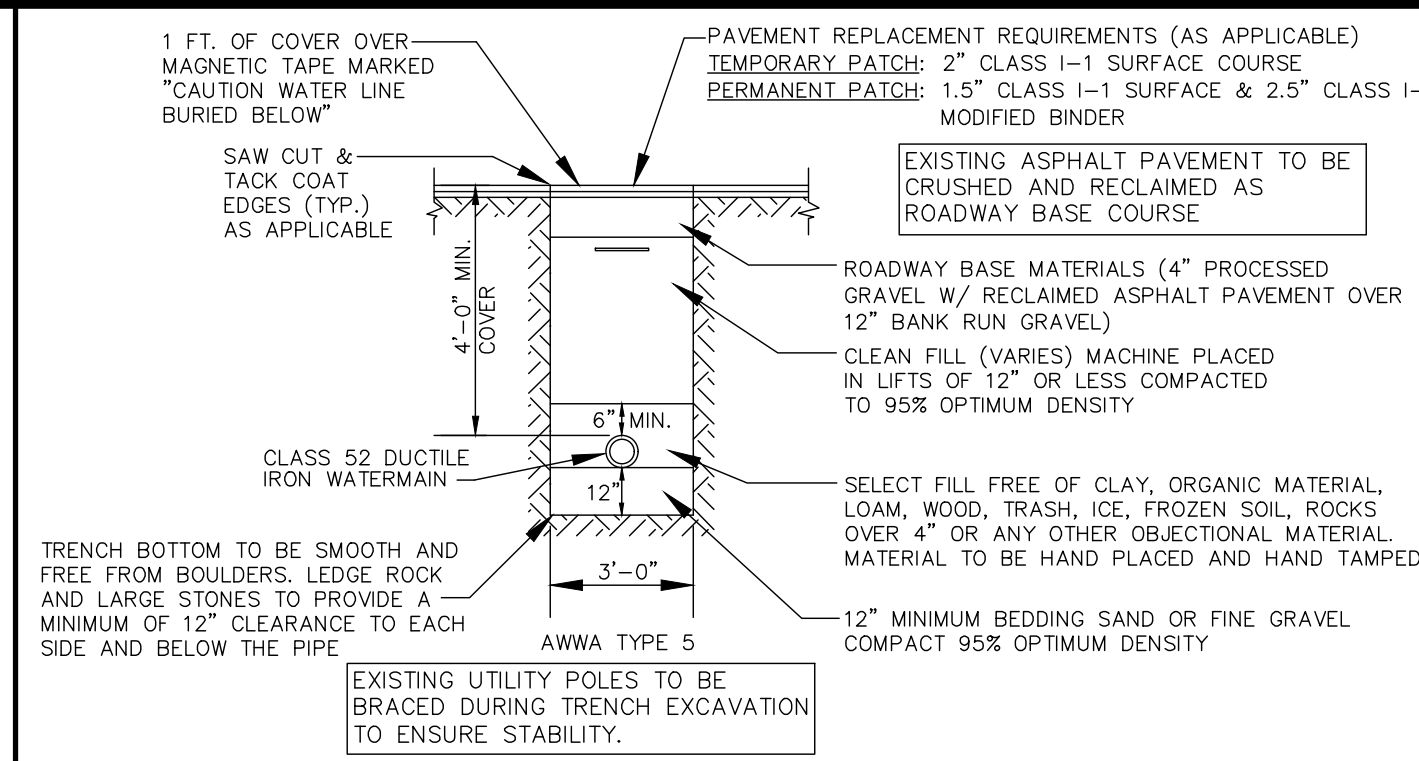
NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 702 OF THE R.I. STANDARD SPECIFICATIONS.
2. CIRCUMFERENTIAL STEEL REINFORCEMENT REQUIRED = 0.12 SQ. IN. / LIN. FT. MINIMUM.
3. STEEL REINFORCEMENT FOR BASE SECTION BOTTOM SHALL BE A MINIMUM OF 0.12 SQ. IN./LIN. FT. (BOTH WAYS).
4. ONE POUR MONOLITHIC BASE SECTION.
5. ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS AND CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.
6. STEPS SHALL CONFORM TO STD. S.3.0 AND SHALL BE INSTALLED AT THE CASTING PLANT.
7. ALTERNATE TOP SLAB IS ONLY FOR USE WHEN REDUCING SECTION DOES NOT FIT BECAUSE OF STRUCTURE DEPTH.
8. ALTERNATE TOP SLAB IS ONLY FOR USE WHEN REDUCING SECTION DOES NOT FIT BECAUSE OF STRUCTURE DEPTH.
9. REFER TO STD. S.2.0 FOR MAXIMUM PIPE SIZES.

R.I. STANDARD 4.2.0

LEAKAGE AND PRESSURE TESTING FOR WATERMAINS

1. **GENERAL**
HYDROSTATIC AND LEAKAGE TESTS SHALL BE PERFORMED ON ALL COMPLETED SECTIONS OF NEWLY INSTALLED WATERMAIN PIPELINE IN ACCORDANCE WITH AWWA C600, THE TOWN OF SOUTH KINGSTOWN, AND AS SPECIFIED BELOW.
THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL LABOR, TOOLS AND EQUIPMENT NECESSARY FOR TESTING.

2. **TESTING PROCEDURES**
ALL AIR SHALL BE EXPELLED AT THE HIGH POINTS AND THE PIPELINE SLOWLY FILLED WITH POTABLE WATER.
THE INTERNAL PRESSURE SHALL BE BUILT UP TO 150 PSI AND MAINTAINED FOR A PERIOD OF NOT LESS THAN ONE (1) HOUR.
ALL LEAKS IN THE PIPELINE SHALL BE STOPPED; CRACKED OR DEFECTIVE PIPE, FITTINGS OR ACCESSORIES SHALL BE REMOVED AND REPLACED WITH NEW BY THE CONTRACTOR.
THE PIPELINE SHALL BE RETESTED AS MAY BE REQUIRED AND NECESSARY UNTIL THE LEAKAGE FALLS WITHIN THE ALLOWABLE DETERMINED FOR THE PIPE NETWORK, AT WHICH TIME THE PIPELINE MAY BE CONSIDERED READY FOR:
a. WATERMAINS - DISINFECTION STEP



WATER TRENCH DETAIL N.T.S.

WATER DETAILS

1. ALL WORK AND MATERIAL OF WATER LINE SHALL BE IN ACCORDANCE WITH RULES AND REGULATIONS SET FORTH BY THE TOWN OF SOUTH KINGSTOWN. INSTALLATION PROCEDURES AND MATERIALS TO CONFORM TO AWWA SPECIFICATIONS AND ART. III OF THE SOUTH KINGSTOWN TOWN ORDINANCES. A PRECONSTRUCTION MEETING SHALL BE HELD PRIOR TO ORDER OF MATERIALS AND WATER MAIN INSTALLATION.

2. WATER MAIN INSTALLATION SHALL BE INSPECTED BY THE TOWN OF SOUTH KINGSTOWN PRIOR TO BACKFILLING THE TRENCH.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE TOWN OF SOUTH KINGSTOWN FIVE (5) DAYS PRIOR TO START OF CONSTRUCTION.

4. CHLORINATION OF SYSTEM AND SAMPLING SHALL CONFORM TO AWWA REQUIREMENTS FOR SERVICE AND MAIN INSTALLATIONS.

5. THE CONTRACTOR SHALL NOTIFY THE DIRECTOR OF WATER SUPPLY AT LEAST TWO WORKING DAYS IN ADVANCE FOR FINAL INSPECTION.

6. WHENEVER, IN THESE SPECIFICATIONS, REFERENCE IS MADE TO THE REQUIREMENTS OF AWWA, ANSI, ASTM OR ANY OTHER STANDARD SPECIFICATION, THE REFERENCE IS MADE TO THE LATEST REVISIONS OR MODIFICATIONS OF SUCH REQUIREMENTS AND SPECIFICATIONS.

7. ALL PIPE, FITTINGS, AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH AWWA AND ANSI STANDARDS AND THE MANUFACTURER'S SUGGESTED RECOMMENDATIONS FOR INSTALLATIONS.

8. PIPELINES SHALL BE CONSTRUCTED IN DRY TRENCHES AND LAID TO THE LINE GRADE. WHENEVER PIPE IS TO BE INSTALLED IN SATURATED SOIL CONDITIONS A BEDDING OF PROCESSED GRANULAR FILTER MATERIAL SHALL BE PROVIDED.

9. ALL BENDS, CROSSES, TEES, END CAPS AND PLUGS, VALVES AND ANY OTHER APPURTENANCES SHALL BE RESTRAINED WITH THRUST BLOCKS, STRAPPING OR ANCHORS.

10. JOINTING OF MECHANICAL AND PUSH ON TYPE JOINTS SHALL BE PERFORMED IN STRICT ACCORDANCE WITH AWWA STANDARD C-600, AND THE TOWN OF SOUTH KINGSTOWN SPECIFICATIONS. RUBBER GASKETS AND RINGS SHALL BE SUITABLE FOR USE WITH POTABLE WATER AND THOROUGHLY CLEANED TO REMOVE OIL, GRIT, AND OTHER FOREIGN MATTER PRIOR TO ASSEMBLY. THE GASKETS SHALL BE INSPECTED BY THE DIRECTOR OF WATER SUPPLY OR HIS AGENT TO INSURE THAT THEY ARE ACCEPTABLE.

11. ALL FITTINGS USED FOR SERVICE CONNECTIONS SHALL BE IN ACCORDANCE WITH AWWA C-800 AND SOUTH KINGSTOWN SPECIFICATIONS.

12. VALVES USED SHALL BE IN ACCORDANCE WITH AWWA C-500 SERIES, AND THE TOWN OF SOUTH KINGSTOWN REGULATIONS. VALVES SHALL BE MECHANICAL JOINT, DOUBLE DISC PARALLEL SEAT OR RESILIENT SEAT GATE STYLES AS FOLLOWS:
a. MUELLER CORPORATION STOP DOUBLE DISC PARALLEL SEAT.
b. AMERICAN DARLING VALVE RESILIENT MODEL CRS-80.

13. BLOW-OFF ASSEMBLIES SHALL BE INSTALLED IN ACCORDANCE WITH AWWA C-800 SERIES, AND THE TOWN OF SOUTH KINGSTOWN.

14. FIRE HYDRANTS SHALL BE INSTALLED IN ACCORDANCE WITH MUELLER A421, AWWA C-502 "DRY BARREL FIRE HYDRANTS" AND THE TOWN OF SOUTH KINGSTOWN SPECIFICATIONS.

15. HYDROSTATIC AND LEAKAGE TESTS SHALL BE PERFORMED ON ALL COMPLETED SECTIONS OF NEWLY INSTALLED PIPELINE IN ACCORDANCE WITH AWWA C-600, AND TOWN SPECIFICATIONS.

16. ALL PIPE SHALL BE DISINFECTED PRIOR TO BEING ACTIVATED IN ACCORDANCE WITH AWWA B-300, AWWA C-601 AND TOWN SPECIFICATIONS.

17. DISTRIBUTION PIPING SHALL BE CL 52 DUCTILE IRON, DOUBLE CEMENT LINED, WITH PUSH ON JOINTS. PIPE SHALL MEET ANSI/AWWA C151/A21.51. JOINTS SHALL MEET ANSI/AWWA/C111/A21.11. AMERICAN MANUFACTURER ONLY.

18. FITTINGS SHALL BE DUCTILE IRON MECHANICAL JOINT CL350 CEMENT MORTAR LINED AND MEET ANSI/AWWA/C153/A21.53. MECHANICAL JOINTS SHALL MEET ANSI/AWWA/C111/A21.11 AMERICAN MANUFACTURER ONLY.

19. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL STATE AND TOWN PERMITS PRIOR TO CONSTRUCTION.

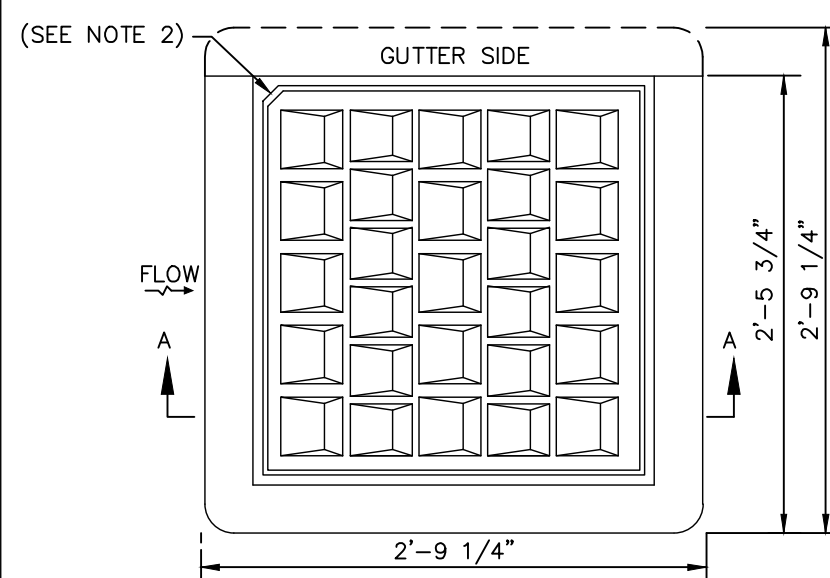
20. THE CONTRACTOR IS RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS RELATED TO INSTALLATION OF THE WATER MAIN.

21. EXCAVATIONS THAT EXTEND INTO PUBLIC RIGHT-OF-WAY SHALL BE BACKFILLED AND COMPACTED IN 12" LIFTS. A TEMPORARY SURFACE COURSE IS TO BE APPLIED. FINAL BINDER AND FINISH COURSE TO BE PLACED AFTER REMOVAL OF TEMPORARY PAVEMENT AND COMPACTION OF GRAVEL BASE. CONTRACTOR SHALL MAKE ROAD PASSABLE FOR ONE LANE OF TRAFFIC AT ALL TIMES.

22. CONTRACTOR SHALL NOTIFY DIG SAFE PRIOR TO DIGGING ANY TRENCHES.

23. WHEN WORK IS NOT IN PROGRESS AND AT THE END OF EACH DAY, ALL OPEN ENDS OF THE PIPE AND FITTINGS SHALL BE SECURELY CLOSED.

24. DIPRETE ENGINEERING DOES NOT CERTIFY AS TO THE WATER FLOW RATE OR RESIDUAL PRESSURE OF THIS WATER MAIN EXTENSION.



HIGH CAPACITY FRAME AND GRATE (BICYCLE SAFE)
NOT TO SCALE

NOTES:
1. FRAME AND COVER SHALL CONFORM TO SECTION M.04 OF THE R.I. STANDARD SPECIFICATIONS.
2. THIS CORNER LEFT FOR "LEFT" GRATE, DIAGONALLY OPPOSITE CORNER FOR "RIGHT" GRATE TO FIT IN KEYED FRAME.

R.I. STANDARD 6.3.4

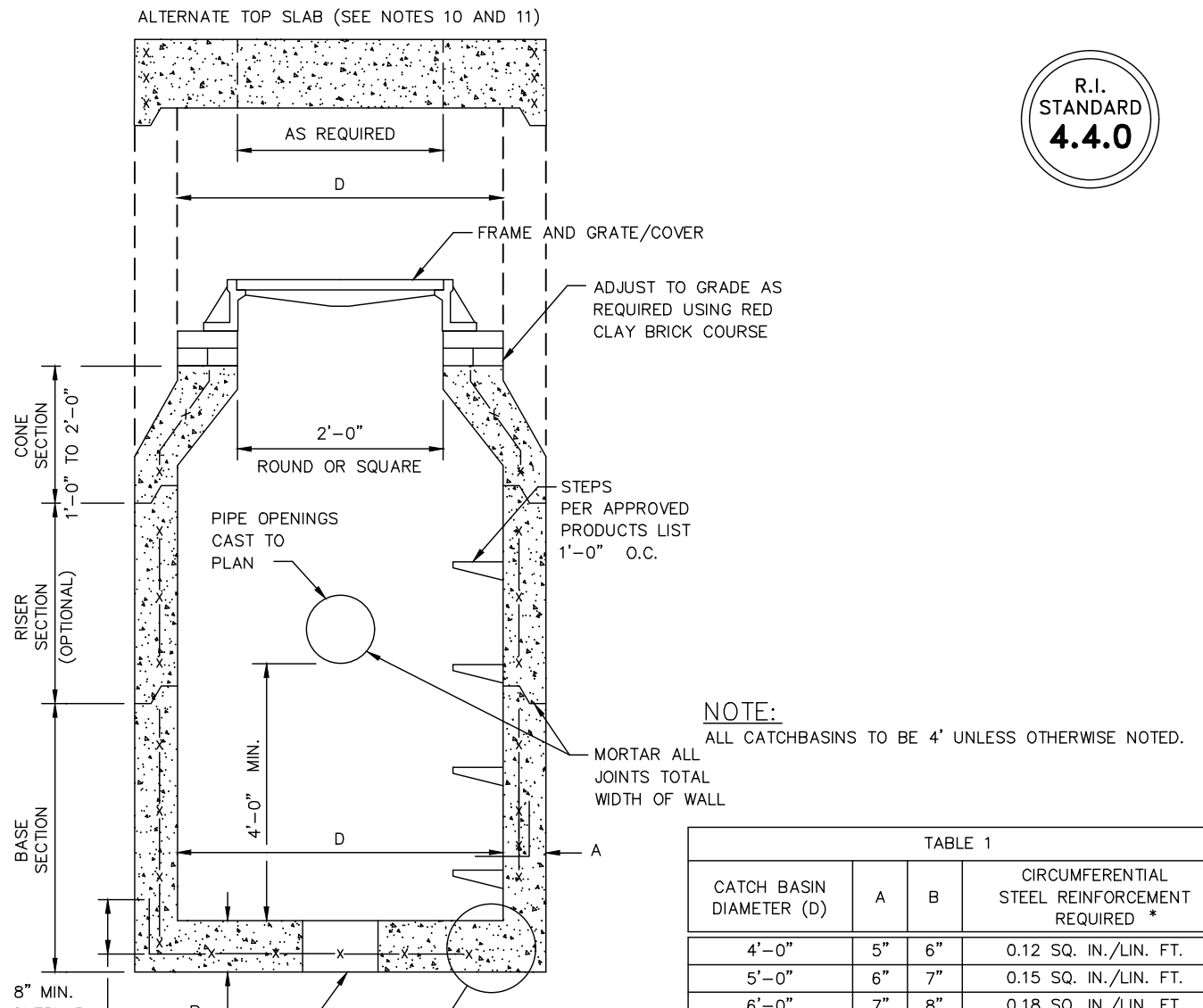


TABLE 1

CATCH BASIN DIAMETER (D)	A	B	CIRCUMFERENTIAL STEEL REINFORCEMENT REQUIRED *
4'-0"	5"	6"	0.12 SQ. IN./LIN. FT.
5'-0"	6"	7"	0.15 SQ. IN./LIN. FT.
6'-0"	7"	8"	0.18 SQ. IN./LIN. FT.

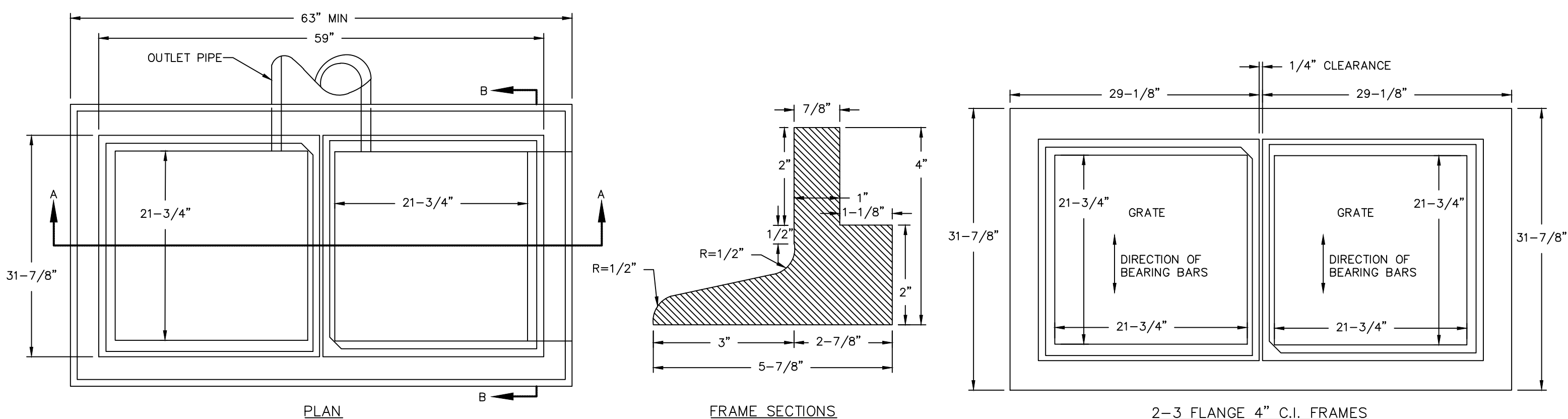
* FOR LONGITUDINAL (VERTICAL STANDING) REINFORCEMENT REFER TO ASTM C478, ITEM 8.1.2

TYPE 'D' **TYPE 'R'** **TYPE 'F'**

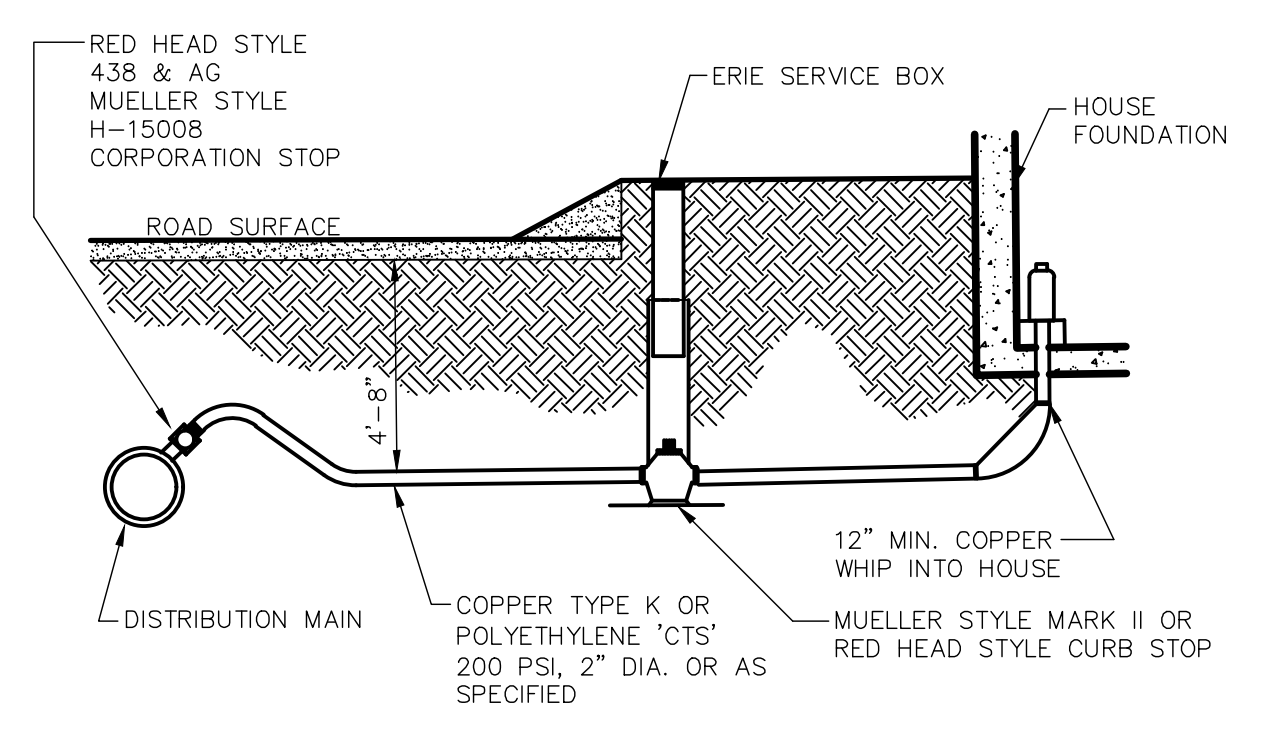
TYPE CATCH BASIN AS REQUIRED

NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 702 OF THE R.I. STANDARD SPECIFICATIONS.
2. SEE TABLE 1 FOR STEEL REINFORCEMENT REQUIREMENTS.
3. STEEL REINFORCEMENT FOR BASE SECTION BOTTOM SHALL BE A MINIMUM OF 0.12 SQ. IN./LIN. FT. (BOTH WAYS).
4. STEPS SHALL CONFORM TO STD. S.3.0 AND SHALL BE INSTALLED AT THE CASTING PLANT.
5. ONE POUR MONOLITHIC BASE SECTION.
6. ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS AND CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.
7. CORNERS MADE OF RED CLAY BRICK WILL BE PERMITTED FOR THE "CONE SECTION" OF THE 4'-0" CATCH BASIN ONLY.
8. FOR CATCH BASIN TYPES "D" AND "F" STEPS MUST BE INSTALLED ON THE CURB SIDE OF THE STRUCTURE.
9. THE CENTERLINE OF THE OPENING MUST BE WITHIN 2'-0" FROM THE STEPS.
10. ALTERNATE TOP SLAB IS STEEL REINFORCED TO MEET OR EXCEED H-25 LOADING (SEE STD. 4.7.2).
11. ALTERNATE TOP SLAB IS ONLY FOR USE WHEN REDUCING SECTION DOES NOT FIT BECAUSE OF STRUCTURE DEPTH.
12. REFER TO STD. S.2.0 FOR MAXIMUM PIPE SIZES.

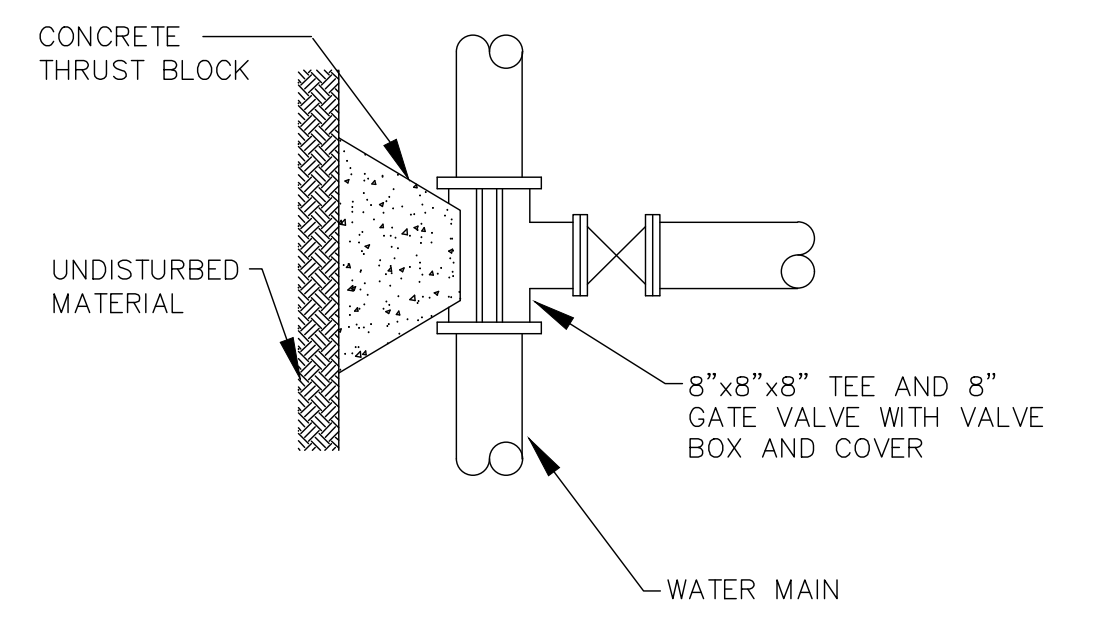
PRECAST 4'-0", 5'-0", OR 6'-0" ROUND CATCH BASIN
NOT TO SCALE



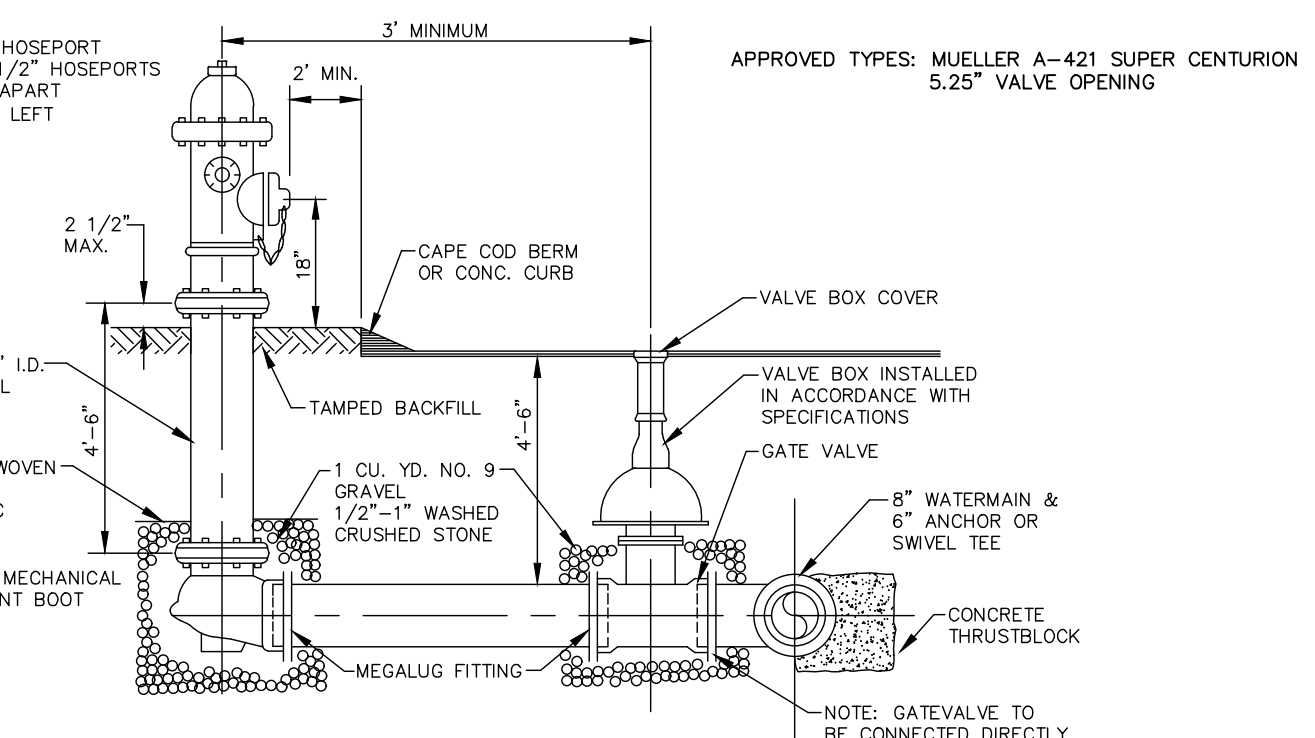
DOUBLE CATCHBASIN GRATE
NOT TO SCALE



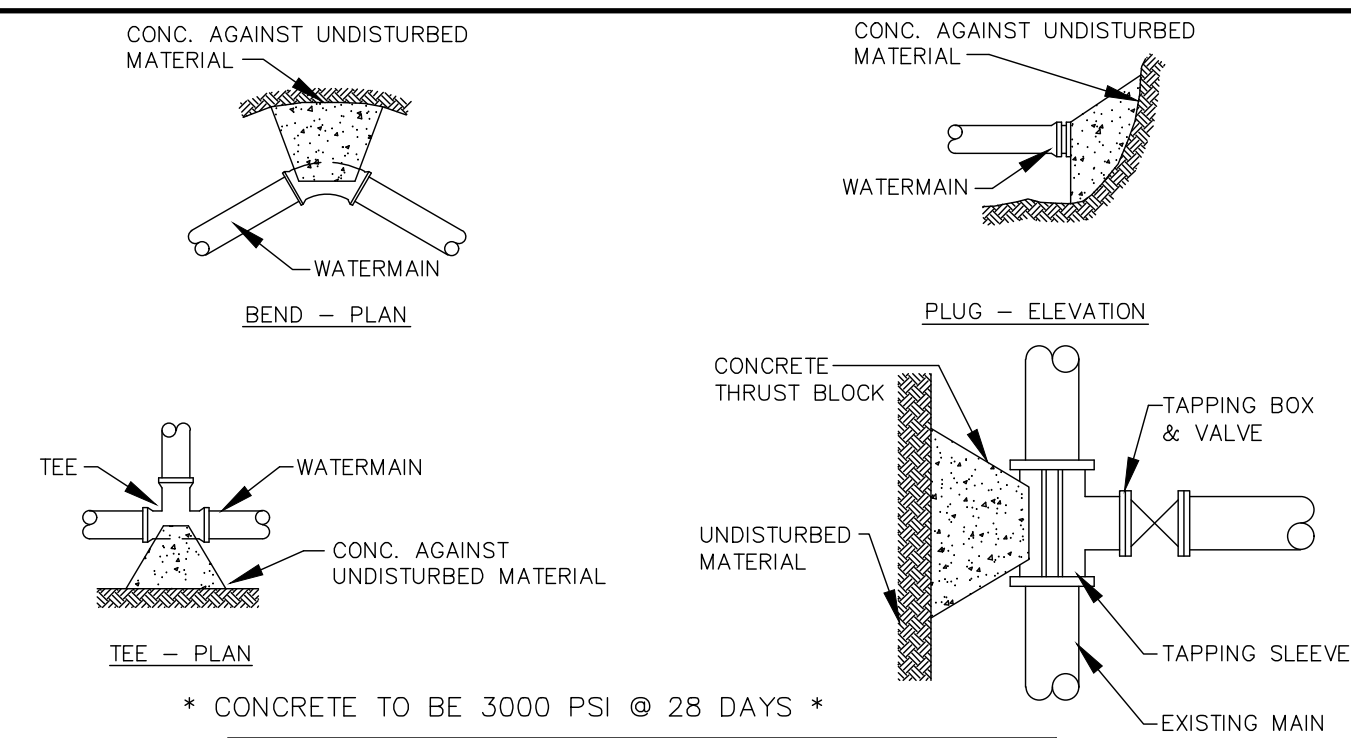
TYPICAL 2" OR SMALLER WATER SERVICE N.T.S.



TYPICAL 4" OR GREATER WATER SERVICE N.T.S.



AWWA C502 DRY BARREL FIRE HYDRANT N.T.S.



* CONCRETE TO BE 3000 PSI @ 28 DAYS *

PIPE SIZE	THRUST BLOCK SCHEDULE BEARING AREA	TEE & DEAD END
8"	45" BEND OR LESS	3.0' x 3.0'
12"	3.0' x 3.0'	3.5' x 3.5'

THRUST BLOCK DETAILS N.T.S.

Diprete Engineering
Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-644-6006 www.diprete-eng.com

CHRISTOPHER A. DUHAMEL
REGISTERED PROFESSIONAL ENGINEER CIVIL

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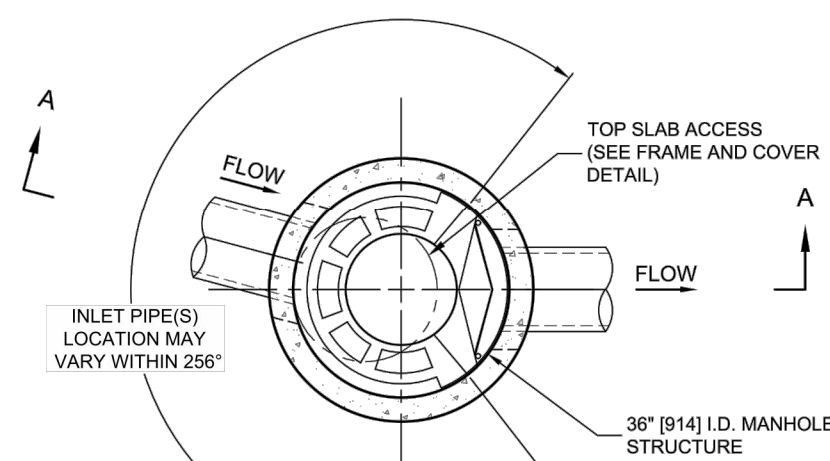
DATE	DESCRIPTION	BY	CHKD.
01-05-2022	CHDK. Response to Comments	CD	CD
01-05-2022	Revised Manhole Details and Elevation	CD	CD
01-05-2022	Response to CHDK. Comments	CD	CD
01-05-2022	Response to CHDK. Comments	CD	CD
01-05-2022	CHDK. Assent Application Submission	CD	CD
01-05-2022	Final Submission	CD	CD
01-05-2022	Final Submission	CD	CD
01-05-2022	Final Submission	CD	CD
01-05-2022	Final Submission	CD	CD

Design By: N.D.K.
Drawn By: N.D.K.

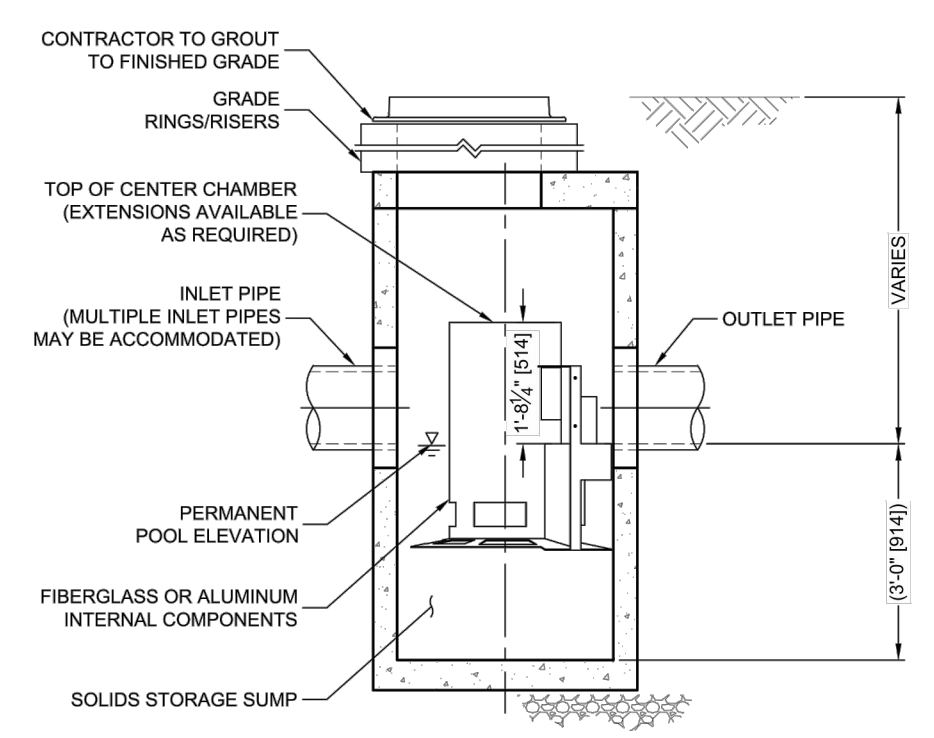
Detail Sheet - 2
Matunuck Beach Condos
Assessors: BRG 02-7, Lot 66
South Kingstown, Rhode Island
Project Owner:
Matunuck Beach Road Partners, LLC
P.O. Box 385
Waketield, RI 02880
DE JOB NO: 2389-002. Copyright 2022 by Diprete Engineering Associates, Inc.

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07-15-2022
COASTAL RESOURCES MANAGEMENT COUNCIL

z:\meham\projects\2389-002 matunuck beach condos\autoexecuted drawings\2389-002 covr.dwg Plotdate: 7/7/2022



PLAN VIEW B-B
NOT TO SCALE



ELEVATION A-A
NOT TO SCALE

CASCADE separator™

CASCADE SEPARATOR DESIGN NOTES

THE STANDARD CS-3 CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

CONFIGURATION DESCRIPTION

GRATED INLET ONLY (NO INLET PIPE)

GRATED INLET WITH INLET PIPE OR PIPES

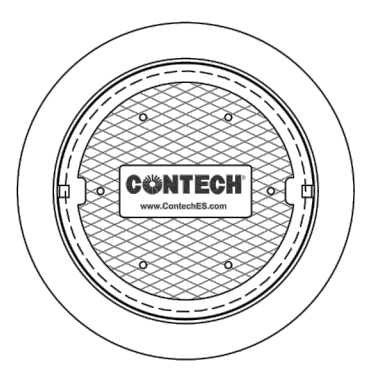
CURB INLET ONLY (NO INLET PIPE)

CURB INLET WITH INLET PIPE OR PIPES

SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID	
WATER QUALITY FLOW RATE (cfs [L/s])	
PEAK FLOW RATE (cfs [L/s])	
RETURN PERIOD OF PEAK FLOW (yrs)	
RIM ELEVATION	
PIPE DATA	
INLET PIPE 1	
INLET PIPE 2	
OUTLET PIPE	

NOTES / SPECIAL REQUIREMENTS:

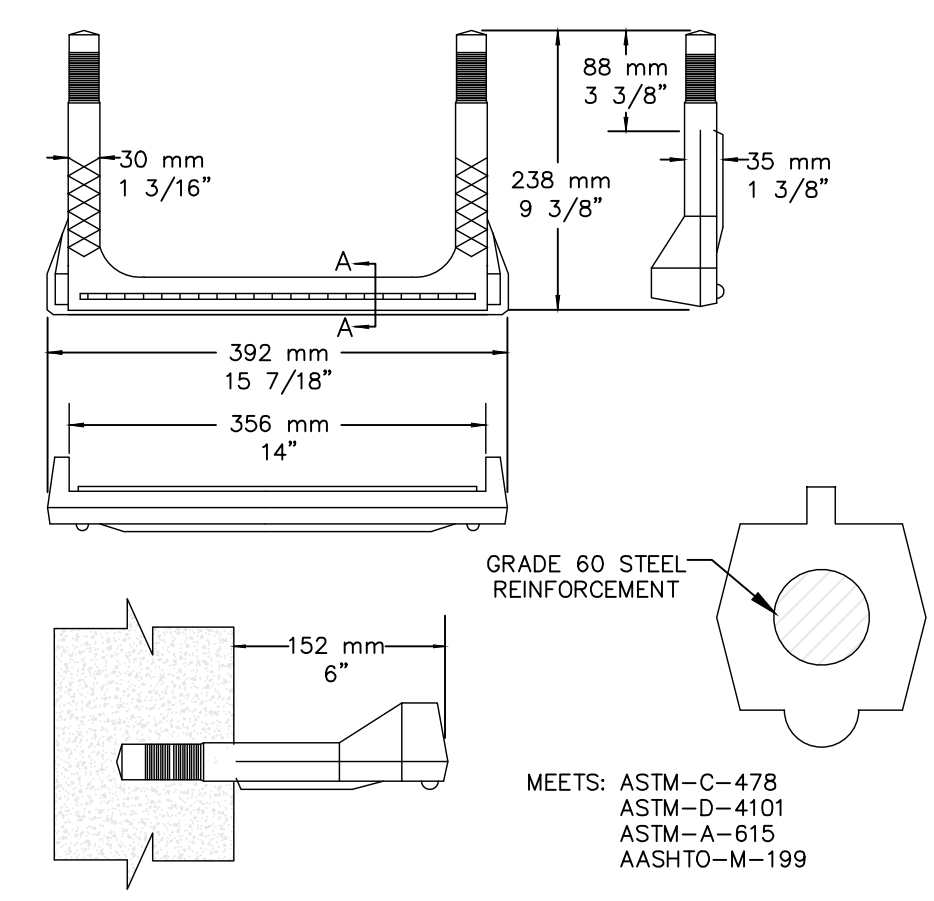


FRAME AND COVER
(DIAMETER VARIES)
NOT TO SCALE

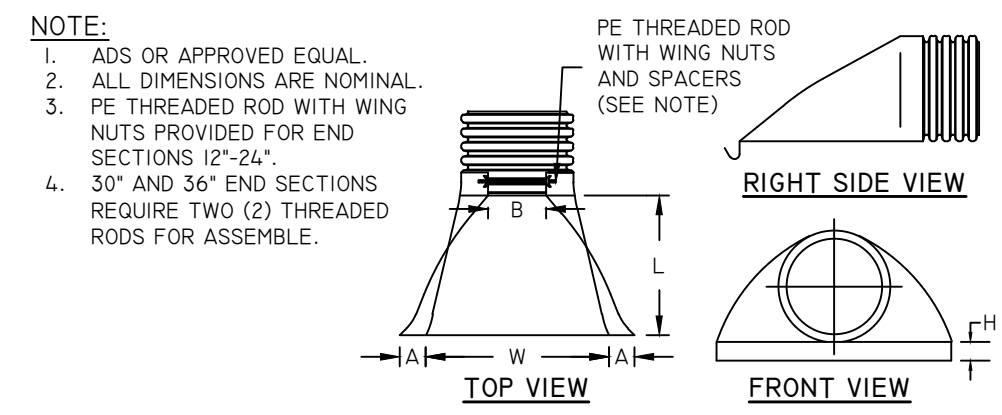
- GENERAL NOTES**
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
 - FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.contechES.com
 - CASCADE SEPARATOR WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
 - CASCADE SEPARATOR STRUCTURE SHALL MEET AASHTO HS20 LOAD RATING, ASSUMING EARTH COVER OF 0'-2" (610), AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M250 AND BE CAST WITH THE CONTECH LOGO.
 - CASCADE SEPARATOR STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C478 AND AASHTO LOAD FACTOR DESIGN METHOD.
 - ALTERNATE UNITS ARE SHOWN IN MILLIMETERS [mm].
- INSTALLATION NOTES**
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
 - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CASCADE SEPARATOR MANHOLE STRUCTURE.
 - CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
 - CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPE(S). MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
 - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.



CS-3
CASCADE SEPARATOR
STANDARD DETAIL



MANHOLE STEP
NOT TO SCALE

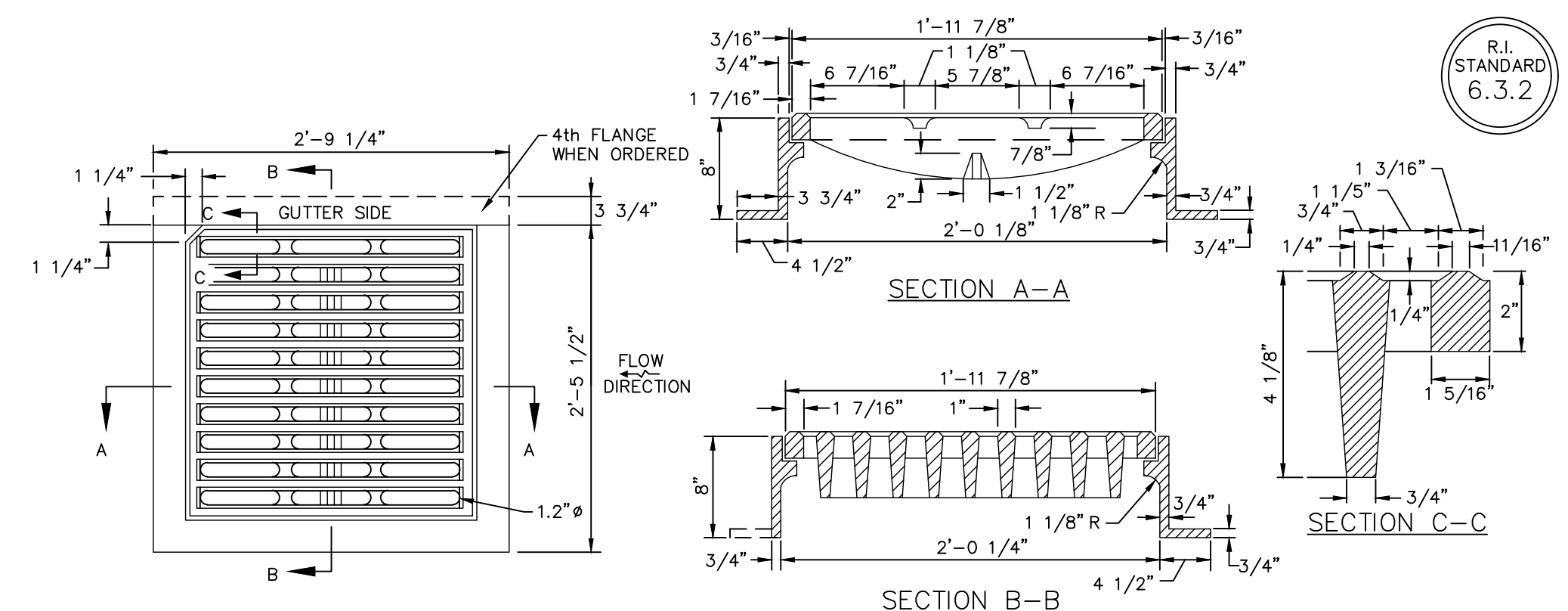


HDPE FLARED END SECTION
NOT TO SCALE

NOTE:

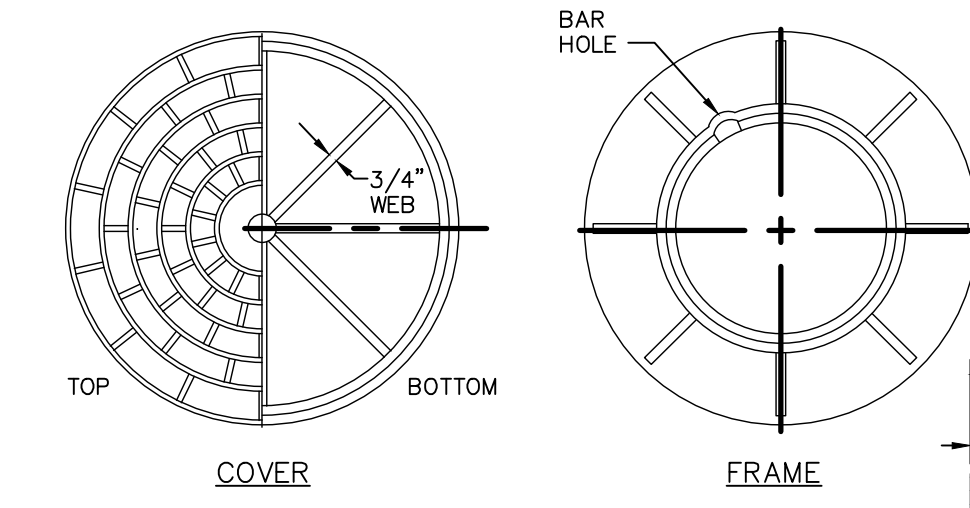
- ADS OR APPROVED EQUAL.
- ALL DIMENSIONS ARE NOMINAL.
- PE THREADED ROD WITH WING NUTS PROVIDED FOR END SECTIONS 12"-24".
- 30" AND 36" END SECTIONS REQUIRE TWO (2) THREADED RODS FOR ASSEMBLY.

PART #	PIPE SIZE	A	B (MAX)	H	L	W
1210NP	12 IN (300 MM)	6.50 IN (165 MM)	10 IN (254 MM)	6.50 IN (165 MM)	25 IN (635 MM)	29 IN (737 MM)
1510NP	15 IN (375 MM)	6.50 IN (165 MM)	10 IN (254 MM)	6.50 IN (165 MM)	25 IN (635 MM)	29 IN (737 MM)
1810 NP	18 IN (450 MM)	7.50 IN (191 MM)	15 IN (381 MM)	6.50 IN (165 MM)	32 IN (813 MM)	35 IN (889 MM)
2410NP	24 IN (600 MM)	7.50 IN (191 MM)	18 IN (457 MM)	6.50 IN (165 MM)	36 IN (914 MM)	45 IN (1143 MM)
3015NP	30 IN (750 MM)	7.50 IN (191 MM)	12 IN (305 MM)	6.40 IN (163 MM)	58 IN (1473 MM)	63 IN (1600 MM)
3615NP	36 IN (900 MM)	7.50 IN (191 MM)	25 IN (635 MM)	6.40 IN (163 MM)	58 IN (1473 MM)	63 IN (1600 MM)

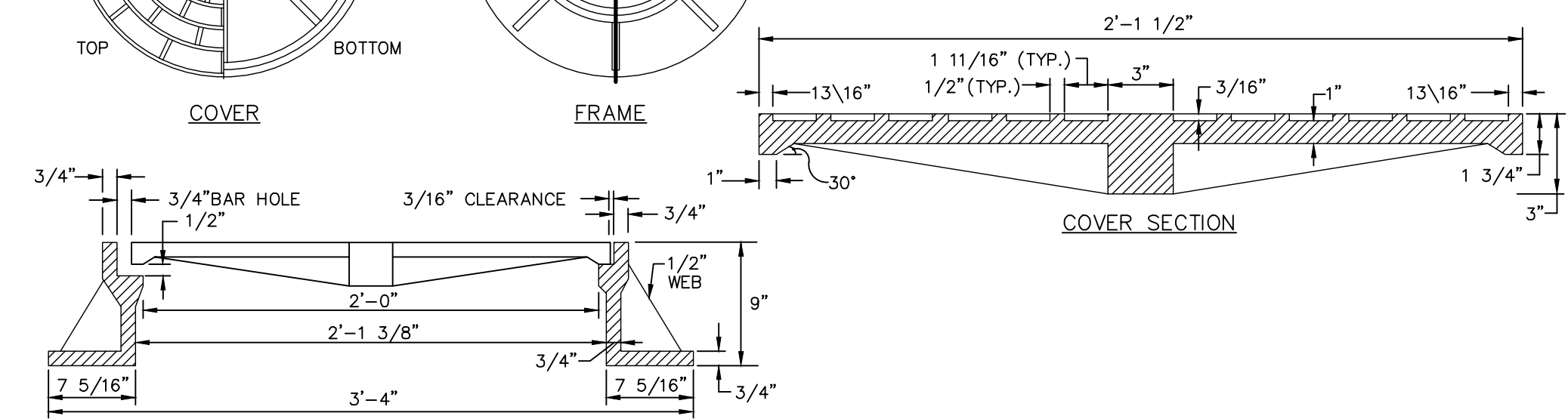


SQUARE FRAME AND GRATE
(BICYCLE SAFE)

NOT TO SCALE



- NOTES:**
- FRAME AND GRATE SHALL CONFORM TO SECTION M.04 OF THE R.I. STANDARD SPECIFICATIONS.
 - FRAME AND COVER SEATS MUST HAVE MACHINE FINISH.

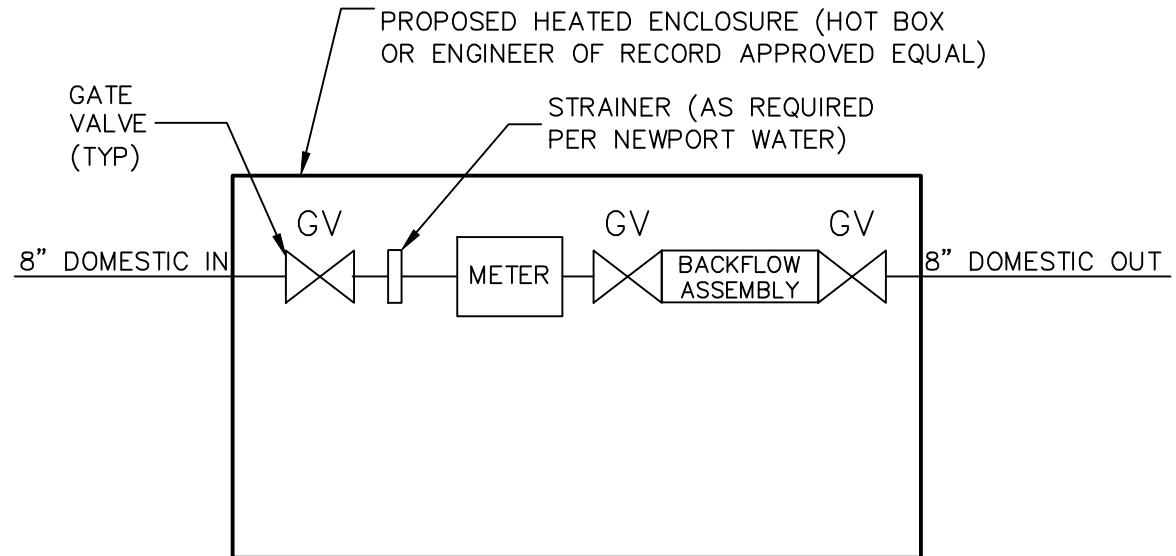


HEAVY-DUTY
ROUND FRAME AND COVER

NOT TO SCALE

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- NOTES:**
- CONTRACTOR TO PROVIDE SHOP DRAWINGS OF WATER METER PIT PRIOR TO WATERMAIN CONSTRUCTION. SHOP DRAWINGS TO BE APPROVED BY SOUTH KINGSTOWN WATER DEPT. PRIOR TO INSTALLATION.
 - METER MODEL IS A 8" NEPTUNE PROTECTUS III WITH A 8" WATTS LF909 RPZ BACKFLOW.
 - FINAL DESIGN SUBJECT TO REVIEW AND APPROVAL BY SOUTH KINGSTOWN WATER DEPT.
 - CONTRACTOR TO PROVIDE POWER AND TELEPHONE SERVICE TO HEATED ENCLOSURE.

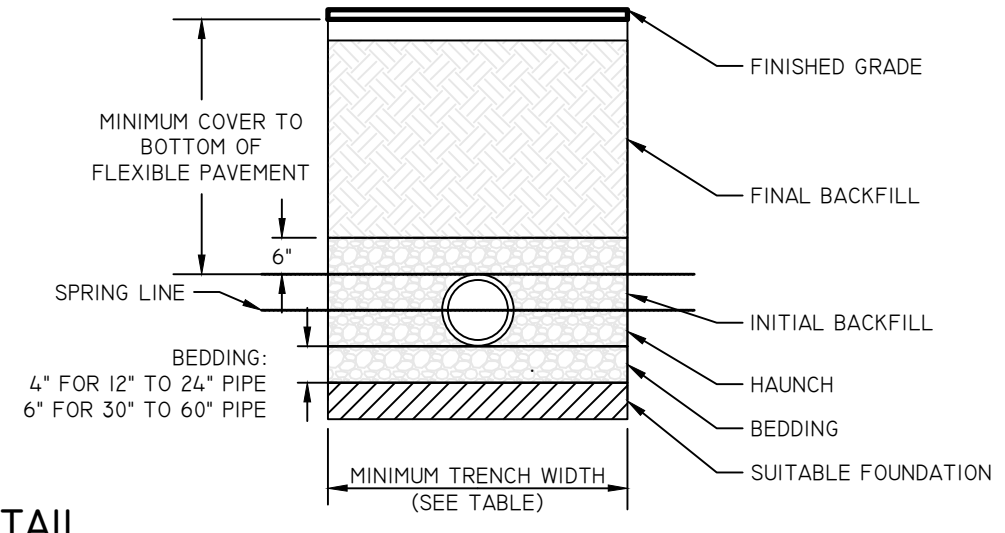


Schematic Heated Enclosure For Water Meter
& Backflow
NOT TO SCALE

INSTALLATION NOTES:

- ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321. STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS, LATEST EDITION.
- MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
- FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER, AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
- BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II OR III. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER. MINIMUM BEDDING THICKNESS SHALL BE 4" (100MM) FOR 4"-24" (100MM-600MM), 6" (150MM) FOR 30"-60" (750MM-900MM).
- INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING NOT LESS THAN 6' ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
- MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOTATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48" Ø PIPE AND 24" OF COVER FOR 60" Ø PIPE. MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.

PIPE Ø	MIN. TRENCH WIDTH	PIPE Ø	MIN. TRENCH WIDTH
4"	21"	24"	48"
6"	23"	30"	56"
8"	26"	36"	64"
10"	28"	42"	72"
12"	30"	48"	80"
15"	34"	60"	96"
18"	39"		



HDPE TRENCH DETAIL
NOT TO SCALE

DiPrete Engineering
Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-644-6006 www.diprete-eng.com

CHRISTOPHER A. DUHAMEL
REGISTERED PROFESSIONAL ENGINEER CIVIL

This plan set may not be used for construction purposes unless stamped for construction and stamped by a registered professional engineer of DiPrete Engineering. The contractor is responsible for all of the means, methods, safety, and implementation of this plan and design. Engineering assumes no responsibility for damages incurred due to implementation of this plan and design. See Utility Note on Sheet 3.

Rev.	Date	Description	By	Check
1	07-20-2022	REVISION	N.D.K.	N.D.K.
2	07-20-2022	REVISION	N.D.K.	N.D.K.
3	07-20-2022	REVISION	N.D.K.	N.D.K.
4	07-20-2022	REVISION	N.D.K.	N.D.K.
5	07-20-2022	REVISION	N.D.K.	N.D.K.
6	07-20-2022	REVISION	N.D.K.	N.D.K.
7	07-20-2022	REVISION	N.D.K.	N.D.K.
8	07-20-2022	REVISION	N.D.K.	N.D.K.
9	07-20-2022	REVISION	N.D.K.	N.D.K.
10	07-20-2022	REVISION	N.D.K.	N.D.K.
11	07-20-2022	REVISION	N.D.K.	N.D.K.
12	07-20-2022	REVISION	N.D.K.	N.D.K.
13	07-20-2022	REVISION	N.D.K.	N.D.K.
14	07-20-2022	REVISION	N.D.K.	N.D.K.
15	07-20-2022	REVISION	N.D.K.	N.D.K.
16	07-20-2022	REVISION	N.D.K.	N.D.K.
17	07-20-2022	REVISION	N.D.K.	N.D.K.
18	07-20-2022	REVISION	N.D.K.	N.D.K.
19	07-20-2022	REVISION	N.D.K.	N.D.K.
20	07-20-2022	REVISION	N.D.K.	N.D.K.
21	07-20-2022	REVISION	N.D.K.	N.D.K.
22	07-20-2022	REVISION	N.D.K.	N.D.K.
23	07-20-2022	REVISION	N.D.K.	N.D.K.
24	07-20-2022	REVISION	N.D.K.	N.D.K.
25	07-20-2022	REVISION	N.D.K.	N.D.K.
26	07-20-2022	REVISION	N.D.K.	N.D.K.
27	07-20-2022	REVISION	N.D.K.	N.D.K.
28	07-20-2022	REVISION	N.D.K.	N.D.K.
29	07-20-2022	REVISION	N.D.K.	N.D.K.
30	07-20-2022	REVISION	N.D.K.	N.D.K.
31	07-20-2022	REVISION	N.D.K.	N.D.K.
32	07-20-2022	REVISION	N.D.K.	N.D.K.
33	07-20-2022	REVISION	N.D.K.	N.D.K.
34	07-20-2022	REVISION	N.D.K.	N.D.K.
35	07-20-2022	REVISION	N.D.K.	N.D.K.
36	07-20-2022	REVISION	N.D.K.	N.D.K.
37	07-20-2022	REVISION	N.D.K.	N.D.K.
38	07-20-2022	REVISION	N.D.K.	N.D.K.
39	07-20-2022	REVISION	N.D.K.	N.D.K.
40	07-20-2022	REVISION	N.D.K.	N.D.K.
41	07-20-2022	REVISION	N.D.K.	N.D.K.
42	07-20-2022	REVISION	N.D.K.	N.D.K.
43	07-20-2022	REVISION	N.D.K.	N.D.K.
44	07-20-2022	REVISION	N.D.K.	N.D.K.
45	07-20-2022	REVISION	N.D.K.	N.D.K.
46	07-20-2022	REVISION	N.D.K.	N.D.K.
47	07-20-2022	REVISION	N.D.K.	N.D.K.
48	07-20-2022	REVISION	N.D.K.	N.D.K.
49	07-20-2022	REVISION	N.D.K.	N.D.K.
50	07-20-2022	REVISION	N.D.K.	N.D.K.

Detail Sheet - 3
Matunuck Beach Condos
Assessors Plat 022-048-66
South Kingstown, Rhode Island
Project Owner
Matunuck Beach Road Partners, LLC
P.O. Box 385
Waketield, RI 02880
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