



Oliver Stedman Government Center
4808 Tower Hill Road; Suite 116
Wakefield, RI 02879
401-783-3370

PUBLIC NOTICE

File Number: 2015-03-052 Date: August 5, 2015

This office has under consideration the application of:

North End Realty LLC
240 Chestnut Street
Warwick, RI 02888

for a State of Rhode Island Assent to construct and maintain: to construct and maintain a residential boating facility consisting of a 15' x 4' fixed timber pier, ramp and 18.75' x 8' (150sf) terminal float extending ~45' seaward of MLW. An associated residence for the site was permitted under CRMC Assent #2014-11-049.

Project Location:	Riverside Drive
City/Town:	South Kingstown
Plat/Lot:	35-1 / 17
Waterway:	Narrow River, Type II, Low Intensity Use

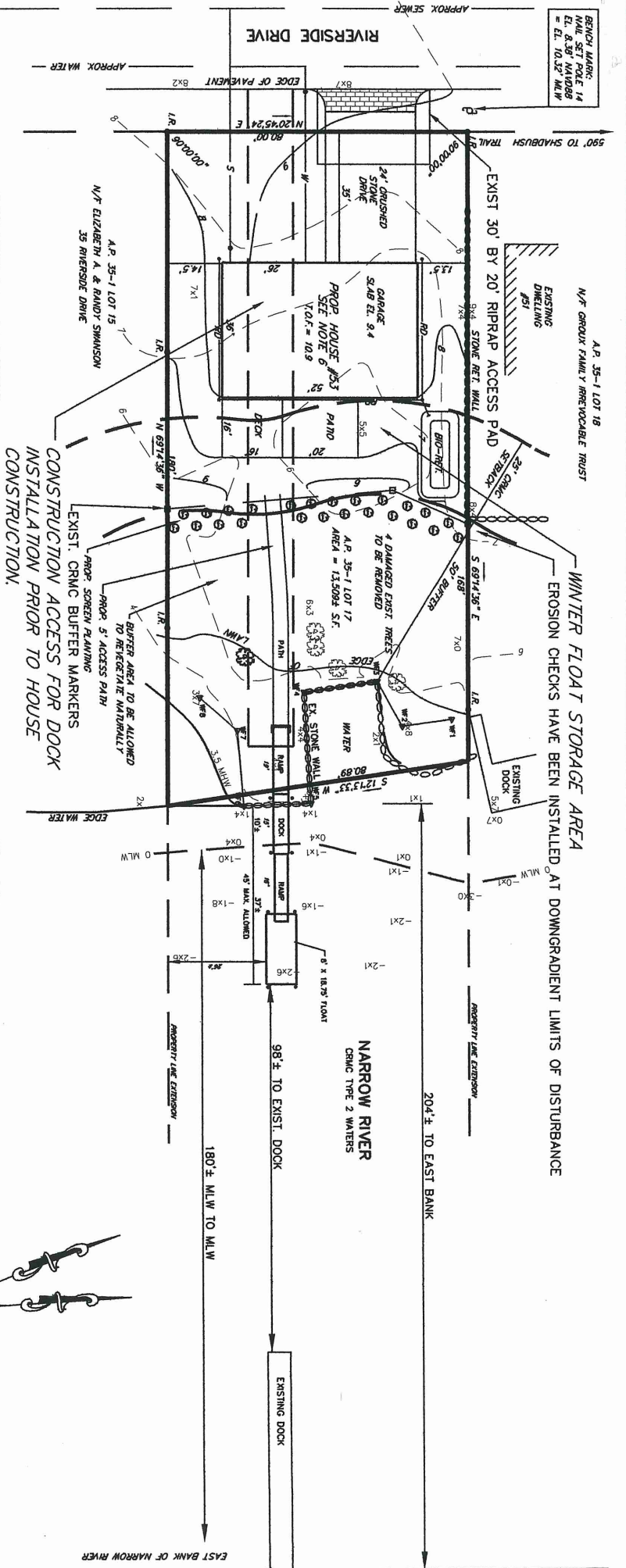
Plans of the proposed work may be seen at the CRMC office in Wakefield.

In accordance with the Administrative Procedures Act (Chapter 42-35 of the Rhode Island General Laws) you may request a hearing on this matter.

You are advised that if you have good reason to enter protests against the proposed work it is your privilege to do so. It is expected that objectors will review the application and plans thoroughly, visit site of proposed work if necessary, to familiarize themselves with the conditions and cite what law or laws, if any, would in their opinion be violated by the work proposed.

If you desire to protest, you must attend the scheduled hearing and give sworn testimony. A notice of the time and place of such hearing will be furnished you as soon as possible after receipt of your request for hearing. If you desire to request a hearing, to receive consideration, it should be in writing (**with your correct mailing address, e-mail address and valid contact number**) and be received at this office on or before September 5, 2015.

BENCH MARK:
 NAD 83 SET POLE 14
 EL. 8.30 NAD83
 = EL. 10.32' M.L.W.



GENERAL NOTES:

1. THESE PLANS ARE FOR PROPOSED DOCK CONSTRUCTION ONLY.
2. ALL WORK SHALL BE PERFORMED IN STRICT CONFORMANCE WITH THE APPROVAL CONDITIONS OF THE C.R.M.C. ASSENT.
3. NO WORK IS ALLOWED WITHIN ANY STATE REGULATED COASTAL WETLAND EXCEPT AS SPECIFICALLY SHOWN ON THESE PLANS.
4. WETLANDS EDGES DELINEATED BY NATURAL RESOURCE SERVICES, INC.
5. PROPERTY LINE, SOUNDINGS AND TOPOGRAPHIC INFORMATION FROM PLANS BY FLYNN SURVEYS, INC. DATED SEPT. 30, 2014.
6. REFERENCE C.R.M.C. FILE # 2014-11-049 FOR PERMIT FOR HOUSE CONSTRUCTION AND PERMIT CONDITIONS.
7. ALL WORK SHALL CONFORM TO ALL LOCAL AND STATE PERMITS AND REGULATIONS. ALL WORK SHALL BE ACCURATELY LOCATED AND CONSTRUCTION STAKED PRIOR TO COMMENCEMENT OF ANY WORK.
8. ALL TEMPORARILY DISTURBED SHORE AREAS SHALL BE STABILIZED WITH 4" LOAM AND CONSERVATION GRASS SEED MIX AND SHALL BE ALLOWED TO REVEGETATE NATURALLY.
9. DOCK FACILITY SHALL BE USED FOR UP TO TWO DINGHY OR SHALLOW DRAFT OUTBOARD BOATS WITH A MAXIMUM LENGTH OF 24'.
10. NO UTILITIES SHALL BE EXTENDED TO THE DOCK.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING AND COORDINATING ALL INSPECTIONS REQUIRED BY C.R.M.C., A.C.O.E. OR ANY OTHER AGENCY.
12. THE CONTRACTOR SHALL NOTIFY S.F.M. ENGINEERING ASSOCIATES AND ALL APPROPRIATE AGENCIES OF ANY DISCREPANCIES ENCOUNTERED AND SHALL OBTAIN WRITTEN APPROVAL FOR ANY SUBSTANTIAL CHANGE FROM THE DESIGN PLANS. SPECIFICATIONS OR PERMIT REQUIREMENTS.

PLAN

SCALE: 1"=40'

LEGEND

- 5 — EXIST. CONTOUR
- 1x3 SPOT GRADE
- - - - - EXIST. VEGETATION LINE
- - - - - MEAN HIGH WATER LINE
- - - - - MEAN LOW WATER LINE

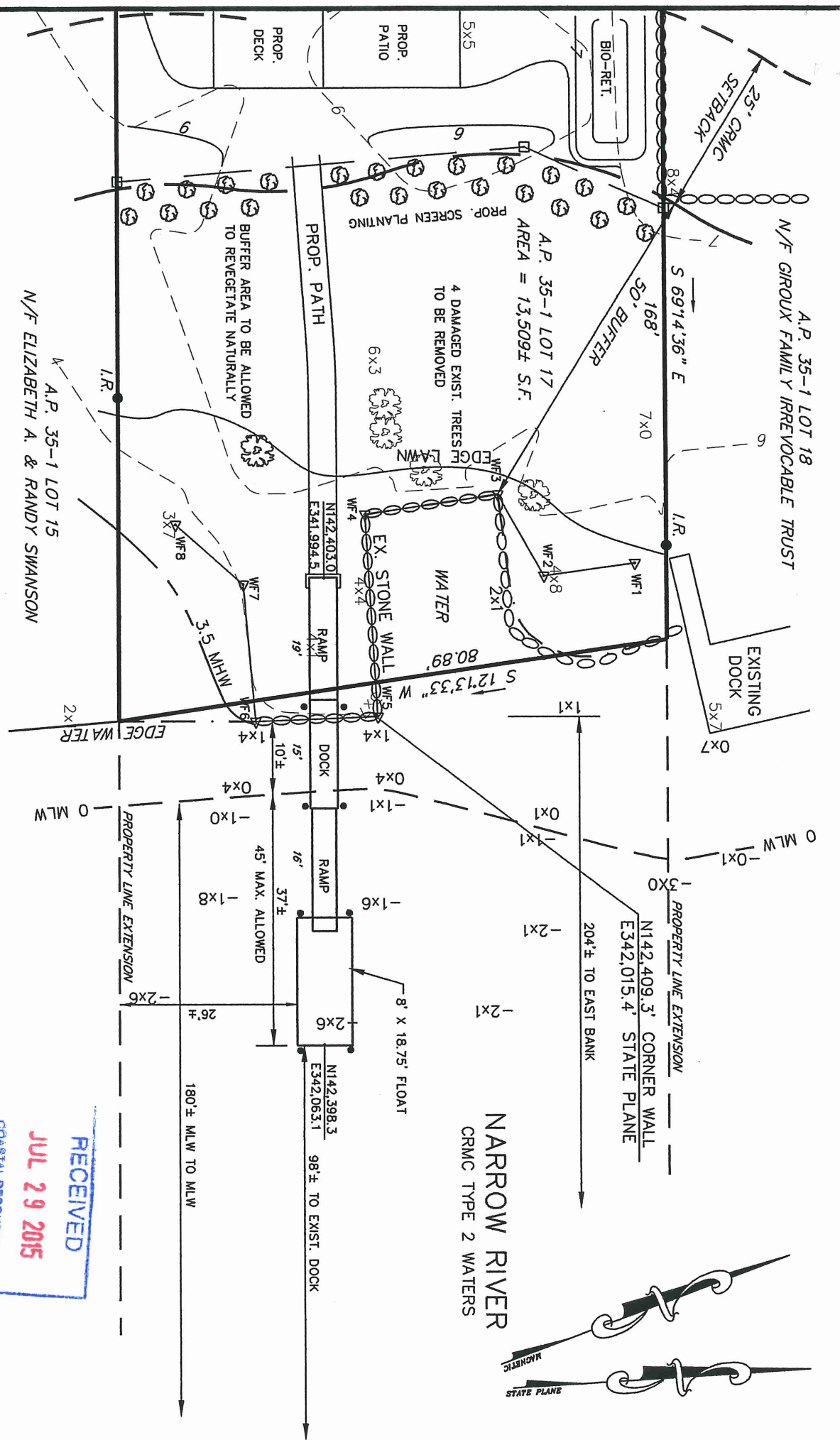
RECEIVED
 JUL 29 2015
 COASTAL RESOURCES
 MANAGEMENT COUNCIL

DATE	REVISION
7-20-15	C.R.M.C. COMMENTS

SFM
 S.F.M. ENGINEERING ASSOCIATES
 410 TOUJIE AVENUE
 COVENTRY, R.I. 02816
 (401)826-3736

RIVERSIDE DRIVE
A.P. 35/1 LOT 17
SOUTH KINGSTOWN, RHODE ISLAND
 PREPARED FOR:
 NORTH END REALTY LLC
 240 CHESTNUT ST.
 WARWICK, R.I. 02888
 401-664-3252

NOTES & SITE PLAN
 DATE: MAR. 3, 2015 SCALE 1"=40'
 SHEET 1 OF 5



GENERAL NOTES:

1. SITE LIES IN ZONE "AE 11" (ELEV 11 NAVD 88) PER FEMA FLOOD INSURANCE MAP COMMUNITY PANEL #44009C0202J DATED: 10/16/2013
2. STRAW BALE EROSION CHECK AND OR SILT FENCE HAVE BEEN INSTALLED AT ALL DOWNGRADIENT LIMITS OF DISTURBANCE. EROSION CHECKS SHALL BE MAINTAINED UNTIL ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED.
3. ALL WORK SHALL CONFORM TO ALL LOCAL AND STATE PERMITS AND REGULATIONS.
4. ALL PERMANENTLY DISTURBED AREAS SHALL BE STABILIZED WITH 4" LOAM & SEED OR SOD.
5. ELEVATIONS ON PLANS ARE BASED ON MEAN LOW WATER = EL. 0.0.
6. END OF DOCK COORDINATES ARE STATE PLANE.
7. NO GRADE CHANGES ARE PROPOSED OR ALLOWED WITHIN THE COASTAL FEATURE.

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COASTAL RESOURCES
MANAGEMENT COUNCIL

SCOTT J. MOOREHEAD
REGISTERED PROFESSIONAL ENGINEER
NO. 1298

SFM

S.F.M. ENGINEERING ASSOCIATES
410 TIOGUE AVENUE
COVENTRY, R.I. 02816
(401) 826-3735

DATE	REVISION
7-20-15	CRMC COMMENTS

DRW. BY: LBC

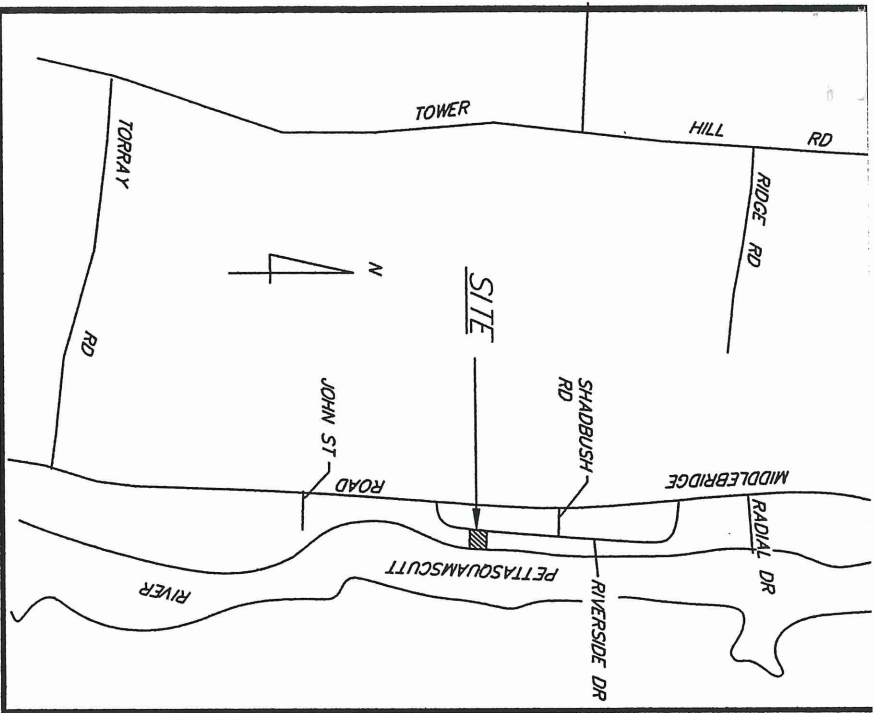
DRG. NO. SFMB15-DOCK

DOCK SITE PLAN

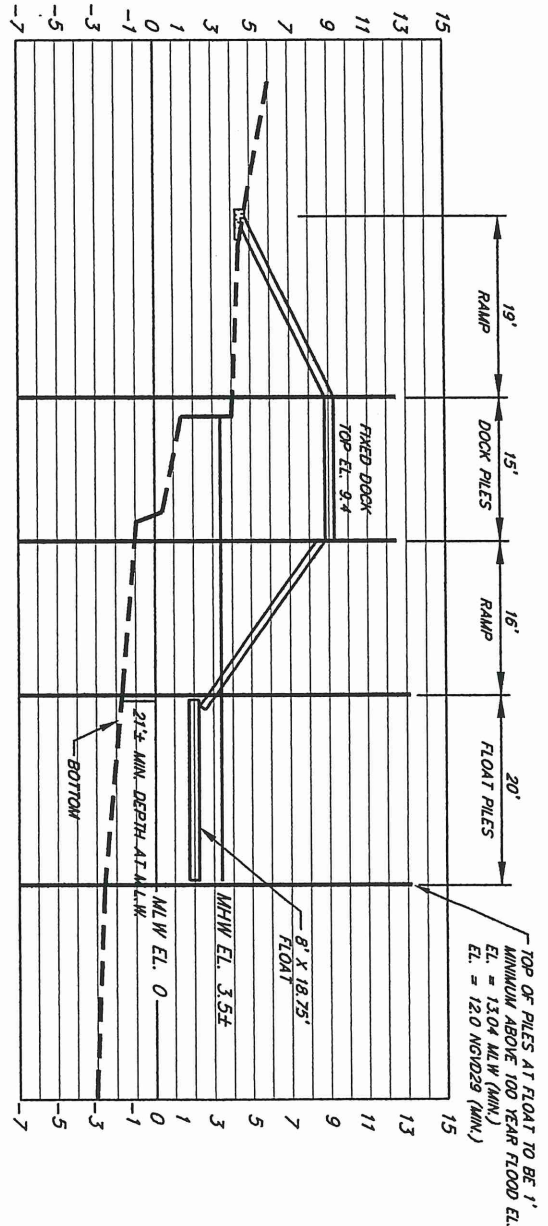
DATE: MAR. 3, 2015 SCALE: 1"=20' SHEET 2 OF 5

RIVERSIDE DRIVE
A.P. 35/1 LOT 17
SOUTH KINGSTOWN, RHODE ISLAND

PREPARED FOR:
NORTH END REALTY LLC
240 CHESTNUT ST.
WARWICK, R.I. 02888
401-864-5252



LOCATION MAP
NOT TO SCALE

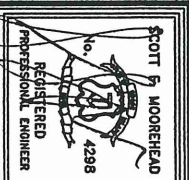
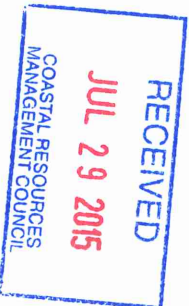


DOCK PROFILE

SCALE: HOR. 1" = 20'
VERT. 1" = 10'

NOTE:

- ELEVATIONS ARE MEAN LOW WATER DATUM



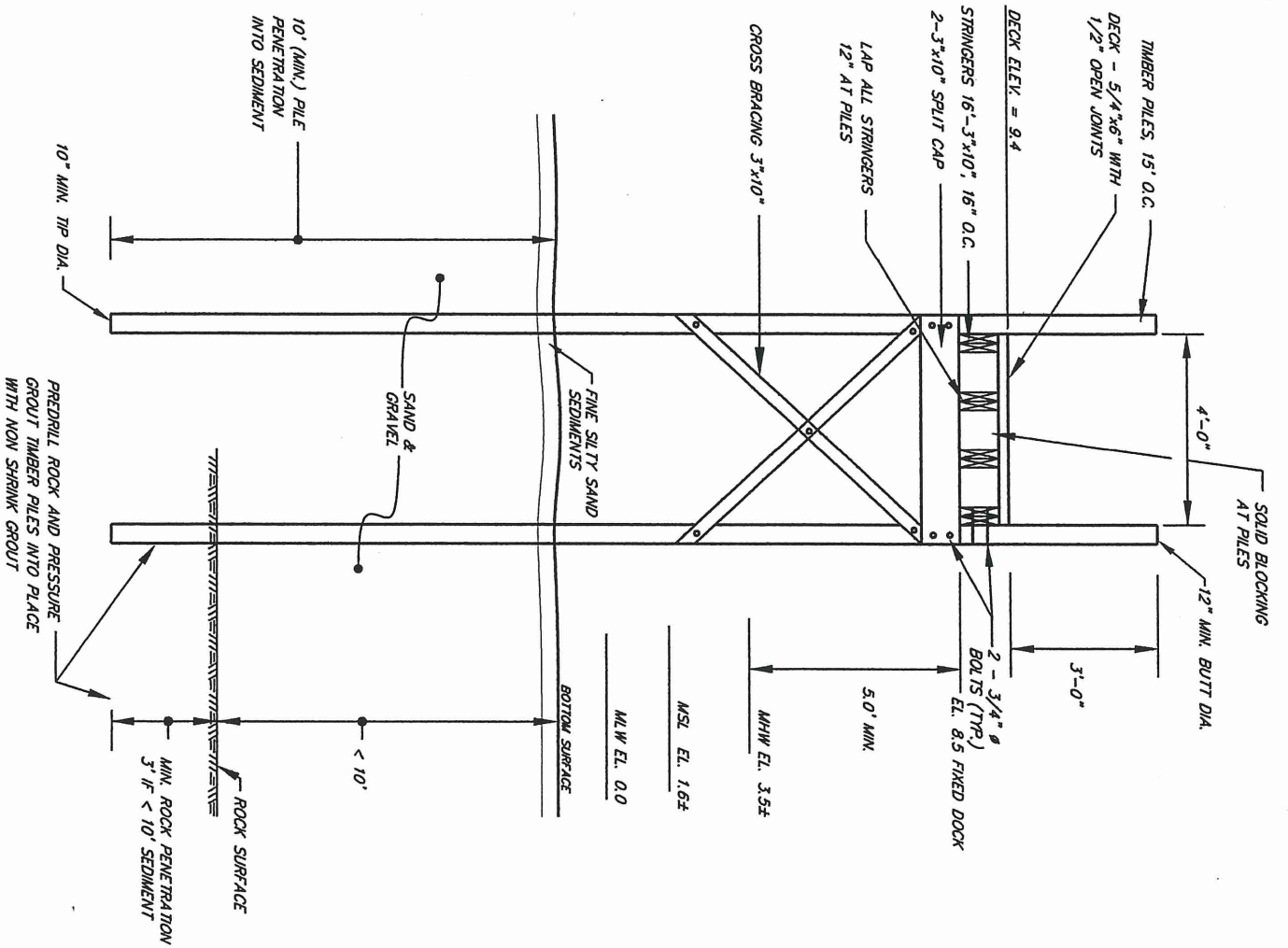
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S.F.M. ENGINEERING ASSOCIATES
410 TIOGUE AVENUE
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(401) 926-3736

DOCK PROFILE & LOCUS
DATE: MAR. 3, 2015 SCALE: AS NOTED SHEET 3 OF 5



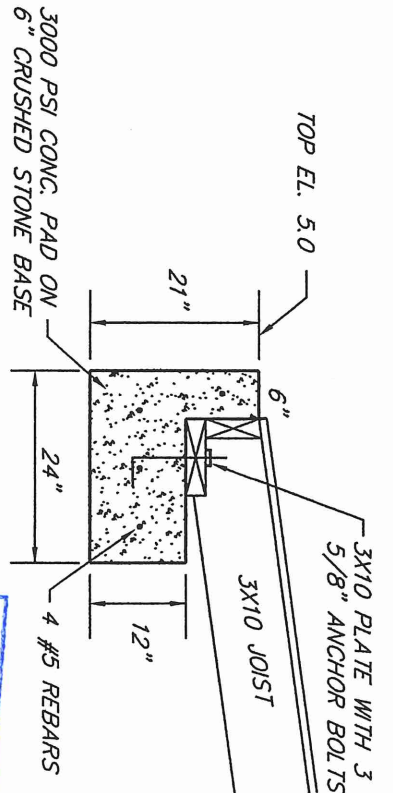
TYPICAL SECTION

FIXED DOCK

NOT TO SCALE

DOCK NOTES:

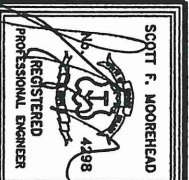
1. DOCKS ARE DESIGNED FOR 40 PSF LIVE LOAD.
2. ALL TIMBER FRAMING SHALL BE 1.5 PCF CGA PRESSURE TREATED SOUTHERN PINE OR DOUGLAR FIR.
3. TIMBER PILES SHALL BE PRESSURE TREATED AND HAVE AN 10" (MIN.) TIP DIAMETER. PILES SHALL BE DRIVEN 10' (MIN.) INTO UNDERLYING SEDIMENT. IF SEDIMENT LAYER IS LESS THAN 10', PILES SHALL BE DRILLED AND GROUTED 3' (MIN.) INTO BEDROCK.
4. ALL PILES SHALL BE DRIVEN FROM BARGE ONLY.
5. ALL CONNECTING HARDWARE, BOLTS AND NAILS SHALL BE HOT DIPPED GALVANIZED STEEL.
6. ALL BOLTED CONNECTIONS ON DOCK SHALL BE MADE WITH 3/4" (MIN.) Ø THROUGH BOLTS. ALL BOLTS SHALL BE ASTM A307 STEEL, STANDARD HEX HEAD WITH TIMBER WASHERS.
7. DECKING SHALL BE 5/4" x 6" .60 PCF AGO TREATED YELLOW PINE OR COMPOSITE DECKING MATERIAL WITH 1/2" SPACING.



CONC. PAD DETAIL

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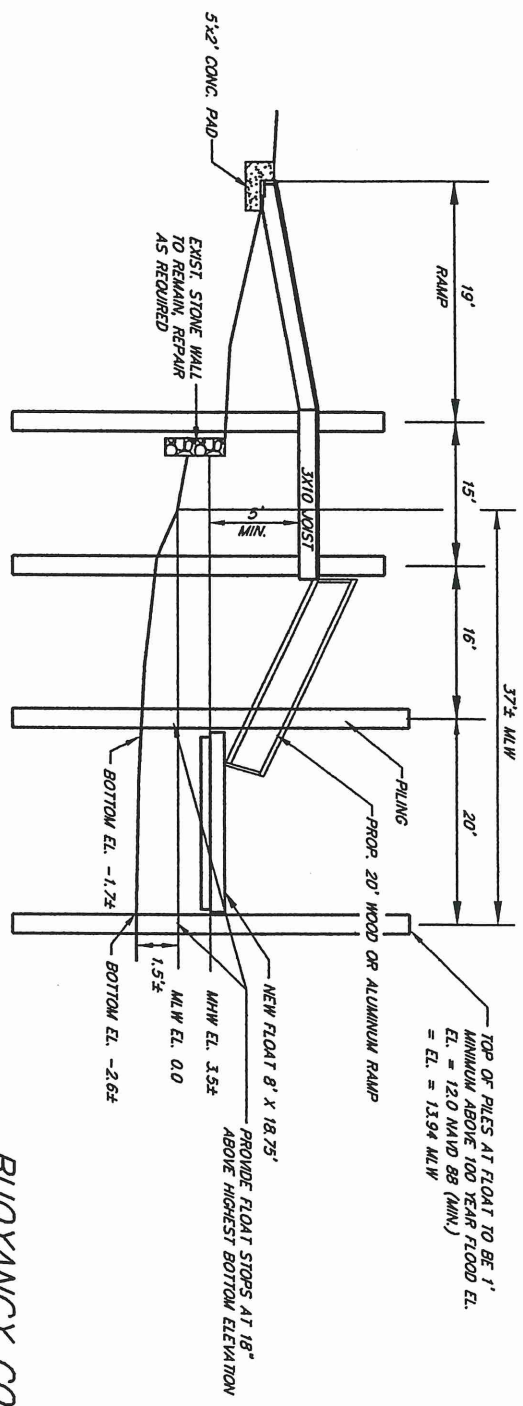
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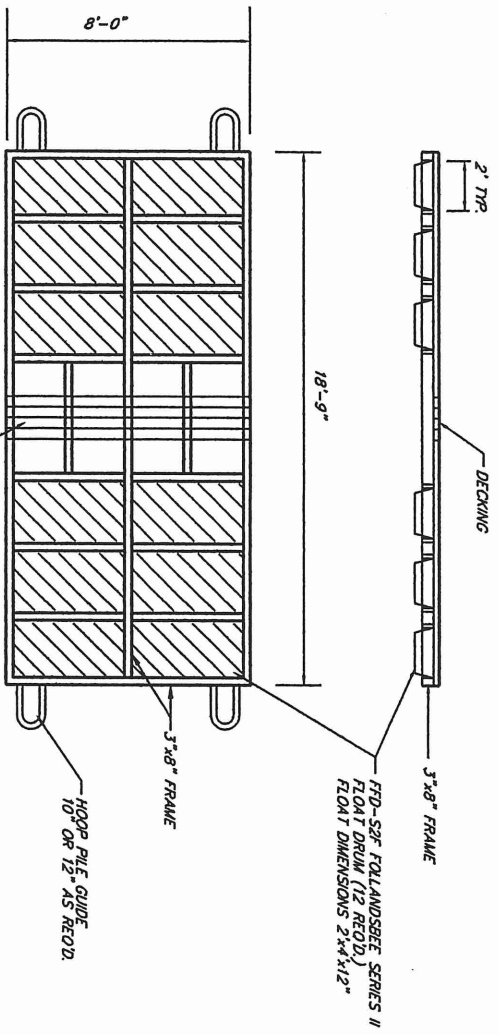


S.F.M. ENGINEERING ASSOCIATES
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COVENTRY, R.I. 02816
(401) 826-5736

DOCK SECTION & NOTES
DATE: MAR. 3, 2015
NOT TO SCALE
SHEET 4 OF 5



LONGITUDINAL DOCK SECTION
NOT TO SCALE



FLOOR PLAN
NOT TO SCALE

BUOYANCY COMPUTATIONS

BOUYANCY OF FOLLANSBEE SERIES 2 FLOATATION DRUM
12 DRUMS @ 400 LBS. PER DRUM = 4800 LBS.

WEIGHT OF FLOAT MATERIALS

FLOATATION DRUMS 12 @ 25 LBS. 300 LBS.
FASTENERS 80 LBS.
LUMBER 1270 LBS.
TOTAL WEIGHT OF FLOAT 1650 LBS.

NET DEAD LOAD OF BUOYANCY

(4800 LBS. - 1650 LBS = 3150 LBS)

LIVE LOAD REQUIRED BY CRMC

20 LBS./S.F. x 150 S.F. = 3000 LBS.

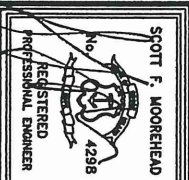
MAX. LOAD TO BE SUPPORTED

3000 LBS (LIVE LOAD) + 1650 LBS. (DEAD LOAD)

FLOAT SUBMERGENCE

FLOAT DISPLACEMENT = 410 LBS. PER INCH DEPTH
DEAD LOAD: SUBMERGENCE = 4"
TOTAL MAX. LOAD: SUBMERGENCE = 11.3"

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DATE: MAR. 3, 2015 NOT TO SCALE SHEET 5 OF 5

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FLOAT DETAILS