



State of Rhode Island and Providence Plantations  
**Coastal Resources Management Council**  
 Oliver H. Stedman Government Center  
 4808 Tower Hill Road, Suite 3  
 Wakefield, RI 02879-1900

(401) 783-3370  
 Fax (401) 783-2069

## APPLICATION FOR STATE ASSENT

To perform work regulated by the provisions of Chapter 279 of the Public Laws of 1971 Amended.

Project Location <u>8150 Post Road, North Kingstown</u> <small style="display: flex; justify-content: space-between; width: 100%;"> <span>No.</span> <span>Street</span> <span>City/Town</span> </small>	File No. (CRMC USE ONLY) <b style="color: blue;">2022-06-093</b>
Owner's Name <u>Town of North Kingstown</u>	Plat: 118 <input type="checkbox"/> Lot(s): 32 <input type="checkbox"/>
Mailing Address <u>2050 Davisville Road, North Kingstown, RI 02852</u> <small style="display: flex; justify-content: space-between; width: 100%;"> <span>Address</span> <span>City/Town, State</span> <span>Zip Code</span> </small>	Owner's Contact: Number: (401) 294 - 1212 <input type="checkbox"/> Email Address: allenharbormarina@gmail.com
Contractor RI Reg. # <u>To Be Determined</u> Address _____	Email address: Tel. No. _____
Designer <u>Harbor Engineering, LLC</u> <input type="checkbox"/> Address <u>26 Bosworth Street, Barrington, RI 02806</u>	Tel. No. (401) 519 - 6104 <input type="checkbox"/>
Name of Waterway <u>Mill Cove (Wickford Harbor)</u>	Estimated Project Cost (EPC): Application Fee: <u>N/A</u> <input type="checkbox"/>
<b>Provide Below a Description of Work As Proposed (required).</b> See Attachment A.	

**Have you or any previous owner filed an application for and/or received an assent for any activity on this property?**  
 (If so please provide the file and/or assent numbers): 1988-05-020, 2006-03-070

**Is this site within a designated historic district?**       YES       NO

**Is this application being submitted in response to a coastal violation?**       YES       NO

If YES, you must indicate NOV or C&D Number: \_\_\_\_\_

**Name/ mailing addresses of adjacent property owners whose property adjoins the project site.** Accurate mailing addresses will insure proper notification. \_\_\_\_\_ Applicant **must** initial to certify accuracy of adjacent property owners and accuracy of mailing addresses.

Wickford Village Realty LP, PO Box 70248 N Dartmouth, MA 2747 (Plat/Lot: 118/27)

North Cove Landing LP, PO Box 70248 Dartmouth MA 2747 (Plat/Lot: 118/40))

STORMTOOLS (<http://www.beachsamp.org/resources/stormtools/>) is a planning tool to help applicants evaluate the impacts of sea level rise and storm surge on their projects. The Council encourages applicants to use STORMTOOLS to help them understand the risk that may be present at their site and make appropriate adjustments to the project design.

NOTE: The applicant acknowledges by evidence of their signature that they have reviewed the Rhode Island Coastal Resources Management Program, and have, where possible, adhered to the policies and standards of the program. Where variances or special exceptions are requested by the applicant, the applicant will be prepared to meet and present testimony on the criteria and burdens of proof for each of these relief provisions. The applicant also acknowledges by evidence of their signature that to the best of their knowledge the information contained in the application is true and valid. If the information provided to the CRMC for this review is inaccurate or did not reveal all necessary information or data, then the permit granted under this application may be found to be null and void. Applicant requires that as a condition to the granting of this assent, members of the CRMC or its staff shall have access to the applicant's property to make on-site inspections to insure compliance with the assent. This application is made under oath and subject to the penalties of perjury.

08/04

Ralph Mollis  
 Owner Name (PRINT)

A. J. [Signature]  
 Owner's Signature (SIGN)

PLEASE REVIEW REVERSE SIDE OF APPLICATION FORM





## Harbor Engineering, LLC

26 Bosworth Street; Suite F  
Barrington, RI 02806

Tel: (401) 829-4870

Website: [harboreng.com](http://harboreng.com)

June 14, 2022

Jeffrey Willis, Executive Director  
RI Coastal Resources Management Council  
4808 Tower Hill Road, Suite 3  
Wakefield, RI 02879

RE: Wilson Park Boat Ramp  
8150 Post Road, North Kingstown, RI 028525

Dear Mr. Willis,

On behalf of our client, *the Town of North Kingstown*, it is our pleasure to offer the enclosed Application for State Assent. The Applicant would like to improve the existing boat ramp at **8150 Post Road, North Kingstown (SITE)**. The improvements include increasing the launch/haul lanes from one (1) to two (2) and installing floating docks in-line in-between the two lanes (please see Attachment A for more details). The Applicant would like to improve the existing facility because the current boat ramp and its associated floating docks do not provide an effective facility for launching and hauling vessels.

Within each assembled packet please find the RICRMC application form along with the required attachments:

- Attachment A: Project Discussion
- Attachment B: Representative Site Photographs
- Attachment C: Project Plans
- Attachment D: RICRMC Standards
- Attachment E: Property Owner Information
- Attachment F: Local Building & Zoning Acknowledgement

Please do not hesitate to contact the undersigned should you have any questions or require additional information to facilitate your review of the application.

Very Truly Yours,  
**Harbor Engineering, LLC**

Chris Pearson, EIT  
Staff Engineer

Enclosures: Three (3) Copies of Application

Copy: Adam White, Director of Public Works  
Chelsea Dumas, Recreation Director  
Gail Salzberg, Marina Manager



**STATEMENT OF DISCLOSURE AND APPLICANT AGREEMENT AS TO FEES**

The fees which must be submitted to the Coastal Resources Management Council are based upon representations made to the Coastal Resources Management Council by the applicant. If after submission of this fee the Coastal Resources Management Council determines that an error has been made either in the applicant's submission or in determining the fee to be paid, the applicant understands that additional fees may be assessed by the Coastal Resources Management Council. These fees must be paid prior to the issuance of any assent by the Coastal Resources Management Council.

The applicant understands the above conditions and agrees to comply with them.

  
\_\_\_\_\_  
Owner Signature

6.13.2022  
Date

Ralph Morris 100 Fairway Drive  
Print Name and Mailing Address North Kingstown RI 02852



**Attachment A**  
**Project Discussion**

## Description of Work Proposed

The North Kingstown Wilson Park boat ramp is located at 8150 Post Road in North Kingstown, RI (SITE). Specifically, the Site is on the west side of Narragansett Bay in Mill Cove (inside of Wickford Cove). This area is designated as CRMC Type 2 waters, reserved for low intensity use, and includes an extended shoreline. The composition of the shoreline varies between tidal wetlands, rubble slopes, and stone revetments. The Site currently has a boat ramp that has been granted multiple assents for reconstruction in the past and has floating docks nearby. The elevation of the landside grading varies but rests between +7ft - +9ft MLW. According to previous applications, the ramp was originally permitted by CRMC Assent No. 1988-05-020.

The Applicant is seeking permission to expand the existing concrete boat ramp, remove the existing detached floating docks, install new floating docks with associated anchor piles, and reposition the existing armored shoreline. The current ramp design (which is approximately 960 sq.ft) can only reasonably accommodate one vessel launching or hauling at a time. Additionally, the associated floating docks are about 30ft away from the ramp, making the transition from launching to docking difficult. Due to these inadequacies, the proposed ramp (which will be about 2304 sq.ft. total) will be of modern construction and wider to allow at least 2 vessels to launch or haul simultaneously (please see the Project Plans for more details).

Additional landside work will include approximately 3,050 sq.ft. of asphalt to be laid down landward of the proposed concrete boat ramp, a 6ft x 20ft concrete abutment landward of the proposed timber docks, and repositioned revetment stone. The proposed asphalt will help vehicles transition to the boat ramp and the concrete abutment will help pedestrians transition to the timber floats. To accommodate a wider boat ramp, the nearby armored slope will need to be repositioned farther north, and an additional 10 cu.yds. of armor stone will be added. The repositioned revetment will protect the shoreline where the floating docks were previously positioned.

The existing floating docks (which are approximately 627 sq.ft. in total) are to be removed because of the large distance between the floats and the existing concrete ramp which makes launching vessels difficult. Once a vessel has been launched, it is unable to be secured which allows the boat to slowly run ashore. Additionally, the current dock configuration only allows for approximately 150ft of usable dockage. Due to difficulties inherent in the current boat ramp design, the Applicant is proposing to relocate the floating docks so that they are in line with the proposed boat ramp. The proposed dock configuration (which will be about 720 sq.ft in total) will allow for about 240ft of usable dockage.

The proposed boat ramp will be made of precast concrete slabs. They will be laid down, on top of 10 cu. yds. of crushed stone and accompanying geotechnical fabric, after the current concrete slabs are removed. Timber anchor piles will be driven by land or barge mounted crane.

The proposed project will improve the existing boat ramp because it will allow for multiple vessels to launch/haul at one time, it will give greater traction to vehicles by extending further into the water, and it will provide greater ease of use after a vessel has launched by placing support floats immediately adjacent to the boat ramp.



**Attachment B**

**Representative Site Photographs**





Photo 1: The concrete boat ramp looking northeast.



Photo 2: The concrete boat ramp looking southeast.



Photo 3: The timber docks looking northeast.



Photo 4: The concrete boat ramp as seen from the associated timber docks.





Photo 5: The floating docks as seen from the concrete boat ramp.

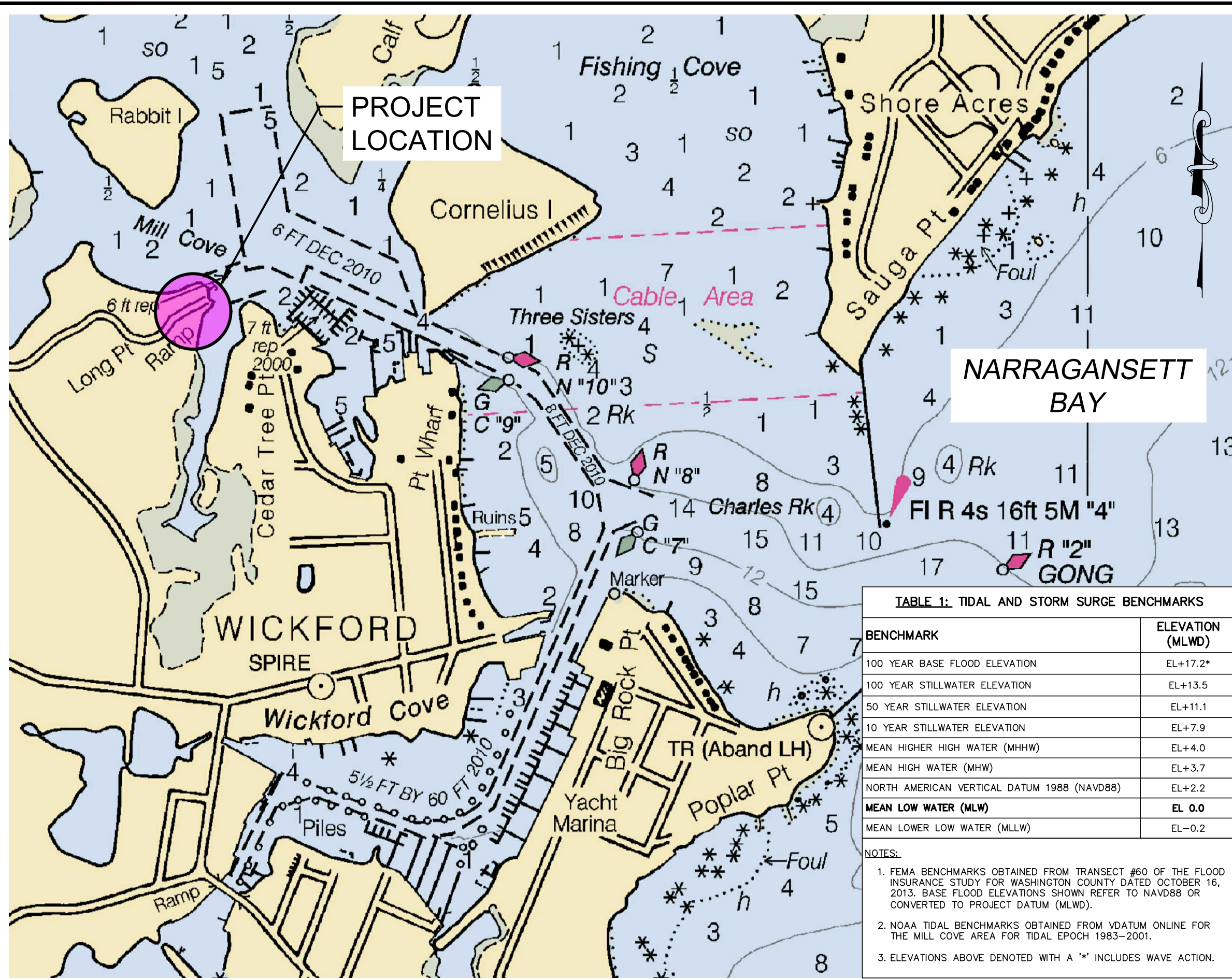


Photo 6: Stone revetment in front of floating dock gangway.

Attachment C

Project Plans





**PROJECT  
LOCATION**

**NARRAGANSETT  
BAY**

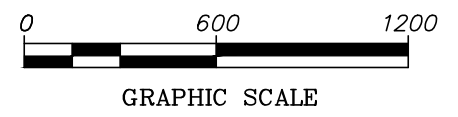
**RECEIVED**  
6/16/2022  
COASTAL RESOURCES  
MANAGEMENT COUNCIL



**HARBOR ENGINEERING, LLC**

26 BOSWORTH STREET  
BARRINGTON, RI 02806  
(401) 829-4870  
harboreng.com

No.	Revision	Date	App.



Client/Owner:  
**TOWN OF NORTH KINGSTOWN**  
DEPARTMENT OF PUBLIC WORKS  
2050 DAVISVILLE ROAD  
NORTH KINGSTOWN, RI 02852

Issued for:  
**WILSON PARK BOAT RAMP IMPROVEMENTS  
REGULATORY REVIEW  
NOT FOR CONSTRUCTION**

Drawing Title:  
**VICINITY CHART**  
NOAA CHART #13223  
NARRAGANSETT BAY, RHODE ISLAND  
VERTICAL DATUM: MLLWD

**TABLE 1: TIDAL AND STORM SURGE BENCHMARKS**

BENCHMARK	ELEVATION (MLWD)
100 YEAR BASE FLOOD ELEVATION	EL+17.2*
100 YEAR STILLWATER ELEVATION	EL+13.5
50 YEAR STILLWATER ELEVATION	EL+11.1
10 YEAR STILLWATER ELEVATION	EL+7.9
MEAN HIGHER HIGH WATER (MHHW)	EL+4.0
MEAN HIGH WATER (MHW)	EL+3.7
NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88)	EL+2.2
<b>MEAN LOW WATER (MLW)</b>	<b>EL 0.0</b>
MEAN LOWER LOW WATER (MLLW)	EL-0.2

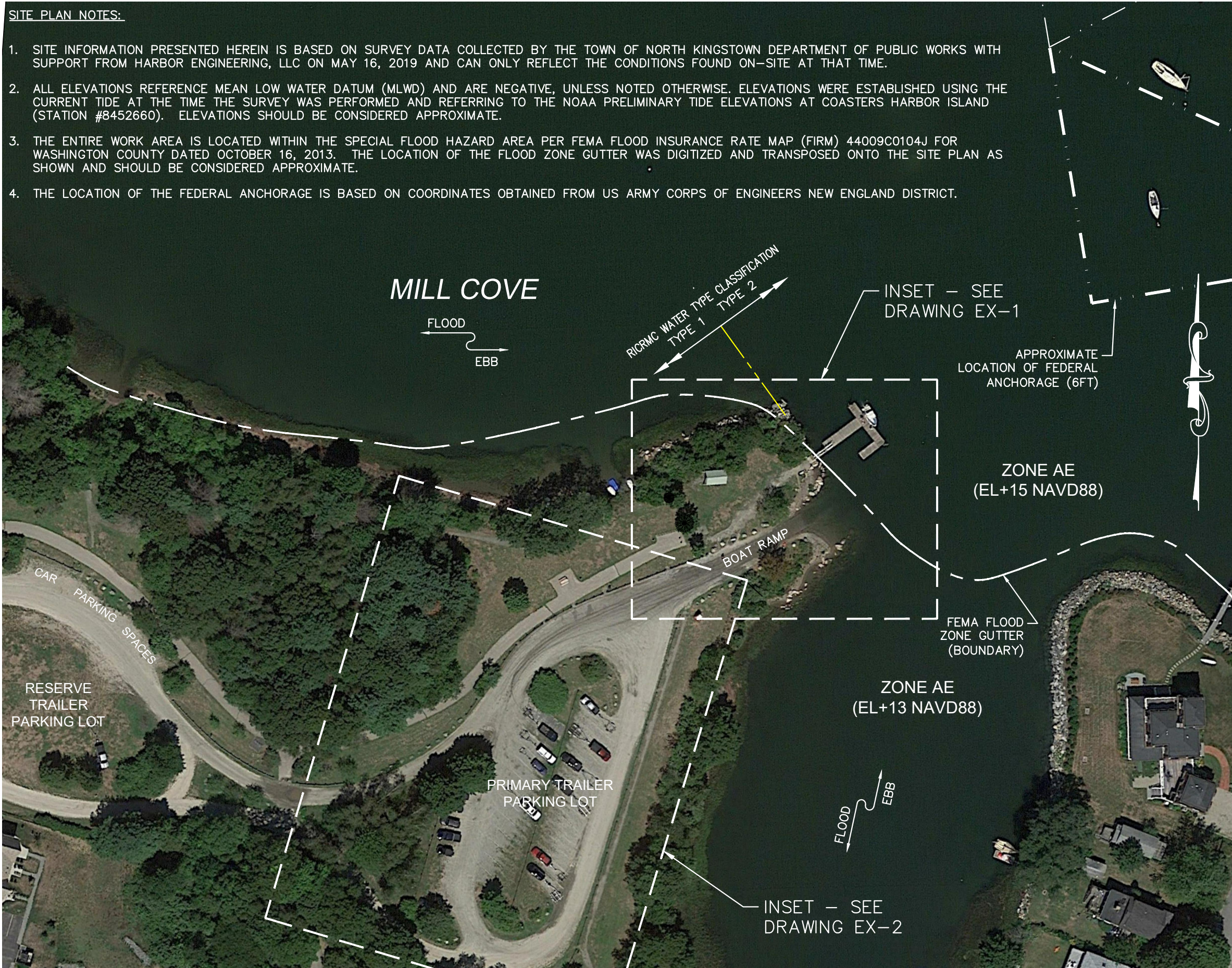
- NOTES:
- FEMA BENCHMARKS OBTAINED FROM TRANSECT #60 OF THE FLOOD INSURANCE STUDY FOR WASHINGTON COUNTY DATED OCTOBER 16, 2013. BASE FLOOD ELEVATIONS SHOWN REFER TO NAVD88 OR CONVERTED TO PROJECT DATUM (MLWD).
  - NOAA TIDAL BENCHMARKS OBTAINED FROM VDATUM ONLINE FOR THE MILL COVE AREA FOR TIDAL EPOCH 1983-2001.
  - ELEVATIONS ABOVE DENOTED WITH A "\*" INCLUDES WAVE ACTION.

**AUGUST J. KREUZKAMP, III**  
No. 7949  
REGISTERED PROFESSIONAL ENGINEER CIVIL  
6/3/2022

Date:	5/27/2022
Scale:	1" = 600 FT
Designed By:	AJK
Drawn by:	AJK
Checked by:	
Project Number:	2022-10
Sheet	1 of 7
Drawing Number:	C-1

**SITE PLAN NOTES:**

1. SITE INFORMATION PRESENTED HEREIN IS BASED ON SURVEY DATA COLLECTED BY THE TOWN OF NORTH KINGSTOWN DEPARTMENT OF PUBLIC WORKS WITH SUPPORT FROM HARBOR ENGINEERING, LLC ON MAY 16, 2019 AND CAN ONLY REFLECT THE CONDITIONS FOUND ON-SITE AT THAT TIME.
2. ALL ELEVATIONS REFERENCE MEAN LOW WATER DATUM (MLWD) AND ARE NEGATIVE, UNLESS NOTED OTHERWISE. ELEVATIONS WERE ESTABLISHED USING THE CURRENT TIDE AT THE TIME THE SURVEY WAS PERFORMED AND REFERRING TO THE NOAA PRELIMINARY TIDE ELEVATIONS AT COASTERS HARBOR ISLAND (STATION #8452660). ELEVATIONS SHOULD BE CONSIDERED APPROXIMATE.
3. THE ENTIRE WORK AREA IS LOCATED WITHIN THE SPECIAL FLOOD HAZARD AREA PER FEMA FLOOD INSURANCE RATE MAP (FIRM) 44009C0104J FOR WASHINGTON COUNTY DATED OCTOBER 16, 2013. THE LOCATION OF THE FLOOD ZONE GUTTER WAS DIGITIZED AND TRANSPOSED ONTO THE SITE PLAN AS SHOWN AND SHOULD BE CONSIDERED APPROXIMATE.
4. THE LOCATION OF THE FEDERAL ANCHORAGE IS BASED ON COORDINATES OBTAINED FROM US ARMY CORPS OF ENGINEERS NEW ENGLAND DISTRICT.



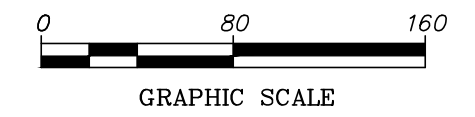
**RECEIVED**  
**6/16/2022**  
 COASTAL RESOURCES  
 MANAGEMENT COUNCIL



**HARBOR ENGINEERING, LLC**

26 BOSWORTH STREET  
 BARRINGTON, RI 02806  
 (401) 829-4870  
 harboreng.com

No.	Revision	Date	App.



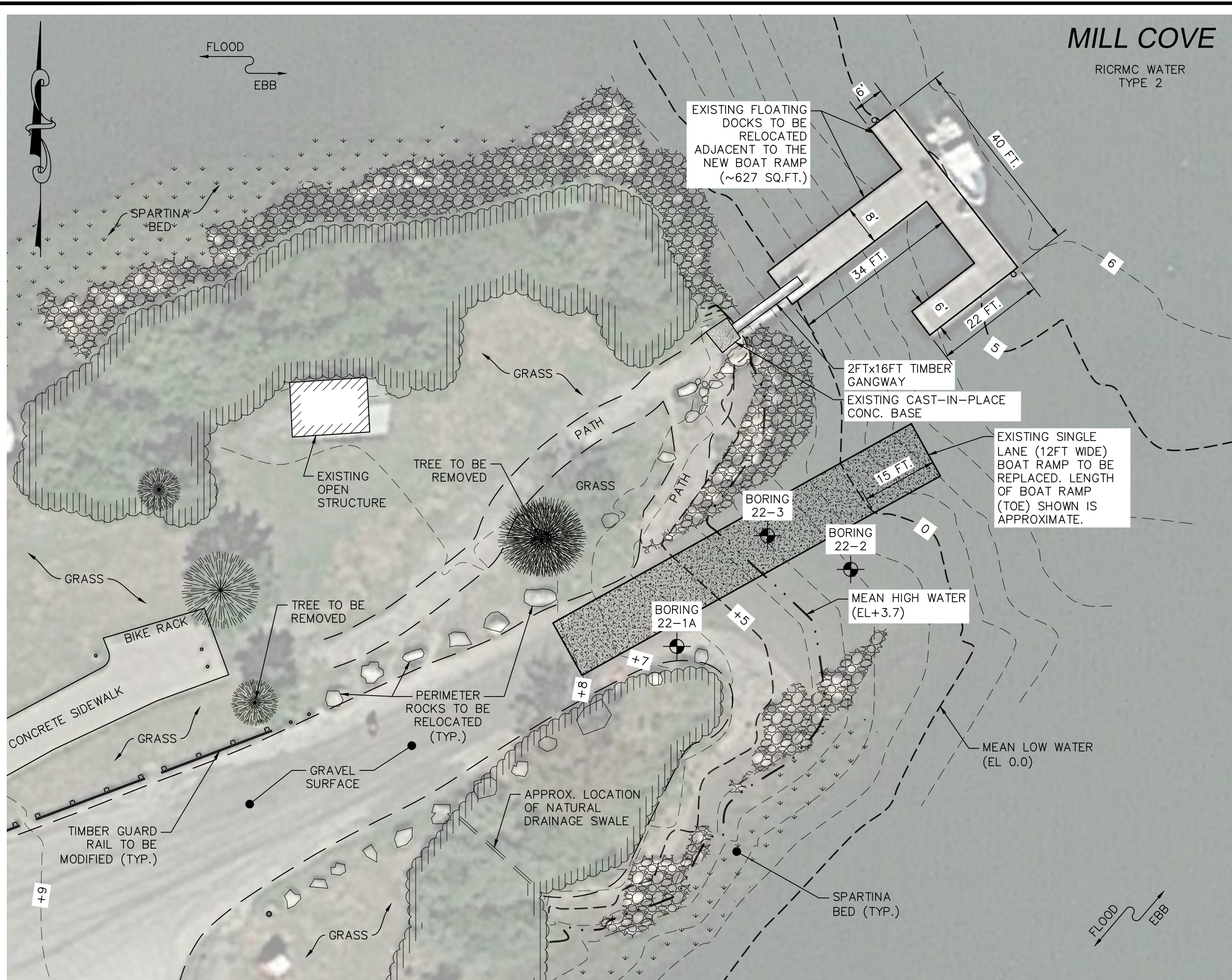
Client/Owner:  
**TOWN OF NORTH KINGSTOWN**  
 DEPARTMENT OF PUBLIC WORKS  
 2050 DAVISVILLE ROAD  
 NORTH KINGSTOWN, RI 02852

Issued for:  
**WILSON PARK BOAT RAMP IMPROVEMENTS  
 REGULATORY REVIEW  
 NOT FOR CONSTRUCTION**

Drawing Title:  
**AERIAL PHOTO**  
 GOOGLE EARTH  
 PHOTO TAKEN AUGUST 22, 2016

**AUGUST J. KREUZKAMP, III**  
 No. **7949**  
 REGISTERED PROFESSIONAL ENGINEER CIVIL  
 6/3/2022

Date:	5/27/2022
Scale:	1" = 80 FT
Designed By:	AJK
Drawn by:	AJK
Checked by:	
Project Number:	2022-10
Sheet	2 of 7
Drawing Number:	A-1



# MILL COVE

RICRMC WATER  
TYPE 2

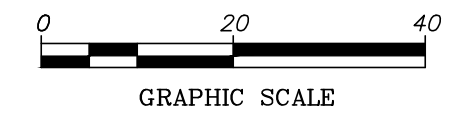
**RECEIVED**  
**6/16/2022**  
COASTAL RESOURCES  
MANAGEMENT COUNCIL



**HARBOR ENGINEERING, LLC**

26 BOSWORTH STREET  
BARRINGTON, RI 02806  
(401) 829-4870  
harboreng.com

No.	Revision	Date	App.



Client/Owner:  
**TOWN OF NORTH KINGSTOWN**  
DEPARTMENT OF PUBLIC WORKS  
2050 DAVISVILLE ROAD  
NORTH KINGSTOWN, RI 02852

Issued for:  
**WILSON PARK BOAT RAMP IMPROVEMENTS  
REGULATORY REVIEW  
NOT FOR CONSTRUCTION**

Drawing Title:  
**SITE PLAN  
EXISTING CONDITIONS  
(MEAN LOW WATER DATUM)**

Date: 5/27/2022  
Scale: 1" = 20 FT

Designed By: AJK  
Drawn by: AJK  
Checked by:   
Project Number: 2022-10  
Sheet 3 of 7  
Drawing Number: EX-1

**AUGUST J. KREUZKAMP, III**  
No. 7949  
REGISTERED PROFESSIONAL ENGINEER CIVIL  
6/3/2022

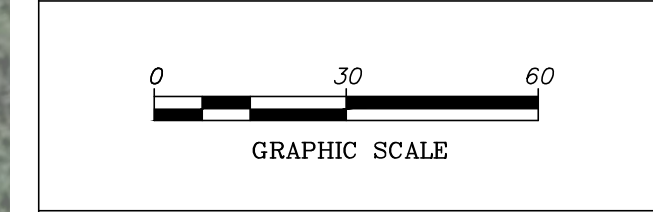


**RECEIVED**  
6/16/2022  
COASTAL RESOURCES  
MANAGEMENT COUNCIL



**HARBOR ENGINEERING, LLC**  
26 BOSWORTH STREET  
BARRINGTON, RI 02806  
(401) 829-4870  
harboreng.com

No.	Revision	Date	App.

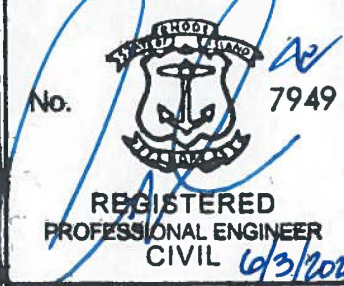


Client/Owner:  
**TOWN OF NORTH KINGSTOWN**  
DEPARTMENT OF PUBLIC WORKS  
2050 DAVISVILLE ROAD  
NORTH KINGSTOWN, RI 02852

Issued for:  
WILSON PARK BOAT RAMP IMPROVEMENTS  
REGULATORY REVIEW  
NOT FOR CONSTRUCTION

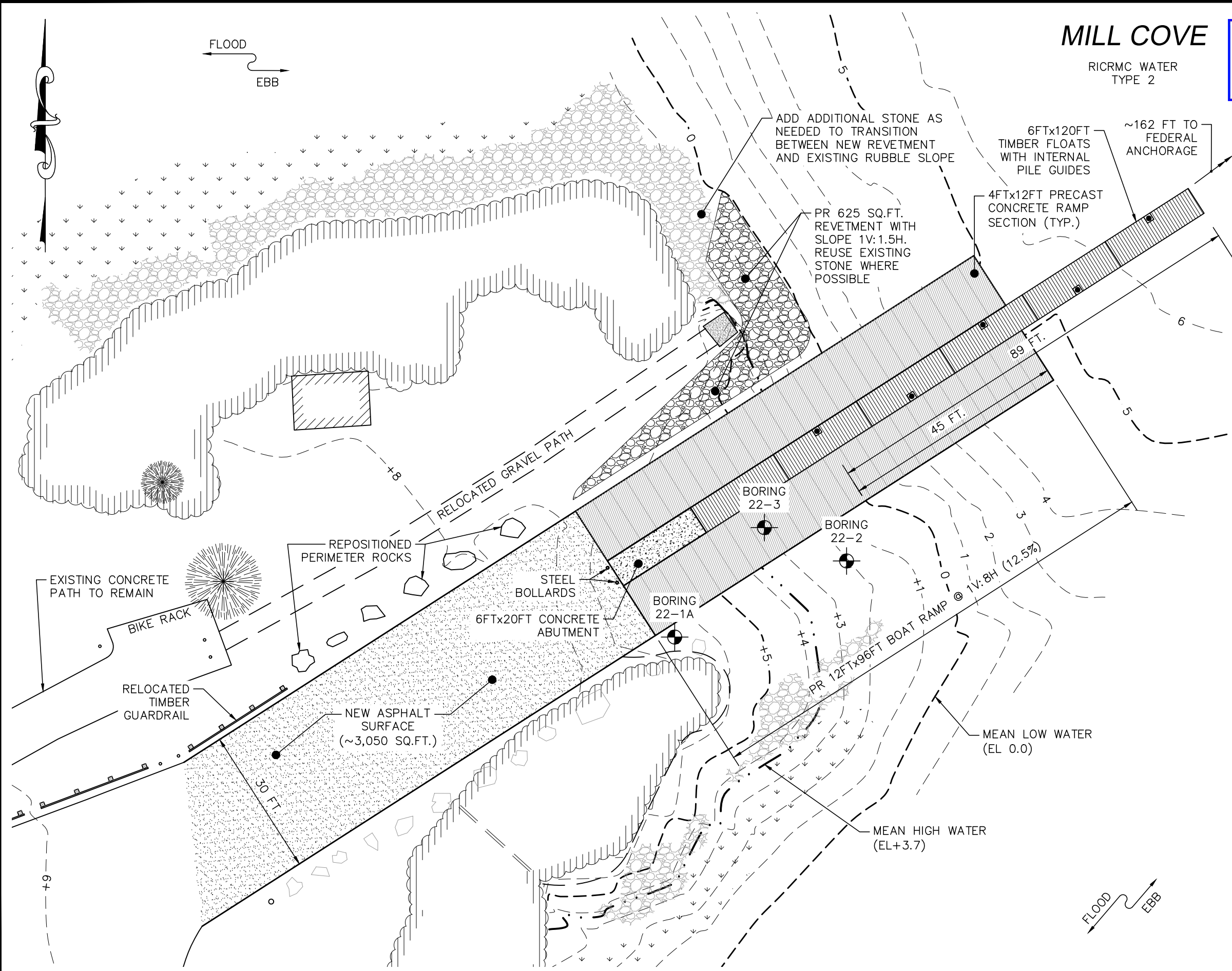
Drawing Title:  
**EXISTING PARKING AREA**

AUGUST J. KREUZKAMP, III



REGISTERED  
PROFESSIONAL ENGINEER  
CIVIL

Date:	5/27/2022
Scale:	1" = 20 FT
Designed By:	AJK
Drawn by:	AJK
Checked by:	
Project Number:	2022-10
Sheet	4 of 7
Drawing Number:	EX-2



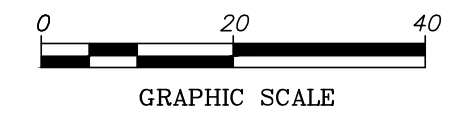
**RECEIVED**  
**6/16/2022**  
COASTAL RESOURCES  
MANAGEMENT COUNCIL



**HARBOR ENGINEERING, LLC**

26 BOSWORTH STREET  
BARRINGTON, RI 02806  
(401) 829-4870  
harboreng.com

No.	Revision	Date	App.



Client/Owner:  
**TOWN OF NORTH KINGSTOWN**  
DEPARTMENT OF PUBLIC WORKS  
2050 DAVISVILLE ROAD  
NORTH KINGSTOWN, RI 02852

Issued for:  
WILSON PARK BOAT RAMP IMPROVEMENTS  
REGULATORY REVIEW  
NOT FOR CONSTRUCTION

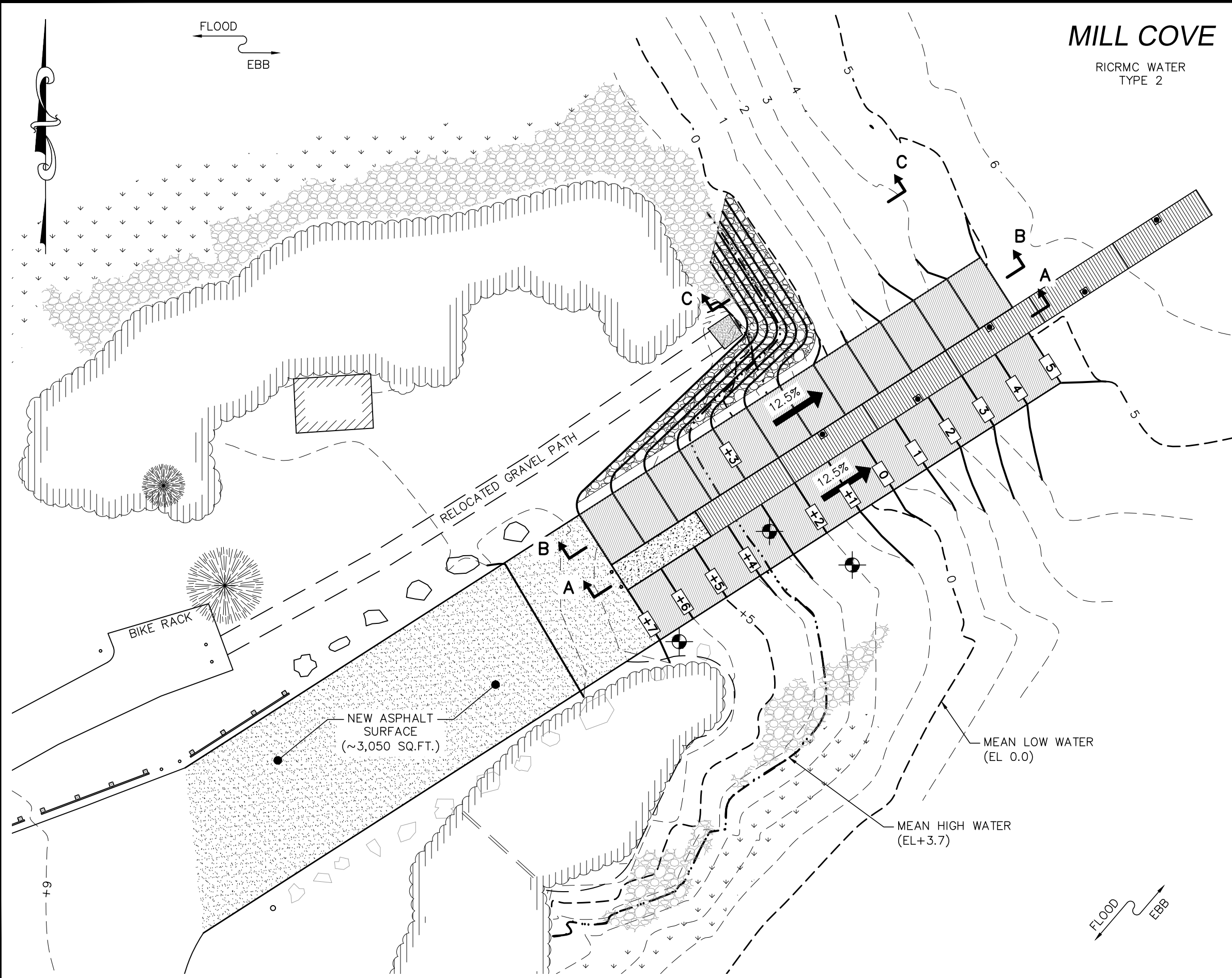
Drawing Title:  
**BOAT RAMP SITE PLAN**  
PROPOSED CONDITIONS  
(MEAN LOW WATER DATUM)

AUGUST J. KREUZKAMP, III

REGISTERED PROFESSIONAL ENGINEER CIVIL

6/3/2022

Date:	5/27/2022
Scale:	1" = 20 FT
Designed By:	AJK
Drawn by:	AJK
Checked by:	
Project Number:	2022-10
Sheet	5 of 7
Drawing Number:	PR-1



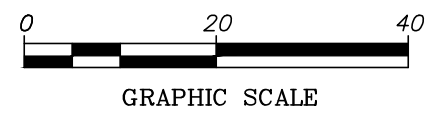
**MILL COVE**  
RICRMC WATER  
TYPE 2

**RECEIVED**  
**6/16/2022**  
COASTAL RESOURCES  
MANAGEMENT COUNCIL



**HARBOR ENGINEERING, LLC**  
26 BOSWORTH STREET  
BARRINGTON, RI 02806  
(401) 829-4870  
harboreng.com

No.	Revision	Date	App.



Client/Owner:  
**TOWN OF NORTH KINGSTOWN**  
DEPARTMENT OF PUBLIC WORKS  
2050 DAVISVILLE ROAD  
NORTH KINGSTOWN, RI 02852

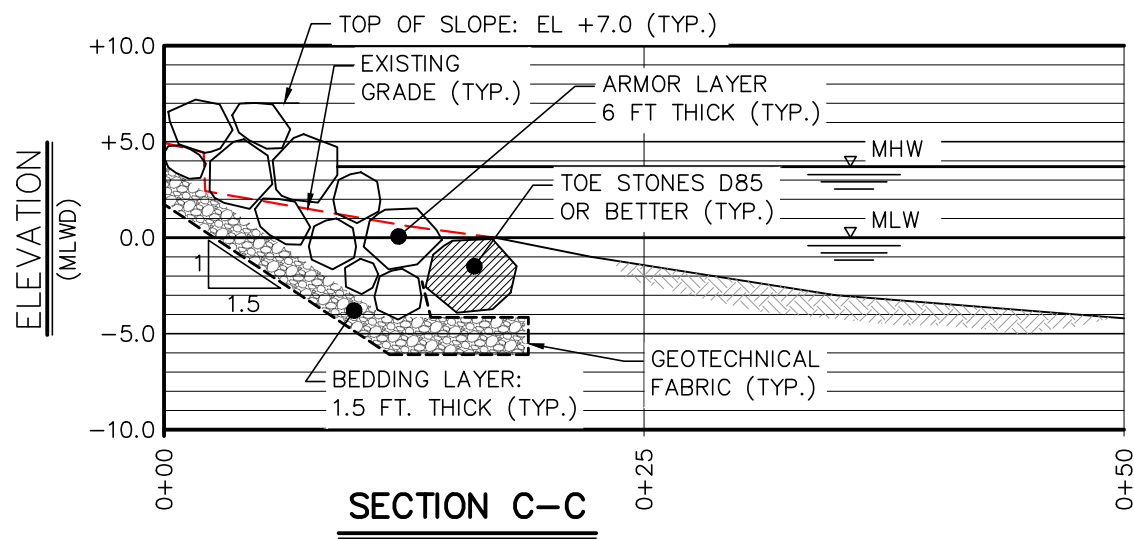
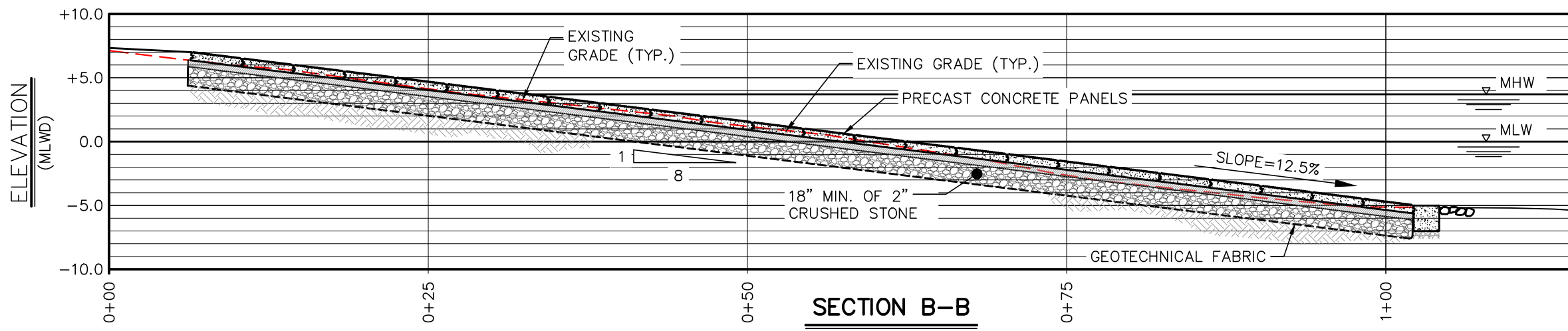
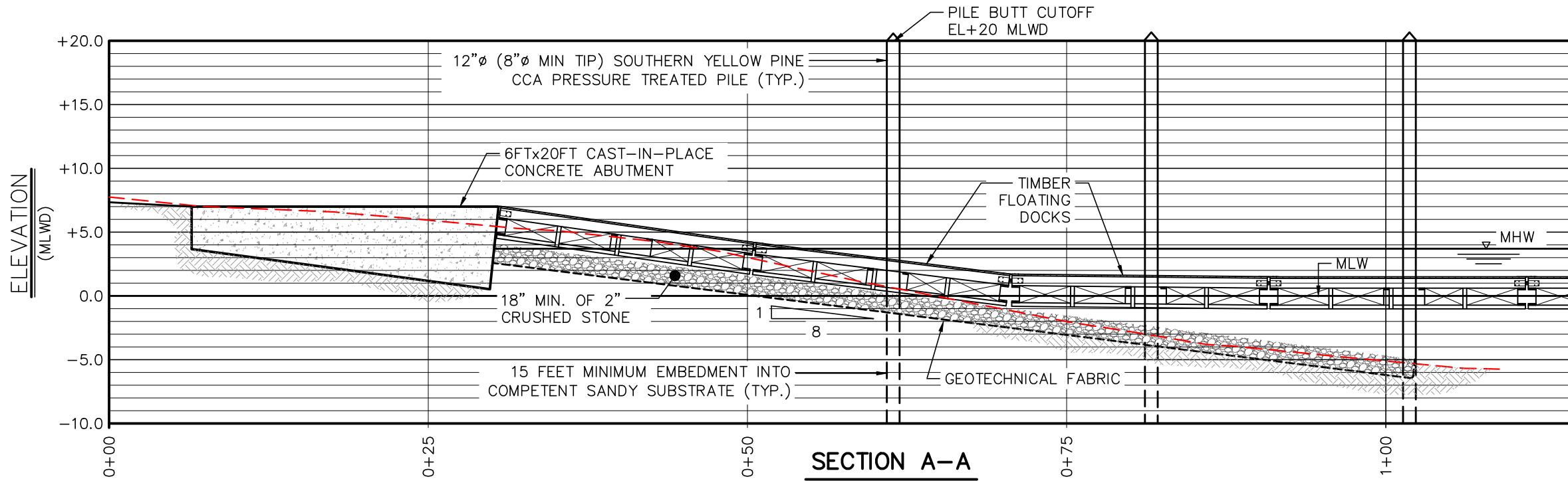
Issued for:  
WILSON PARK BOAT RAMP IMPROVEMENTS  
REGULATORY REVIEW  
NOT FOR CONSTRUCTION

Drawing Title:  
**GRADING PLAN**  
PROPOSED CONDITIONS  
(MEAN LOW WATER DATUM)

**AUGUST J. KREUZKAMP, III**  
No. **7949**  
REGISTERED PROFESSIONAL ENGINEER CIVIL  
6/3/2022

Date:	5/27/2022
Scale:	1" = 20 FT
Designed By:	AJK
Drawn by:	AJK
Checked by:	
Project Number:	2022-10
Sheet	6 of 7
Drawing Number:	PR-2





**TABLE 2: STONE GRADATION TABLE**

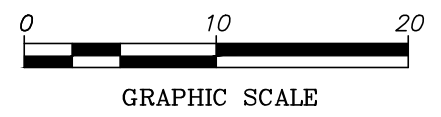
ARMOR LAYER			BEDDING LAYER	
% LESS BY WEIGHT	WEIGHT (TONS.)	DIAM. (FT.)	% LESS BY WEIGHT	DIAM. (IN.)
0 (MIN)	0.3	1.5	0 (MIN)	2
15	0.8	2.1	15	3
50	1.9	2.9	50	4
85	3.7	3.6	85	6
100 (MAX)	7.6	4.5	100 (MAX)	7

**RECEIVED**  
6/16/2022  
COASTAL RESOURCES  
MANAGEMENT COUNCIL



**HARBOR ENGINEERING, LLC**  
26 BOSWORTH STREET  
BARRINGTON, RI 02806  
(401) 829-4870  
harboreng.com

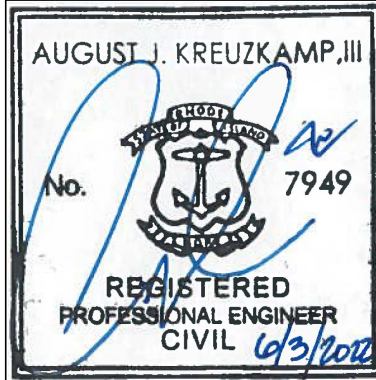
No.	Revision	Date	App.



Client/Owner:  
**TOWN OF NORTH KINGSTOWN**  
DEPARTMENT OF PUBLIC WORKS  
2050 DAVISVILLE ROAD  
NORTH KINGSTOWN, RI 02852

Issued for:  
**WILSON PARK BOAT RAMP IMPROVEMENTS  
REGULATORY REVIEW  
NOT FOR CONSTRUCTION**

Drawing Title:  
**CROSS SECTIONS**  
BOAT RAMP & ARMOR STONE SLOPE  
(MEAN LOW WATER DATUM)



Date: 5/27/2022  
Scale: 1" = 10 FT  
Designed By: AJK  
Drawn by: AJK  
Checked by:  
Project Number: 2022-10  
Sheet 7 of 7  
Drawing Number: X-1

Attachment D  
CRMC Standards



**Attachment D: RICRMP Standards**

The following items are provided to address the Category B requirements outlined in RICRMP 1.3.1A (formerly 300.1):

- 1) *Demonstrate the need for the proposed activity or alteration;*

**The existing concrete boat ramp is only wide enough to accommodate one vessel at a time, which can cause long queues. Additionally, the current facility is not easy to use since the floating docks are located about 30ft from the boat ramp. This design does not allow for a fluid transition from launching a vessel to safely securing it on the floating docks. The proposed concrete boat ramp will be wider to allow two vessels to launch/haul simultaneously. The existing floats are to be removed and new floats installed along the proposed boat ramp so that the transition from launching to docking is easier. Lastly, the stone revetment in the vicinity of the existing floats will need to be reinforced once the docks have been removed.**

- 2) *Demonstrate that all applicable local zoning ordinances, building codes, flood hazard standards, and all safety codes, fire codes, and environmental requirements have or will be met; local approvals are required for activities as specifically prescribed for nontidal portions of a project in §§ 1.3.1(B), (C), (F), (H), (I), (K), (M), (O) and (Q) of this Part; for projects on state land, the state building official, for the purposes of this section, is the building official;*

**The proposed activities are consistent with the various codes and standards that are applicable for this type of project. With this application, please find the local Building/Zoning Official's required sign-off for the proposed work.**

- 3) *Describe the boundaries of the coastal waters and land area that are anticipated to be affected;*

**The facility is in CRMC Type 2 waters and is close to the border with Type 1 waters. The shoreline surrounding the existing boat ramp is made up of rubble slopes and stone revetments with tidal vegetation farther away.**

- 4) *Demonstrate that the alteration or activity will not result in significant impacts on erosion and/or deposition processes along the shore and in tidal waters;*

**The proposed activities will not result in significant impacts to erosion and/or deposition because their design is similar to the existing structures. Although the proposed boat ramp is to be slightly wider and longer, and the proposed docks slightly longer, their presence will not have adverse effects on erosion. A boat ramp has been present at the site for more than 30 years and the shoreline has stayed consistent.**

- 5) *Demonstrate that the alteration or activity will not result in significant impacts on the abundance and diversity of plant and animal life;*

**There will be little to no significant impacts on the abundance of plant and animal life because the proposed activities will include structures that have been present at the Site for some time. Additionally, the proposed project will not expand towards the closest vegetation to the south.**

- 6) *Demonstrate that the alteration will not unreasonably interfere with, impair, or significantly impact existing public access to, or use of, tidal waters and/or the shore;*

**The purpose of the Site's facilities is to provide public access to the water. The purpose of the proposed project is to redesign the facility so that it can better provide public access to the water by allowing multiple vessels to launch at one time and creating an easier to use facility.**

- 7) *Demonstrate that the alteration will not result in significant impacts to water circulation, flushing, turbidity, and sedimentation;*

**The proposed activities will not result in significant impacts to water circulation, flushing, turbidity, and sedimentation because much of the project, such as the proposed concrete boat ramp and stone revetment repositioning, is focused on land. The portion of the boat ramp and floating docks that will be in the water will have a minimal footprint which will have little to no effect on water circulation, flushing, turbidity, and sedimentation.**

- 8) *Demonstrate that there will be no significant deterioration in the quality of the water in the immediate vicinity as defined by DEM;*

**The proposed activities will have no impacts to the quality of water in the immediate vicinity of the Site. The proposed docks will be constructed consistent with traditional marine construction methods and materials. Pile driving/rock-socketing will not cause permanent or significant deterioration in the quality of water in the immediate vicinity of the proposed activities.**

- 9) *Demonstrate that the alteration or activity will not result in significant impacts to areas of historic and archaeological significance;*

**The proposed activities will have no impacts to areas of historical or archaeological significance. The Site and its facilities are not within a historic district.**

- 10) *Demonstrate that the alteration or activity will not result in significant conflicts with water-dependent uses and activities such as recreational boating, fishing, swimming, navigation, and commerce;*

**The proposed activities will not result in significant conflicts with water-dependent uses because the goal of the Site's facilities is to provide public access to the water for the sake of water-dependent activities.**

*11) Demonstrate that measures have been taken to minimize any adverse scenic impact (see § 1.3.5 of this Part).*

**Since the Site already contains a boat ramp and floating docks, there will be little change to the existing local scenery.**

Attachment E

Property Owner Information





# Town of North Kingstown, Rhode Island

June 1, 2022

To Whom It May Concern:

This is to certify that property at 8150 Post Road known as North Kingstown Assessor's Plat 118 Lot 32 is owned by North Kingstown, Town of. This property was acquired on January 6, 1958 and the deed is recorded in Book 140 Page 7 and as of the above date has not transferred ownership.

Deborah Garneau  
Assessor



**Attachment F**

**Local Building & Zoning Acknowledgement**





TO: Coastal Resources Management Council  
4808 Tower Hill Road Suite 3  
Wakefield, RI 02879  
Phone: (401) 783-3370



FROM: Building Official DATE: \_\_\_\_\_

SUBJ: Application of: Boat ramp improvements

Location: Mill Cove in Wickford Cove

Address: 8150 Post Road, North Kingstown Plat No. 118 Lot No. 32

To Construct: To reconstruct a concrete boat ramp, reposition the existing stone revetment, remove the existing floating docks, and install new floating docks.

I hereby certify that I have reviewed \_\_\_\_\_ foundation plan(s).

\_\_\_\_\_ plan(s) for entire structure

X site plans

Titled: Wilson Park Boat Ramp Improvements

Date of Plan (last revision): 5/27/2022

and find that the issuance of a local building permit is not required as in accordance with Section 105 of the Rhode Island State Building Code.

\_\_\_\_\_ and find that the issuance of a local building permit is required. I hereby certify that this permit shall be issued once the applicant demonstrates that the proposed construction/activity fully conforms to the applicable requirements of the RISBC.

\_\_\_\_\_ and find that a Septic System Suitability Determination (SSD) must be obtained from the RI Dept. of Environmental Management.

\_\_\_\_\_ and find that a Septic System Suitability Determination (SSD) need not be obtained from the RI Dept. of Environmental Management.

\_\_\_\_\_ and find that said plans conform with all elements of the zoning ordinance, and that if said plans require zoning board approval, that the applicant has secured such approval and that the requisite appeal period has passed with no appeal filed or appeal is final. The Zoning Board approval shall expire on \_\_\_\_\_.

Donald Beck 6/6/22

Building Official's Signature Date

\_\_\_\_\_ and find that said plans conform with all elements of the zoning ordinance, and that if said plans require zoning board approval, that the applicant has secured such approval and that the requisite appeal period has passed with no appeal filed or appeal is final.

F.M. Tomson 6/6/22

Zoning Officer's Signature Date

