



State of Rhode Island and Providence Plantations
Coastal Resources Management Council
 Oliver H. Stedman Government Center
 4808 Tower Hill Road, Suite 3
 Wakefield, RI 02879-1900

(401) 783-3370
 Fax (401) 783-2069

APPLICATION FOR STATE ASSENT

To perform work regulated by the provisions of Chapter 279 of the Public Laws of 1971 Amended.

Project Location <u>79 Boston Neck Road, Narragansett</u> <small style="display: flex; justify-content: space-between; width: 100%;"> No. Street City/Town </small>	File No. (CRMC USE ONLY) <div style="text-align: center; color: blue; font-weight: bold; font-size: 1.2em;">2022-02-065</div>
Owner's Name <u>Town of Narragansett</u>	Plat: B Lot(s): 6
Mailing Address <u>25 Fifth Avenue Narragansett 02882</u> <small style="display: flex; justify-content: space-between; width: 100%;"> Address City/Town, State Zip Code </small>	Owner's Contact: Number: 401.782.0606 Email Address: mkershaw@narragansettri.gov
Contractor RI Reg. # <u>N/A</u> Address _____	Email address: Tel. No. N/A
Designer <u>Frank Karpowicz Architects</u> <u>26 South County Commons Way, Unit A5, Wakefield, RI 02879</u> <small style="display: flex; justify-content: space-between; width: 100%;"> Address </small>	Tel. No. 401.782.4604
Name of Waterway <u>Atlantic Ocean</u>	Estimated Project Cost (EPC): \$200,000.00 Application Fee: _____
Provide Below a Description of Work As Proposed (required). Construct a 36'x36' roof over a portion of the existing deck that is frequently serviced by a removable tent. This auxiliary space will not increase the occupancy of the facility. This property is serviced by municipal sewers. (Please see attached narrative for more detail)	

Have you or any previous owner filed an application for and/or received an assent for any activity on this property? (If so please provide the file and/or assent numbers): 2019-12-030; 2019-02-027; 2017-02-038; Complete List Attached

Is this site within a designated historic district? YES NO
 Is this application being submitted in response to a coastal violation? YES NO

If YES, you must indicate NOV or C&D Number: _____

Name/ mailing addresses of adjacent property owners whose property adjoins the project site. Accurate mailing addresses will insure proper notification. MP Applicant must initial to certify accuracy of adjacent property owners and accuracy of mailing addresses.
111 Boston Neck Road, Owned by The Dunes Club, Mailing Address: P.O. Box 749, Narragansett RI 02882

STORMTOOLS (<http://www.beachsamp.org/resources/stormtools/>) is a planning tool to help applicants evaluate the impacts of sea level rise and storm surge on their projects. The Council encourages applicants to use STORMTOOLS to help them understand the risk that may be present at their site and make appropriate adjustments to the project design.

NOTE: The applicant acknowledges by evidence of their signature that they have reviewed the Rhode Island Coastal Resources Management Program, and have, where possible, adhered to the policies and standards of the program. Where variances or special exceptions are requested by the applicant, the applicant will be prepared to meet and present testimony on the criteria and burdens of proof for each of these relief provisions. The applicant also acknowledges by evidence of their signature that to the best of their knowledge the information contained in the application is true and valid. If the information provided to the CRMC for this review is inaccurate or did not reveal all necessary information or data, then the permit granted under this application may be found to be null and void. Applicant requires that as a condition to the granting of this assent, members of the CRMC or its staff shall have access to the applicant's property to make on-site inspections to insure compliance with the assent. This application is made under oath and subject to the penalties of perjury.

Michelle Kershaw, Parks and Recreations Director

Owner Name (PRINT) _____ Owner's Signature (SIGN) M. K. Kershaw

PLEASE REVIEW REVERSE SIDE OF APPLICATION FORM



TOWN OF NARRAGANSETT
 ENGINEERING DEPARTMENT
 25 FIFTH AVENUE
 NARRAGANSETT, RI 02882
 (401) 789-1044
 FAX (401) 782-0669

LETTER OF TRANSMITTAL
 FAX COVER SHEET

DATE: February 27, 2023
 ATTENTION:
 RE: CRMC Assent Application
 Narragansett Beach Clubhouse
 79 Boston Neck Road

TO: Coastal Resource Management Council
 4808 Tower Hill Road; Suite 3
 Wakefield, RI 02879

FAX # _____ PAGES: _____

WE ARE SENDING YOU Attached Under separate cover via the following items:

- Shop Drawings Prints Plans Samples
 Specifications Change Order Copy of Letter

COPIES	DATE	NO.	DESCRIPTION
4	February 7, 2023		Assent Application
4	January 18, 2023		Tax Assessor's Proof of Ownership
4	January 31, 2023		Assent Application Narrative
4	January 17, 2023		Building Official's Letter of Permit Certification
4	January 11, 2023		Site Plan with Locus Map
5	February 27, 2023		Architectural Plan Set (1 Full Size, 4 Reduced)

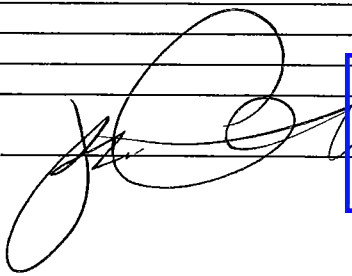
THESE ARE TRANSMITTED AS CHECKED BELOW:

- FOR APPROVAL APPROVED AS SUBMITTED FOR YOUR USE
 AS REQUESTED APPROVED AS NOTED FOR REVIEW
 RETURNED FOR CORRECTIONS RESUBMIT _____ COPIES FOR APPROVAL
 SUBMIT _____ COPIES FOR APPROVAL RETURN _____ CORRECTED PRINTS

REMARKS: Please let me know if you need any additional information or material.

Joseph M. Amatore
 Project Engineer
 (401)782-0636
 jamatore@narragansettri.gov

COPY TO: _____ SIGNED: _____




STATEMENT OF DISCLOSURE AND APPLICANT AGREEMENT AS TO FEES

The fees which must be submitted to the Coastal Resources Management Council are based upon representations made to the Coastal Resources Management Council by the applicant. If after submission of this fee the Coastal Resources Management Council determines that an error has been made either in the applicant's submission or in determining the fee to be paid, the applicant understands that additional fees may be assessed by the Coastal Resources Management Council. These fees must be paid prior to the issuance of any assent by the Coastal Resources Management Council.

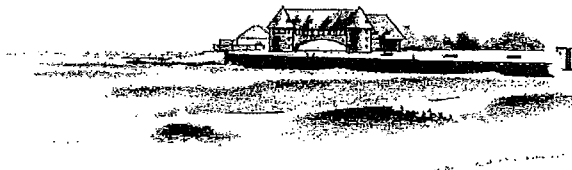
The applicant understands the above conditions and agrees to comply with them.

M. K. Kershaw
Owner Signature

2/7/2023
Date

Michelle Kershaw, Parks and Recreations Director, 25 Fifth Avenue, Narragansett RI 02882
Print Name and Mailing Address





TOWN OF NARRAGANSETT

Town Hall • 25 Fifth Avenue • Narragansett, RI 02882-3699
Tel. (401)-782-0616 TDD (401)-782-0610 Fax (401)-788-2555

Office of the Tax Assessor

January 18, 2023

Coastal Resources Management Council
Oliver Stedman Government Center
4800 Tower Hill Road
Wakefield, RI 02879

Dear Sir/Madam:

According to our records, this is to verify that the Town of Narragansett is the owner of Assessor's Map B Lot 6 located at 79 Boston Neck Road in the Town of Narragansett.

Sincerely,

A handwritten signature in cursive script that reads "Erica Brooks".

Erica Brooks
Tax Assessor Clerk



TO: Coastal Resources Management Council
4808 Tower Hill Road Suite 3
Wakefield, RI 02879
Phone: (401) 783-3370



FROM: Building Official

DATE: JANUARY 17, 2023

SUBJ: Application of: TOWN OF NARRAGANSETT

Location: 79 BOSTON NECK ROAD
NARRAGANSETT

Address: 79 BOSTON NECK ROAD Plat No. B Lot No. 6

To Construct: ROOF OVER A PORTION OF THE EXISTING DECK

I hereby certify that I have reviewed _____ foundation plan(s).

plan(s) for entire structure
 site plans

Titled: NORTH BEACH CLUBHOUSE - FRANK KAPPOWICZ ARCHITECTS

Date of Plan (last revision): 11-4-2022

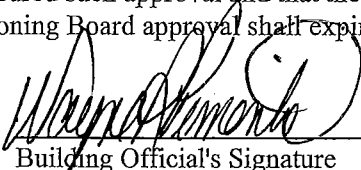
_____ and find that the issuance of a local building permit is not required as in accordance with Section _____ of the Rhode Island State Building Code.

and find that the issuance of a local building permit is required. I hereby certify that this permit shall be issued once the applicant demonstrates that the proposed construction/activity fully conforms to the applicable requirements of the RISBC.

_____ and find that a Septic System Suitability Determination (SSD) must be obtained from the RI Dept. of Environmental Management.

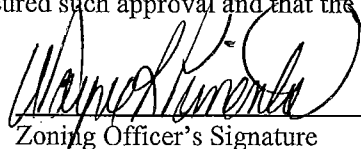
and find that a Septic System Suitability Determination (SSD) need not be obtained from the RI Dept. of Environmental Management.

and find that said plans conform with all elements of the zoning ordinance, and that if said plans require zoning board approval, that the applicant has secured such approval and that the requisite appeal period has passed with no appeal filed or appeal is final. The Zoning Board approval shall expire on N.A.



1-17-2023
Date

and find that said plans conform with all elements of the zoning ordinance, and that if said plans require zoning board approval, that the applicant has secured such approval and that the requisite appeal period has passed with no appeal filed or appeal is final.



1-17-2023
Date



ENGINEERING DEPARTMENT
Tel. No. (401) 782-0640

January 31, 2022

Narrative
CRMC Assent Application
Narragansett North Beach Clubhouse

Description of existing facility: Town of Narragansett's North Beach Clubhouse building located at 79 Boston Neck Road (Assessor's Plat B, Lot 6), is a timber framed structure elevated on wood pilings and original constructed in 1970. It has undergone renovations in 1989 to improve accessibility from the exterior via ramp and reconfiguration of the interior layout to improve functionality. The deck area was expanded to what it is today in 2002 (File# 2002-05-038) to enable hosting of community events such as RI Philharmonic Orchestra and better accommodate private rental and public functions. The facility is service by a connection to the Town of Narragansett sewer system and water is provided by Veolia Water with both services being upgraded in 2013 (File #2013-04-056)

Public use and benefit of the facility: The North Beach Clubhouse hosts a variety of public events including the Rhode Island Philharmonic Orchestra and a Monday Night concert series through the summer months that are free admission and open to the public. The Town hosts a movie night on the beach at the adjacent North Beach Cabanas and the Clubhouse deck hosts local vendors on those nights. The Narragansett Lions Club uses the clubhouse to host free dinner on Thanksgiving and Christmas day as well as the "Pier Plunge" on New Year's Day. The facility is also a popular venue for intimate weddings, bridal showers, rehearsal dinners, job fairs, craft fairs, High School graduations, military graduations, yoga on the deck, corporate functions, holiday parties, fundraisers, and private receptions year-round.

Description of proposed work: The proposed work consists of constructing a wood framed roof employing a prefabricated truss system over a portion of the existing wood deck on the easterly side of the clubhouse building. The proposed roof dimensions will be 36' x 36' as shown on the attached plan. The Proposed area will remain open on the south and east sides while being adjacent to the existing exterior walls of the clubhouse on the west and north sides of the addition. No earth disturbances are being proposed and no new pilings are required to support the additional structure. All construction will be limited to the deck area aside from accessing the substructure to make structural attachment to existing beams. Access to the deck for construction materials, tools, and contractor will be via existing concrete sidewalk on the south side of the building and access to the substructure will be via access panels in the existing skirting. The proposed roof will integrate into the existing ridge line of the roof and continue the design aesthetic of the original architecture. The proposed work will consist of a roof only to provide weather protection for events on the existing deck and be confined to the existing footprint.



Description of equipment to be used, construction methods, access routes: Standard construction equipment typical of wood carpentry construction will be utilized, including power hand tools. The proposed work will be constructed by hand by a carpentry crew numbering 3 or 4 carpenters. No heavy equipment is anticipated to be used other than a motorized lift to deliver roofing materials to the work area. Access to the work area for equipment, personnel, and materials will be via the existing concrete walkway. If hoisting is required for the placement of prefabricated trusses, the lift would remain in the parking lot on the west side of the building.



File No: Narragansett Name: 79 Boston Neck Plat: Lot: Decision Date:

Page 1 of 1 (records 21 of 21)

1

Applications Found

File No	Town	First Name	Last Name	Location	Plat	Lot	Decision Date	
2019-12-030	Narragansett	Town of Narragansett		79 Boston Neck Road	B	6	Dec 30, 2019	Details
2019-02-027	Narragansett	Town of Narragansett		79 Boston Neck Road	B	6	Feb 26, 2019	Details
2017-02-038	Narragansett	Town of Narragansett		79 Boston Neck Road	B	6	Feb 21, 2017	Details
2016-08-074	Narragansett	Town of Narragansett		79 Boston Neck Road (Town Beach)	B	6	Aug 24, 2016	Details
2015-03-055	Narragansett	Town of Narragansett		79 Boston Neck Road	B	6	Mar 24, 2015	Details
2015-02-053	Narragansett	Town of Narragansett		79 Boston Neck Road	B	6	Feb 20, 2015	Details
2014-12-054	Narragansett	Town of Narragansett		79 Boston Neck Road	B	6	Jan 09, 2015	Details
2014-04-043	Narragansett	Town of Narragansett		79 Boston Neck Road	B	6	Apr 29, 2014	Details
2013-04-056	Narragansett	Town of Narragansett		79 Boston Neck Road	B	6	Apr 11, 2013	Details
2012-12-041	Narragansett	Town of Narragansett		39 & 79 Boston Neck Road	B C	6 459-A	Feb 06, 2013	Details
2012-11-039	Narragansett	Town of Narragansett		79 Boston Neck Road	B	6	Nov 02, 2012	Details
2012-03-083	Narragansett	Town of Narragansett		79 Boston Neck Road	B	6	Mar 28, 2012	Details
2012-01-045	Narragansett	Town of Narragansett		79 Boston Neck Road	B	6	Feb 08, 2012	Details
2011-09-139	Narragansett	Town of Narragansett		79 Boston Neck Road	B	6	Nov 15, 2011	Details
2011-04-082	Narragansett	Town of Narragansett		79 Boston Neck Road	B	6	Apr 21, 2011	Details
2011-04-037	Narragansett	Town of Narragansett		79 Boston Neck Road	B	6	Apr 11, 2011	Details
2011-03-120	Narragansett	Town of Narragansett		79 Boston Neck Road	B	6	Apr 04, 2011	Details
2011-02-039	Narragansett	Town of Narragansett		79 Boston Neck Road	B	6	Feb 17, 2011	Details
2010-06-120	Narragansett	Town of Narragansett		79 Boston Neck Road	B	6		Details
2002-05-038	Narragansett	Town of Narragansett		79 Boston Neck Road	B	6	May 15, 2002	Details
1994-03-054	Narragansett	Town of Narragansett		79 Boston Neck Road	B	6	Jun 30, 1994	Details

Page 1 of 1 (records 21 of 21)





Narragansett Beach Clubhouse

79 Boston Neck Road

Project Area Photo #1





Narragansett Beach Clubhouse

79 Boston Neck Road

Project Area Photo #2





Narragansett Beach Clubhouse

79 Boston Neck Road

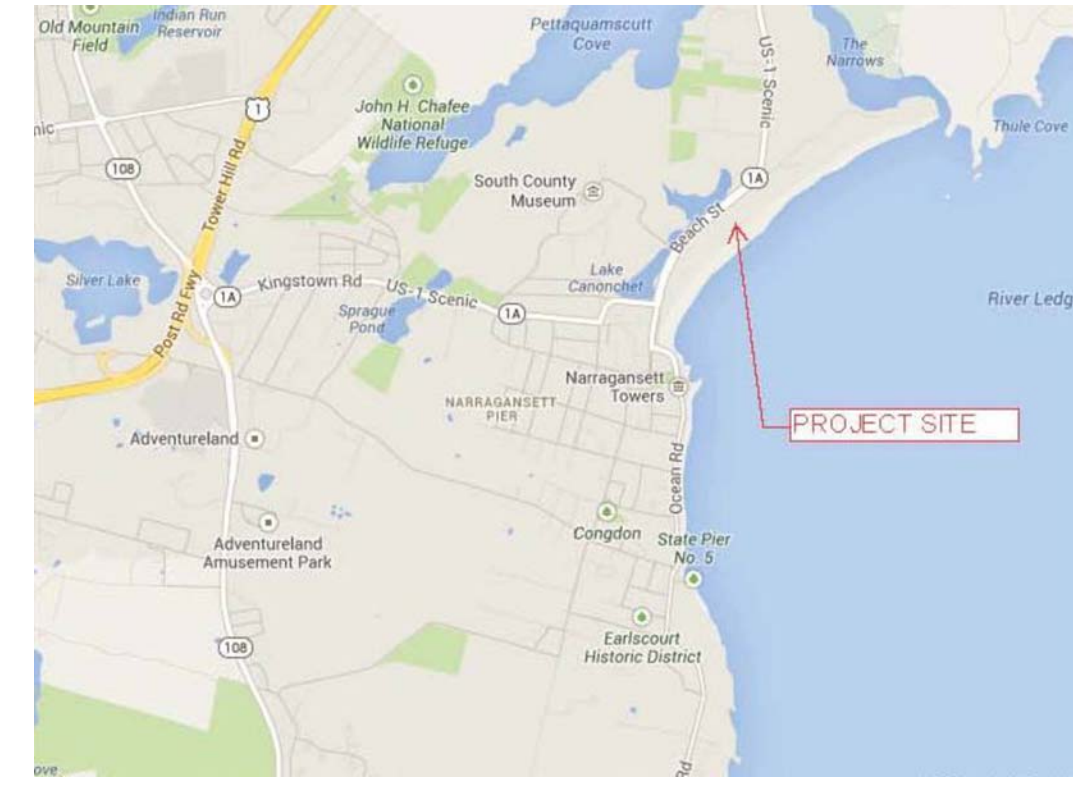
Coastal Feature Photo #1



NORTH BEACH CLUBHOUSE PORCH ROOF ADDITION

79 BOSTON NECK RD. NARRAGANSETT, RI

SYMBOLS & MATERIAL LEGEND		
	DOOR No.	
	WINDOW TYPE	
	WALL TYPE	
	COLUMN GRID	
	ELEVATION	
	CONCEALED LINE ABOVE	
	CONCEALED LINE BELOW	
	CENTER LINE	
	DEMO OR REMOVED LINE	
	ROOM NUMBER	
	REVISION NUMBER	
	WALL ELEVATION	
	WALL SECTION	
	BUILDING SECTION	
	DETAIL LETTER	
	DETAIL SHEET LOCATION	
	AREA DETAIL	
	CUT LINE	
	PROPERTY LINE	
	EXISTING CONTOUR	
	NEW CONTOURS	
	BATT INSULATION	
	RIGID INSULATION	
	2 X CONTINUOUS	
	2 X BLOCKING	
	BRICK	
	POURED CONCRETE	
	PLASTER OR MORTAR	
	CONCRETE MASONRY UNIT	
	FINISHED WOOD	
	STEEL	
	PLYWOOD	
	GYPSON BOARD	
	EXISTING	
	GRAVEL	
	SOIL	



LOCUS MAP
N.T.S.

DRAWING LIST

- A0.0 TITLE SHEET / SITE PLAN
- AD1.0 EXISTING/ DEMOLITION FLOOR PLAN
- AD2.1 EXISTING ELEVATIONS
- A1.1 FIRST FLOOR PLAN
- A1.2 ROOF PLAN
- A1.3 REFLECTED CEILING PLAN
- A2.1 EXTERIOR ELEVATIONS
- A3.1 BUILDING SECTIONS
- A3.2 SECTIONS AND DETAILS
- A4.1 SPECIFICATIONS
- S1.0 GROUND FLOOR PLAN AND FOUNDATION DIAGRAM
- S1.1 ROOF FRAMING PLAN
- S2.1 STRUCTURAL SECTIONS & DETAILS

ARCHITECT:
FRANK KARPOWICZ ARCHITECTS
26 SOUTH COUNTY COMMONS WAY,
UNIT A5
WAKEFIELD, RI 02879
TEL. (401) 782-4604

STRUCTURAL:
TRINITY ENGINEERING GROUP
CHERRY LANE PROFESSIONAL CENTER
55 CHERRY LANE
WAKEFIELD, RI 02879
TEL. : (401) 284 - 4171

PROJECT NOTES:
Type of Construction: Type 5B, Wood Frame, unprotected.
Occupancy: A-3 (ASSEMBLY), COMMUNITY HALL
New Roof Footprint area = 1,260 sf.
Wind Design Speed Zone: 120 MPH

SCOPE OF WORK:
Construct A NEW PORCH ROOF EXTENSION OVER EXISTING CLUB HOUSE DECK. The new structures shall be built on existing wood piles and timber structure and connected to existing Club House Porch Roof. Electrical work includes porch ceiling lighting, three exterior outlets and security lighting and cameras - No Fire Alarm required.

NOTES TO BIDDERS:
Refer to accompanying town of Narragansett's "Bid Instructions and Procedures" for Allowances.

ALTERNATE NO:1
REMOVE ENTIRE ASPHALT ROOF SHINGLE ROOFING AND REPLACE WITH NEW.REFER TO DRAWING A1.2



A SITE PLAN
N.T.S.

GENERAL NOTES:

1. By executing the Contract, the Contractor represents that he visited the site, familiarized himself with the local conditions, codes and owner requirements under which the work will be performed, and correlated his observations with the requirements of the Contract Documents. This shall be done prior to bid.
2. The intent of the Contract Documents is to include all items necessary for the proper execution and completion of the work. The Contract Documents are complimentary, and what is required by any one shall be as binding as if required by all. Work not covered in the Contract Documents will not be required unless it is consistent therewith and is reasonably inferable therefrom as being necessary to produce the intended results. Words and abbreviations that have well known technical or trade meanings are used in the Contract Documents in accordance with such recognized meanings.
3. The drawings and specifications are intended to be fully explanatory and supplementary. However, should anything be shown, indicated or specified on one and not the other, it shall be done.
4. Should either the drawings and the specifications, or any particular specification, and the General Conditions contradict each other in any point, or require clarification, the Contractor must call the same to the attention of the architect, and his decision shall be obtained prior to the submission of bids.
5. Prospective Contractors and subcontractors shall secure all data at the site of the proposed construction, such as grades, access, storage, location of public services and other information which will have a bearing on making their proposals or on the execution of the work if awarded the Contract, and no allowance will be made for the failure of the Contractor to obtain such on-site information prior to bidding.
6. Should any error or inconsistency appear in the drawings or specifications, the Contractor, before proceeding with the work, must clearly bring the same to the attention of the Architect for proper adjustment and in no case proceed with the work neither in uncertainty nor with insufficient drawings.
7. The contractor and each subcontractor shall be responsible for the verification of all measurements at and in the proposed construction building or site or surroundings. No charge or compensation shall be allowed due to differences between actual dimensions and dimensions indicated on the drawings. Any such discrepancy in dimensions that may be found shall be submitted to the Owner and Architect for their consideration before the Contractor proceeds with the work in the affected area.
8. Contractors shall follow sizes in the specifications of figures on drawings in preference to scale measurements and follow detail drawings in preference to general drawings, and follow actual field conditions.
9. Where it is obvious that a drawing illustrates only part of a given work or a number of items, the remainder shall be deemed repetitious and so constructed.
10. The Architect does not warrantee or guarantees that the area of work is free of hazardous material. Should hazardous material be encountered, the contractor shall take appropriate action as determined by the State of Rhode Island.



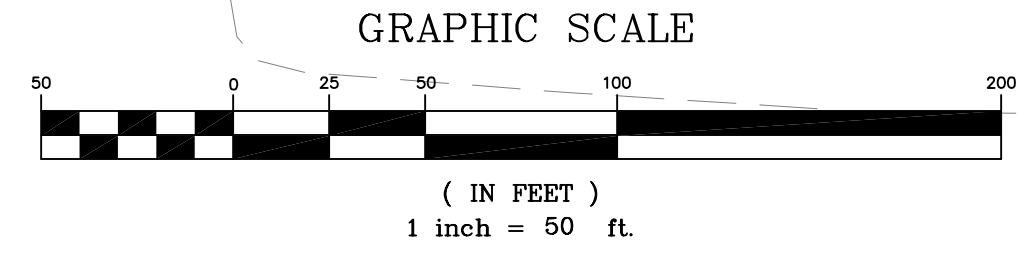
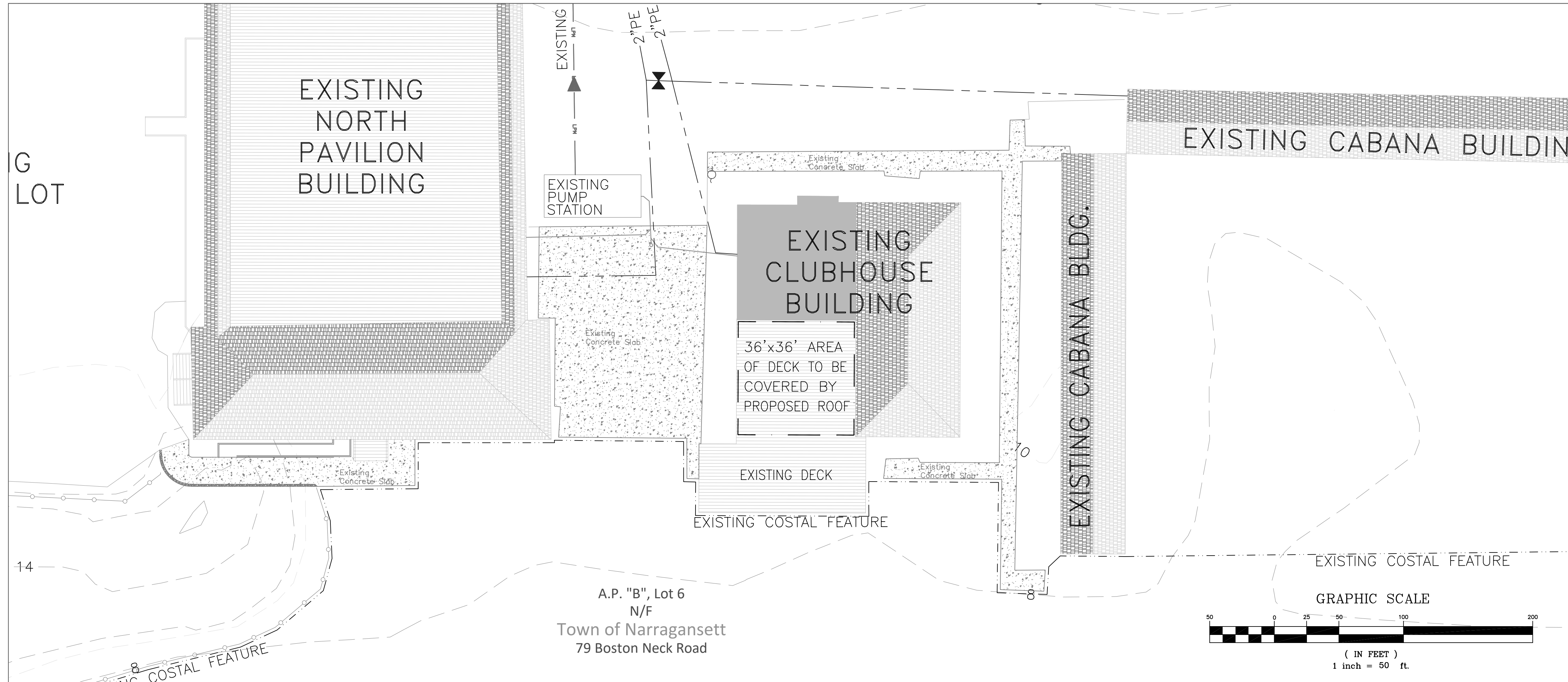
PROGRESS	2-27-2023
No.	Issue
	Date

NORTH BEACH CLUB HOUSE PORCH ROOF ADDITION
79 BOSTON NECK RD
NARRAGANSETT, RI

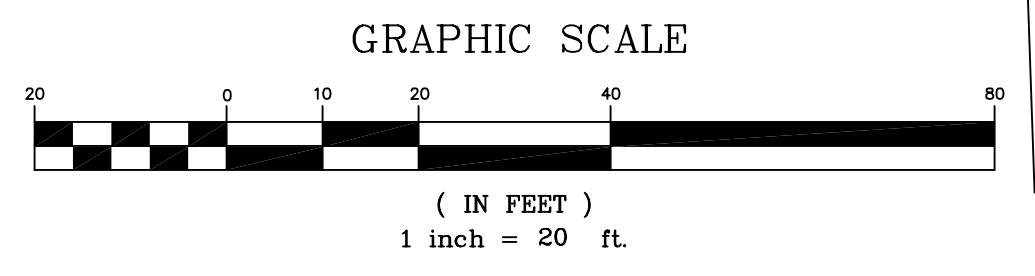
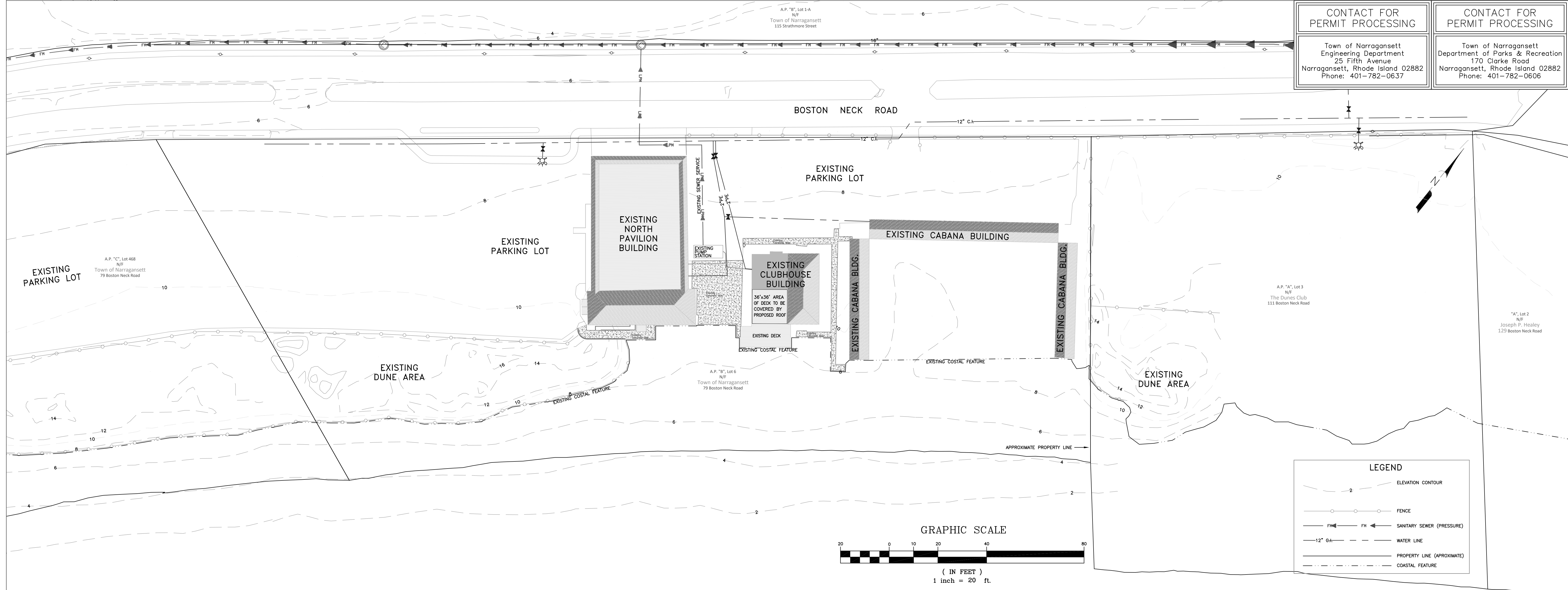
TITLE PAGE / SITE PLAN

Project No. 22141
Drawn By: ZCI EWW
Date: 2 - 27-2023

A0.0



<p>CONTACT FOR PERMIT PROCESSING</p> <p>Town of Narragansett Engineering Department 25 Fifth Avenue Narragansett, Rhode Island 02882 Phone: 401-782-0637</p>	<p>CONTACT FOR PERMIT PROCESSING</p> <p>Town of Narragansett Department of Parks & Recreation 170 Clarke Road Narragansett, Rhode Island 02882 Phone: 401-782-0606</p>
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LEGEND	
	ELEVATION CONTOUR
	FENCE
	SANITARY SEWER (PRESSURE)
	WATER LINE
	PROPERTY LINE (APPROXIMATE)
	COSTAL FEATURE

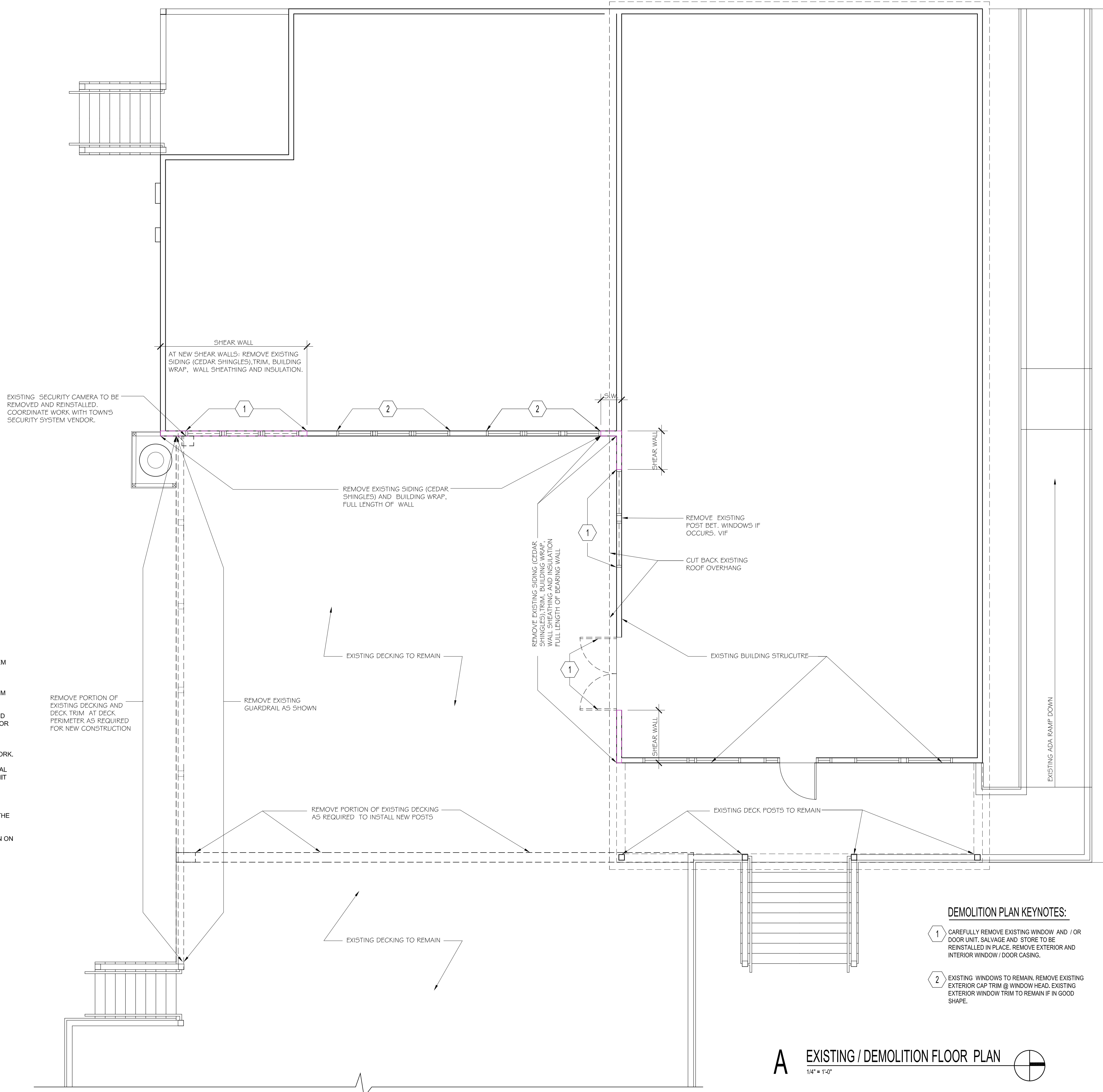
TOWN OF NARRAGANSETT
ENGINEERING DEPARTMENT



DRAWING TITLE:
**PROPOSED DECK ROOF
 NARRAGANSETT NORTH BEACH CLUBHOUSE
 79 BOSTON NECK ROAD, ASSESSOR'S PLAT B, LOT 6**

SCALE:
As Noted

DATE:
FEB 2, 2023



GENERAL DEMOLITION NOTES

1. DEFINITIONS
REMOVE: DETACH ITEMS FROM EXISTING CONSTRUCTION AND LEGALLY DISPOSE OF THEM OFF-SITE, UNLESS INDICATED TO BE REMOVED AND SALVAGED OR REMOVED AND REINSTALLED.

REMOVE AND REINSTALL: DETACH ITEMS FROM EXISTING CONSTRUCTION, PREPARE THEM FOR REUSE, AND REINSTALL THEM WHERE INDICATED.

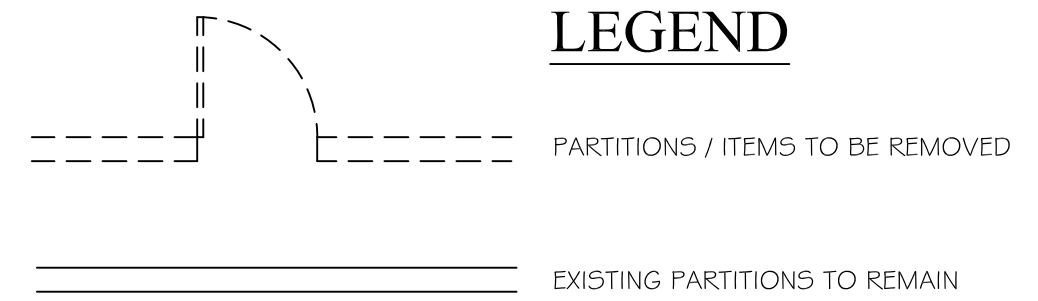
EXISTING TO REMAIN: EXISTING ITEMS OF CONSTRUCTION THAT ARE NOT TO BE REMOVED AND THAT ARE NOT OTHERWISE INDICATED TO BE REMOVED, REMOVED AND SALVAGED, OR REMOVED AND REINSTALLED.

2. SELECTIVE DEMOLITION INCLUDES, BUT IS NOT LIMITED TO, REMOVAL AND LEGAL DISPOSAL OF EQUIPMENT AND SYSTEMS MADE OBSOLETE AND/OR REPLACED BY NEW WORK. SELECTIVE DEMOLITION INCLUDES REMOVAL AND RELOCATION OR RE-INSTALLATION, DISCONNECTIONS AND RE-CONNECTIONS OF SERVICES, SUPPORT AND SUBSEQUENT FINAL SUPPORTS, TEMPORARY CAPPING, AND RE-ROUTING OF TEMPORARY SERVICES TO PERMIT NEW OR RENOVATION WORK TO PROCEED.

3. THE DEMOLITION WORK INDICATED ON THE DRAWINGS IS INTENDED TO ASSIST THE CONTRACTOR AND GIVE GENERAL INFORMATION. NOT ALL DEMOLITION OR TEMPORARY CONNECTIONS ARE SHOWN. PRIOR TO SUBMITTING BID, THE CONTRACTOR SHALL VISIT THE PROJECT SITE AND REVIEW EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE TO DETERMINE THE FULL EXTENT OF SELECTIVE DEMOLITION, AND INCLUDE ALL REQUIRED SELECTIVE DEMOLITION WORK IN HIS BID, WHETHER OR NOT SPECIFICALLY SHOWN ON THE DRAWINGS. NO ADDITIONAL COST WILL BE GRANTED FOR SELECTIVE DEMOLITION. LEGALLY DISPOSE OF ALL ITEMS AND MATERIALS, EXCEPT ANY ITEMS SPECIFICALLY DESIGNATED BY THE OWNER TO BE SALVAGED. REMOVE AND PLACE THE DESIGNATED SALVAGED EQUIPMENT/MATERIAL IN A LOCATION DIRECTED BY OWNER.

4. IN ALL AREAS WHERE SELECTIVE DEMOLITION IS REQUIRED, PROTECT EXISTING CONDITIONS, FINISHES THAT WILL REMAIN.

LEGEND



DEMOLITION PLAN KEYNOTES:

- 1 CAREFULLY REMOVE EXISTING WINDOW AND / OR DOOR UNIT. SALVAGE AND STORE TO BE REINSTALLED IN PLACE. REMOVE EXTERIOR AND INTERIOR WINDOW / DOOR CASING.
- 2 EXISTING WINDOWS TO REMAIN. REMOVE EXISTING EXTERIOR CAP TRIM @ WINDOW HEAD. EXISTING EXTERIOR WINDOW TRIM TO REMAIN IF IN GOOD SHAPE.

A EXISTING / DEMOLITION FLOOR PLAN
1/4" = 1'-0"



PROGRESS	2-27-2023
No.	Issue
	Date

NORTH BEACH CLUB HOUSE PORCH ROOF ADDITION
79 BOSTON NECK RD
NARRAGANSETT, RI

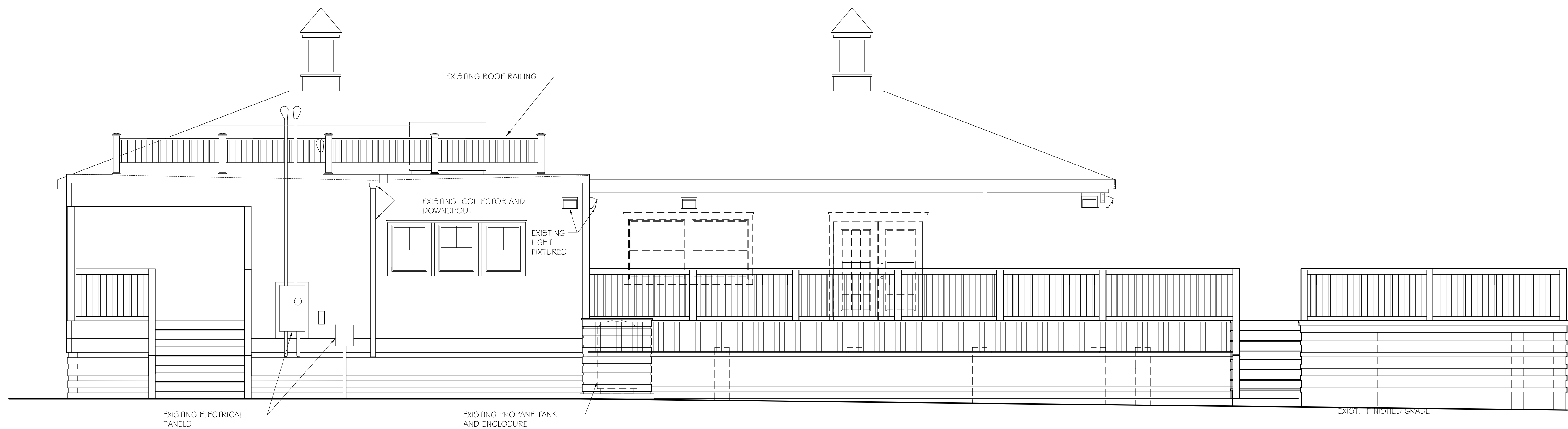
EXISTING / DEMOLITION FLOOR PLAN

Project No.	22141
Drawn By:	ZCJ EWW
Date:	2 - 27-2023

AD1.1



A EXISTING EAST ELEVATION
 1/4" = 1'-0"



B EXISTING SOUTH ELEVATION
 1/4" = 1'-0"



PROGRESS	2-27-2023
No.	Issue
	Date

NORTH BEACH CLUB HOUSE PORCH ROOF ADDITION

79 BOSTON NECK RD
 NARRAGANSETT, RI

EXISTING ELEVATION

Project No.
 22141
 Drawn By:
 ZCI EWW
 Date:
 2 - 27-2023

AD2.1

FLOOR PLAN NOTES/LEGEND:

H.D. = HOLDDOWN LOCATION. REFER TO STRUCTURAL DRAWINGS

CONSTRUCT SHEAR WALL (S.W.) AS SHOWN ON STRUCTURAL DETAIL H ON S2.1. SISTER NEW STUDS TO EXISTING. PROVIDE BLOCKING, REPLACE INSULATION, BUILDING WRAP, CDX PLYWOOD SHEATHING, BUILDING WRAP AND CEDAR SHINGLES TO MATCH EXISTING. PROVIDE NEW PVC WINDOW AND DOOR TRIM TO MATCH EXISTING.

INSTALL NEW DUPLEX OUTLET RECEPTACLE AND EXTRA DUTY, NON METALLIC LOW PROFILE WHILE-IN-USE WEATHERPROOF COVERS, WITH PADLOCK TAB RECEPTACLE COVER (MODEL # WDWL2P3), HOME DEPOT SKUM1002425743 OR EQUAL), CONNECT TO EXISTING ELECTRICAL SYSTEM IN WEATHERPROOF CONDUIT AND PER CODE.

FLOOR PLAN KEY NOTES:

- 1 PROPERLY FLASH EXISTING WINDOW / DOOR OPENING AND RE-INSTALL SALVAGED WINDOW / OR DOOR UNIT. PROVIDE LCC PAN FLASHING @ DOOR BOTTOM, PROVIDE NEW INTERIOR CASING AND PATCH/PAINT WALLS TO MATCH EXISTING. PROVIDE NEW EXTERIOR PVC TRIM TO MATCH EXISTING. REFER TO DETAILS D & E ON SHEET A3.2
- 2 PROVIDE NEW PVC CAP TRIM @ EXISTING WINDOW HEAD. REFER TO DETAIL D ON A3.2. REPLACE ANY DAMAGED PVC TRIM IN KIND.

PARTITION AND WALL TYPES:

EX1 EXTERIOR WALL TYPE (NEW SHEATHING)
NEW CEDAR SHINGLES ON TYVEK (WEATHER RESISTANT BARRIER) ON 1/2" CDX EXTERIOR SHEATHING ON EXISTING AND NEW (SISTER TO EXISTING) 2X4 WOOD STUDS @ 16" O.C. WITH 3 1/2" R-19 FIBERGLASS INSULATION KRAFT FACED BETWEEN STUDS 1/2" G.W.B. (EXISTING OR NEW) DRYWALL FINISH. PAINT TO MATCH EXISTING

EX2 EXTERIOR WALL TYPE (EXISTING SHEATHING)
NEW CEDAR SHINGLES ON TYVEK (WEATHER RESISTANT BARRIER) ON EXISTING 1/2" CDX EXTERIOR SHEATHING ON EXISTING 2X4 WOOD STUDS @ 16" O.C. WITH EXISTING INSULATION BET. STUDS EXISTING 1/2" G.W.B. FINISH. PAINT TO MATCH EXISTING REPLACE ANY ROTTEN OR DAMAGED PLYWOOD AND/OR INTERIOR G.W.B. PATCH TO MATCH.

PARTITION NOTES:

- 1. PROVIDE DOUBLE WOOD STUDS AT BOTH SIDES OF ALL DOOR OPENINGS EXTENDING TO AND ANCHORED TO STRUCTURE ABOVE.
- 2. PROVIDE SOLID WOOD BLOCKING FOR RUNNING TRIM, EQUIPMENT, CABINETS, MILLWORK, TOILET ACCESSORIES, RAILINGS AND GRAB BARS AS REQUIRED.
- 3. PROPERLY BRACE ALL PARTITIONS.
- 4. PROVIDE ALL NECESSARY MOLDINGS, ACCESSORIES AND CAULKING TO INSURE A SANITARY AND WORKMANLIKE INSTALLATION.



PROGRESS 2-27-2023

No. Issue Date

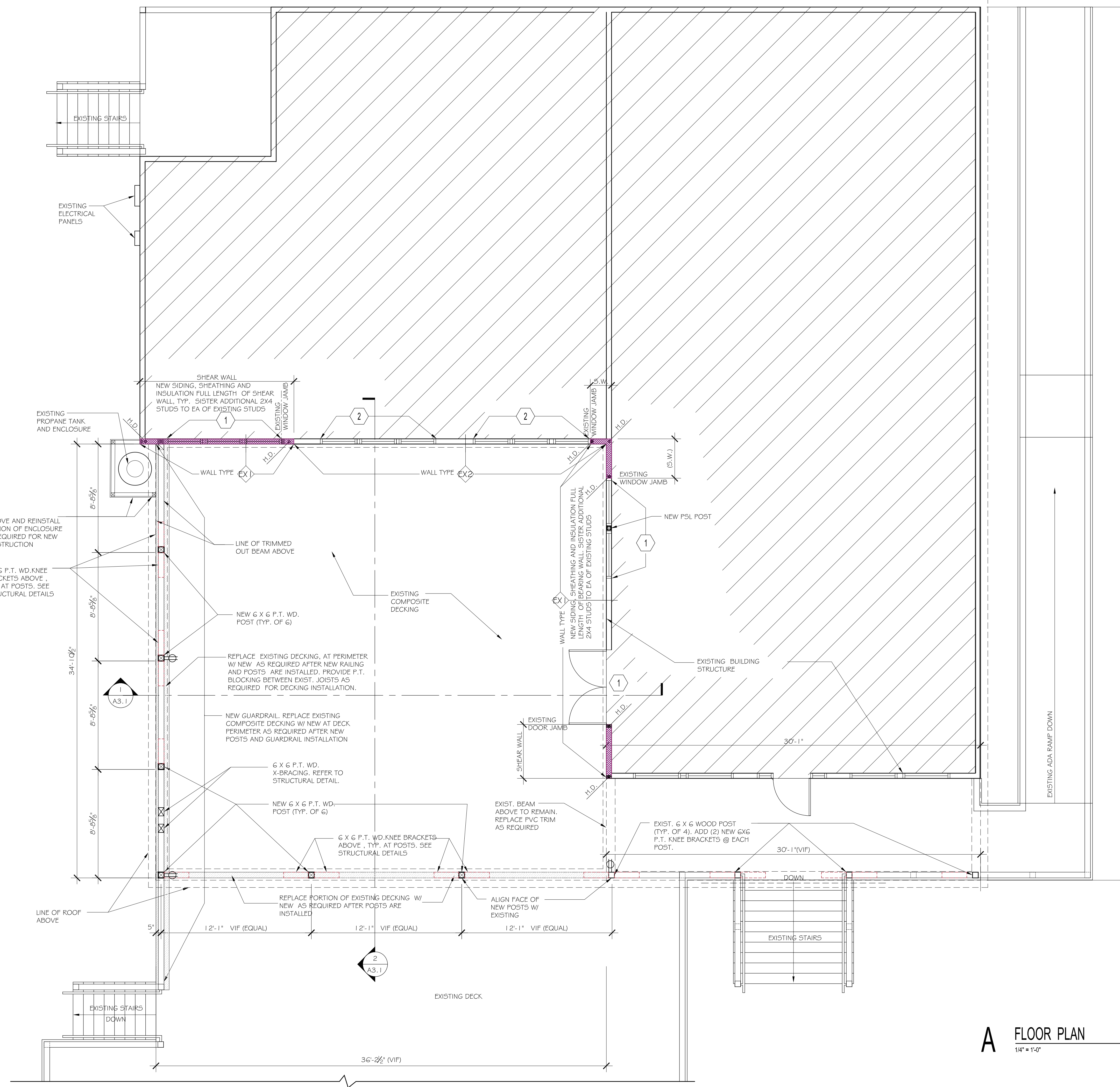
NORTH BEACH CLUB HOUSE PORCH ROOF ADDITION

79 BOSTON NECK RD
NARRAGANSETT, RI

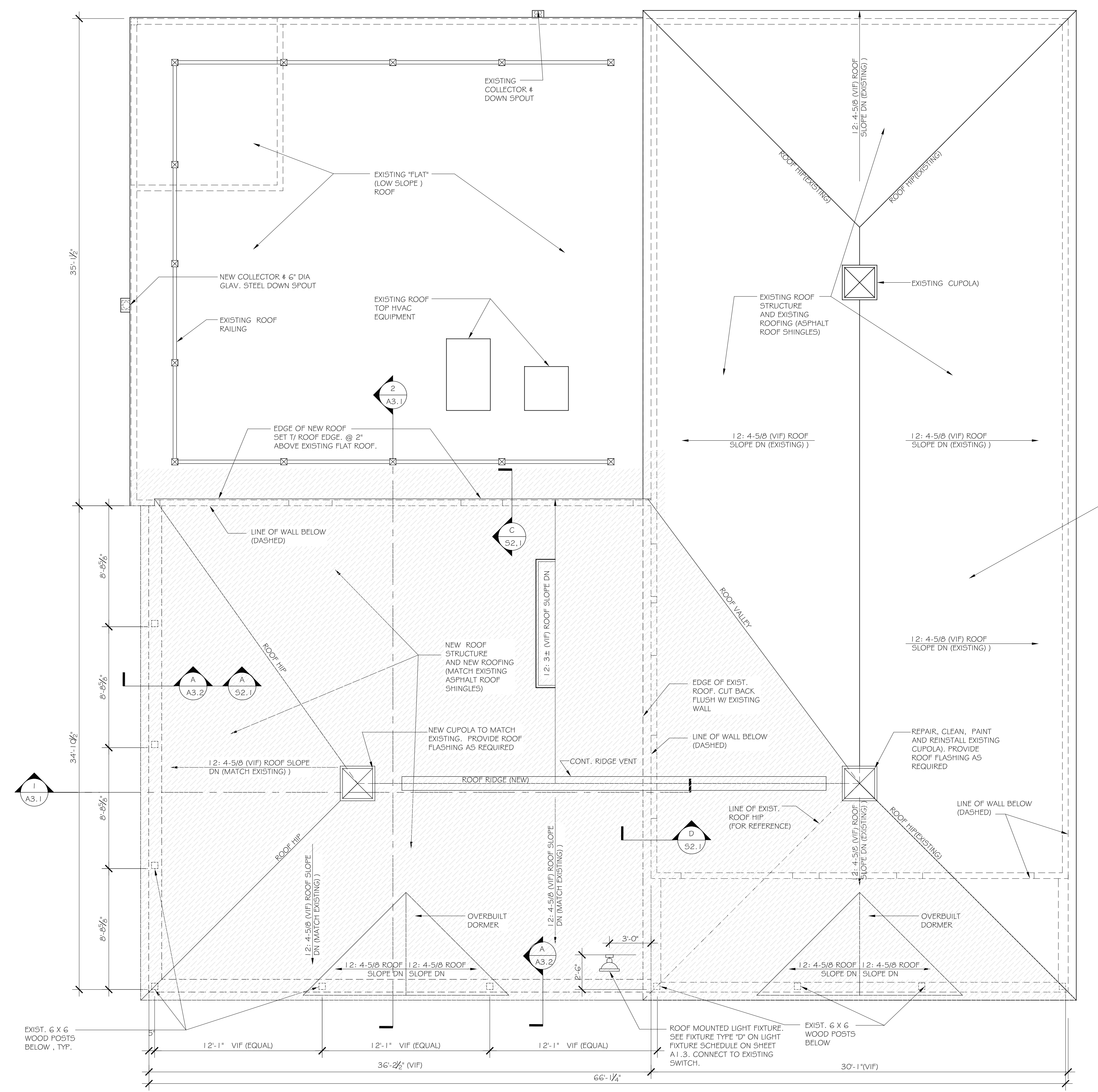
FLOOR PLAN

Project No.
22141
Drawn By:
ZCJ/EWW
Date:
2-27-2023

A1.1



A FLOOR PLAN
1/4" = 1'-0"



ALTERNATE #1
 REMOVE ENTIRE ASPHALT
 SHINGLE ROOF SYSTEM.
 INSTALL NEW ASPHALT
 ROOF SHINGLE SYSTEM
 OVER ENTIRE ROOF (NEW
 AND EXISTING)



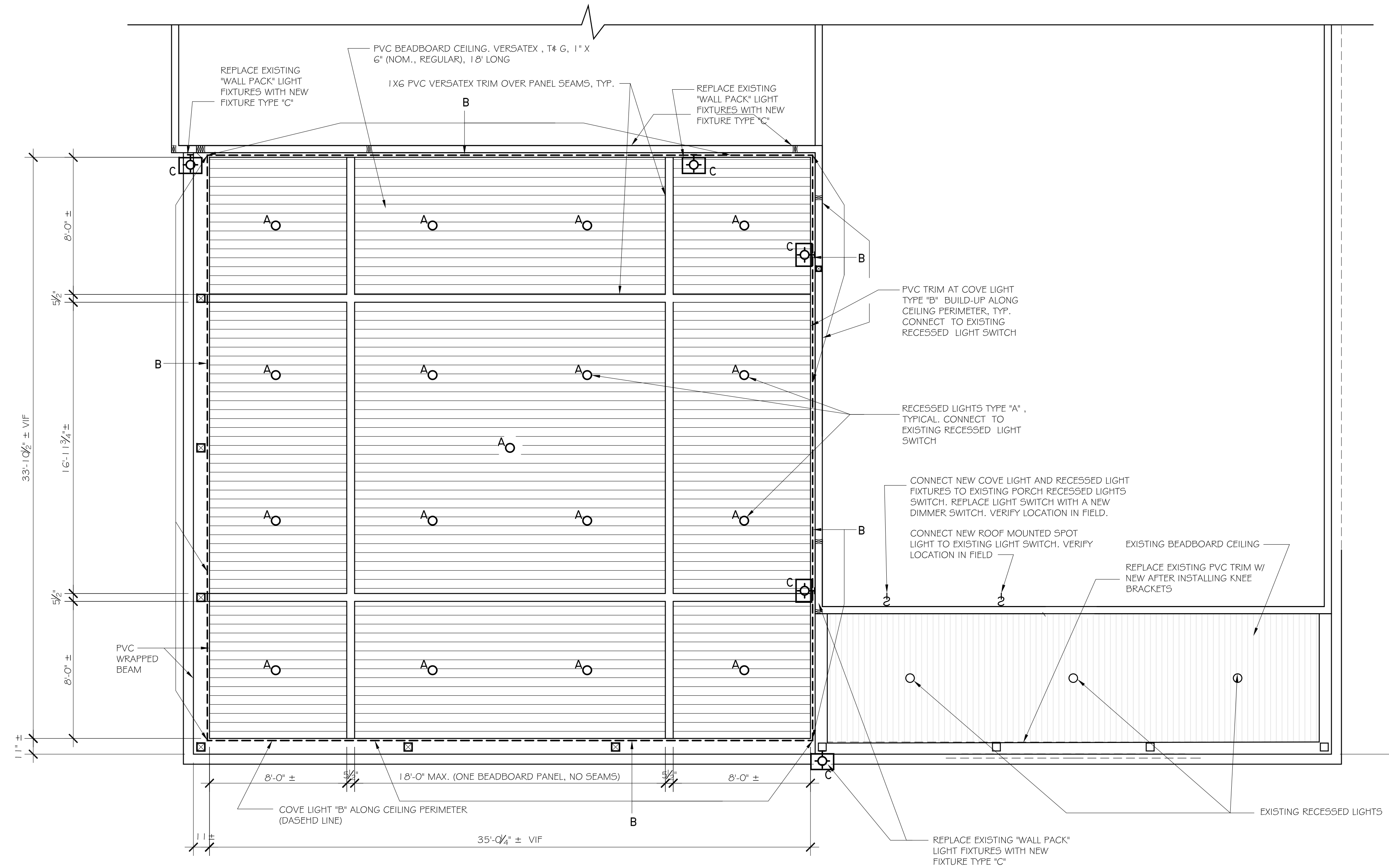
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No.	Issue
	Date

**NORTH BEACH
 CLUB HOUSE
 PORCH ROOF
 ADDITION**
 79 BOSTON NECK RD
 NARRAGANSETT, RI

ROOF PLAN

A ROOF PLAN
 1/4" = 1'-0"

Project No. 22141	A1.2
Drawn By: ZCJ/EWW	
Date: 2-27-2023	



A REFLECTED CEILING PLAN
1/4" = 1'-0"

LIGHT FIXTURE SCHEDULE				
SYMBOL	DESCRIPTION	MANUFACTURER AND PRODUCT NUMBER	LAMP TYPE	REMARKS
A	4" Ø RECESSED CAN	ELEMENT RGR4-CC-WH	14W, LED 2700K	FURNISHED & INSTALLED BY CONTRACTOR
B	COVE LIGHT	WALA-SW, Q-CAP FLEXIBLE FIXTURES- MICRO 5 SERIES WALA-SW-PPS2-WET-27-WHO-ENC-TL-S1/P1-C-CON6/CON6 LENGTH CONFIRM ALL RUN LENGTH AND CONNECTIONS PRIOR TO ORDERING	LED	FURNISHED & INSTALLED BY CONTRACTOR
C	WALL PACK	LEDALUX LXT2-WPC-50-U-30K-BZ-	LED	FURNISHED & INSTALLED BY CONTRACTOR
D	SECURITY SPOT LIGHT ROOF MOUNTED	TGS NEPTUNE FFL-E-100W-22-NF-U-D-TM - BLACK	LED	FURNISHED & INSTALLED BY CONTRACTOR

ELECTRICAL NOTES:

- LIGHTING PLAN IS DIAGRAMMATIC AND FOR REFERENCE ONLY. ELECTRICAL WORK SHALL BE DESIGN BUILD DELIVERY METHOD BY THE INSTALLING CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE CODES.
- ELECTRICIAN TO CONFIRM ALL WIRING AND DIMMING COMPATIBILITY. REPLACE EXISTING SWITCHES WITH DIMMING TYPE IF EXISTING SWITCHES ARE NOT DIMMING.



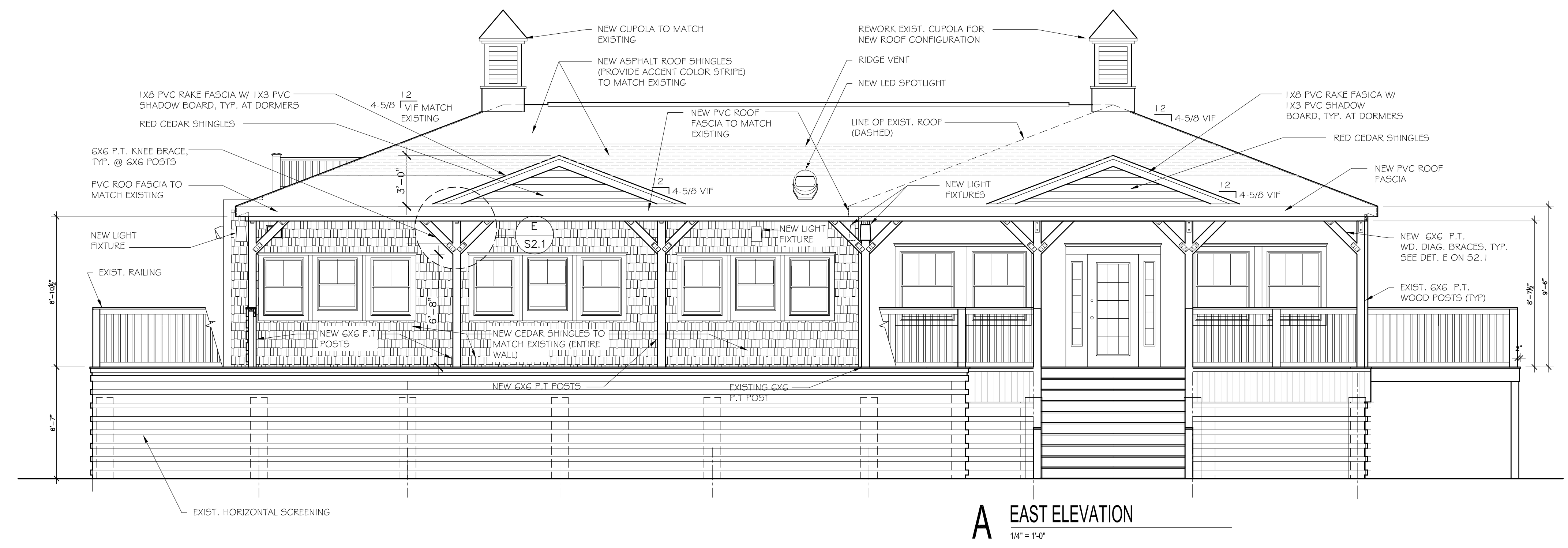
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NORTH BEACH CLUB HOUSE PORCH ROOF ADDITION
79 BOSTON NECK RD
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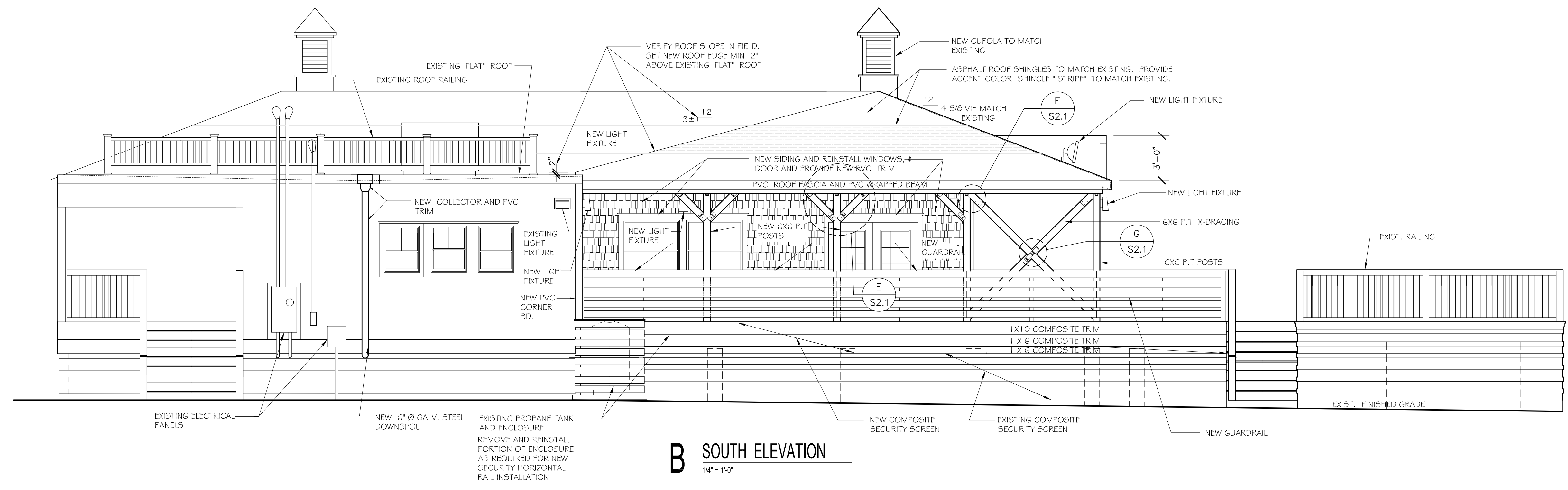
REFLECTED CEILING PLAN

Project No.
22141
Drawn By:
ZCI EWW
Date:
2 - 27-2023

A1.3



A EAST ELEVATION
 1/4" = 1'-0"



B SOUTH ELEVATION
 1/4" = 1'-0"

ELEVATION NOTES:

- EXTERIOR SIDING SHALL BE RED CEDAR SHINGLES. MATCH EXISTING SHINGLE COURSING. REFER TO SPECIFICATIONS ON SHEET A4.1
- EXTERIOR TRIM SHALL BE 5/4" AND 3/4" THICK PVC VERSATEX TRIM BOARDS INSTALLED WITH CORTEX PLUGS. ALL TRIM ADJACENT TO SHINGLES SHALL BE 5/4" THICK. REFER TO SPECIFICATIONS. ALL PVC TRIM SHALL BE CLEANED AND LEFT UNPAINTED.
- MOUNT ALL LIGHT FIXTURES, ELECTRICAL RECEPTACLES, AND OTHER EXTERIOR WALL MOUNTED ACCESSORIES ON 5/4" THICK PVC MOUNTING BLOCKS, TYPICAL. PROPERLY FLASH @ TOP OF BLOCK W/ ICE & WATER SHIELD & METAL DRIP EDGE.
- ASPHALT ROOF SYSTEM SHALL BE RATED FOR 120 MPH WIND. REFER TO SPECIFICATIONS.
- COMPOSITE DECKING SHALL BE COMPOSITE TREX DECKING. REFER TO SPECIFICATIONS.

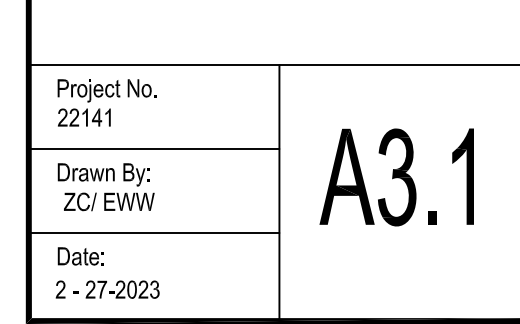
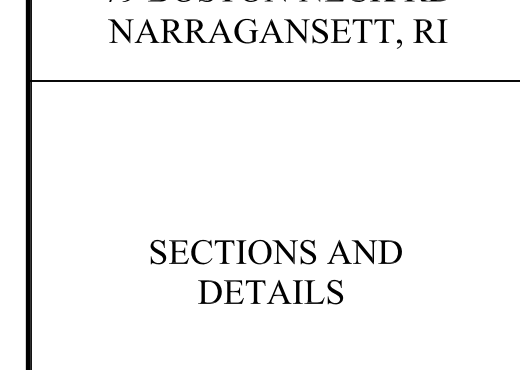
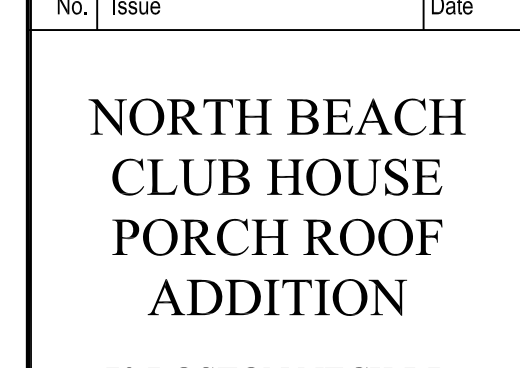
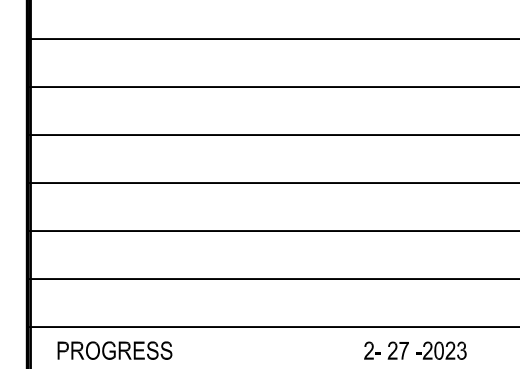
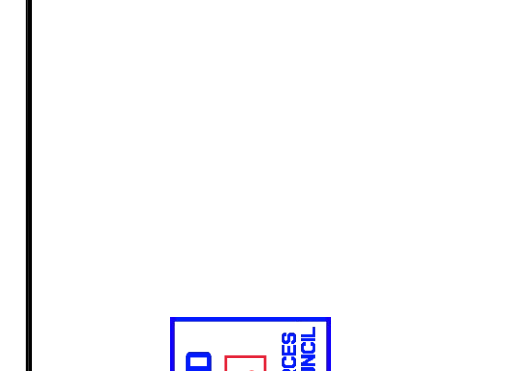


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NORTH BEACH CLUB HOUSE PORCH ROOF ADDITION
 79 BOSTON NECK RD
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SECTION AND ELEVATION

Project No. 22141	A2.1
Drawn By: ZC/ EWW	
Date: 2-27-2023	



PROGRESS 2-27-2023

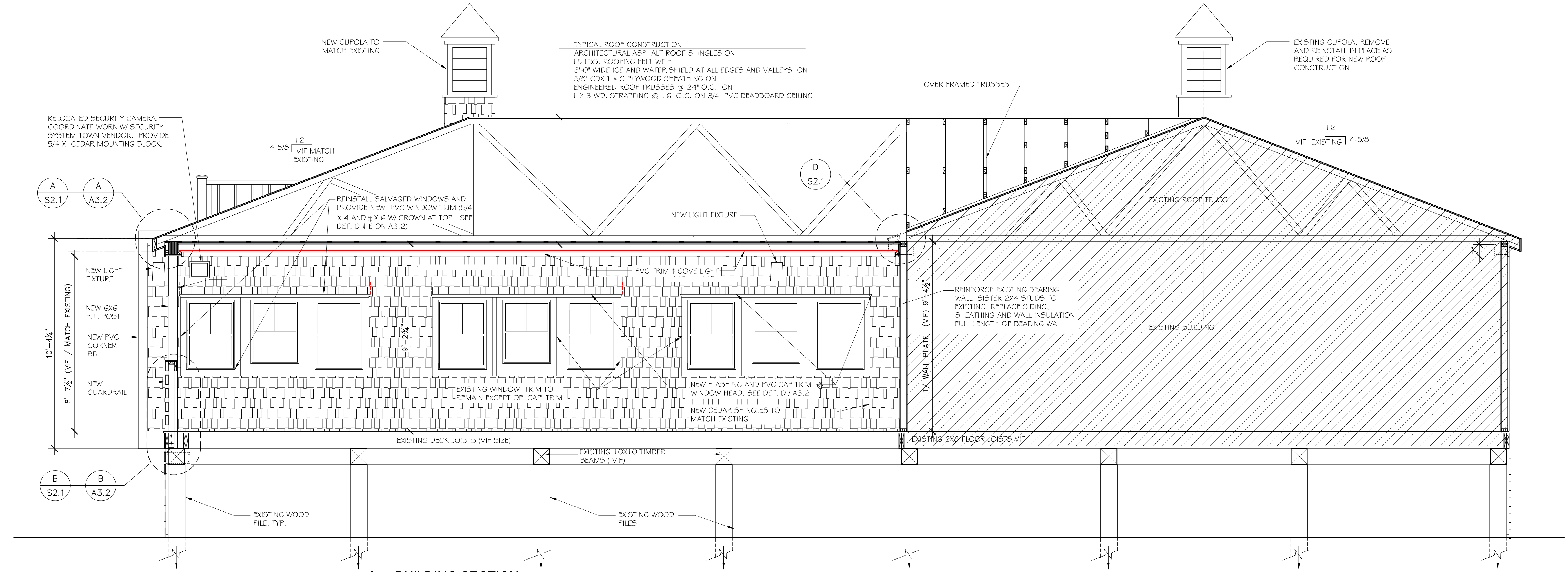
No. Issue Date

NORTH BEACH CLUB HOUSE PORCH ROOF ADDITION
 79 BOSTON NECK RD NARRAGANSETT, RI

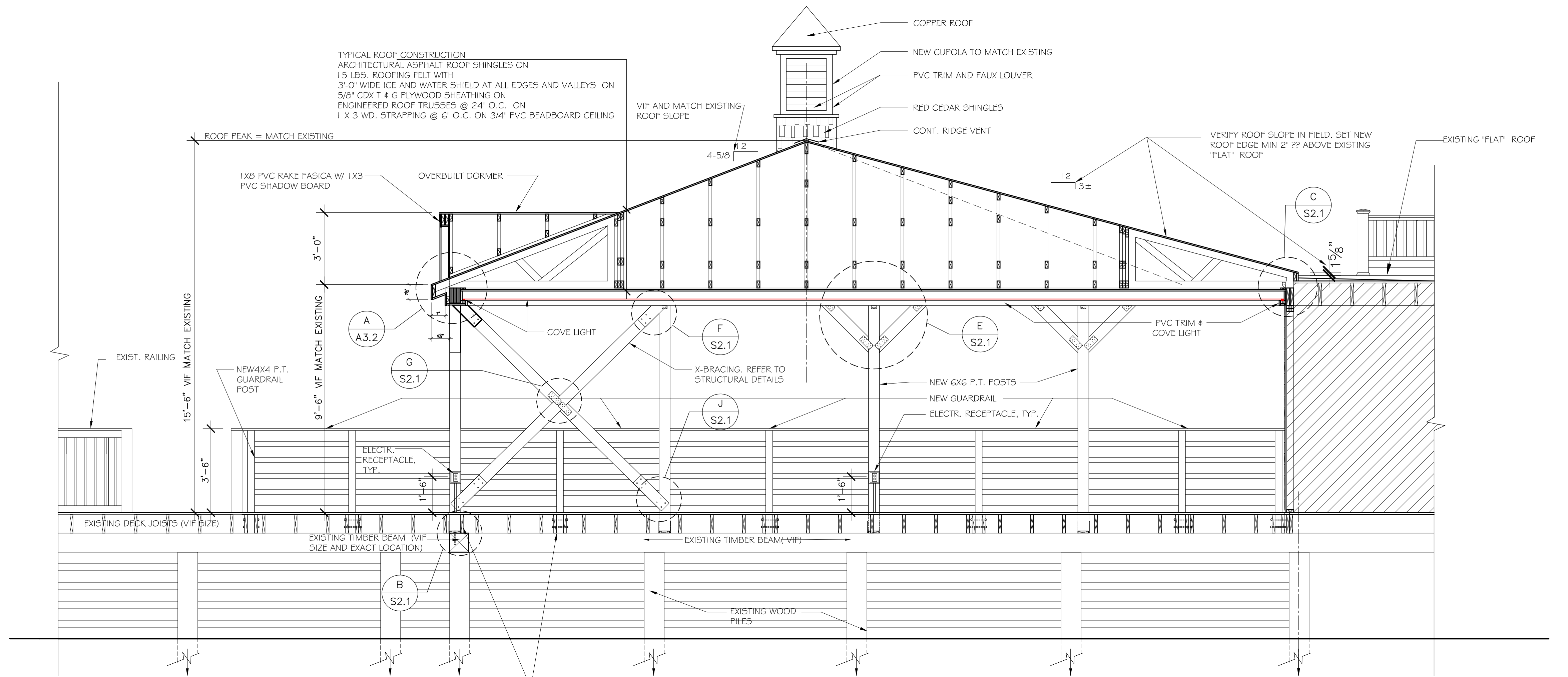
SECTIONS AND DETAILS

Project No. 22141
 Drawn By: ZC/ EWW
 Date: 2-27-2023

A3.1

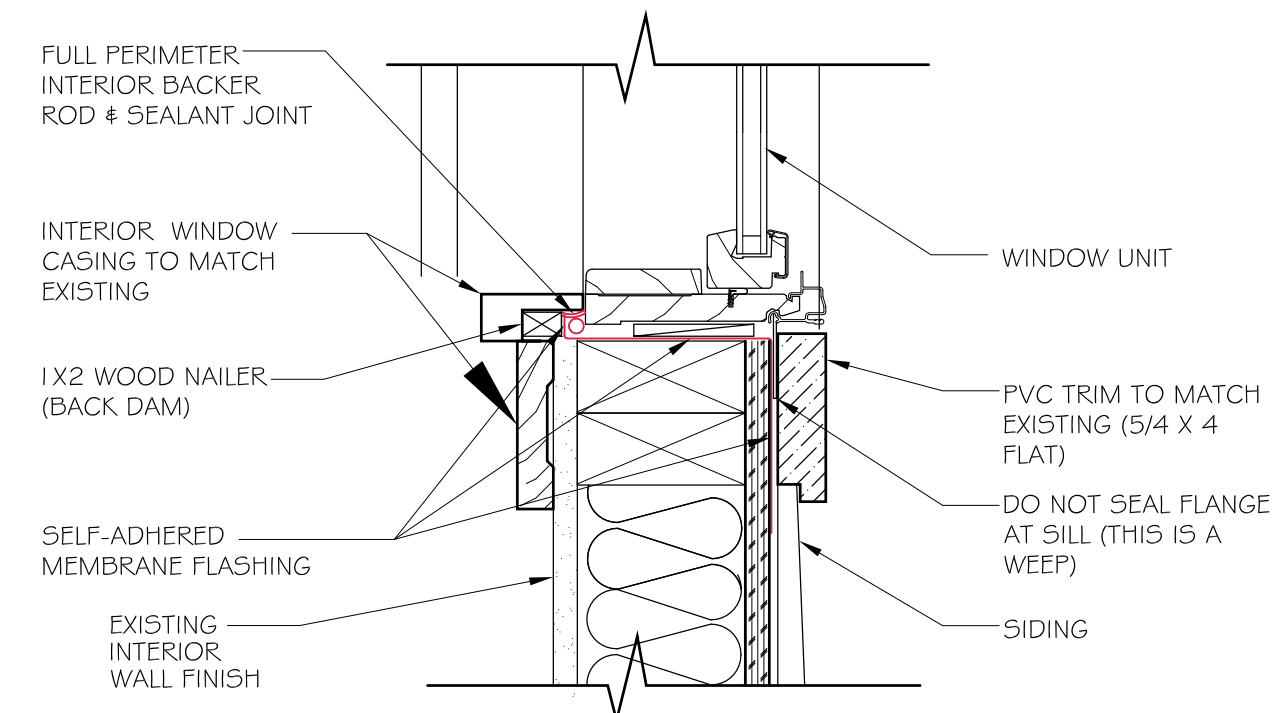


1 BUILDING SECTION
 3/8" = 1'-0"

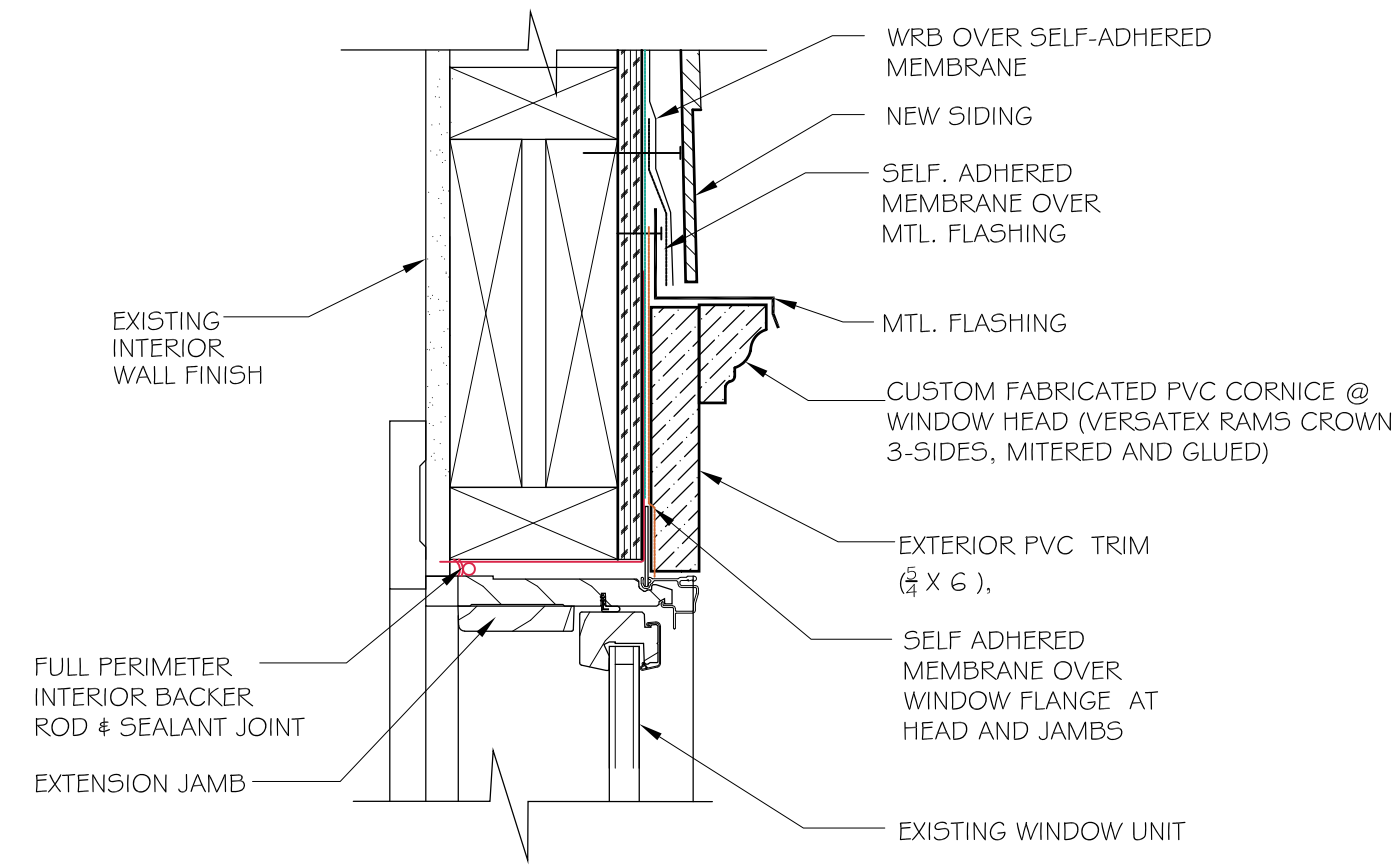


2 BUILDING SECTION
 3/8" = 1'-0"

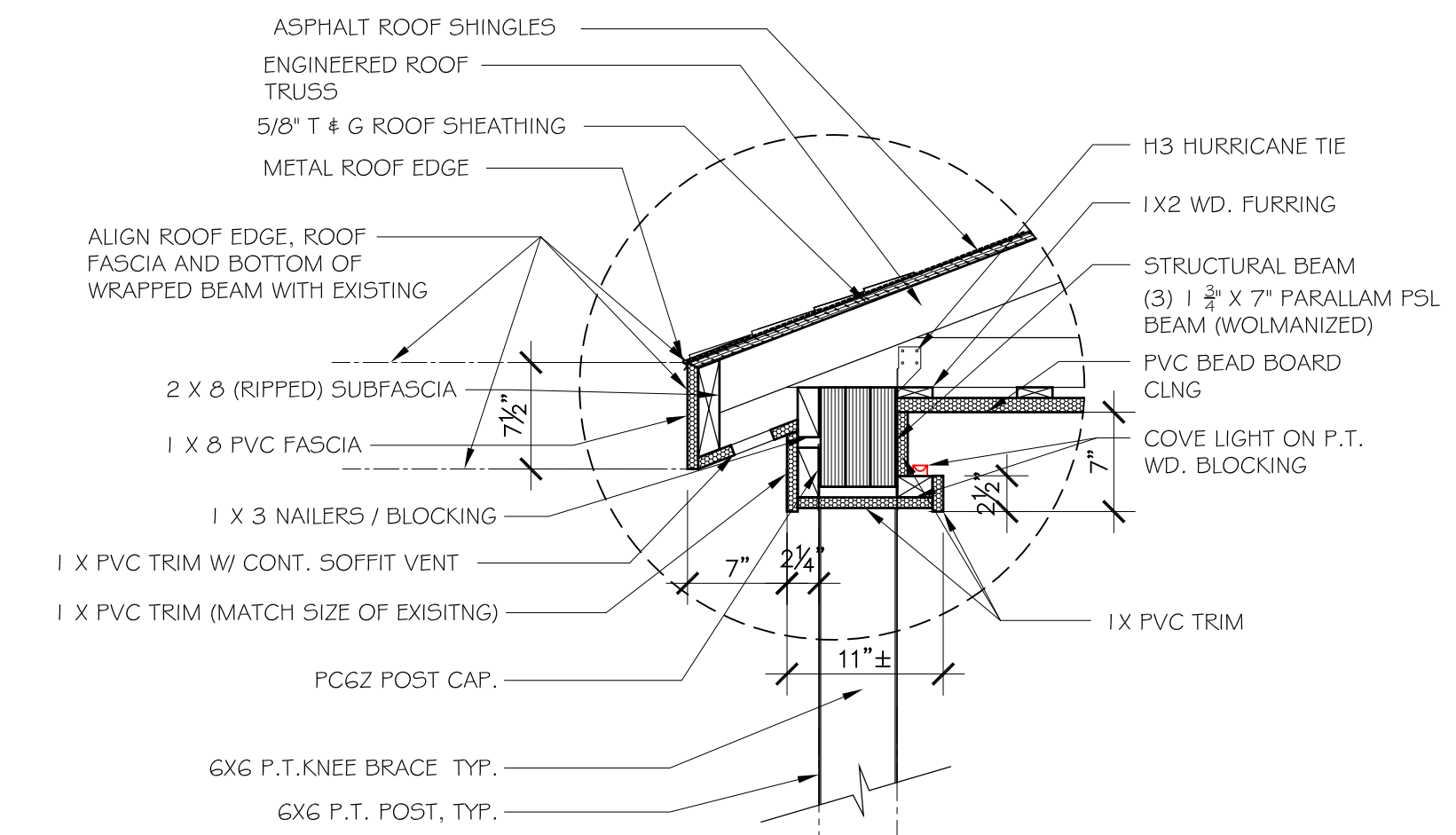
PROVIDE BLOCKING AS REQUIRED AT ALL NEW DECK POST AND PORCH ROOF POST LOCATIONS. REFER TO STRUCTURAL DETAILS



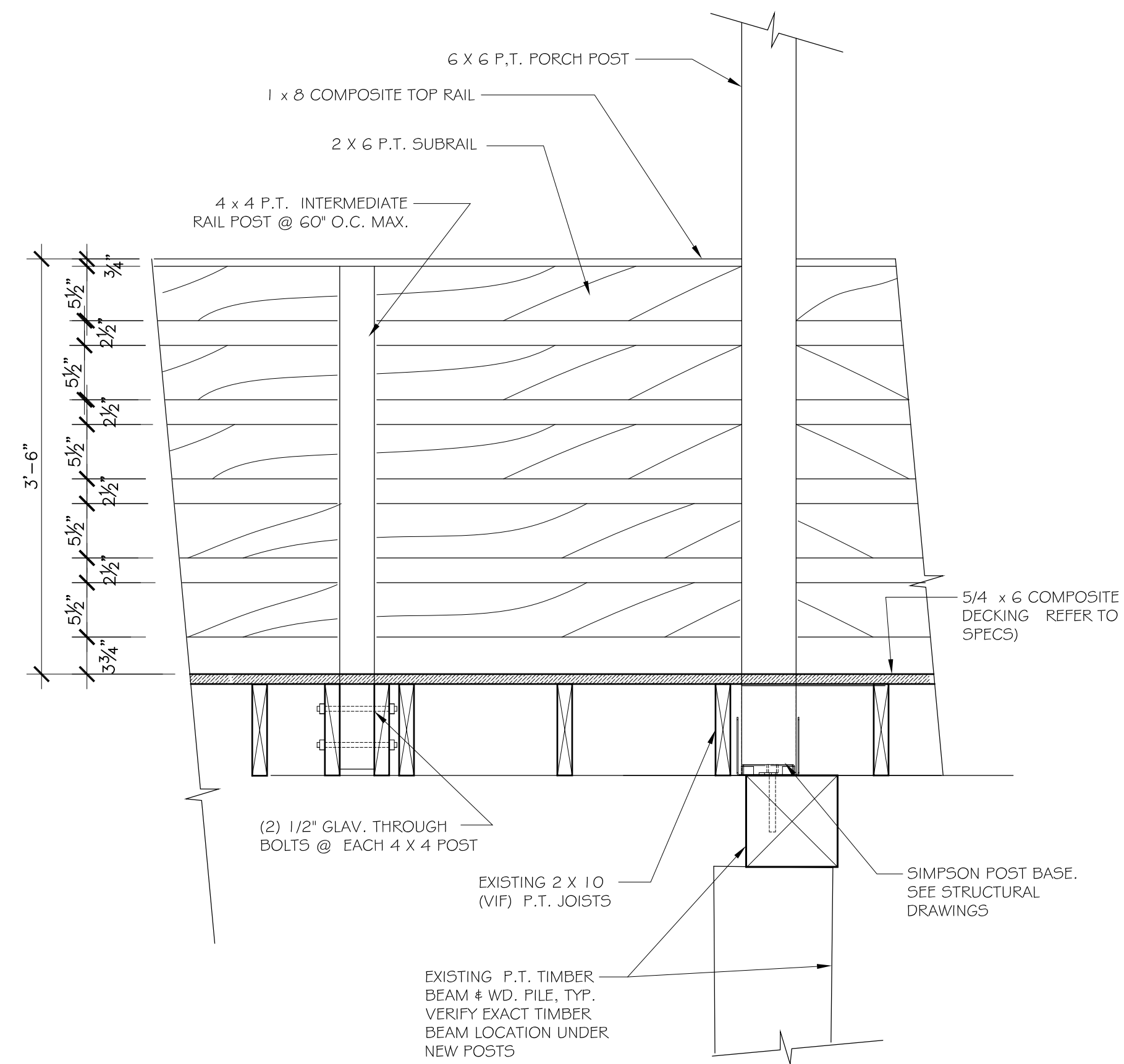
E TYP. WINDOW SILL DETAIL
 3" = 1'-0"



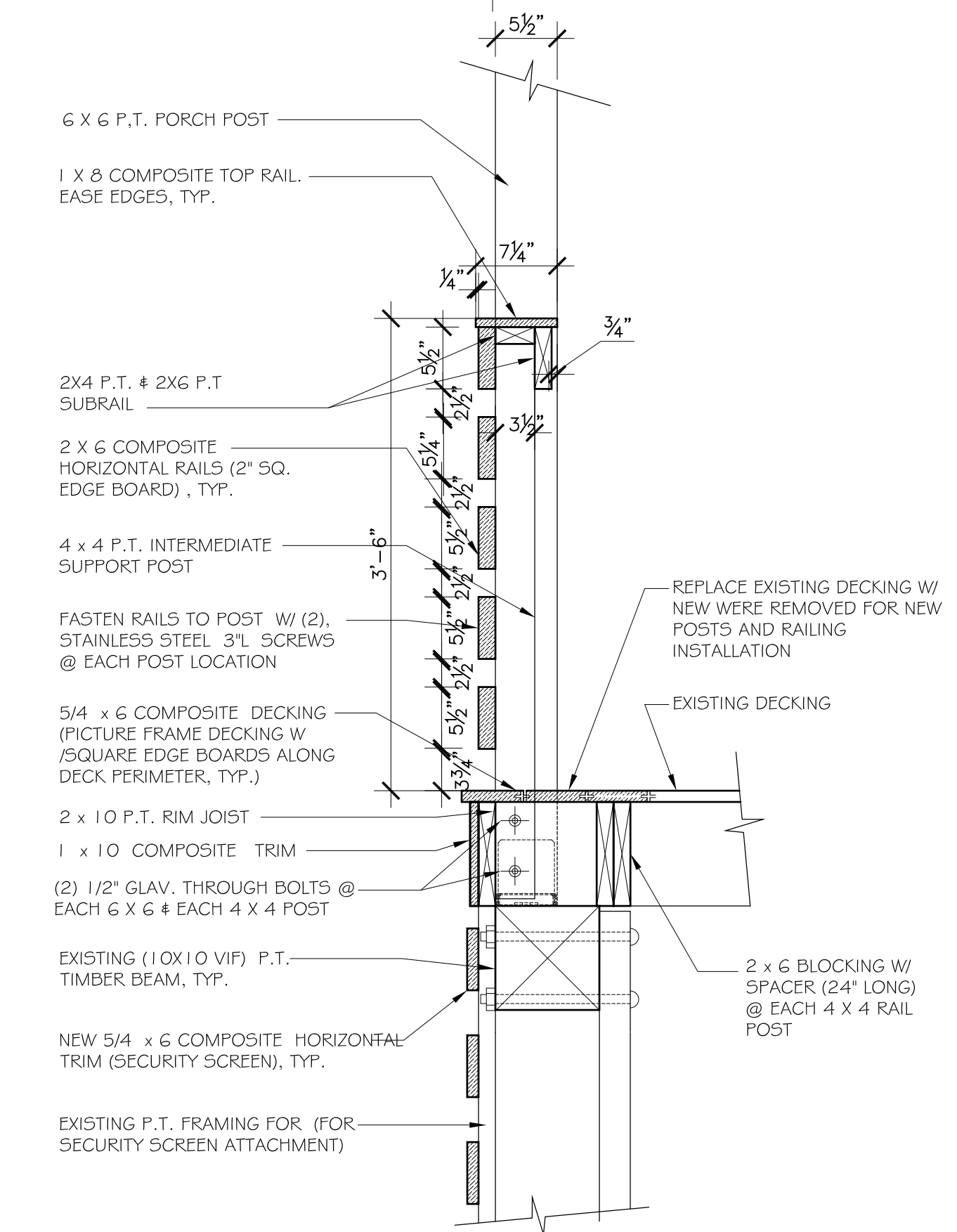
D WINDOW HEAD DETAIL
 3" = 1'-0"



A TYP. ROOF EAVE DETAIL
 1" = 1'-0"



C NEW GUARDRAIL DETAIL
 1" = 1'-0"



B POST & GUARDRAIL DETAIL
 1" = 1'-0"

REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION AND DETAILS

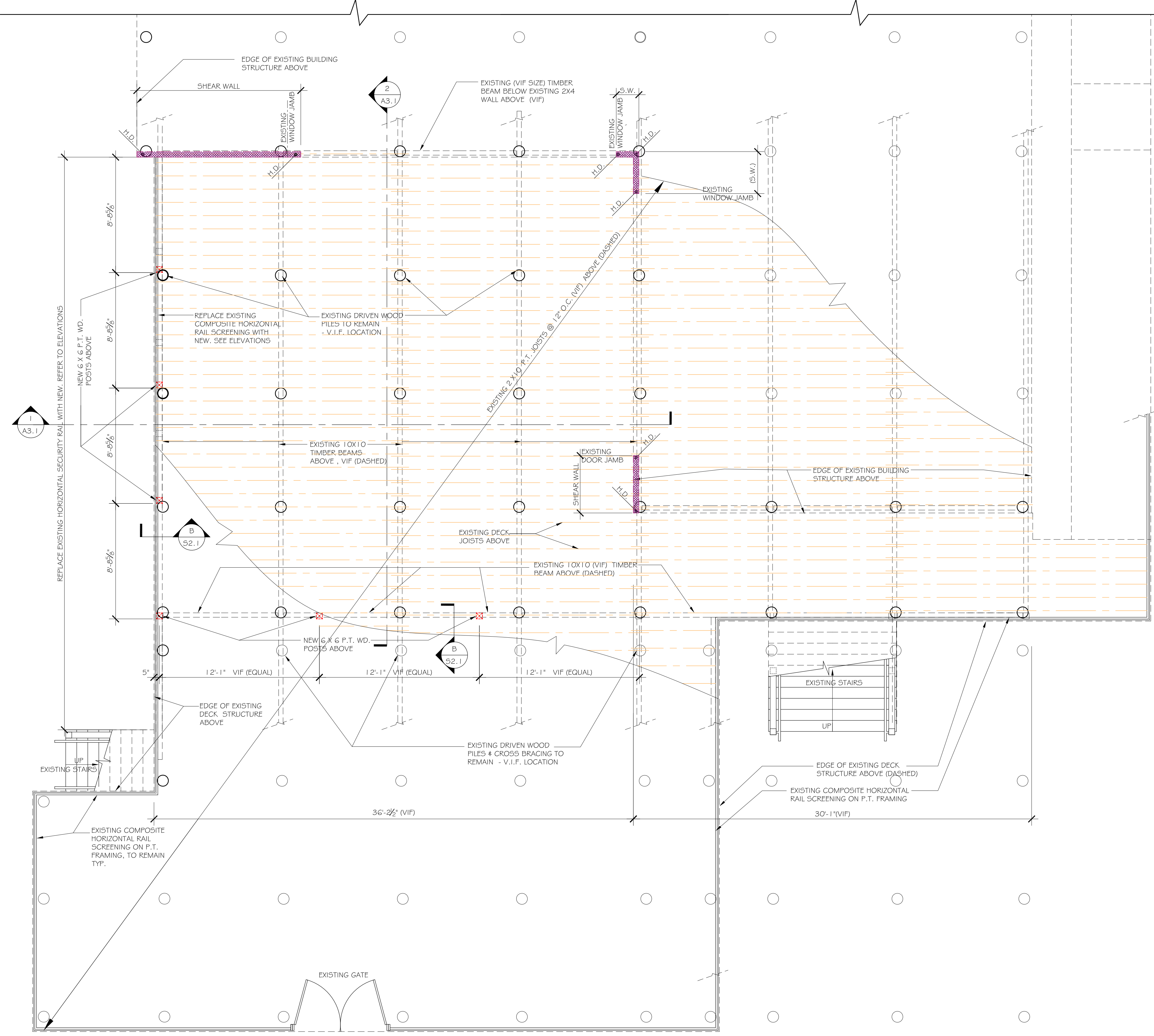


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NORTH BEACH CLUB HOUSE PORCH ROOF ADDITION

79 BOSTON NECK RD
 NARRAGANSETT, RI

SECTIONS AND DETAILS



A GROUND FLOOR PLAN/FOUNDATION DIAGRAM
 1/4" = 1'-0"

- PLAN NOTES:**
- G.C. TO VISUALLY INSPECT EXISTING FLOOR FRAMING & TIMBER PILES AT NEW WORK AND MODIFY ENGINEER OF ANY DEFICIENCIES. ALL DEFICIENT FRAMING AND CONNECTORS SHALL BE REPLACED IN-KIND IN ACCORDANCE WITH PROJECT SPECIFICATIONS.
 - SEE DETAIL H / S2.1 FOR SHEARWALL DETAILS.

LEGEND:

- H.D. ○ HOLDDOWN LOCATION.
- ▨ SHEAR WALL (S.W.)



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NORTH BEACH CLUB HOUSE PORCH ROOF ADDITION
 79 BOSTON NECK RD
 NARRAGANSETT, RI

GROUND FLOOR PLAN

Project No. 22141	S1.0
Drawn By: ZCI/EWW	
Date: 2-27-2023	

CODE INFORMATION AND DESIGN LOADS (EXCEPT AS NOTED):

BUILDING CODE: RHODE ISLAND STATE BLDG CODE, (IBC 2018) NARRAGANSETT, RI

FLOOR LIVE LOADS:
FIRST FLOOR: 60 PSF

SNOW AND ROOF LOADS/FACTORS:
MIN. ROOF LIVE LOAD: 20 PSF
GROUND SNOW LOAD (P_g): 30 PSF
SLOPED SNOW LOAD (P_s): 30 PSF
UNBALANCED SNOW LOAD
LEEWARD ROOF: 45 PSF
WINDWARD ROOF: 15 PSF
SNOW LOAD IMPORTANCE FACTOR (I_s): 1.0
SNOW EXPOSURE FACTOR (C_e): 1.0
THERMAL FACTOR (C_t): 1.0

GEO TECHNICAL FACTORS:
SAFE SOIL BEARING CAPACITY: 15 TON TIMBER PILES
ANALYSIS PROCEDURE: EQUIV. LATERAL FORCE PROCEDURE
LAT. FORCE RESISTING SYSTEM: EXTERIOR WOOD STUD SHEAR WALLS AND BRACED FRAMES

WIND FACTORS:
BASIC WIND SPEED (V_{ult}): 138 MPH
RISK CATEGORY II EXPOSURE 'D'
WIND IMPORTANCE FACTOR (I_w): 1.0
(INTERNAL AND EXTERNAL PRESSURES T.B.D. BY TRUSS DESIGNER)

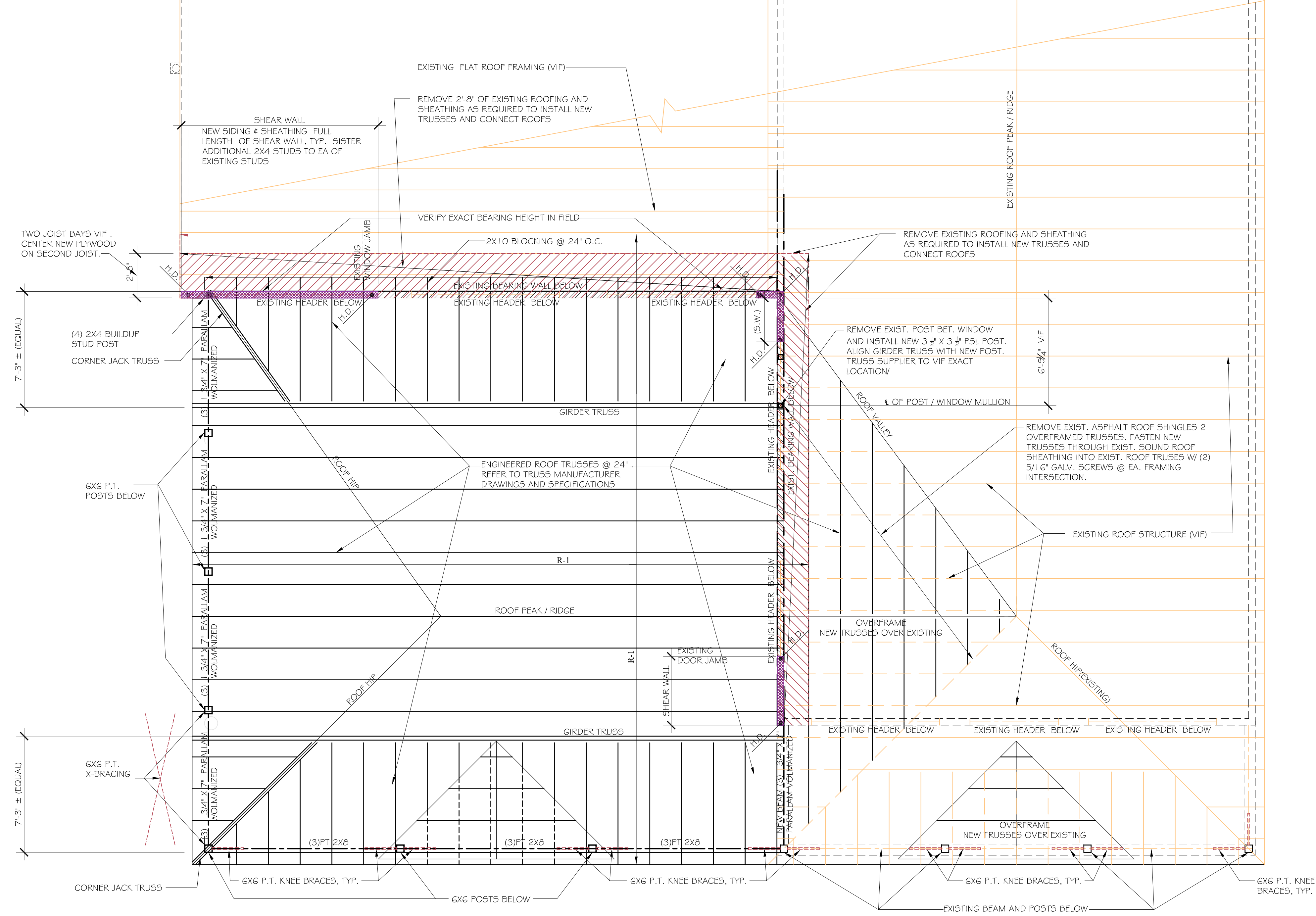
GENERAL NOTES - STRUCTURAL LUMBER, ENGINEERED LUMBER

- ALL MATERIAL AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "TIMBER CONSTRUCTION STANDARDS" OF THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION AND THE "NATIONAL DESIGN SPECIFICATION FOR STRESS-GRADE LUMBER AND ITS FASTENINGS" OF THE NATIONAL FOREST PRODUCTS ASSOCIATION. FASTENER SIZE AND TYPE SHALL COMPLY WITH APPROVED FASTENERS PER FASTENING SCHEDULE OF THE RHODE ISLAND STATE BUILDING CODE.
- THE MINIMUM GRADES AND DESIGN VALUES REQUIRED FOR STRUCTURAL LUMBER SHALL BE:

STUDS, HEADERS & MISC FRAMING: #2 P.T. SOUTHERN PINE, F_b=1100 PSI, F_c=1450 PSI, E=1,300,000 PSI.
- ALL MULTIPLE MEMBER BEAMS AND HEADERS SHALL BE SUPPORTED ON NOT LESS THAN AN EQUAL NUMBER OF STUDS AT EACH END, UNLESS NOTED OTHERWISE.
- WOOD COLUMNS MADE WITH THREE OR MORE WOOD STUDS SHALL BE NAILED TOGETHER WITH 16D NAILS. NAIL SPACING SHALL BE IN 2 ROWS, SPACED 8" O.C. FROM BOTH SIDES STAGGERED 4" APART.
- UNLESS OTHERWISE NOTED, ALL EXTERIOR OPENINGS SHALL HAVE NOT LESS THAN TWO JACK STUD AND TWO FULL HEIGHT STUDS AT EACH SIDE OF THE OPENING.
- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESERVATIVE TREATED WITH PRESERVATIVE.
- EXTERIOR WALL SHEATHING SHALL BE 15/32" EXTERIOR PLYWOOD OR OSB SHEATHING FASTENED PER PER DETAILS ON DWG S2.1) ALL WALL HORIZONTAL PANEL EDGES WITHIN 48" OF BUILDING CORNERS AND AT SHEAR WALLS MUST BE BLOCKED AND NAILED.
- ROOF SHEATHING SHALL BE MINIMUM 5/8" APA RATED EXPOSURE 1 OR EXTERIOR GRADE SHEATHING SHALL BE FASTENED NOT MORE THAN 6" O.C. ON ALL SUPPORTED PANEL EDGES. NAILS SHALL BE SPACED 4" O.C. IN AREAS WITHIN 48" OF RIDGES, HIPS, RAKES, AND EAVES.
- LVL BEAMS SHALL BE WOLMANIZED PARALLAM PSL 2.0E BY TRUSSJOIST-MACMILLAN WITH THE FOLLOWING MINIMUM PROPERTIES: F_b = 2900 PSI, F_c = 750 PSI, F_c(PARALLEL) = 2900 PSI, F_v = 290 PSI, E = 2,000,000 PSI
- LVL'S AND PSL'S SHALL BE FREE OF FINGER JOINTS, SCARF JOINTS OR MECHANICAL CONNECTIONS FOR THE FULL LENGTH OF THE MEMBER AND ALL ADHESIVES USED SHALL BE WATERPROOF, MEETING THE REQUIREMENTS OF ASTM D-2559-76.
- ALL SIMPSON CONNECTORS (HANGERS, STRAPS, UPLIFT CONNECTORS, POST CAPS, ECT.) SHALL BE A316 STAINLESS STEEL OR CLASS C HD. GALV. ASTM A153, CORROSION RESISTANCE.
- ALL FASTENERS IN CONTACT WITH PRESSURE-TREATED LUMBER SHALL BE CERTIFIED FOR USE WITH THE PRESERVATIVE TREATMENT USED.
- ALL FASTENERS EXPOSED TO MOISTURE, EXPECTED CONDENSATION, PRESSURE TREATED LUMBER, AND/OR THE WEATHER SHALL BE MADE FROM NON-CORROSSIVE MATERIALS OR COATED WITH AN APPROVED ANTI-CORROSSIVE COATING CERTIFIED AND APPROVED FOR USE WITH THE MATERIALS TO BE FASTENED.

WOOD TRUSS NOTES:

- WOOD TRUSSES SHALL BE DESIGNED PER THE "DESIGN SPECIFICATION FOR METAL PLATE CONNECTED WOOD TRUSSES", PUBLISHED BY THE TRUSS PLATE INSTITUTE.
- WOOD TRUSS FABRICATOR SHALL SUBMIT TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION, ELECTRONIC SHOP DRAWINGS BEARING SEAL AND SIGNATURE OF THE DESIGN PROFESSIONAL ENGINEER, REGISTERED IN THE STATE OF RHODE ISLAND. SHOP DRAWINGS SHALL INCLUDE BUT ARE NOT LIMITED TO: TRUSS LAYOUT PLAN; TRUSS DETAIL SHEETS SHOWING CONFIGURATION, DIMENSIONS, LOADS, MEMBER SIZES AND GRADES, MEMBER FORCES, CONNECTION PLATE SIZES, TEMPORARY AND PERMANENT BRACING REQUIRED; TRUSS CONNECTION HANGERS FOR FLUSH FRAMING.
- WOOD TRUSS ERECTOR SHALL BE RESPONSIBLE FOR DESIGN AND INSTALLATION OF ALL PERMANENT AND TEMPORARY ERECTION BRACING.
- TRUSS MFR. SHALL COORD. ALL LOADS THAT ARE TO BE SUPPORTED FROM ROOF TRUSSES WITH RESPECTIVE TRADES.
- ALL ROOF TRUSSES AND OVERHANGING WOOD MEMBERS SHALL BE HELD DOWN WITH HURRICANE ANCHORS PER TRUSS MANUFACTURERS REQUIREMENTS.
- ALL TRUSS TOOTHPLATE CONNECTOR PLATES SHALL BE STAINLESS STEEL (MITEK MT20SS PLATES).



ROOF FRAMING NOTE:

1. ROOF FRAMING PLAN IS DIAGRAMMATIC, REFER TO TRUSS MANUFACTURERS ENGINEERED DRAWINGS AND SPECIFICATIONS FOR FINAL TRUSS PLACEMENT PLAN.

A ROOF FRAMING PLAN DIAGRAM
1/4" = 1'-0"

ROOF FRAMING PLAN NOTES:

- TRUSS BEARING (TOP OF DBL 2x PLATE) ELEVATION = 9'-8" ABOVE TOP OF EXISTING DECK. (MATCH EXIST. CONDITIONS, V.I.F.)
- TRUSS LAYOUT SHOWN FOR SCHEMATIC PURPOSES ONLY. SEE ARCHITECTURAL TRUSS PROFILES FOR GEOMETRY.
- TRUSS DESIGNER TO ACCOUNT FOR LOADS FROM OTHER TRADES IN THE TRUSS DESIGN.
- R-1 DENOTES 5/8" EXTERIOR GRADE APA RATED PLYWOOD SHEATHING. SEE STRUCTURAL NOTES FOR FASTENING REQUIREMENTS. PROVIDE H-CLIPS @ ALL UNSUPPORTED PANEL EDGES.
- HD DENOTES SIMPSON MSTC40 HOLDDOWN AT E.O. SHEAR WALL (SEE TYP. DETAILS ON DWG. S1.0).
- COORDINATE ALL DIMENSIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS AND FIELD CONDITIONS.
- SEE THIS SHEET FOR DESIGN LOADS AND GENERAL STRUCTURAL NOTES
- SEE DETAIL H ON S2.1T FOR SHEARWALL FRAMING DETAILS AND SECTIONS. AS SHOWN ON STRUCTURAL DETAIL H ON S2.1. SISTER NEW STUDS TO EXISTING. PROVIDE BLOCKING, REPLACE INSULATION, CDX PLYWOOD SHEATHING, BUILDING WRAP AND CEDAR SHINGLES TO MATCH EXISTING. PROVIDE NEW PVC WINDOW AND DOOR TRIM TO MATCH EXISTING.
- ALL EXPOSED HARDWARE AND FASTENERS SHALL BE ASTM A153 CLASS "C" GALVANIZED SIMPSON CONNECTORS. ALL HARDWARE SHALL BE INSPECTED SEASONALLY BY TOWN AND CORRODED HARDWARE TO BE REPLACED.
- ALL FRAMING NOT SPECIFICALLY DETAILED SHALL BE INSTALLED IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE SBC-1 RI STATE BUILDING CODE.

LEGEND:

	HOLDDOWN LOCATION.
	SHEAR WALL (S.W.)

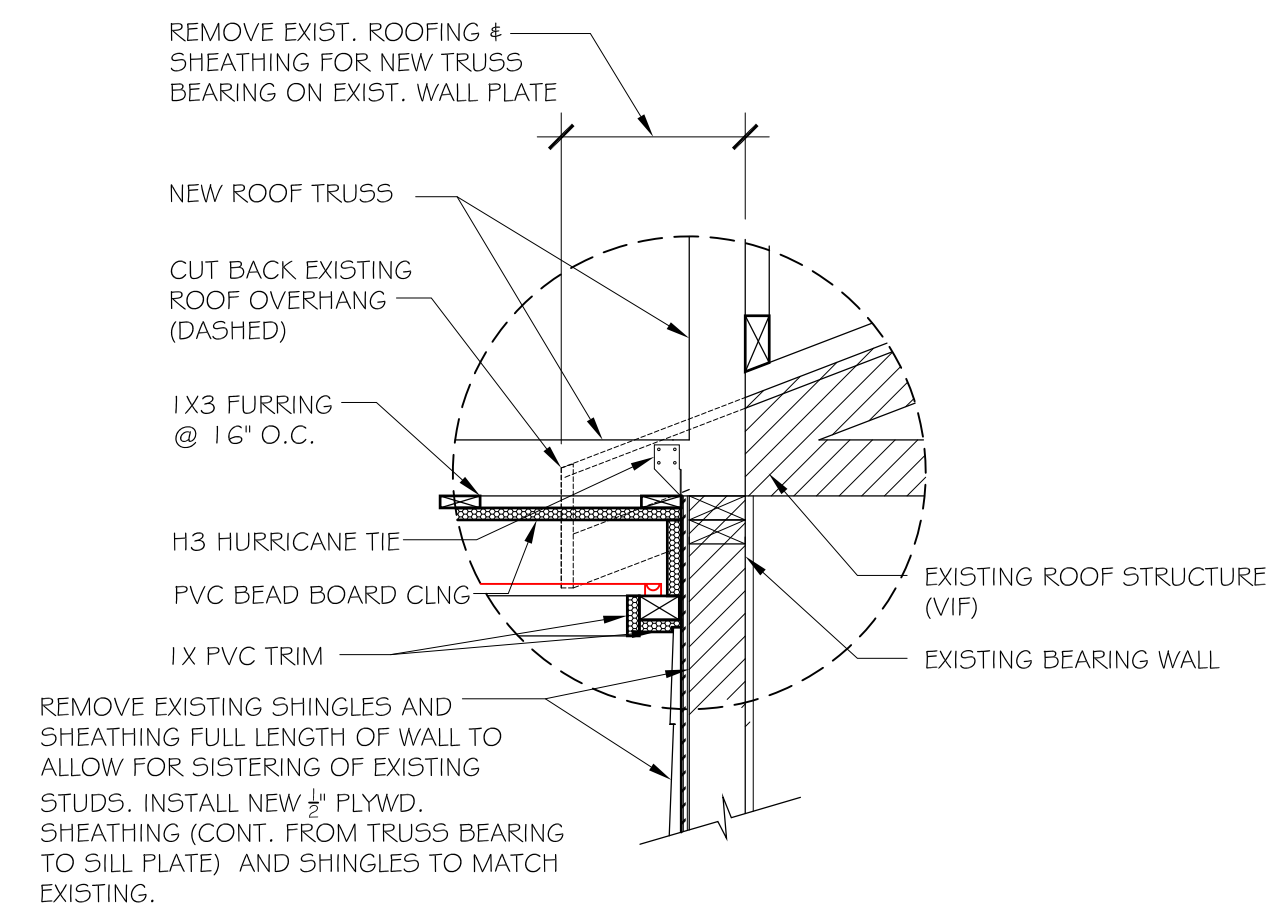


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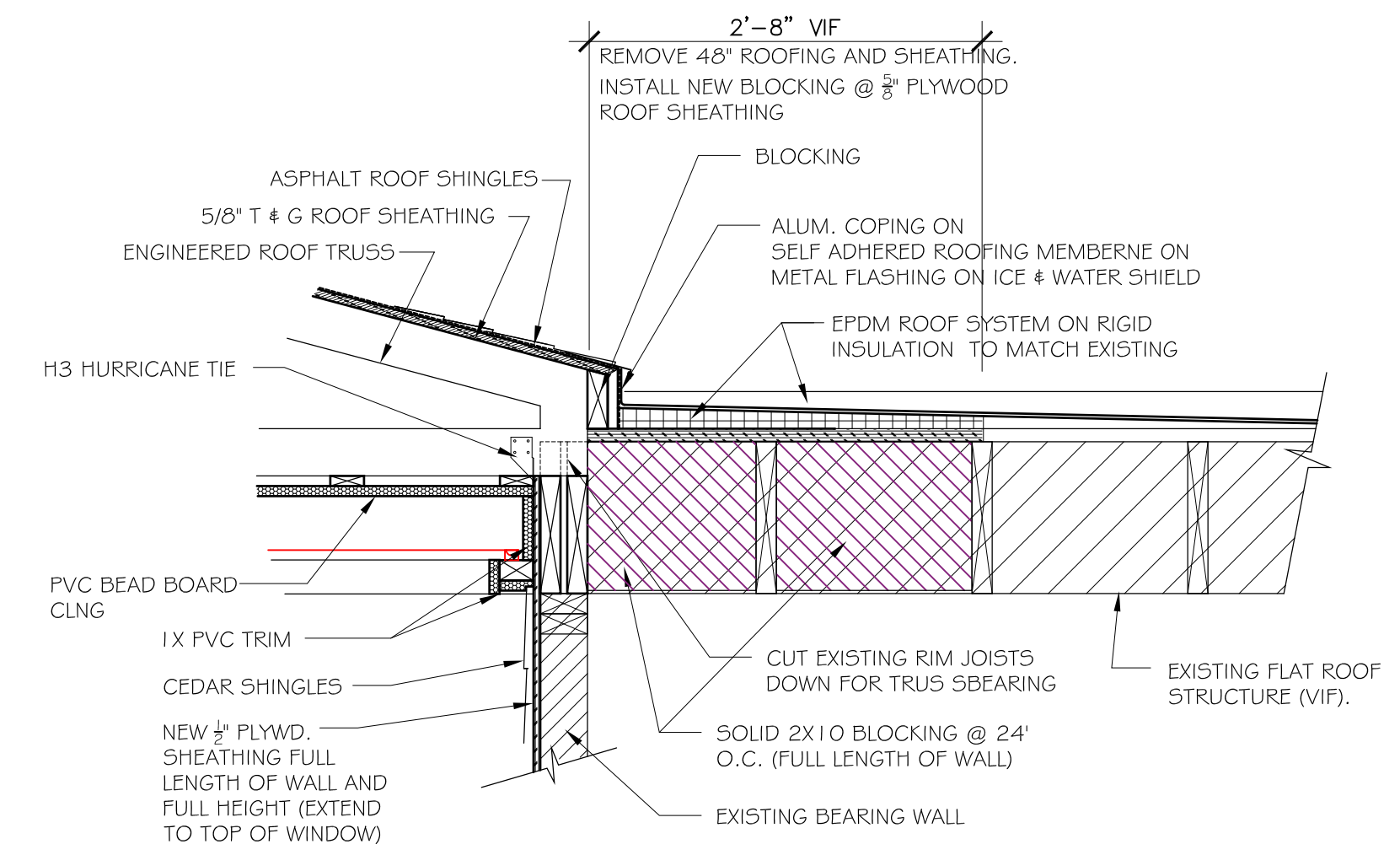
NORTH BEACH CLUB HOUSE PORCH ROOF ADDITION
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NARRAGANSETT, RI

ROOF FRAMING PLAN DIAGRAM

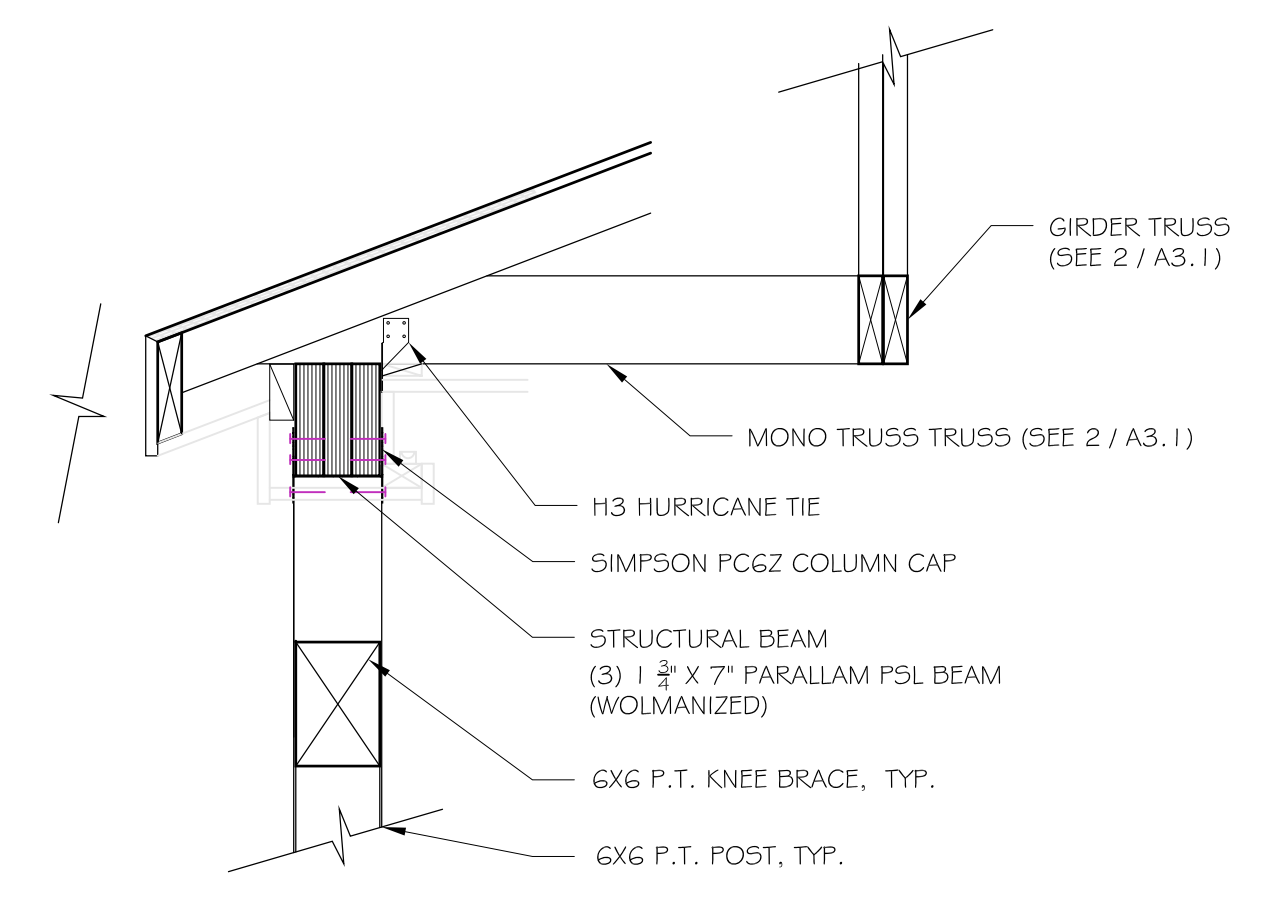
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Date: 2-27-2023	



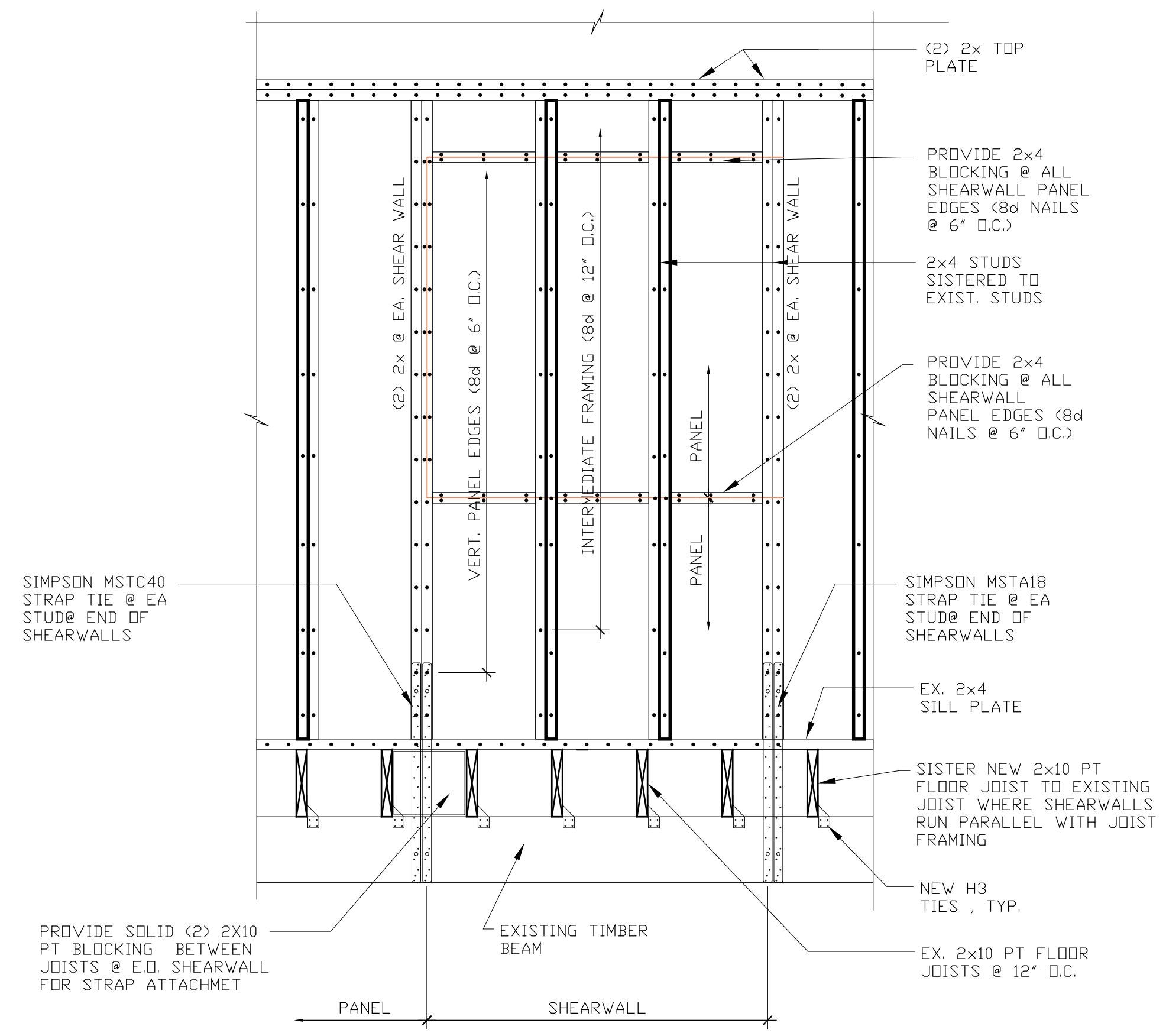
D TRUSS BEARING DETAIL
1" = 1'-0"



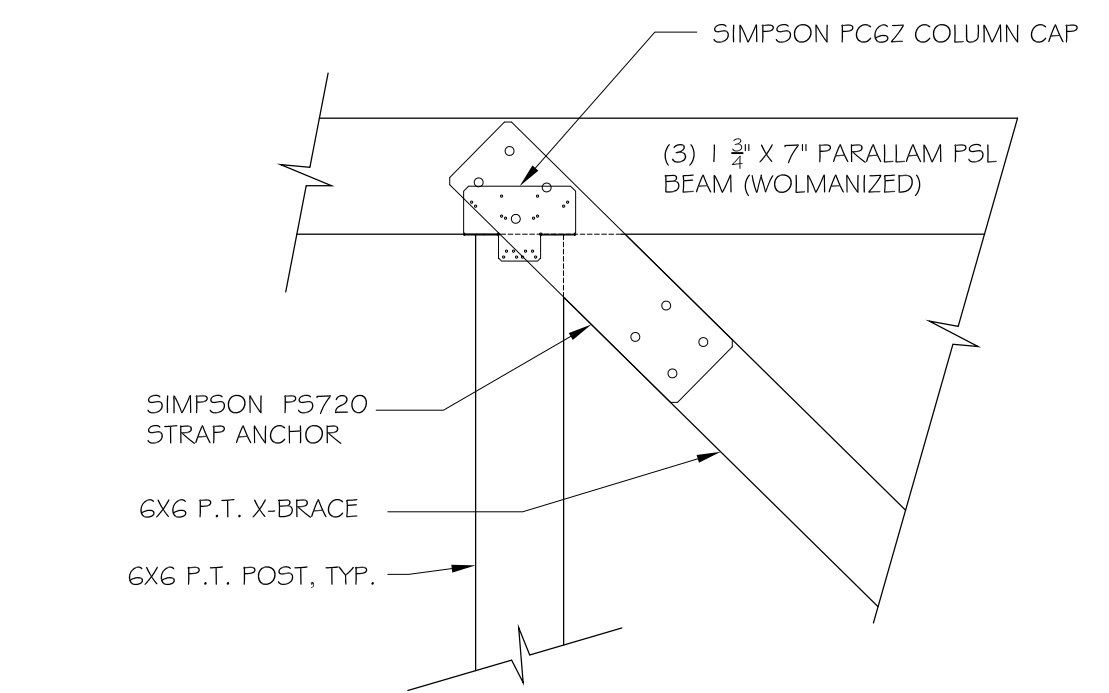
C TRUSS BEARING & ROOF EDGE DETAIL
1" = 1'-0"



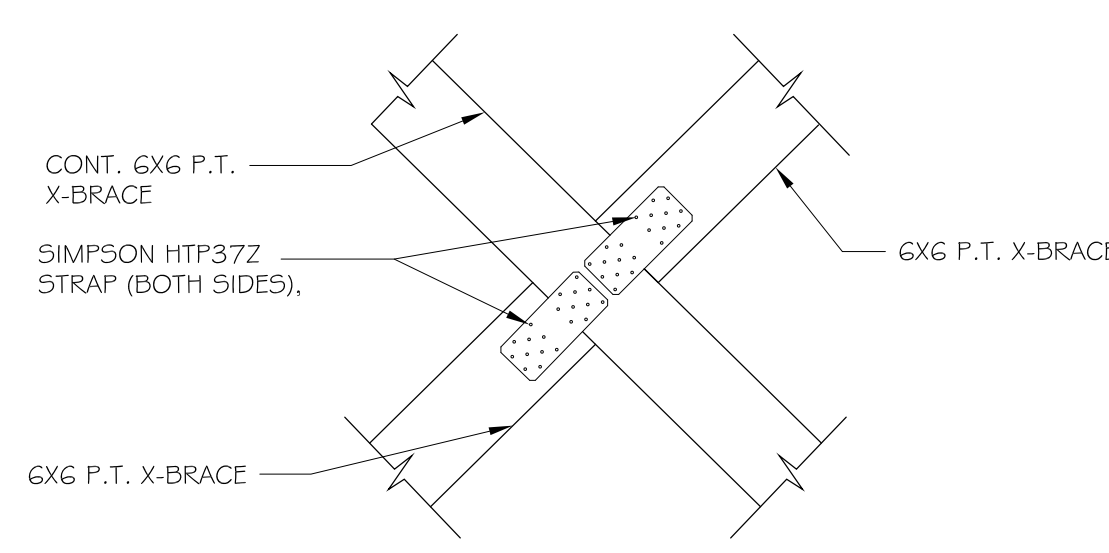
A TRUSS BEARING DETAIL
1" = 1'-0"



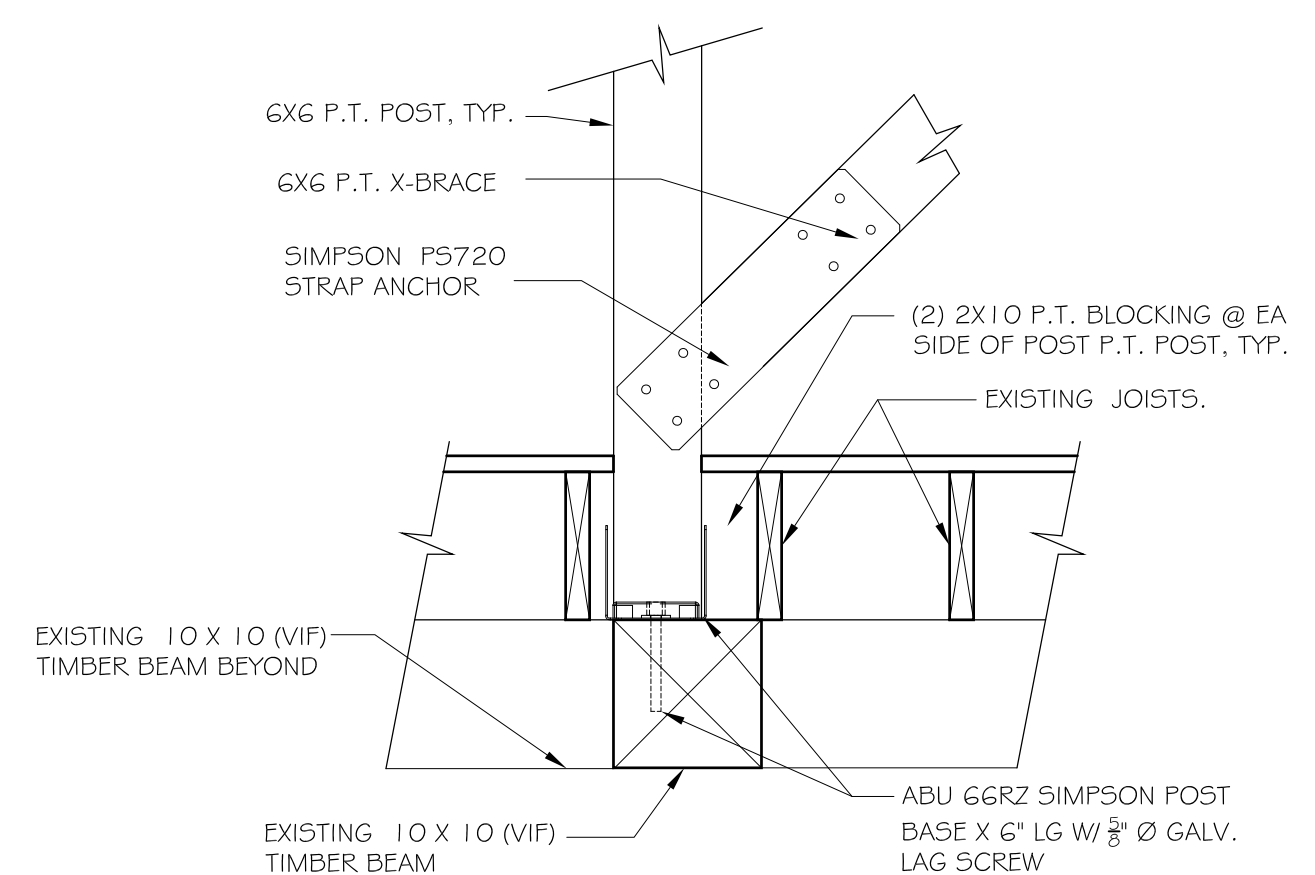
H SHEAR WALL HOLDDOWN & NAILING ELEVATION
1/2" PLYWOOD
3/4" = 1'-20"



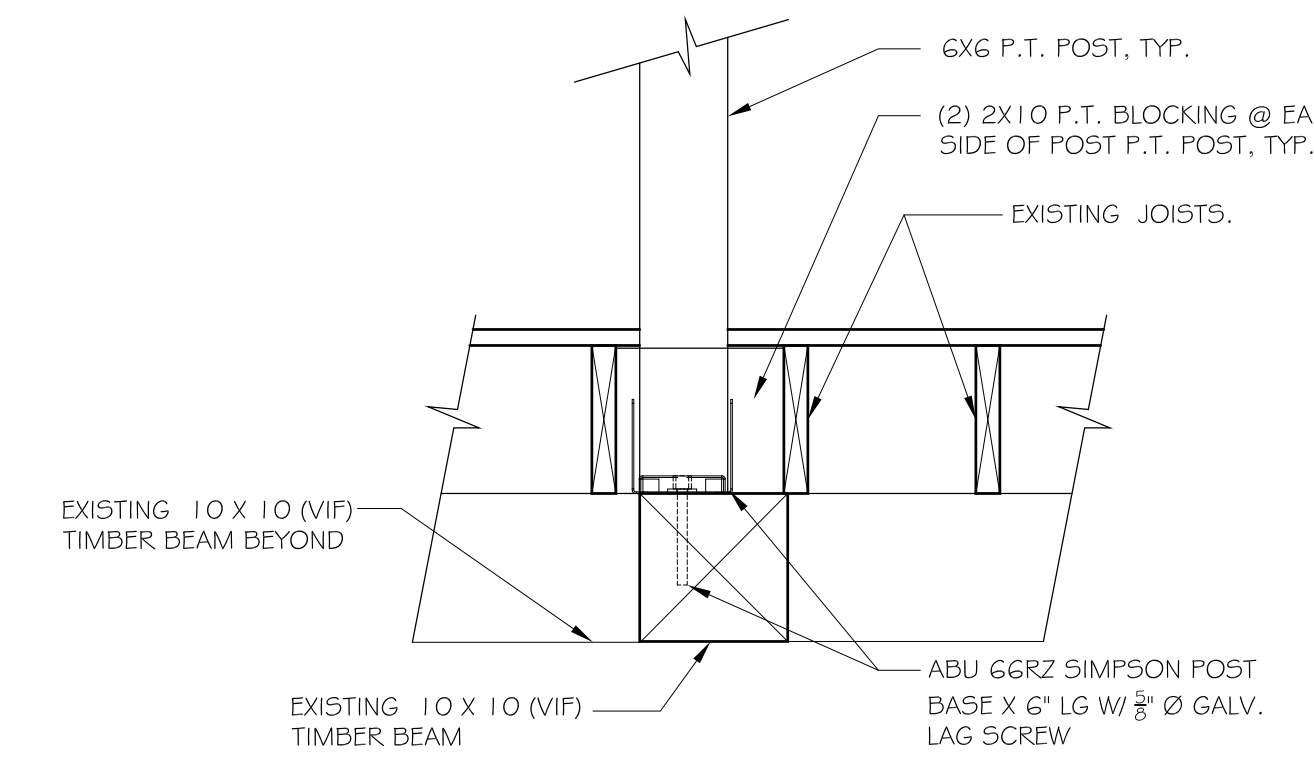
F X-BRACE DETAIL @ TOP
1" = 1'-0"



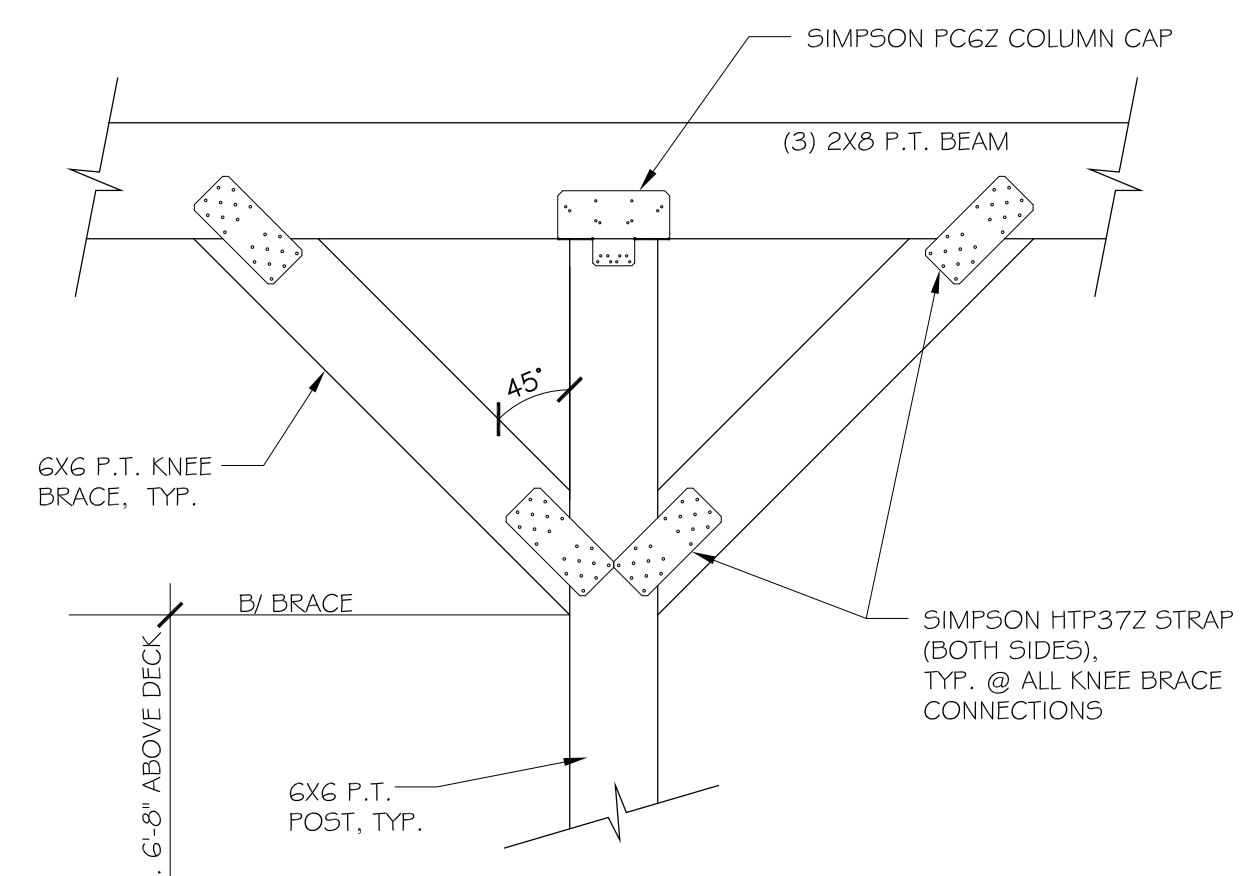
G X-BRACE DETAIL
1" = 1'-0"



J X-BRACE DETAIL @ BOTTOM
1" = 1'-0"



B POST BEARING DETAIL
1" = 1'-0"



E KNEE BRACE DETAIL
1" = 1'-0"



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NORTH BEACH CLUB HOUSE PORCH ROOF ADDITION
79 BOSTON NECK RD
NARRAGANSETT, RI

STRUCTURAL SECTIONS AND DETAILS

Project No. 22141
Drawn By: ZCI EWW
Date: 2-27-2023

S2.1



State of Rhode Island
Coastal Resources Management Council
 Oliver H. Stedman Government Center
 4808 Tower Hill Road, Suite 3
 Wakefield, RI 02879-1900

(401) 783-3370
 Fax (401) 783-3767

CRMC NOTICE OF DEFICIENT APPLICATION

Date: February 28th 2022
 Owner: Town of Narragansett
 Location: 79 Boston Neck Road
 Town: Narragansett
 App #: 2022-02-065

Town of Narragansett
 25 Fifth Avenue
 Narragansett, RI 02882

Proposed Project: Construct 36' X 36' Roof over existing deck

Dear Applicant,

We wish to thank you for your recent submittal to the Coastal Resources Management Council application process. However, a preliminary review of your application indicates that it is deficient and processing cannot be initiated as submitted. On this basis, your application fee is being returned to you. **Due to the cost of postage, your application materials will not be returned. These materials will be held for thirty (30) days during which time they may be picked up by you or your authorized agent at our Wakefield office. If they are not picked up within this time frame, they will be disposed of.**

In order to process your application, you must retrieve your application to replace the information submitted with the newly requested information along with the appropriate application fee. All checks must have a current date. No checks back-dated more than 6 months will be accepted.

Please Note: Additional information regarding this notice may be obtained from the CRMC Administrative staff, or the undersigned. **All correspondence regarding this deficiency letter (including phone calls) must reference the CRMC File No., the owner's name, location, town and date of this letter, as noted above. Please refer to CRMC web site at www.crmc.ri.gov to review applicable rules and regulations.**

Sincerely,

Odetta Morris

Odetta Morris
 CRMC Permit Staff

/lat

Date: February 28th 2022

Owner: Town of Narragansett

Location: 79 Boston Neck Road

Town: Narragansett

For the application to be deemed Complete, and to begin processing your request, please PICK UP your deficient application and RE-SUBMIT with the following MINIMUM ADDITIONAL INFORMATION:

- () Four (4) Copies of Completed Application with site plans
- () A completed Building Officials Form (enclosed; to be filled-out by the building official at local town hall)
- () Proof of Property Ownership (see tax assessor at local town hall).
- () Copy of other state permits as required, such as:
 - RIDEM/OWTS (Onsite Wastewater Treatment System)
 - RIDEM/Water Quality/Groundwater Quality Certification
 - RIDEM/Permit Discharge Elimination System
- () Correct application fee: \$ _____
- () Concise and complete description of work proposed
- () Four (4) sets of Site Plans (minimum scale of 1" = 50'); and, Project Location map
- () Four (4) sets of Plans stamped by a Professional Engineer (P.E.) registered in the State of Rhode Island are required for this project.
- (X) The work proposed in this application is listed as "Category B" in the Red Book 650-RICR-20-00-1 (see Section 1.1.6(F)). As such, Section 1.3.1(A) of the Red Book must be addressed in writing. Also coastal feature must be shown; and, all property lines must be shown on at least one plan view.**
- (X) The work proposed in this application appears to require a variance(s) and/or a special exception(s) to applicable sections of the Red Book. Please address, in writing, the Variance criteria (Section 1.1.7) and/or the Special Exception criteria (Section 1.1.8) for *each* of the Red Book standards that your application does not meet.**
- () The work proposed in this application is required to be advertised for public review. As such, site plans reduced to 8 1/2" x 11" must *also* be provided (use of more than one sheet to delineate project is acceptable).
- () The application type that has been submitted - _____ - has been deemed inappropriate for this project. Please complete the enclosed application form and provide all information requirements noted on the enclosed checklist.

Please see the following page for additional informational needs.

Date: February 28th 2022

Owner: Town of Narragansett

Location: 79 Boston Neck Road

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The following informational needs have been identified by staff to help with a more efficient review of your request. Supplying it along with the above minimum information requirements will ensure a timely processing of your application. Not supplying it at this time will not prevent your application from being accepted by the CRMC. However, this information will be needed to properly review your request. Staff may not be able to begin or complete its review until this information is received.

- () Please fill out all information as noted on the enclosed checklist.
- () Please provide photographs of the area of work and shoreline feature(s) (in retrospect if possible).
- () Where the applicant chooses not to meet any of the applicable Red Book standards noted below, a written variance request must be submitted for each standard not met. The criteria for the consideration of a variance are provided in Red Book Section 1.1.7. Each of the six criteria must be addressed in writing. Submitting a written variance request is required. It is advised that the written variance request is submitted at the time of application.
- (X) See additional information/comments as follows:
 - Addition of roof isn't considered maintenance due to roof not existing. Maintenance is for existing structures.
 - Addition may require Special Exception due to it being located on moderately developed barrier.
 - Per, §1.2.2.(B)(1)(C)(3)(AA-BB),
 - Any expansion of or development activities associated with existing recreational structures shall not occur within or extend into any flood zone designated as V on the most current FEMA Flood Insurance Rate Maps, or as established by the Federal Emergency Management Agency;
 - All activity shall be confined to the existing footprint of disturbance; for the purposes of this section, the footprint of disturbance shall be defined as that area encompassed by the perimeter of the structural foundation and/or areas determined by the CRMC to be substantially altered due to associated structures, excluding dunes, wetlands and areas encompassed within pertinent setback and buffer zone requirements of this program;
 - Please note per RICRMP definitions, Structural foundations shall include sona-tubes, pilings, concrete blocks, columns, or other types of foundation material which provide structural support to a structure which is covered by a roof.
 - Please address special exception criteria.