



State of Rhode Island and Providence Plantations  
 Coastal Resources Management Council  
 Oliver H. Stedman Government Center  
 4808 Tower Hill Road, Suite 3  
 Wakefield, RI 02879-1900

(401) 783-3370  
 Fax (401) 783-2069

### APPLICATION FOR STATE ASSENT

To perform work regulated by the provisions of Chapter 279 of the Public Laws of 1971 Amended.

Project Location <u>315 Riverside Street, Portsmouth</u>			File No. (CRMC USE ONLY)
No.	Street	City/Town	<b>2022-10-022</b>
Owner's Name <u>Richard Rua</u>			Plat: 15 Lot(s): 44
Mailing Address <u>72 Viking Drive</u>			Contact No.: <u>401-255-0964</u>
City/Town	State	RI	Zip Code <u>02871</u>
Contractor RI Lic. # <u>NA</u>			Tel. No.
Address <u>Ron Blanchard, P.E. 75 Wood Street, Bristol RI 02809</u>			Tel. No. <u>401-253-8231</u>
Designer Site Engineering Inc.			
Name of Waterway <u>Island Park Cove</u>			Estimated Project Cost (EPC): <u>\$60,000</u> Application Fee: <u>\$1,500</u>
<b>Describe accurately the work proposed. (Use additional sheets of paper if necessary and attach this form.)</b> Applicant proposes to construct a residential dock consisting of fixed pier, ramp and floating dock with overall length of 91.85'. A variance is requested to 75' beyond MLW in order to have adequate water depth at low tide.			

Have you or any previous owner filed an application for and/or received an assent for any activity on this property?  
 (If so please provide the file and/or assent numbers): 1999-04-089 Seawall Repair

Is this site within a designated historic district?  YES  NO  
 Is this application being submitted in response to a coastal violation?  YES  NO

If YES, you must indicate NOV or C&D Number: \_\_\_\_\_

Name and Addresses of adjacent property owners whose property adjoins the project site. (Accurate addresses will insure proper notification. Improper addresses will result in an increase in review time.)

Plat 15, Lot 43, Dennis Demarino & Margarita Alfaro, 317 Riverside St, Portsmouth, RI 02871

Plat 15, Lot 45, Thomas & Jeanne Holt, 168 Slater St, Attleboro, MA 02703

STORMTOOLS (<http://www.beachsamp.org/resources/stormtools/>) is a planning tool to help applicants evaluate the impacts of sea level rise and storm surge on their projects. The Council encourages applicants to use STORMTOOLS to help them understand the risk that may be present at their site and make appropriate adjustments to the project design.

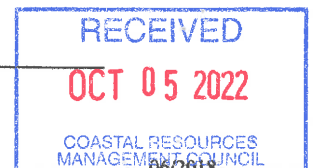
NOTE: The applicant acknowledges by evidence of their signature that they have reviewed the Rhode Island Coastal Resources Management Program, and have, where possible, adhered to the policies and standards of the program. Where variances or special exceptions are requested by the applicant, the applicant will be prepared to meet and present testimony on the criteria and burdens of proof for each of these relief provisions. The applicant also acknowledges by evidence of their signature that to the best of their knowledge the information contained in the application is true and valid. If the information provided to the CRMC for this review is inaccurate or did not reveal all necessary information or data, then the permit granted under this application may be found to be null and void. Applicant requires that as a condition to the granting of this assent, members of the CRMC or its staff shall have access to the applicant's property to make on-site inspections to insure compliance with the assent. This application is made under oath and subject to the penalties of perjury.

08/04

Richard L. Rua *R-L-R*

Owner's Signature (sign and print)

PLEASE REVIEW REVERSE SIDE OF APPLICATION FORM





APPLICATION FOR RI CRMC ASSENT  
RESIDENTIAL BOATING FACILITY

FOR  
RICHARD RUA  
315 RIVERSIDE STREET  
PORTSMOUTH RI

PREPARED BY:  
SITE ENGINEERING INC., BRISTOL, RI

SEPTEMBER, 2022



September 28, 2022

State of Rhode Island  
Coastal Resources Management Council  
Oliver H. Stedman Government Center  
Tower Hill Road  
Wakefield, RI 02879

Subject: **Proposed Residential Boating Facility, for Richard Rua  
315 Riverside Street, (Plat 15, Lot 44), Portsmouth, RI**

Dear Sir/Madam:

Enclosed you will find an application for the subject project. The original and 3 copies of the following documents are included.

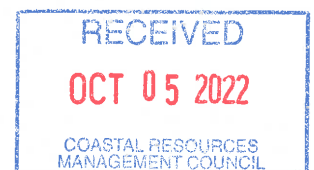
1. CRMC Application Form
2. Project Location Map
3. Set of full size plans (Separate)
5. Set of 8 ½ x 11 plans
6. Copy of Plan and Profile on 8 ½ x 11 sheets
7. CRMC Requirements Narrative
8. Letter of no Objection from Abutter
9. Proof of Ownership

The required fee in the amount of \$1,500.00 is also included. Your assistance in processing this application is greatly appreciated. Please call me if you have any questions or require any additional information.

Sincerely,



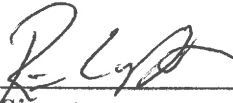
Ron Blanchard, P.E.



**STATEMENT OF DISCLOSURE AND APPLICANT AGREEMENT AS TO FEES**

The fees which must be submitted to the Coastal Resources Management Council are based upon representations made to the Coastal Resources Management Council by the applicant. If after submission of this fee the Coastal Resources Management Council determines that an error has been made either in the applicant's submission or in determining the fee to be paid, the applicant understands that additional fees may be assessed by the Coastal Resources Management Council. These fees must be paid prior to the issuance of any assent by the Coastal Resources Management Council.

The applicant understands the above conditions and agrees to comply with them.

  
\_\_\_\_\_  
Signature

9.6.22  
\_\_\_\_\_  
Date

Richard Rua, 72 Viking Drive, Portsmouth, RI 02871

\_\_\_\_\_  
Print Name and Mailing Address



**Property Card: 315 RIVERSIDE ST**  
Town of Portsmouth, RI



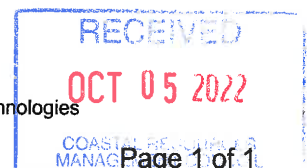
Parcel Information	
<b>Parcel ID:</b> 15-44 <b>Vision ID:</b> 2006 <b>Owner:</b> RUA RICHARD L <b>Co-Owner:</b> <b>Mailing Address:</b> 72 VIKING DR  PORTSMOUTH, RI 02871-3234	<b>Map:</b> 15 <b>Lot:</b> 44 <b>Use Description:</b> SFR-WATERF MDL-01 <b>Zone:</b> R10 <b>Land Area in Acres:</b> 0.05
Sale History	Assessed Value
<b>Book/Page:</b> 1735-185/0 <b>Sale Date:</b> 1/20/2016 <b>Sale Price:</b> \$90,000	<b>Land:</b> \$170,900 <b>Buildings:</b> \$142,400 <b>Extra Bldg Features:</b> \$0 <b>Outbuildings:</b> \$0 <b>Total:</b> \$313,300

Building Details: Building # 1		
	<b>Model:</b> Residential <b>Living Area:</b> 1484 <b>Appr. Year Built:</b> 1920 <b>Style:</b> Conventional <b>Stories:</b> 1.75 <b>Occupancy:</b> 1 <b>No. Total Rooms:</b> 8 <b>No. Bedrooms:</b> 4 <b>No. Baths:</b> 2 <b>No. Half Baths:</b> 0	<b>Int Wall Desc 1:</b> Wall Brd/Wood <b>Int Wall Desc 2:</b> <b>Ext Wall Desc 1:</b> Clapboard <b>Ext Wall Desc 2:</b> <b>Roof Cover:</b> Asph/F Gls/Cmp <b>Roof Structure:</b> Gable/Hip <b>Heat Type:</b> Hot Water <b>Heat Fuel:</b> Oil <b>A/C Type:</b> Unit/AC



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.



9/28/2022

Dennis Demarino  
and Margarita Alfaro  
317 Riverside Street  
Portsmouth, RI 02871

August 23, 2022

State of Rhode Island  
Coastal Resources Management Council  
Oliver H. Steadman Government Center  
Tower Hill Road  
Wakefield, RI 02879

**Subject: Residential Dock Application for 315 Riverside Street, Portsmouth**

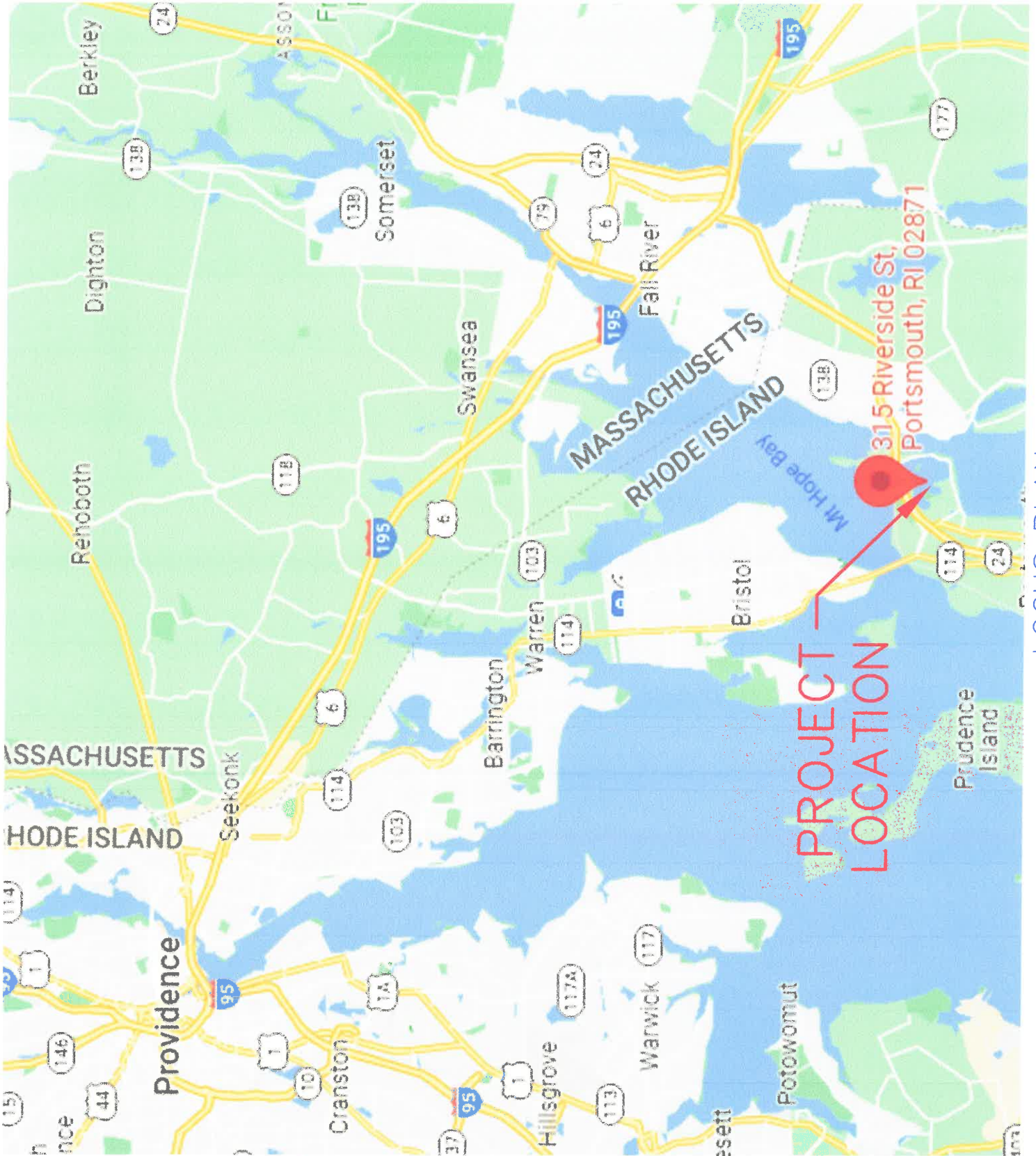
Dear Sir/Madam:

Regarding the subject application, please be advised that as owner of abutting property at 317 Riverside Street, Portsmouth RI, we have had discussions with the applicant, Mr. Richard Rua, regarding his proposal to install a dock at his property. It has been explained to us that regulations require docks be located a minimum of 25' from the property line and/or the property line extension. We understand that the applicant proposes to install the dock such that it would be approximately slightly less than one foot over our mutual property line extension. Please be advised that we have reviewed the layout of the dock with the applicant and have no objection to the placement of the dock as proposed.

Sincerely,

  
Dennis Demarino and/or Margarita Alfaro





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OCT 05 2022  
COASTAL RESOURCES  
MANAGEMENT COUNCIL

**GENERAL SPECIFICATIONS:**

IN THE EVENT THAT ANY PILE PENETRATION CANNOT BE ATTAINED THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER, FOR ANY LOCATION WHERE PILE DEPTH MAY NOT BE ACHIEVED THE CONTRACTOR SHALL RECORD THOSE LOCATIONS AND SUBMIT RECORDS TO THE DESIGN ENGINEER.

ALL WOOD PILING SHALL BE 12" DIAMETER SOUTHERN PINE WITH A MINIMUM TYP DIAMETER OF 6". MINIMUM PILE DIAMETER AT MAJOLINE SHALL BE 50". PRESURE TREATMENT SHALL BE 2.5 LB/CF OF COA. PILES SHALL BE DRIVEN TO DEPTHS AS INDICATED ON THE PLAN. PILES MAY BE DRIVEN USING A VIBRATORY HAMMER AS LONG AS THE MINIMUM PILE PENETRATION CAN BE ATTAINED.

ALL OTHER STRUCTURAL MEMBERS SHALL BE SOUTHERN PINE OR EQUIVALENT. MINIMUM TREATMENT FOR CROSS BRACING SHALL BE 2.5 LB/CF OF COA. DIAGONAL BRACING SHALL NOT BE CUT BELOW THE MID LINE. ALL CUTTING OF SUCH MEMBERS SHALL BE DONE ON THE END ABOVE WATER FOR ALL OTHER MEMBERS (STRONGS, HEADERS, BOOD SCORING) AND ANY POST OR RAIL) TREATMENT SHALL BE 0.5 LB/CF COA.

ALL METAL CONNECTION MATERIALS SHALL BE HOT DIPPED GALVANIZED. BOLTS SHALL BE A MINIMUM OF 300S STEEL. ALL BOLTED CONNECTIONS FOR HEADERS AND BRACING MEMBERS SHALL BE LOCATED A MINIMUM OF 4" FROM THE END OF THE MEMBER, AND 2" FROM THE EDGE OF THE MEMBER. MEMBERS THAT ARE SPLIT OR CRACKED IN THE AREA OF THE BOLT LOCATION SHALL NOT BE USED. FOR ALL 1" BOLTS PROVIDE 2" WARMERS BOTH SIDES.

DESIGNS FOR FIXED DOCK SHALL BE 6"x6" COMPOSITE. ALTERNATIVELY 2X8 MEMBERS CAN BE USED. FASTENERS FOR DESIGNING SHALL BE 2" STAINLESS STEEL SCREWS TWO AT EACH ATTACHMENT LOCATION.

FLATING DOCK SHALL BE OF WOOD CONSTRUCTION AND HAVE APPROXIMATELY 1/4" FREEBOARD AND 6" DRAFT. DESIGN SHALL BE 6"x6" COMPOSITE. FLATING DOCK SHALL HAVE HEAVY DUTY BARGE AND OUTRIG CORNER HARDWARE AT EACH CORNER LOCATION (POLLANBEE RD-2 OR 4" OR EQUAL). ANGLE CLIPS (POLLANBEE RD-4 OR EQUAL) SHALL BE PROVIDED FOR INTERIOR STRUCTURAL MEMBERS AS INDICATED. CLIPS SHALL BE FASTENED USING 2"x3/8" GALVANIZED LAG BOLTS INTO EACH CORNERING MEMBER.

FLAT DRAINS SHALL BE FOAM FILLED POLYURETHANE WITH 1/4" WARMERS AND SHALL HAVE STRUCTURAL MOUNTING FLANGES. DESIGN IS BASED ON FLOAT DRAINS AS MANUFACTURED BY "CUSTOM FLOATS". ANY PROPOSED SUBSTITUTES SHALL BE APPROVED BY THE DESIGN ENGINEER.

SECURE FLOAT DRAINS AT ALL EDGES IN CONTACT WITH STRUCTURAL MEMBERS. FOLLOW MANUFACTURERS SPECIFICATIONS. 3/4" LAG BOLTS WITH 1/2" WARMERS AND 1" PENETRATOR INTO STRUCTURAL MEMBER SHALL BE A REQUIRED MINIMUM WHERE TWO DRAINS MEET ON THE SAME STRUCTURAL MEMBER. USE ONE FASTENER FOR EACH DRAIN.

PILE HOLDERS FOR FLATING DOCK PILES SHALL BE HEAVY DUTY GALVANIZED, CHAIN TYPE FOR USE WITH 1 1/2" PILING (POLLANBEE PH-0 OR EQUAL). PLACEMENT OF ALL PILES SHALL BE SO AS TO ALLOW PILING TO BE TIED OFF FROM PILING BACK THAT NO CONTACT WITH PILING OCCURS.

AS AN ALTERNATIVE, PILE HOLDERS FOR FLATING DOCK MAY BE HEAVY DUTY GALVANIZED, SINGLE ROLLER TYPE FOR USE WITH 1 1/2" PILING (POLLANBEE PH-1H OR EQUAL). PLACEMENT OF ALL PILES SHALL BE SO AS TO ALLOW MOVEMENT OF THE FLOAT TO AVOID EXCESSIVE RUBBING OF HOOPS.

SECURE PILE HOLDERS TO FLATING DOCK WITH 4"-3" THROUGH BOLTS (IN HORIZONTAL DIRECTION) AND 4"-3" LAG BOLTS (IN VERTICAL DIRECTION). USE 2"x3" PLATE BLOCK BENEATH OUTSIDE MEMBERS TO PROVIDE ADEQUATE WIDTH FOR FASTENERS. USE METAL BARGE PLATES FOR 2" THROUGH BOLTS.

CLEATS SHALL BE PROVIDED FOR FLATING DOCK TWO ON EACH SIDE 1" FROM EACH END. GREAT SIZE SHALL BE 10" (POLLANBEE C-10-16 OR EQUAL) AND SHALL BE FASTENED TO WOOD MEMBERS USING GREAT ANCHORS.

A VINYL SLAMPER STRIP SHALL BE PROVIDED ALONG THE OUTBOARD SIDE OF THE FLATING DOCK. SLAMPER STRIP SHALL BE AS MANUFACTURED BY "POLLANBEE" MODEL VWR-2 OR EQUAL. RAMP SHALL BE ALUMINUM AND CONSTRUCTION SHALL BE BY MANUFACTURER REGULARLY DUNGARD IN THE TRADE. RAMP SHALL BE CONNECTED TO FIXED PORTION OF DOCK AS RECOMMENDED BY MANUFACTURER. ROLLER ANCHORS AT FLATING DOCK SHALL BE 2" DIAMETER BY 6" WIDE SMALL ROLLER TYPE. INSTALL PLATING OR METAL SHEET TO DOCK, FOR ROLLING.

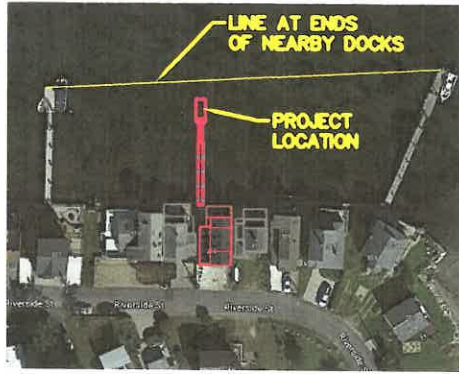
**UTILITY SPECIFICATIONS:**

ALL UTILITY WORK SHALL BE PERFORMED BY LICENSED CONTRACTORS IN THEIR RESPECTIVE TRADES. ALL WORK SHALL MEET REQUIREMENTS OF THE CURRENT STATE BUILDING CODES. ELECTRICAL WIRE SHALL BE USED BY THE ELECTRICAL CONTRACTOR. WIRE SHALL BE ENCASED IN PVC CONDUIT SUITABLE FOR MARINE APPLICATION. INSTALL EXTENSION-TYPE MARINE BRACE, DOUBLE RECEPTACLE AT END OF PER AS INDICATED.

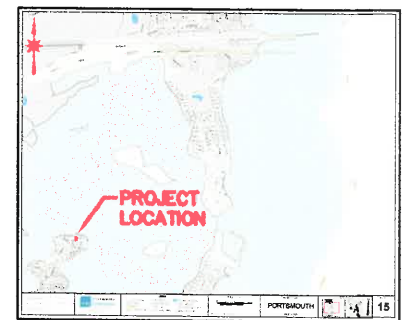
WATER LINE SHALL BE 3/4" POLYETHYLENE TEREPHTHALATE AS MANUFACTURED BY "JALAPANO" OR EQUAL. INSTALL SUITABLE BACKFLOW PREVENTER AT EITHER EXISTING DWELLING OR PER HEAD AS REQUIRED BY CODE. PROVIDE STRAIN AT END HEAD TO ALLOW DRAINAGE OF WATER FROM THE LINE DURING THE WATER LAYOUT. INSTALL SPOUT AT END OF LINE AS INDICATED.

ELECTRIC/WATER UTILITY LINES SHALL BE CONNECTED AT EXISTING DWELLING. LINES SHALL BE BURIED A MINIMUM DEPTH OF 18" ABOVE EXISTING LAWN AREA. UTILITIES SHALL BE BURIED TO UNDERSIDE OF PER AS INDICATED. WITH GALVANIZED METAL FASTENERS EVERY 6" ON CENTER.

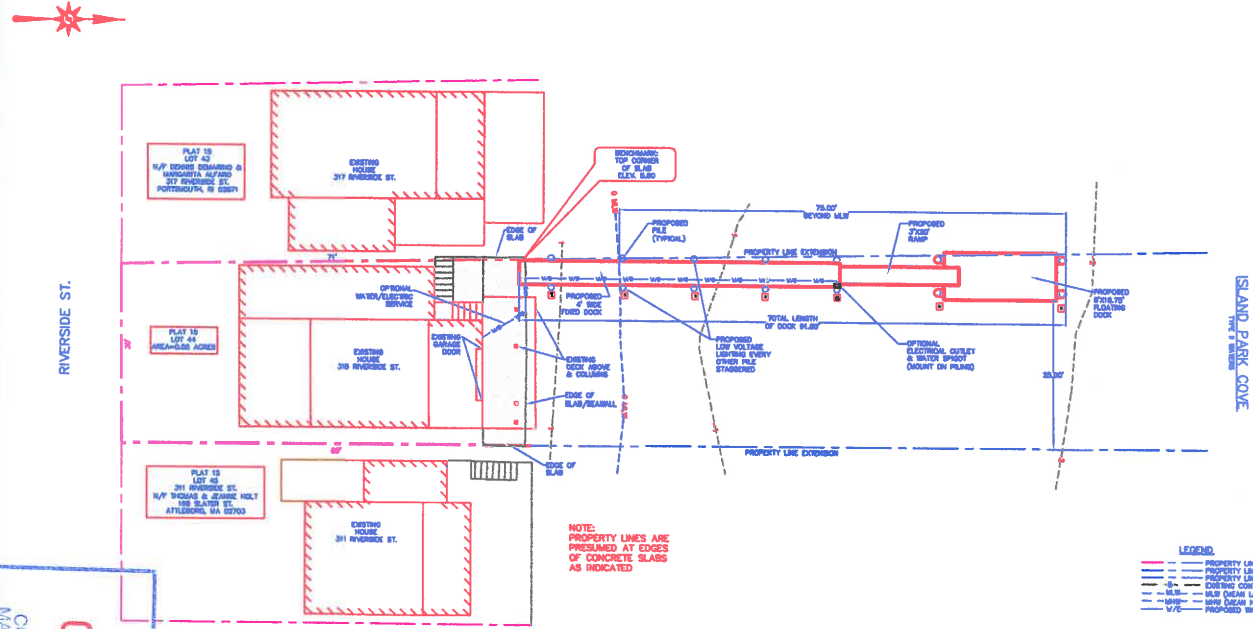
LOW VOLTAGE LIGHTING SHALL BE PROVIDED ALONG THE DOCK AS INDICATED. LIGHTING TYPE TO BE PROPOSED BY CONTRACTOR. INCLUDE LOW VOLTAGE WIRING IN ELECTRICAL CONDUIT OR SEPARATE CONDUIT AS REQUIRED BY CODE.



AERIAL PHOTO  
SCALE 1" = 50'



PORTSMOUTH, RI PLAT MAP #15



NOTE:  
PROPERTY LINES ARE PRESUMED AT EDGES OF CONCRETE SLABS AS INDICATED

- LEGEND**
- PROPERTY LINE
  - PROPERTY LINE EXTENSION
  - PROPERTY LINE EXTENSION OFFSET
  - EXISTING CONTOUR
  - 18" - 18" S&D (S&D LOW WATER)
  - 18" - 18" S&D (S&D HIGH WATER)
  - 1/2" - 1/2" PROPOSED WATER ELECTRICAL SERVICE



**REFERENCE PLANS:**  
-PLAN ENTITLED "PROPERTY MAP TOWN OF PORTSMOUTH, NEWPORT COUNTY, RHODE ISLAND"  
PREPARED BY: JAMES W. SEWALL COMPANY  
-TOWN OF PORTSMOUTH, RI TAX ASSESSOR'S GIS PLAT MAP #15

**OWNER INFO:**  
-RICHARD RUA  
72 VIKING DR.  
PORTSMOUTH, RI 02871  
  
**SITE LOCATION:**  
315 RIVERSIDE ST.  
PORTSMOUTH, RI 02871



COASTAL CHOICES MANAGEMENT BOARD  
OCT 10 2022  
RECEIVED

NOTES:  
ALL MOORINGS FOUND WITHIN 50' OF END OF PROPOSED DOCK HAVE BEEN SHOWN ON PLAN.

DATUM:  
REFERENCE DATUM IS MEAN LOW WATER

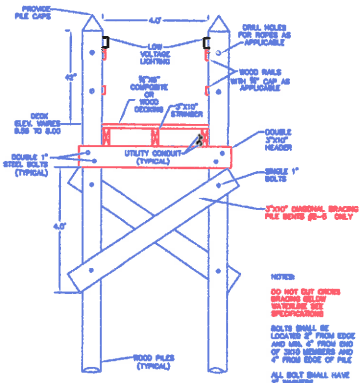
NO.	BY	DATE	REVISIONS

DESIGN: RB  
DRAWN: VS  
CHECK: RB  
DATE: 8/1/22

**SEI**  
SITE ENGINEERING INC. - PROFESSIONALS  
CIVIL - CONSULTING - PROFESSIONALS  
18 WINDY HARBOR  
PORTSMOUTH, RI 02871  
PHONE: (401) 942-0887

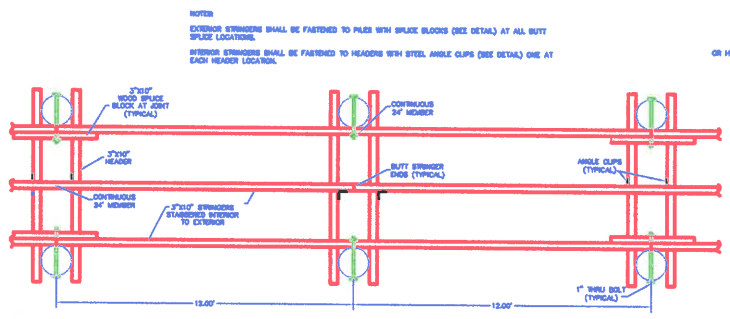
**SITE PLAN AND SPECIFICATIONS**  
RESIDENTIAL BOATING FACILITY  
PLAT 15, LOT 44  
315 RIVERSIDE ST.  
PORTSMOUTH, RHODE ISLAND.  
SCALE AS NOTED  
SHEET 1 OF 1  
**DK-1**



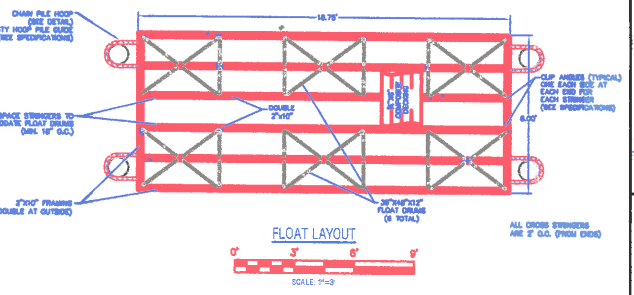


**TYPICAL CROSS SECTION**  
NOT TO SCALE

**NOTES**  
DO NOT SET CROSS BRACING BELOW WATERLINE SEE SPECIFICATIONS  
BOLTS SHALL BE LOCATED 2\"/>

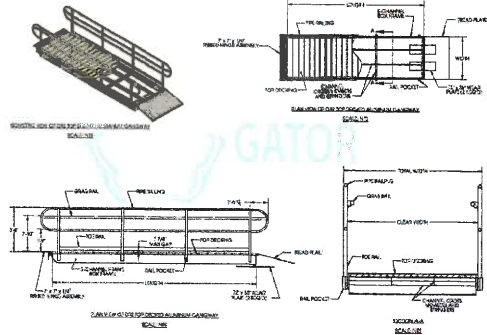


**TYPICAL STRINGER LAYOUT**  
NOT TO SCALE

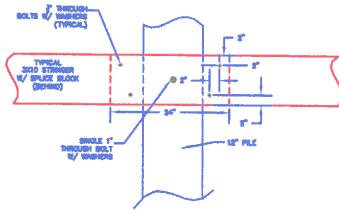


**FLOAT LAYOUT**  
SCALE 1/4\"/>

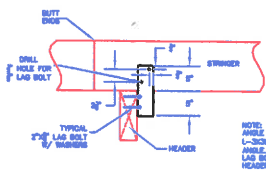
ALL CROSS BRACING ARE 2\"/>



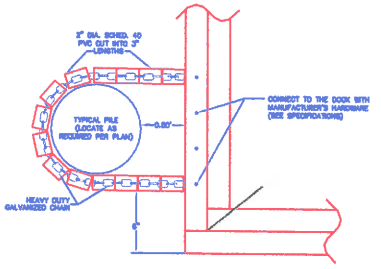
**PROPOSED ALUMINUM RAMP**  
NOT TO SCALE



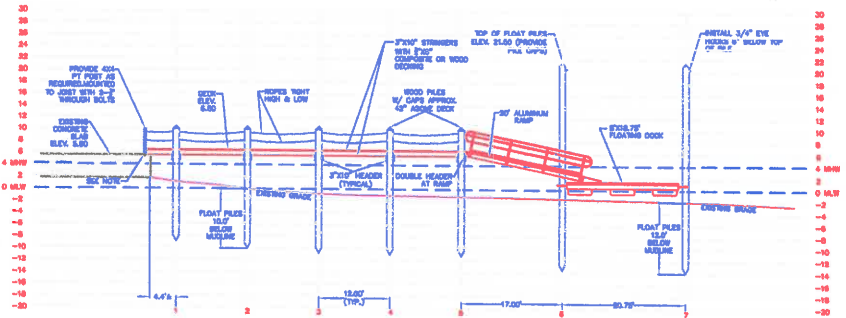
**SPLICE BLOCK DETAIL**  
NOT TO SCALE



**STRINGER/HEADER CONNECTION DETAIL**  
NOT TO SCALE



**CHAIN HOOP DETAIL**  
SCALE 1/2\"/>



**DOCK PROFILE**  
SCALE 1/4\"/>

**NOTE:**  
INSTALL 4\"/>

**NOTE:**  
FLOOD ZONE IS VE (DL 17) MH. HEIGHT OF FLOAT PILES = 1/2 (HULL TO ABL) + 1/2 (HEADS) + 1' - 0.00

**NOTE:**  
ALL NEED PILE PILES SHALL BE DIVERTED 10' BELOW BULKLINE. ALL FLOAT PILES SHALL BE DIVERTED 12' BELOW BULKLINE.

NO.	REVISIONS	DATE	BY	CHKD.

DESIGN: RB  
DR: VS  
CHK: RB  
DATE: 8/23/22

**SEI**  
**SITE ENGINEERING INC.**  
CIVIL • STRUCTURAL  
15 WIND STREET  
PORTSMOUTH, RI 02876  
PHONE: (401) 283-5887

**DOCK PROFILE & DETAILS**  
**RESIDENTIAL BOATING FACILITY**  
PLAT 15, LOT 44  
315 RIVERSIDE ST.  
PORTSMOUTH, RHODE ISLAND

**DK-2**  
SHEET 6 OF 6



**OWNER INFO:**  
RICHARD RUA  
72 VIKING DR.  
PORTSMOUTH, RI 02871

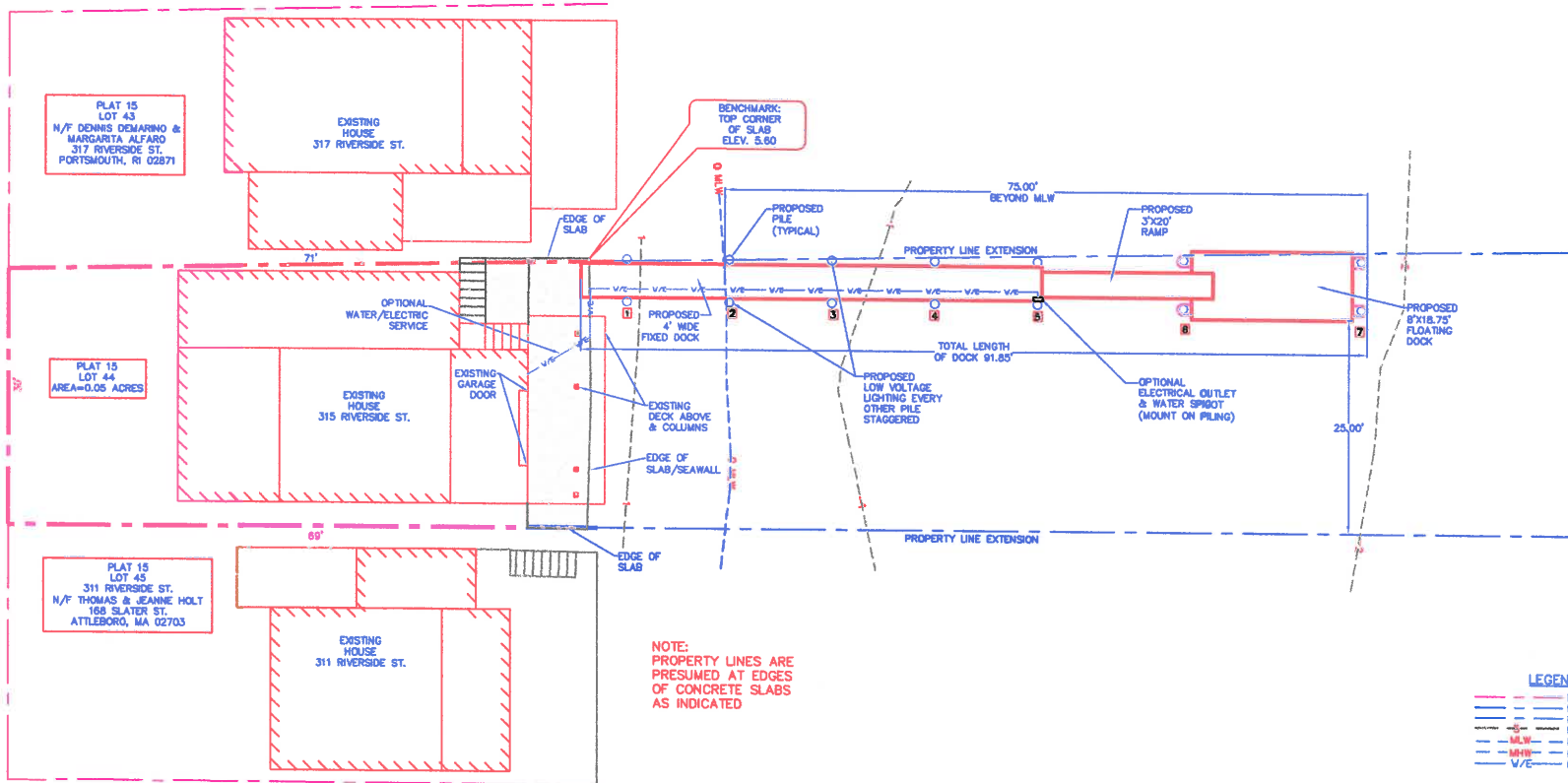
**SITE LOCATION:**  
315 RIVERSIDE ST.  
PORTSMOUTH, RI 02871

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MANAGEMENT, LLC  
PORTSMOUTH, RI



RIVERSIDE ST.

ISLAND PARK COVE  
TYPE II WALLS



NOTE:  
PROPERTY LINES ARE  
PRESUMED AT EDGES  
OF CONCRETE SLABS  
AS INDICATED

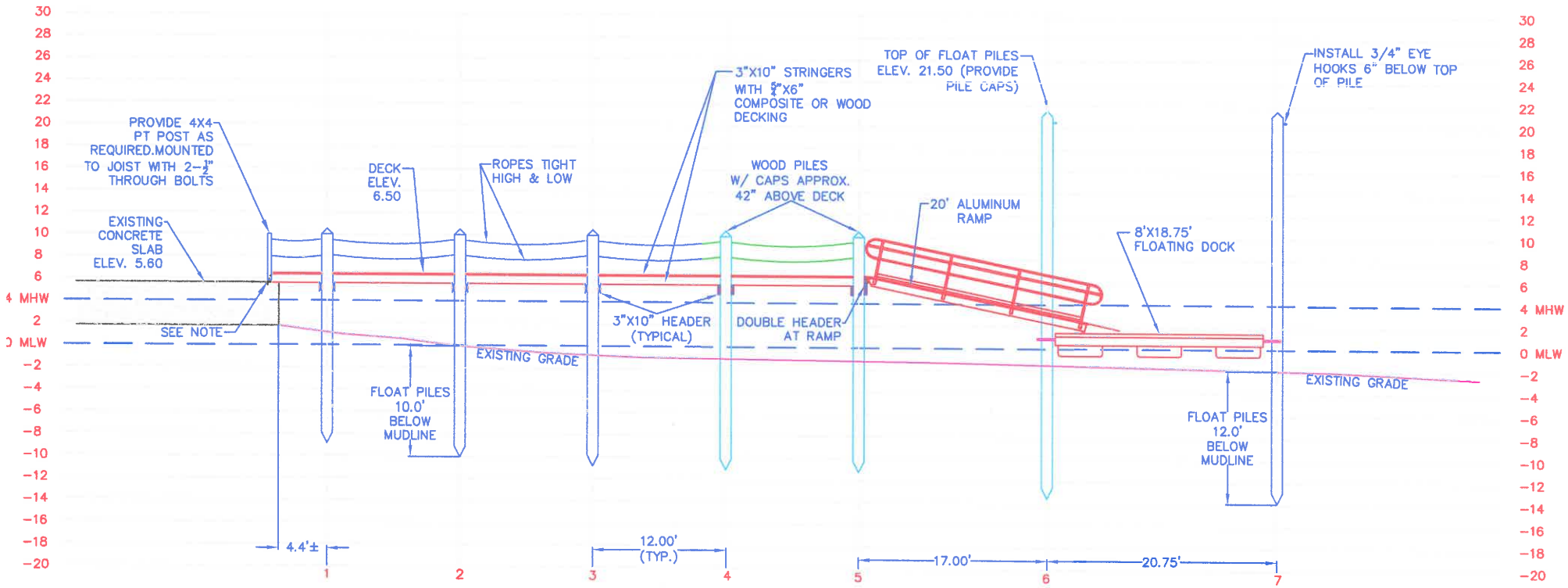
**LEGEND**

- PROPERTY LINE
- PROPERTY LINE EXTENSION
- PROPERTY LINE EXTENSION OFFSET
- EXISTING CONTOUR
- MLW (MEAN LOW WATER)
- MHW (MEAN HIGH WATER)
- W/E PROPOSED WATER ELECTRICAL SERVICE



REFERENCE PLANS:  
-PLAN ENTITLED "PROPERTY MAP  
TOWN OF PORTSMOUTH, NEWPORT COUNTY,  
RHODE ISLAND"  
PREPARED BY: JAMES W. SEWALL COMPANY

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SPECIAL SERVICES  
PLANNING DEPARTMENT



NOTE:  
 INSTALL 4" x 4" x 1/4" STEEL ANGLES (GALVANIZED) TO FASTEN JOIST AT CONCRETE SEAWALL. FASTEN INTO CONCRETE W/ 2-1/2" x 4" EXPANSION BOLTS & INTO EACH JOIST W/ 2- 1/4" x 3" LAG BOLTS

NOTE:  
 FLOOD ZONE IS VE (EL 17) MSL.  
 HEIGHT OF FLOAT PILES=17+2'(MLW TO MSL)+1.5'(FREEBOARD)+1'=21.50

NOTE:  
 ALL FIXED PIER PILES SHALL BE DRIVEN 10' BELOW MUDLINE.  
 ALL FLOAT PILES SHALL BE DRIVEN 12' BELOW MUDLINE.

**DOCK PROFILE**



SCALE: 1"=10'

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 OCT 05 2022  
 COASTAL RESOURCES  
 MANAGEMENT COUNCIL

# COASTAL RESOURCES MANAGEMENT COUNCIL REQUIREMENTS

## RESIDENTIAL BOATING FACILITY

For  
RICHARD RUA  
315 RIVERSIDE STREET  
PORTSMOUTH, RI

Prepared By  
Ron Blanchard, P.E.

### PROJECT DESCRIPTION

The project involves construction of a new residential fixed wood dock, floating access dock, ramp and terminal float, with an overall length of approximately 91.85'. In accordance with CRMP requirements, the fixed dock portion of the facility would be 4' wide (between pilings), and the float space would be limited to 150sf. However, a variance is required to 75' beyond MLW. This length would allow the applicant almost 2 feet of water at low tide. Variance criteria for the proposed extension beyond 50' MLW are addressed below.

### RELATED SECTIONS

The project is within Type 2 waters of Island Park Cove. The location is shown on the Portsmouth Quadrangle Map. Reference is made to the Coastal Resources Management Program. Applicable sections for water use and project type are addressed in detail as follows.

#### Section 1.1.7: Variances

As outlined under the project description the project would require a variance. Due to existing conditions at the site, the dock would be required to extend to approximately 75' beyond MLW in order to obtain almost 2' of water at mean low tide.

A. The Council's six criteria for a variance are addressed as follows.

1. As outlined herein, and in the plan drawing which accompanies this application, with exception of the variance requested, the project conforms to all applicable goals and policies of Parts Two and Three of the CRMP.

2. The proposed project will not result in any significant adverse environmental impacts or use conflicts. The relatively narrow width of the proposed dock will not block light penetration into the water. Although some temporary disturbance will result from pile driving operations the piles will become a site for marine growth. Coastal wetlands are not present at the site. The dock is sufficiently elevated (approximately 5.5') above low tide conditions however, site conditions otherwise prevent lateral access along the



shore in higher tide conditions. Even with the variance granted for an additional 25', the dock would be a near shore structure that would not interfere with any navigation channels.

3. The conditions at the site are such that the standard cannot be met. Conforming to the 50' beyond MLW would provide less than 1.5' of water at MLW at mid-point of the floating dock. The applicant desires slightly more water depth to better facilitate boating operations which is easily achievable with a 25' extension (approximately 6" of water depth gained). Having less than 1.5' of water at MLW would not comply with dock standards and would therefore have a negative impact on the intended project purpose.

4. Extension to 75' beyond MLW is considered the minimum required to relieve the hardship. A depth of almost 2' of water at mean low tide could accommodate a boat under most tidal conditions, (allowing a few inches of water for bottom clearance) and would allow more reasonable use of the facility.

5. The existing conditions at the site are those that naturally occur and are not a result of the any prior action of the applicant. **It should be noted that the proposed extension would still put the end of the proposed dock at less than that of other nearby docks (as shown on the aerial photo on the project plan).**

6. Compliance with the requirement would cause the applicant an undue hardship. Conforming to the 50' beyond MLW standard would provide less than the required 1.5' of water at the mid-point of the floating dock at low tide. This would result in restrictions on boating operations. As proposed, the dock would have almost 2' of water available on average, which would assure adequate water depth to be available under most tide conditions.

B. Subdivisions do not apply to this project.

C. As stated under item 1. above, the project complies with all other requirements of the CRMP.

D. The possibility of variance from the local municipality, which would obviate the need for a CRMC variance, is not applicable to this project.

### **Section 1.2.1 B: Type 2 Low-Intensity Use**

#### **Policies**

a. The project would provide for low-intensity use for recreational boating purposes and would not detract from the Council's goal of maintaining this area for scenic value, water quality, and natural habitat.

b. Dredging, marinas etc., are not applicable to this project.



c. Residential boating facilities may be permitted in Type 2 waters. 1. Coastal wetlands are not present at the project location. 2. Access to the site is available from the water as well as from land. It is planned to install all driven piles from the water using barge mounted machinery. 3. The proposed dock is also sufficiently elevated as appropriate for the site conditions and would therefore not interfere with other public uses of the shoreline. 4. Dock length is not in accordance with CRMC requirements however a variance is requested for greater than 50' beyond MLW.

d. As described in Section 1.3.5, the scenic quality of the area will be maintained.

e. Stormwater runoff and/or poorly flushed estuaries are not applicable to this project

f. The project is not contiguous to a public park or beach, and therefore the facility will not interfere with public use of the area.

### **Section 1.3.1 D: Recreational Boating Facilities**

#### **1. Policies**

a. Application process and necessary requirements have been taken into account.

c. The USCG authority over navigation is recognized. The project is not near any navigation channels. Therefore, the project would not have any adverse effect on navigation.

d.,e. Harbor management plans and cooperative agreements and/or dockominums etc., are not applicable to this project

f.,g.,h. The project does not propose to repair a structure that has been more than 50% destroyed.

i. No out hauls exist on this site.

#### **3. Residential Boating Policies**

a. Registration of this new residential boating facility is requested as part of the application submission and the registration plate will be posted upon completion of construction.

b. The facility is not intended to service a number of users.

c. The project has been designed to adequately withstand wave and high wind conditions such that risk of storm damage would be minimized to the maximum extent practicable.

d.,f. Only one dock is proposed and is contiguous to a private residence and shall not accommodate more than 4 boats.



e.g. Limited recreational boating facilities are not applicable to this project.

h. Type I waters are not applicable to this project.

#### **4. Prerequisites**

**The proposed structure does not conform to requirements to remain a minimum of 25' from property line extensions. However, a letter of no objection has been obtained from the affected abutter.**

#### **6 Residential Boating Prerequisites**

a-f This application is submitted for review by the dock subcommittee with request for a length variance.

#### **7. Prohibitions**

None of the prohibitions outlined in the CRMP will be violated as a result of the project.

#### **8. Standards**

a. Site plan drawings accompany this application package. The MLW was established by setting the reference elevation to the exact tide level, during the exact time of low tide on the date the site was surveyed, such that the MLW would be set at zero. Use of nearest tide station and information on predicted tides from the reference tide prediction sites were employed.

b. A Registered Professional Engineer in the State of Rhode Island has designed and certified this package

c. All structural elements have designed in accordance with appropriate design references and/or standard engineering practices.

d. Standards for Section 1.3.1 R (SAVs) have been addressed in this narrative.

#### **11. Residential Docks, Piers and Floats Standards**

a. The minimum design criteria of Table 3 have been addressed in the design of the proposed dock structure. The design plans have been certified by a Professional Engineer licensed in the State of Rhode Island.

b. A detailed bathymetric/topographic survey, including features of the shoreline, vegetation, location of all existing and/or proposed access ways, etc., have been indicated on design plans.



c. The fixed portion of the proposed structure is capable of supporting a live load of 40 lbs/SF. The proposed floating dock will support a uniform load of 20 lbs/SF or a concentrated load of 400 lbs.

d. No creosote shall be applied to any portion of this structure.

e, f, p, q, v. These items are addressed on the site plan drawings that accompany this application package. **It should be noted that lateral access (item v.) is provided as best it can be for this particular site condition. The seawall limits shoreline access during higher tide conditions (see plan profile). The dock however provides approximately 5.5' of clearance under the dock at low tide conditions.**

g. Coastal wetlands are not present at the site.

h, o. The facility would be properly maintained once constructed. The owner would undertake minor repairs to the dock as required such as decking replacement etc. No alterations to the design or expansion of the facility would take place without a new Assent. If pile replacement becomes necessary, then an application for Maintenance would be submitted.

i. The dock includes a floating dock and ramp.

j, m, n, s. These items are not applicable to this project.

k. The dock as proposed does intrude within the 25 foot extension of abutting property line, however a letter of no objection from the affected abutter has been obtained.

l. The dock is proposed to extend more than 50' beyond MLW, however a request for variance has been made.

r. Geologic conditions at the site are anticipated to be acceptable for a structure of this type.

t. The dock has been located in reference to existing property lines with margin of error allowed for in the setback distance.

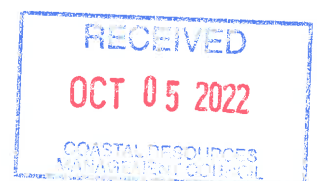
u. Design standards described in Table 3 have been followed.

w.,x. Standards for Section 1.3.1 R (SAVs) have been addressed in this narrative.

y. A registration plate will be affixed to the outer most pile as required.

## **12. Residential Docks with Excessive Fetch Standards**

Not applicable to this project.





## **Section 1.3.1 R: Submerged Aquatic Vegetation and Aquatic Habitats of Particular Concern.**

### **General**

The bathymetric survey was conducted at low tide and the bottom was visible during the survey. No eelgrass or other Submerged Aquatic Vegetation (SAV) was found in the area of the proposed structure. Also, in general, SAVs are not found in the upper reaches of the bay or rivers.

## **Section 1.3.5: Guidelines for the Protection and Enhancement of the Scenic Value of the Coastal Region**

### **General Guidelines**

1. Visual character will be maintained, as the proposed wood pier is consistent with water use that includes residential docks.
- 2.&3. The project will not obstruct views to and across the water. The skyline will not be altered or disrupted in any way as a result of the project. The project will not in any way degrade the scenic value of the area.
4. The site is not adjacent to a historic feature.

### **In and Adjacent to Type 1,2&4 Waters**

1., 2.,3.,4.,&5 These guidelines seem to apply to structures and dwellings and not to boating facilities, therefore these items are not applicable to this project.

## **CONCLUSION**

With exception of extension to 75' beyond MLW for which a variance has been requested, the project conforms to all standards of 1.3.1 D. The dock will not protrude into the water any further than other nearby docks and will therefore be consistent with other nearby docks. The project does not present any impact to aquatic life, current flow or water quality. The project does not otherwise present any significant adverse effects to Rhode Island's coastal resources.



**GENERAL SPECIFICATIONS:**

IN THE EVENT THAT ANY PILE PENETRATION CANNOT BE ATTAINED THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER. FOR ANY LOCATION WHERE PILE DEPTH CAN NOT BE ACHIEVED THE CONTRACTOR SHALL RECORD THOSE LOCATIONS AND SUBMIT RECORDS TO THE DESIGN ENGINEER.

ALL WOOD PILING SHALL BE 12" DIAMETER SOUTHERN PINE WITH A MINIMUM TIP DIAMETER OF 8". MINIMUM PILE DIAMETER AT MUDLINE SHALL BE 10". PRESSURE TREATMENT SHALL BE 2.5 LB/CF CCA. PILES SHALL BE DRIVEN TO DEPTHS AS INDICATED ON THE PLAN. PILES MAY BE DRIVEN USING A VIBRATORY HAMMER AS LONG AS THE MINIMUM PILE PENETRATION CAN BE ATTAINED.

ALL OTHER STRUCTURAL MEMBERS SHALL BE SOUTHERN PINE OR EQUIVALENT. MINIMUM TREATMENT FOR CROSS BRACING SHALL BE 2.5 LB/CF OF CCA. DIAGONAL BRACING SHALL NOT BE CUT BELOW THE MHW LINE. ALL CUTTING OF SUCH MEMBERS SHALL BE DONE ON THE END ABOVE MHW. FOR ALL OTHER MEMBERS (STRINGERS, HEADERS, WOOD DECKING AND ANY POST OR RAILS) TREATMENT SHALL BE 0.6 LB/CF CCA.

ALL METAL CONNECTION MATERIALS SHALL BE HOT DIPPED GALVANIZED. BOLTS SHALL BE A MINIMUM OF 36KSI STEEL. ALL BOLTED CONNECTIONS FOR HEADERS AND BRACING MEMBERS SHALL BE LOCATED A MINIMUM OF 4" FROM THE END OF THE MEMBER, AND 2" FROM THE EDGE OF THE MEMBER. MEMBERS THAT ARE SPLIT OR CRACKED IN THE AREA OF THE BOLT LOCATION SHALL NOT BE USED. FOR ALL 1" BOLTS PROVIDE 2" WASHERS BOTH SIDES.

DECKING FOR FIXED DOCK SHALL BE 3/4"x6" COMPOSITE. ALTERNATIVELY 2X6 MEMBERS CAN BE USED. FASTENERS FOR DECKING SHALL BE 2 1/2" STAINLESS STEEL SCREWS TWO AT EACH ATTACHMENT LOCATIONS.

FLOATING DOCK SHALL BE OF WOOD CONSTRUCTION AND HAVE APPROXIMATELY 18" FREEBOARD AND 6" DRAFT. DECKING SHALL BE 3/4"x6" COMPOSITE. FLOATING DOCKS SHALL HAVE HEAVY DUTY INSIDE AND OUTSIDE CORNER HARDWARE AT EACH CORNER LOCATION (FOLLANSBEE WD-E AND WD-IN OR EQUAL). ANGLE CLIPS (FOLLANSBEE RWD-A OR EQUAL) SHALL BE PROVIDED FOR INTERIOR STRUCTURAL MEMBERS AS INDICATED. CLIPS SHALL BE FASTENED USING 2"x3/8" GALVANIZED LAG BOLTS INTO EACH CONNECTING MEMBER.

FLOAT DRUMS SHALL BE FOAM FILLED POLYETHYLENE WITH UV INHIBITORS AND SHALL HAVE STRUCTURAL MOUNTING FLANGES. DESIGN IS BASED ON FLOAT DRUMS AS MANUFACTURED BY "CUSTOM FLOATS." ANY PROPOSED SUBSTITUTES SHALL BE APPROVED BY THE DESIGN ENGINEER.

SECURE FLOAT DRUMS AT ALL EDGES IN CONTACT WITH STRUCTURAL MEMBERS. FOLLOW MANUFACTURER'S SPECIFICATIONS. 3/8" LAG BOLTS WITH 1 1/2" WASHERS AND 1" PENETRATOR INTO STRUCTURAL MEMBER SHALL BE A REQUIRED MINIMUM. WHERE TWO DRUMS MEET ON THE SAME STRUCTURAL MEMBER, USE ONE FASTENER FOR EACH DRUM.

PILE HOLDERS FOR FLOATING DOCK PILES SHALL BE HEAVY DUTY GALVANIZED, CHAIN TYPE FOR USE WITH 12" PILING (FOLLANSBEE PH-C OR EQUAL). PLACEMENT OF ALL PILES SHALL BE SO AS TO ALLOW FLOAT TO BE TIED OFF FROM PILING SUCH THAT NO CONTACT WITH PILING OCCURS.

AS AN ALTERNATIVE, PILE HOLDERS FOR FLOATING DOCK MAY BE HEAVY DUTY GALVANIZED, SINGLE ROLLER TYPE FOR USE WITH 12" PILING (FOLLANSBEE PH-H14R OR EQUAL). PLACEMENT OF ALL PILES SHALL BE SO AS TO ALLOW MOVEMENT OF THE FLOAT TO AVOID EXCESSIVE RUBBING OF HOOPS.

SECURE PILE HOLDERS TO FLOATING DOCK WITH 4-1/2" THROUGH BOLTS (IN HORIZONTAL DIRECTION) AND 4-3/8" LAG BOLTS (VERTICAL DIRECTION). USE 3"x10" SPLICE BLOCK BEHIND OUTSIDE MEMBER TO PROVIDE ADEQUATE WIDTH FOR FASTENING. USE METAL BACKER PLATES FOR 1/2" THROUGH BOLTS.

CLEATS SHALL BE PROVIDED FOR FLOATING DOCK, TWO ON EACH SIDE 1' FROM EACH END. CLEAT SIZE SHALL BE 10" (FOLLANSBEE C-10-M OR EQUAL) AND SHALL BE FASTENED TO WOOD MEMBERS USING CLEAT NAILS.

A VINYL BUMPER STRIP SHALL BE PROVIDED ALONG THE OUTBOARD SIDE OF THE FLOATING DOCK. BUMPER STRIP SHALL BE AS MANUFACTURED BY "FOLLANSBEE" MODEL VRR-2 OR EQUAL.

RAMP SHALL BE ALUMINUM AND CONSTRUCTION SHALL BE BY MANUFACTURER REGULARLY ENGAGED IN THE TRADE. RAMP SHALL BE CONNECTED TO FIXED PORTION OF DOCK AS RECOMMENDED BY MANUFACTURER. ROLLER ASSEMBLY AT FLOATING DOCK SHALL BE 2" DIAMETER BY 6" WIDE SMALL ROLLER TYPE. INSTALL PLASTIC OR METAL SHEET TO DECK, FOR ROLLERS.

**UTILITY SPECIFICATIONS:**

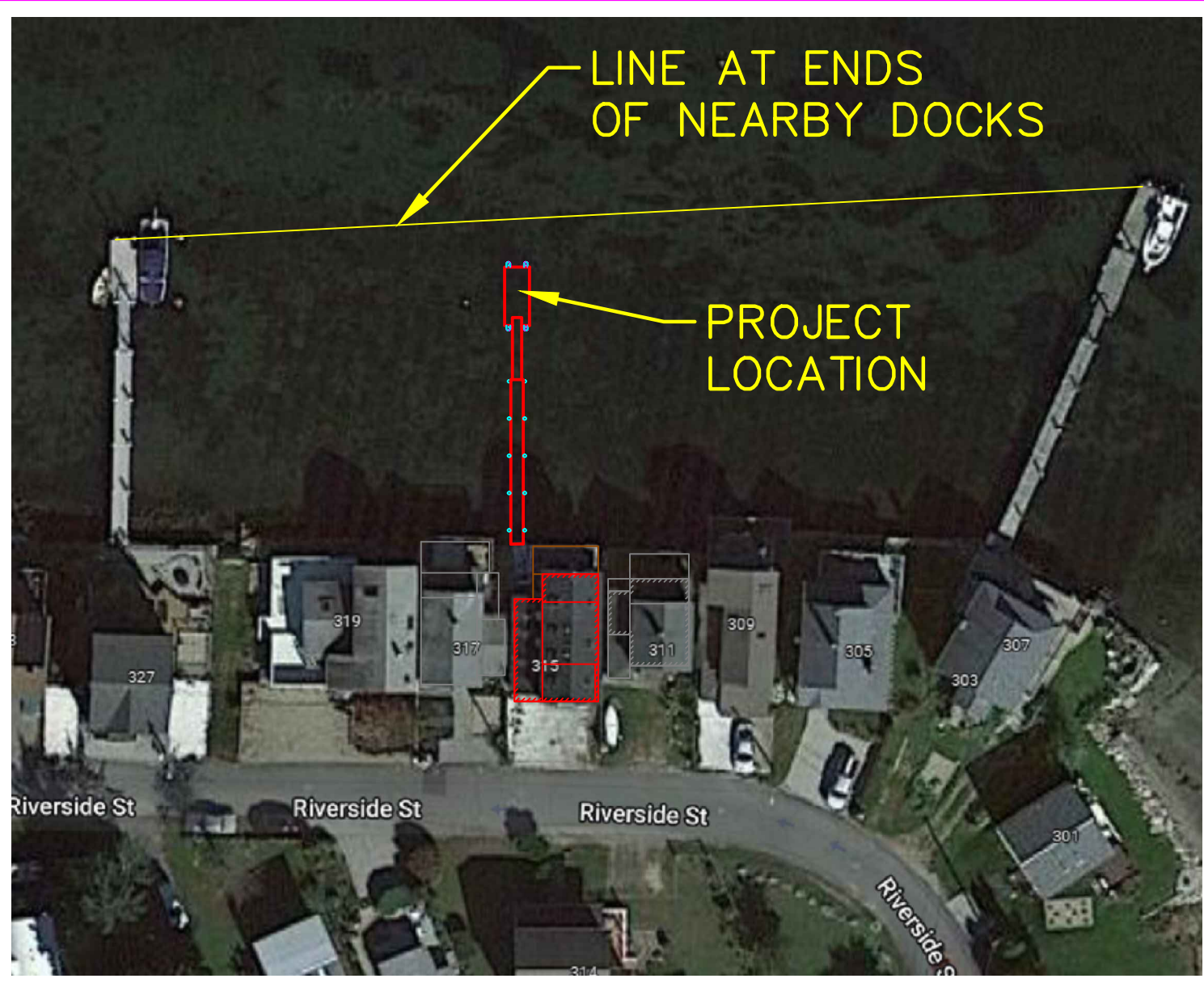
ALL UTILITY WORK SHALL BE PERFORMED BY LICENSED CONTRACTORS IN THEIR RESPECTIVE TRADES. ALL WORK SHALL MEET REQUIREMENTS OF THE CURRENT STATE BUILDING CODES.

ELECTRICAL WIRE SHALL BE SIZED BY THE ELECTRICAL CONTRACTOR. WIRE SHALL BE ENCASED IN PVC CONDUIT SUITABLE FOR MARINE APPLICATION. INSTALL EXTERIOR-TYPE, MARINE GRADE, DOUBLE RECEPTACLE AT END OF PIER AS INDICATED.

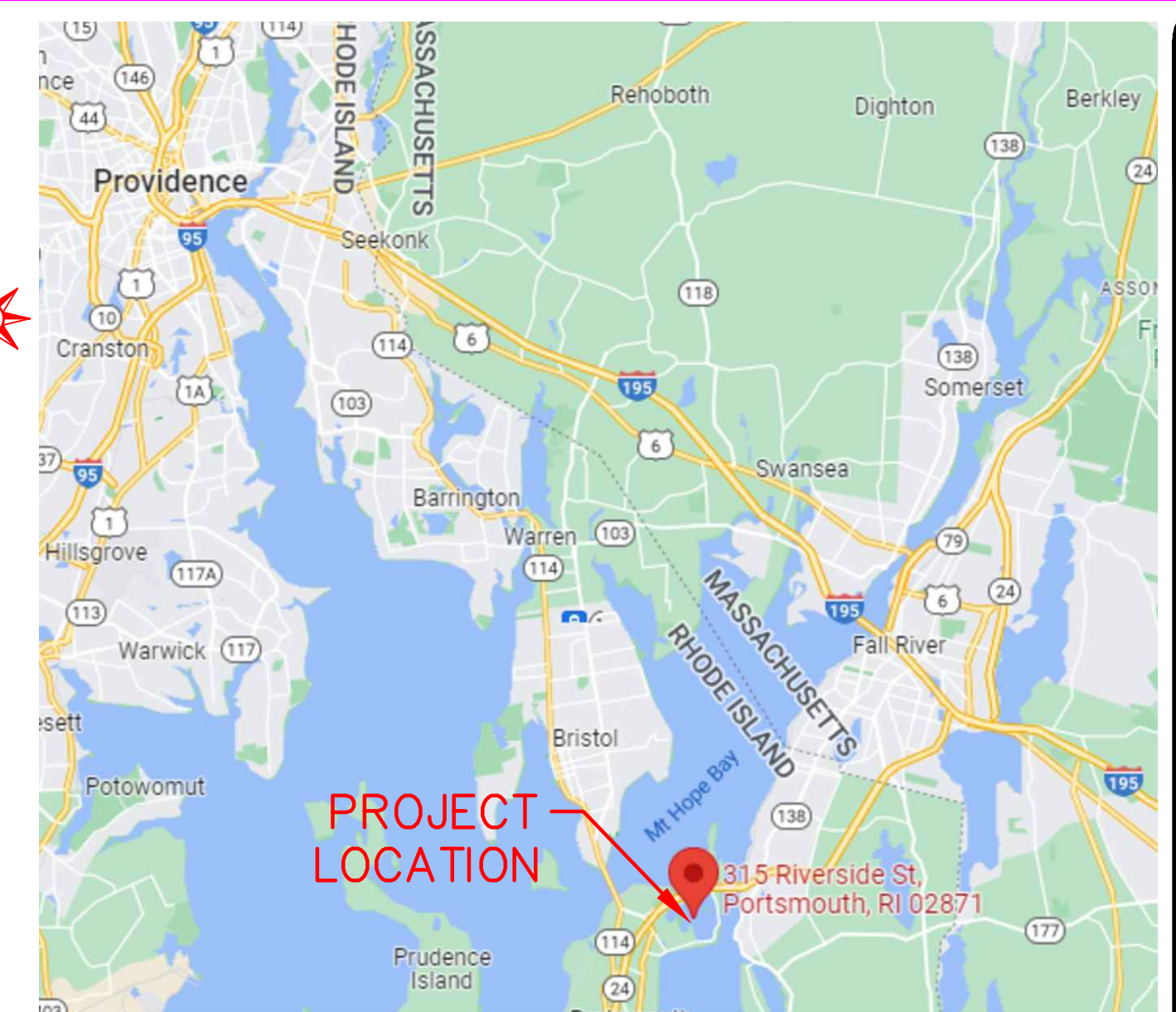
WATER LINE SHALL BE 3/4" POLYETHYLENE TUBING AS MANUFACTURED BY "AQUAPEX" OR EQUAL. INSTALL SUITABLE BACKFLOW PREVENTER AT EITHER EXISTING DWELLING OR PIER HEAD AS REQUIRED BY CODE. PROVIDE DRAIN AT PIER HEAD TO ALLOW REMOVAL OF WATER FROM THE LINE DURING THE WINTER MONTHS. INSTALL SPIGOT AT END OF PIER AS INDICATED.

ELECTRIC/WATER UTILITY LINES SHALL BE CONNECTED AT EXISTING DWELLING. LINES SHALL BE BURIED A MINIMUM DEPTH OF 12" ACROSS EXISTING LAWN AREA. UTILITIES SHALL BE SECURED TO UNDERSIDE OF PIER AS INDICATED, WITH GALVANIZED METAL FASTENERS EVERY 5' ON CENTER.

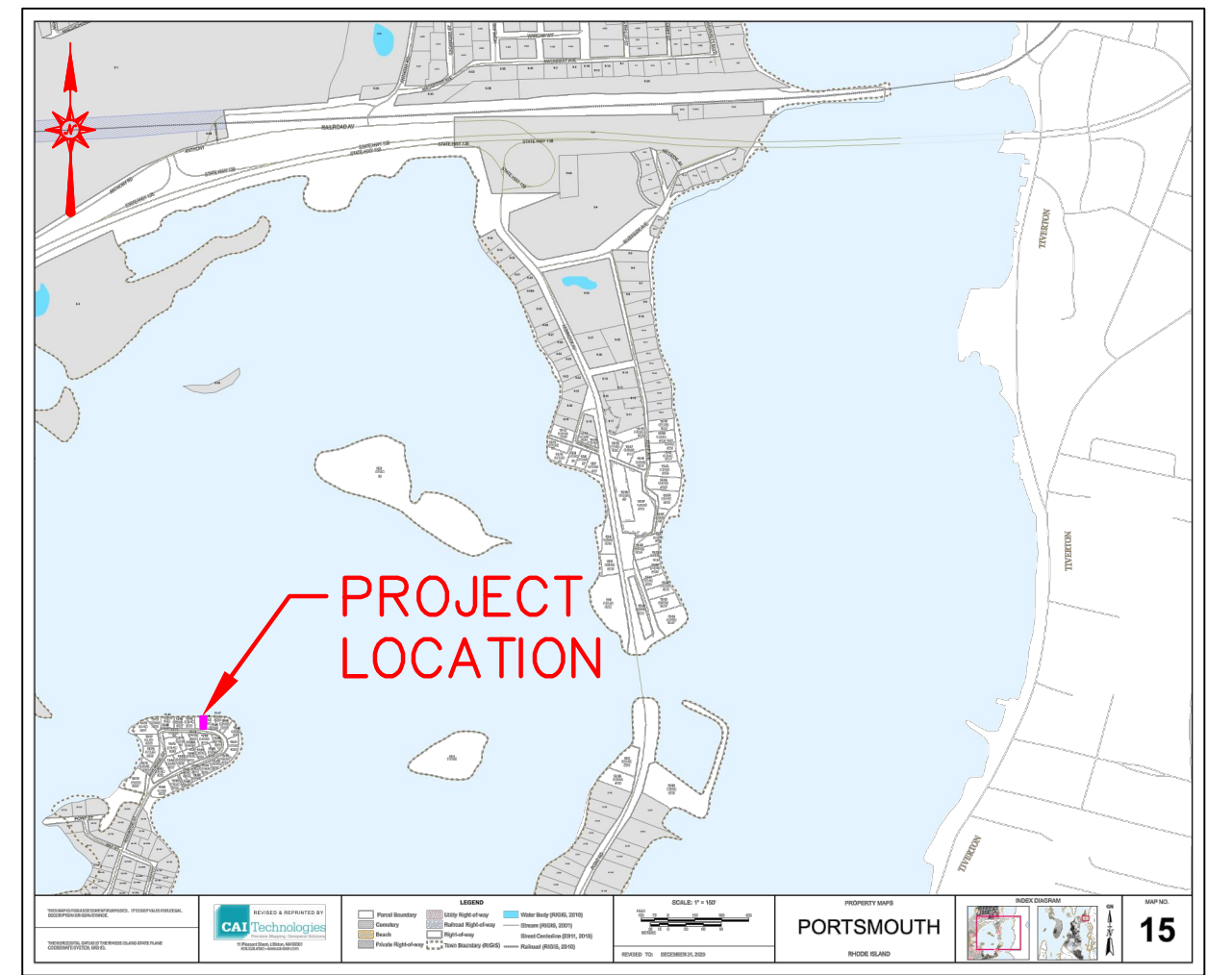
LOW VOLTAGE LIGHTING SHALL BE PROVIDED ALONG THE DOCK AS INDICATED. LIGHTING TYPE TO BE PROPOSED BY CONTRACTOR. INCLUDE LOW VOLTAGE WIRING IN ELECTRICAL CONDUIT OR SEPERATE CONDUIT AS REQUIRED BY CODE.



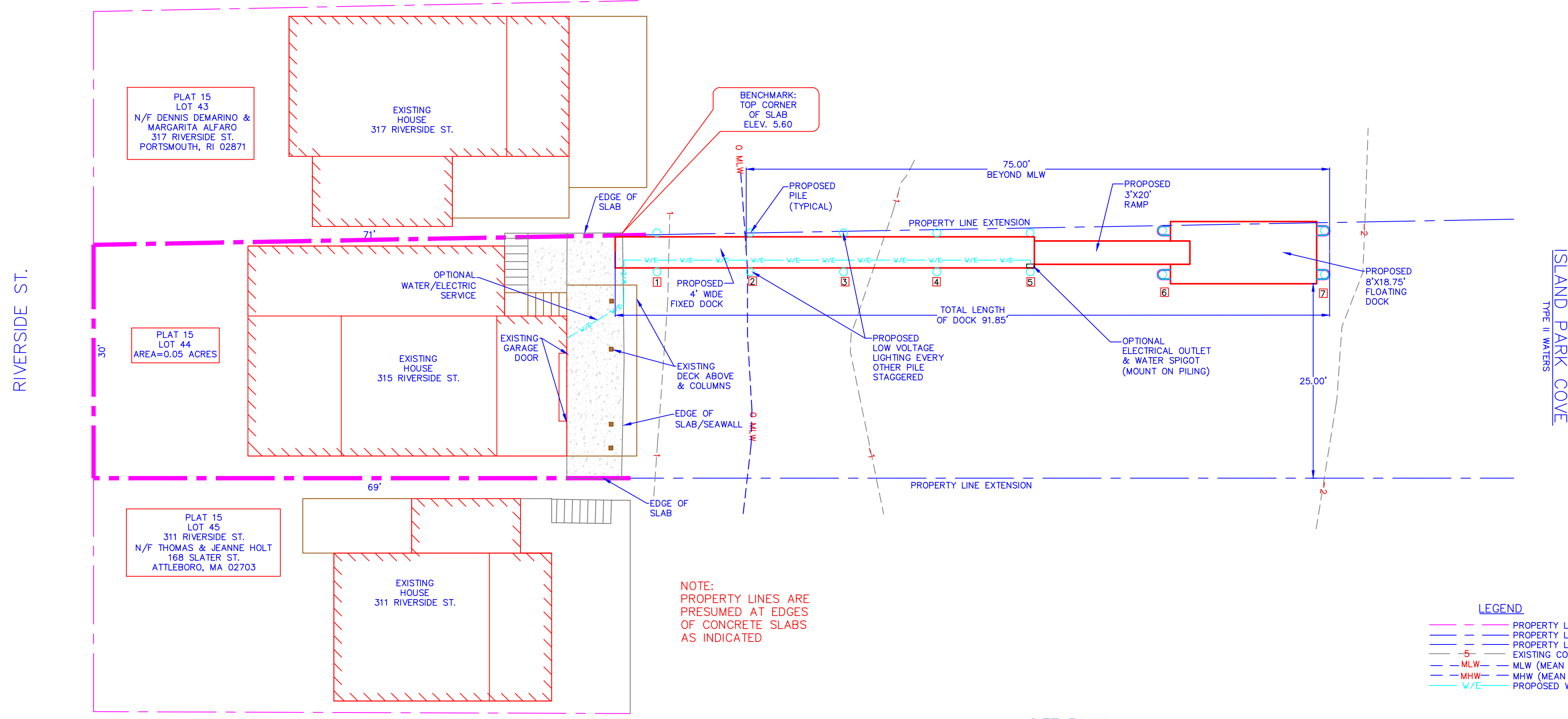
**AERIAL PHOTO**  
SCALE: 1" = 50'±



**LOCUS PLAN**  
NTS



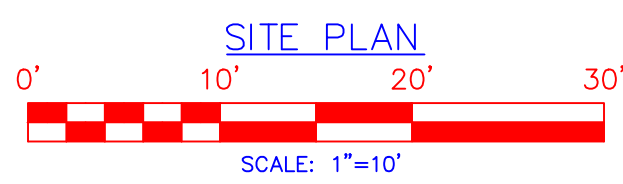
**PORTSMOUTH, RI PLAT MAP #15**  
NTS



NOTE: PROPERTY LINES ARE PRESUMED AT EDGES OF CONCRETE SLABS AS INDICATED

RECEIVED  
10/5/2022  
COASTAL RESOURCES MANAGEMENT COUNCIL

- LEGEND**
- PROPERTY LINE
  - PROPERTY LINE EXTENSION
  - PROPERTY LINE EXTENSION OFFSET
  - - - EXISTING CONTOUR
  - - - MLW (MEAN LOW WATER)
  - - - MHW (MEAN HIGH WATER)
  - - - W/E PROPOSED WATER ELECTRICAL SERVICE



**SITE PLAN**  
SCALE: 1"=10'

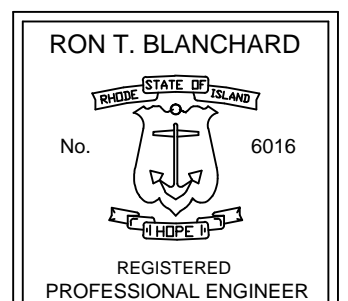
REFERENCE PLANS:  
-PLAN ENTITLED "PROPERTY MAP TOWN OF PORTSMOUTH, NEWPORT COUNTY, RHODE ISLAND"  
PREPARED BY: JAMES W. SEWALL COMPANY

-TOWN OF PORTSMOUTH, RI  
TAX ASSESSOR'S GIS PLAT MAP #15

OWNER INFO:  
RICHARD RUA  
72 VIKING DR.  
PORTSMOUTH, RI 02871

SITE LOCATION:  
315 RIVERSIDE ST.  
PORTSMOUTH, RI 02871

DISCLAIMER:  
THIS SITE PLAN IS THE RESULT OF A LIMITED TOPOGRAPHIC SURVEY BY SEI. LOT LINES ARE ESTIMATED PER APPLICABLE REFERENCE PLAN(S). THIS PLAN DOES NOT REPRESENT A BOUNDARY (CLASS I) SURVEY, WHICH CAN ONLY BE DONE BY A LICENSED LAND SURVEYOR.



NOTES:  
ALL MOORINGS FOUND WITHIN 50' OF END OF PROPOSED DOCK HAVE BEEN SHOWN ON PLAN

DATUM:  
REFERENCE DATUM IS MEAN LOW WATER

REVISED PER CLIENT COMMENTS	DATE	APP-VO
001	8/17/22	
002	8/23/22	

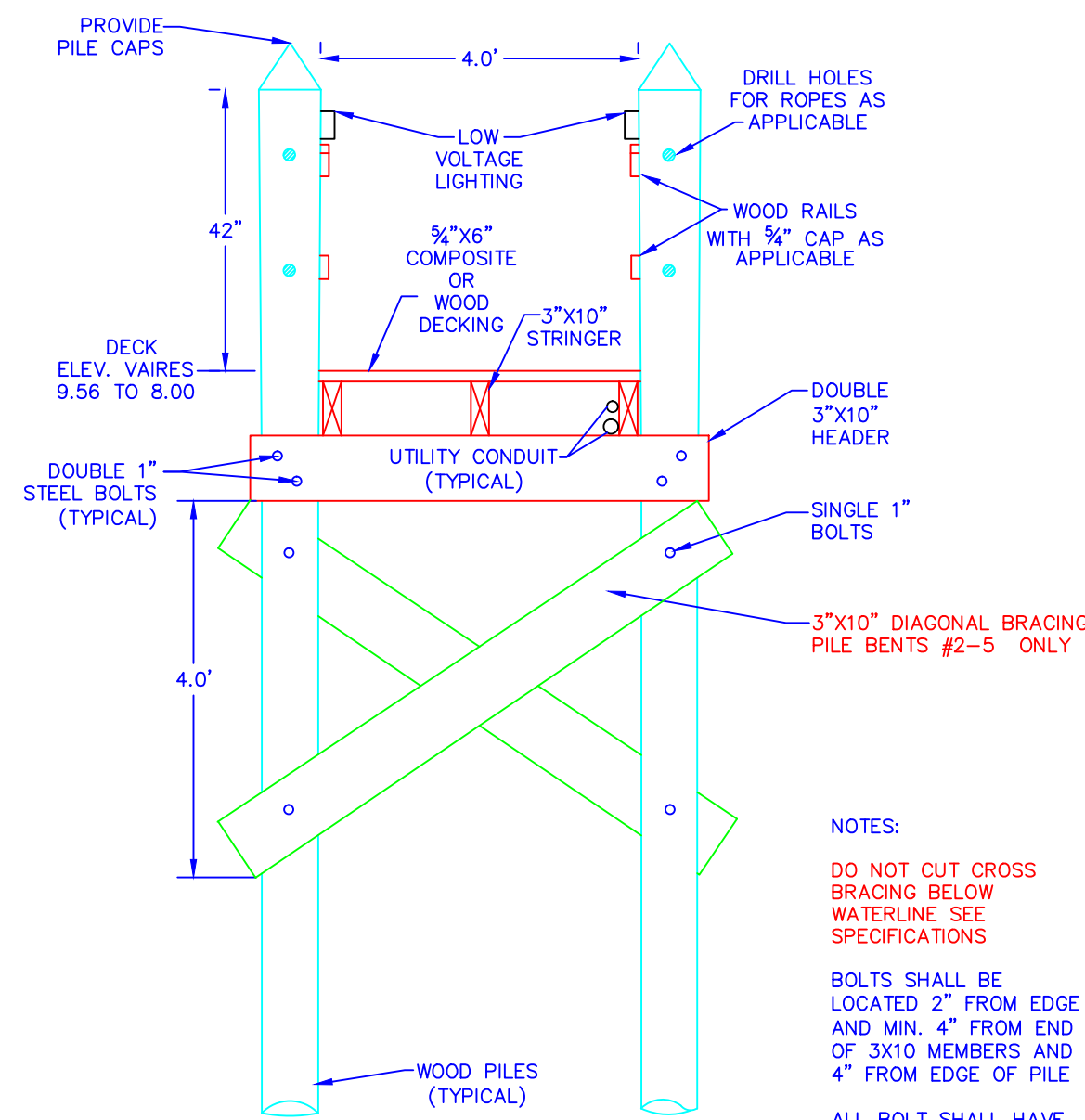
SEI  
**SITE ENGINEERING INC.**  
CIVIL • COASTAL • STRUCTURAL  
75 WOOD STREET  
BRISTOL, RI 02809  
PHONE: (401) 253-8231

**SITE PLAN AND SPECIFICATIONS**  
**RESIDENTIAL BOATING FACILITY**  
PLAT 15, LOT 44  
315 RIVERSIDE ST., PORTSMOUTH, RHODE ISLAND.

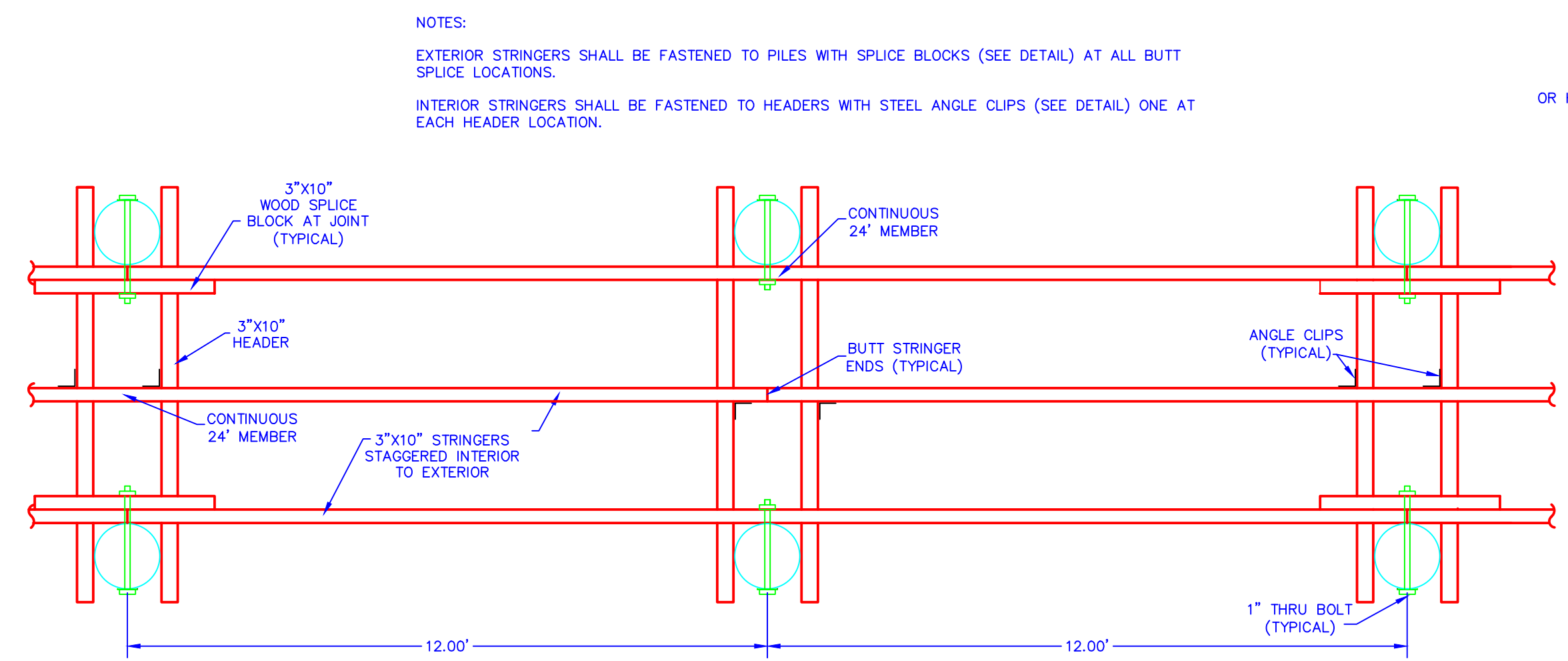
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SCALE: AS NOTED  
(SHEET 1 OF 2)

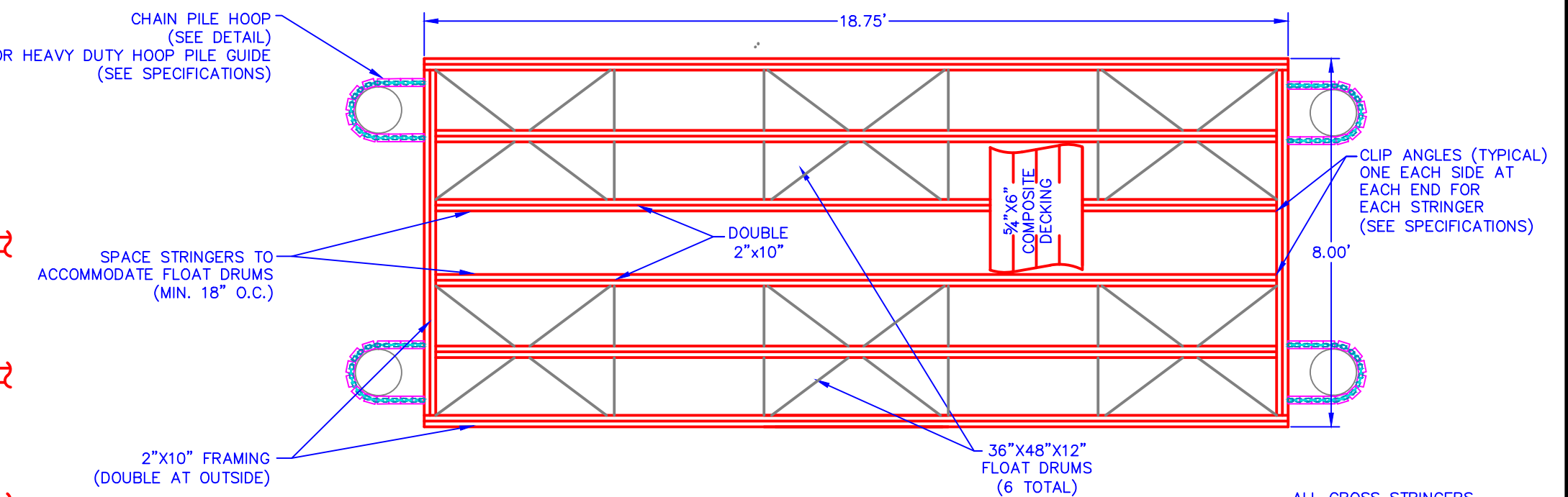
**DK-1**



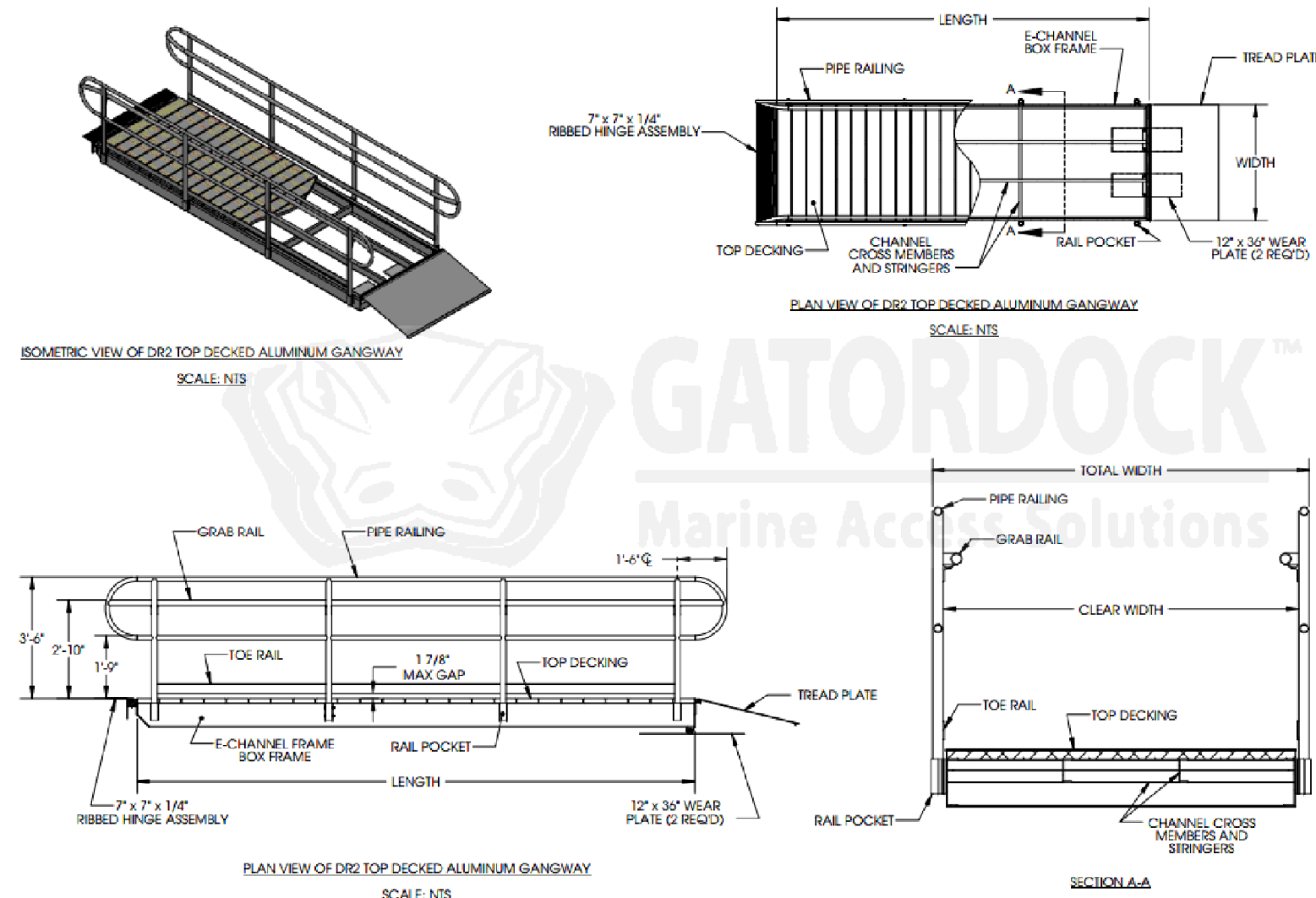
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NOT TO SCALE



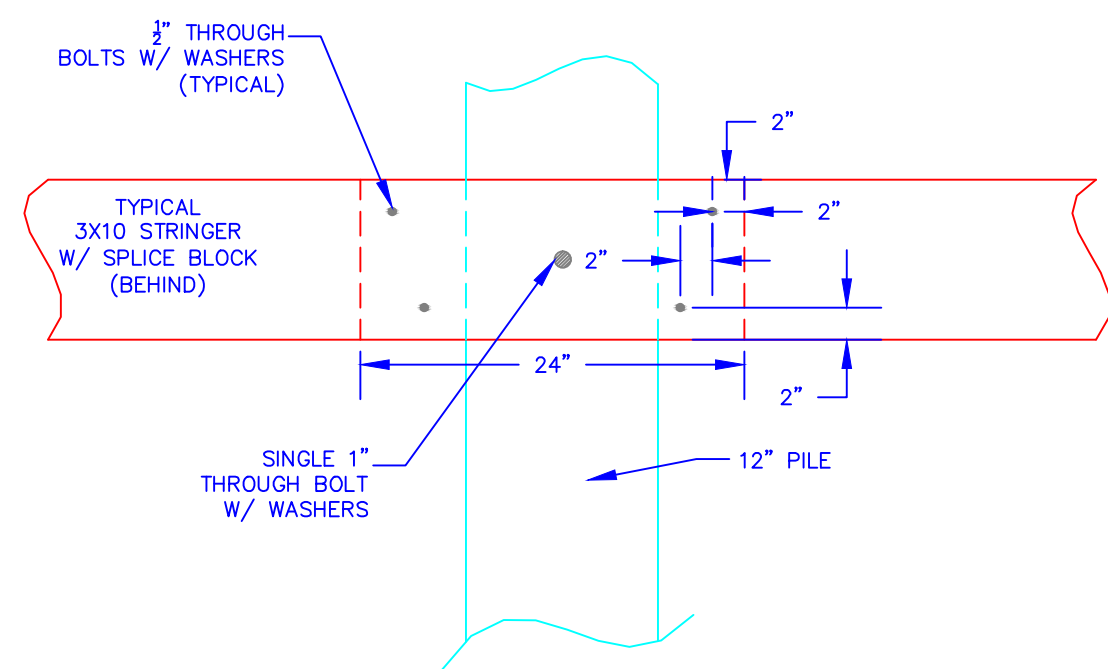
TYPICAL STRINGER LAYOUT  
NOT TO SCALE



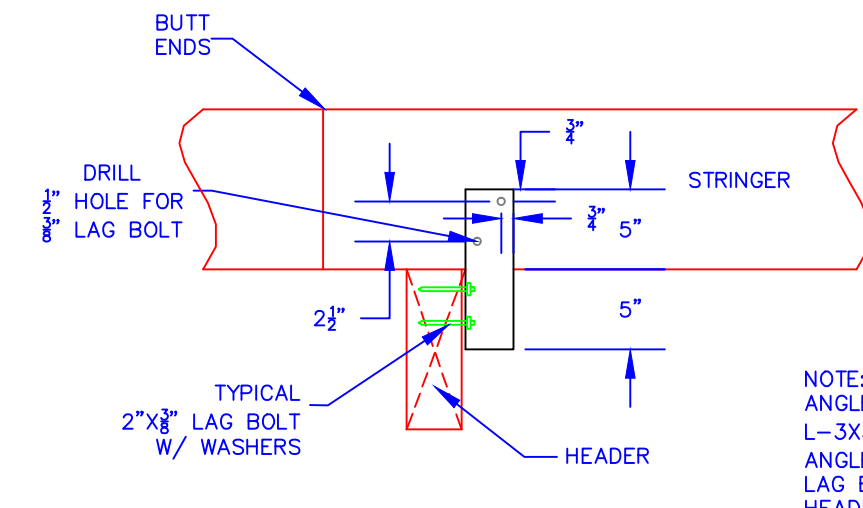
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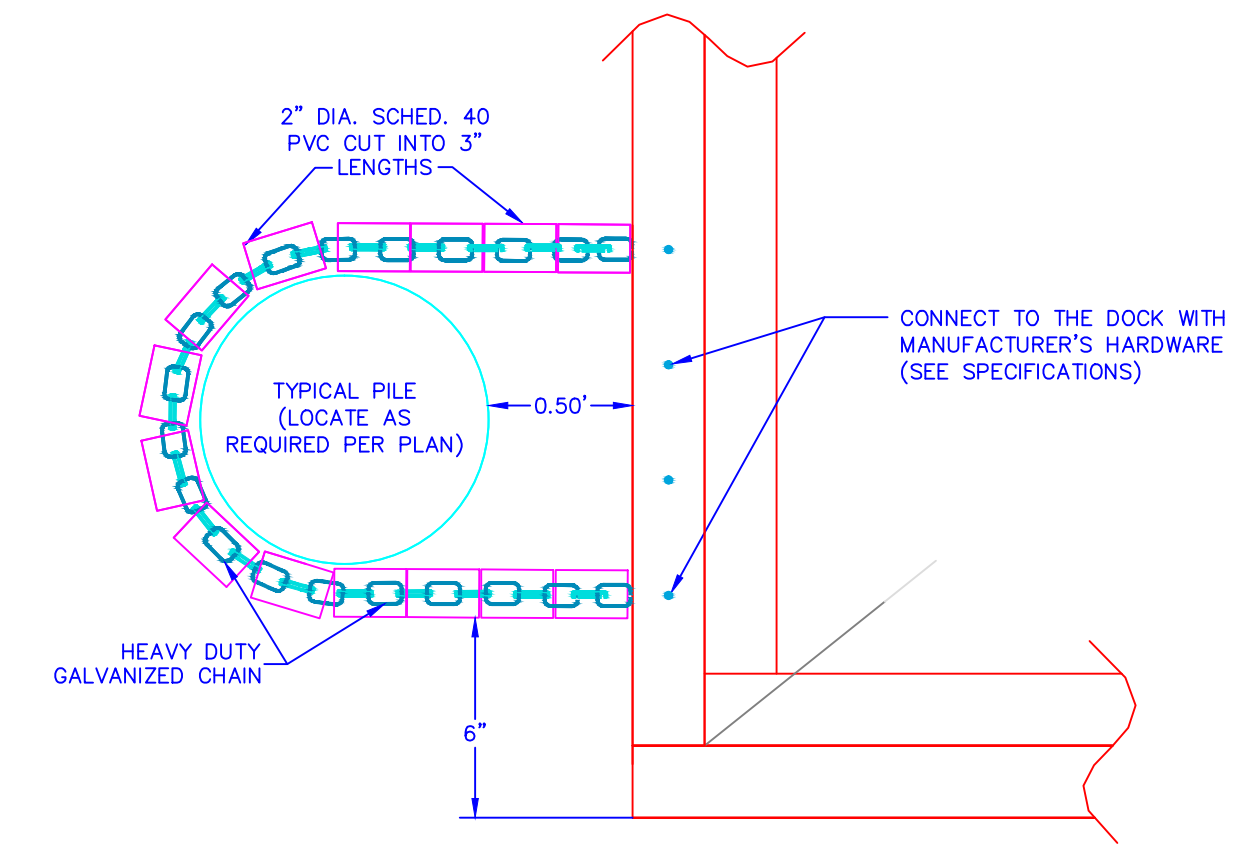
PROPOSED ALUMINUM RAMP  
NOT TO SCALE



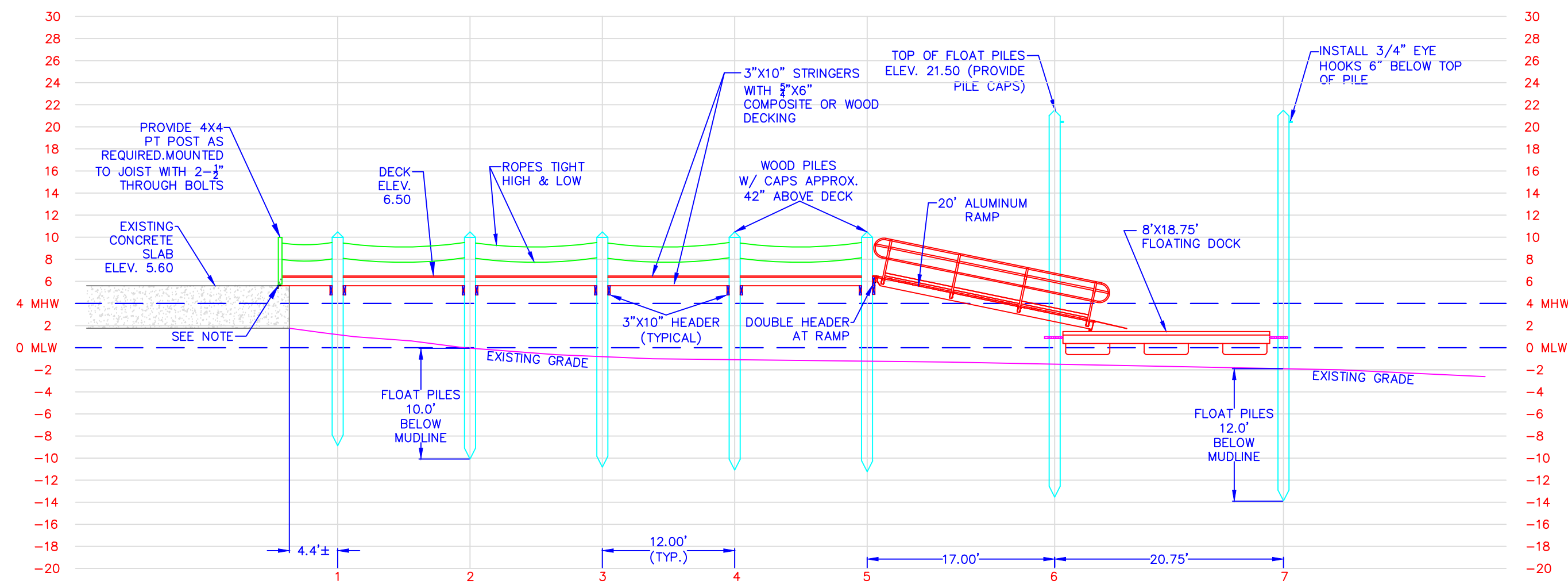
SPLICE BLOCK DETAIL  
NOT TO SCALE



STRINGER/HEADER CONNECTION DETAIL  
NOT TO SCALE



CHAIN HOOP DETAIL  
SCALE: 1.5\"/>

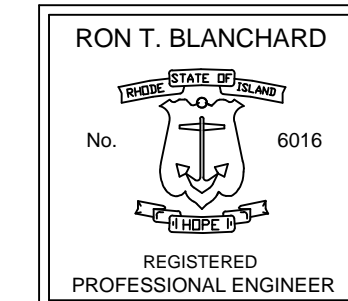


DOCK PROFILE  
SCALE: 1"=10'



OWNER INFO:  
RICHARD RUA  
72 VIKING DR.  
PORTSMOUTH, RI 02871

SITE LOCATION:  
315 RIVERSIDE ST.  
PORTSMOUTH, RI 02871



NO.	DESCRIPTION	DATE	APP'VD

DSGN.	RB
DR.	VS
CHK.	RB
DATE:	8/23/22

**SEI**  
SITE ENGINEERING INC.  
CIVIL • COASTAL • STRUCTURAL

75 WOOD STREET  
BRISTOL, RI 02809  
PHONE: (401) 253-8231

**DOCK PROFILE & DETAILS**  
RESIDENTIAL BOATING FACILITY  
PLAT 15, LOT 44

PORTSMOUTH, RHODE ISLAND,  
315 RIVERSIDE ST.

SCALE: AS NOTED  
(SHEET 2 OF 2)

**DK-2**