



State of Rhode Island
Coastal Resources Management Council
Oliver H. Stedman Government Center
4808 Tower Hill Road, Suite 3
Wakefield, RI 02879-1900

(401) 783-3370
Fax (401) 783-2069

PUBLIC NOTICE

File Number: 2019-08-031 Date: November 1, 2021

This office has under consideration the application of:

**Jill E. Sutton Trust
330 Rumstick Road
Barrington, RI 02806**

for a State of Rhode Island Assent to **Repair/Replace or Construct/Maintain** a residential boating facility consisting of an access ramp, ~4' x 140' fixed timber pier, 4' x 19' gangway ramp and 10' x 15' terminal float, extending ~ 50' from the cited MLW mark. This facility requires a Special Exception to several RICRMP 650-RICR-20-00-01 Sections, including: [1.1.5\(A\) Activity Matrix](#), [1.2.1\(B\)\(2\)\(d\)](#), [1.2.2\(C\)\(2\)\(a\)](#) and [1.3.1\(D\)\(7\)\(b\)](#). The project also **requires a variance to Sections 1.3.1(D)(11)(h), 1.3.1(D)(11)(o), 1.3.1(D)(11)(v) & 1.3.1(D)(11)(z)-water depth**. The applicant seeks to repair/reconstruct a formerly pre-existing, non-functional dock located in within a Type 1 waterbody.

Project Location:	330 Rumstick Road
City/Town:	Barrington
Plat/Lot:	11 / 99
Waterway:	Smith Cove

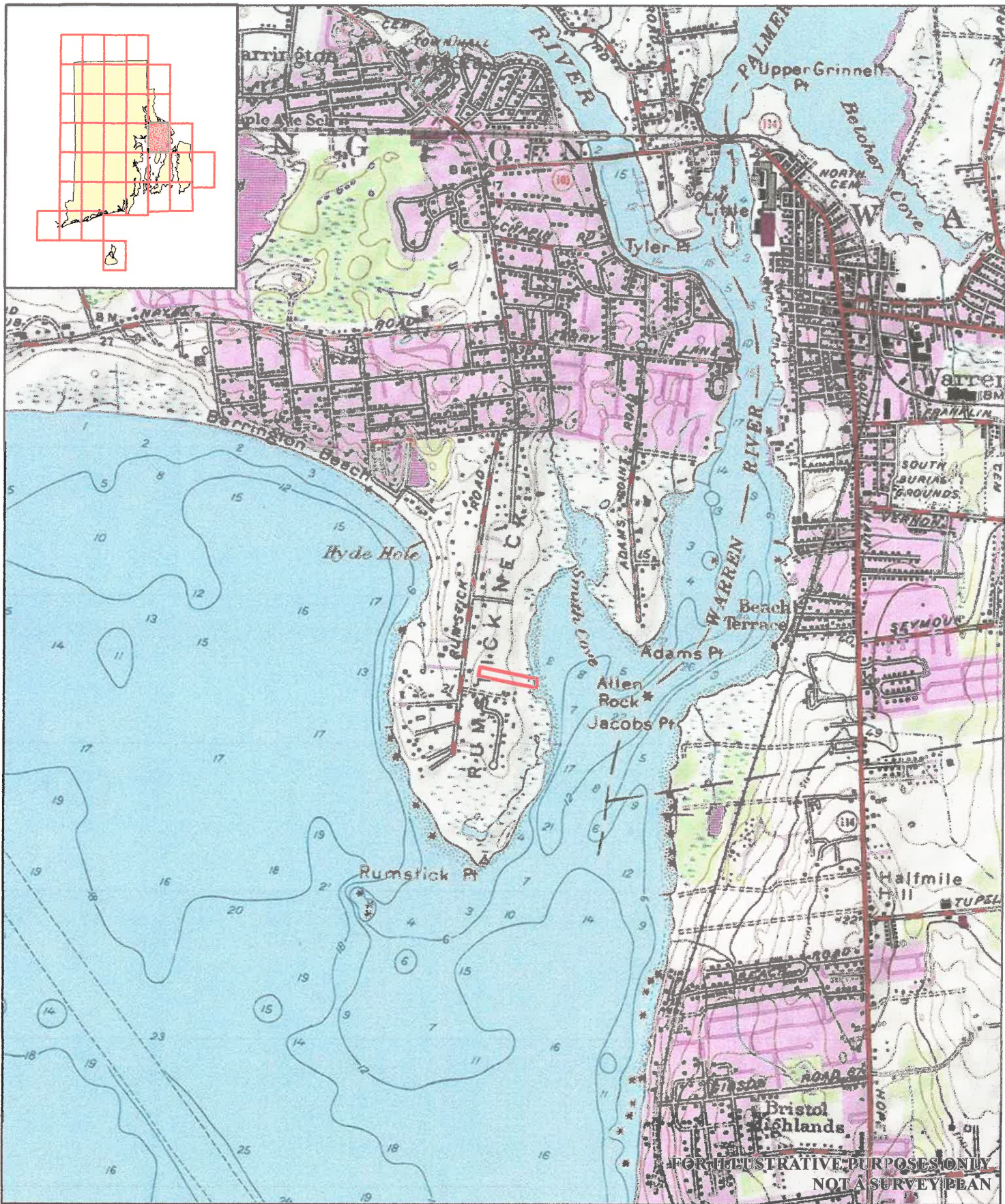
Plans of the proposed work may be seen at the CRMC office in Wakefield.

In accordance with the Administrative Procedures Act (Chapter 42-35 of the Rhode Island General Laws) you may request a hearing on this matter.

You are advised that if you have good reason to enter protests against the proposed work it is your privilege to do so. It is expected that objectors will review the application and plans thoroughly, visit site of proposed work if necessary, to familiarize themselves with the conditions and cite what law or laws, if any, would in their opinion be violated by the work proposed.

If you desire to protest, you must attend the scheduled hearing and give sworn testimony. A notice of the time and place of such hearing will be furnished you as soon as possible after receipt of your request for hearing. If you desire to request a hearing, to receive consideration, it should be in writing (**with your correct mailing address, e-mail address and valid contact number**) and be received at this office on or before December 1, 2021.

/lat



USGS Topographic Map
330 Rumstick Road
A.P. 11, Lot 99
 Barrington, RI
 Bristol Quad Map

— Approximate Site Location
 USGS Topographic Series
 Contour Interval 10 Feet
 National Geodetic Vertical Datum of 1929

0 1,000 2,000 4,000 Feet

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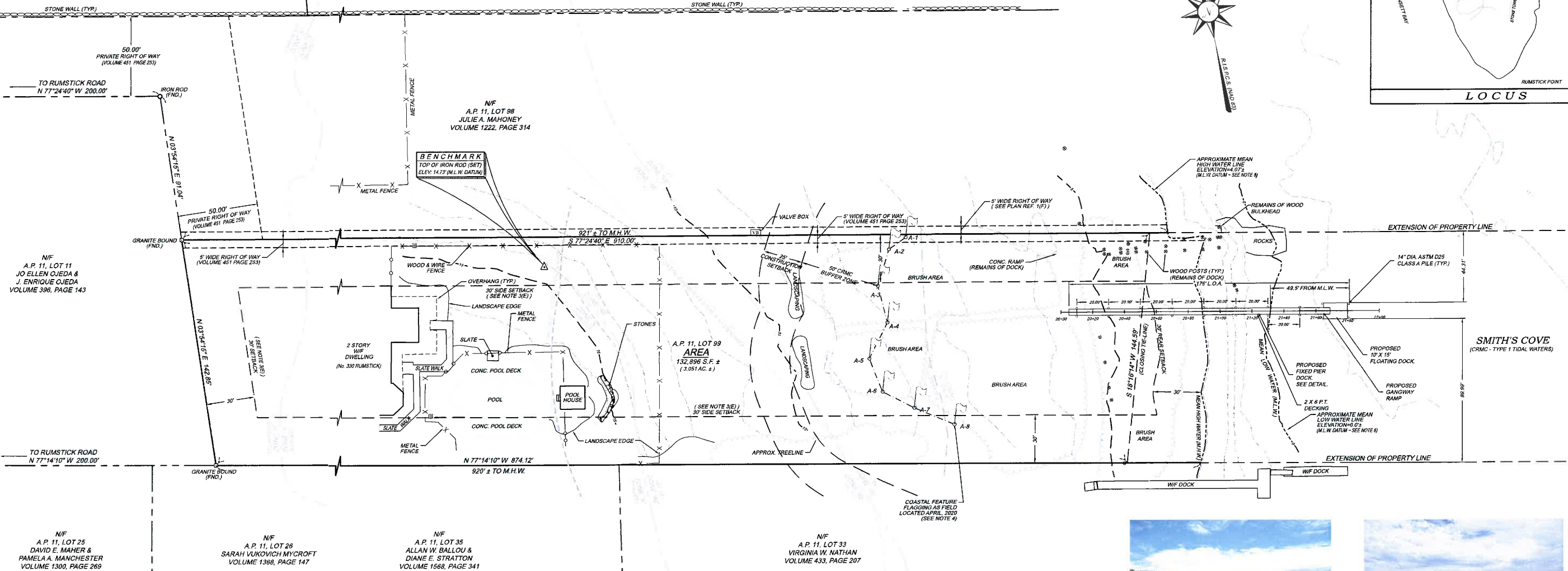
COASTAL RESOURCES
 MANAGEMENT COUNCIL



RIGIS
Natural Resource Services, Inc.
 PO Box 311
 180 Tinkham Lane
 Harrisville, RI 02830
 p. (401) 568-7390
 f. (401) 568-7490
 (c) RIGIS

TIDAL INFORMATION TABLE BASED UPON FIELD OBSERVATIONS OF NOAA BM DISK 1552 1977
"BRISTOL FERRY, RHODE ISLAND" & CONVERTED TO "MEAN LOW WATER DATUM"

MEAN HIGH WATER (M.H.W.) = 4.07
NAVD 88 = 2.29
MEAN LOW WATER (M.L.W.) = 0.00



NOTES / REFERENCES

1. REFERENCE IS MADE TO THE FOLLOWING MAPS AND PLANS OF RECORD:

- A.) PLAN ENTITLED "PLAN OF SURVEY LOT 83 ON ASSESSORS PLAT 11, RUMSTICK ROAD IN BARRINGTON, RHODE ISLAND, PREPARED FOR ALLEN ROCK, LLC, PREPARED BY STANLEY ENGINEERING, INC., SCALE: 1" = 40', JULY 2004, REVISED: DECEMBER 2, 2004 & FEBRUARY 3, 2006."
- B.) PLAN ENTITLED "REPLAT McCULLOCH PLAT, SECTION 'A', BARRINGTON, R.I., PREPARED FOR MARY E. McCULLOCH, PREPARED BY STANLEY ENGINEERING, INC., SCALE: 1" = 40', DATED: JUNE, 1988."
- C.) PLAN ENTITLED "PLAN OF SUBDIVISION OF THE EUGENE T. LOTHGREN ESTATE IN THE TOWN OF BARRINGTON, R.I., PREPARED BY STANLEY ENGINEERING, INC., SCALE: 1" = 50', DATED: SEPTEMBER, 1984."
- D.) PLAN ENTITLED "MINOR SUBDIVISION PLAN ASSESSORS PLAT 11, LOT 83 RUMSTICK ROAD BARRINGTON, RHODE ISLAND, ALLEN ROCK SUBDIVISION 318 RUMSTICK ROAD BARRINGTON, RHODE ISLAND 02806 PROJECT No. 16-001 SCALE: 1" = 40' DATED: 01/12/18 REVISED: 01/25/18 BY WATERMAN ENGINEERING COMPANY."
- E.) PLAN ENTITLED "APPLE TREE LANE PLAT, RUMSTICK POINT, BARRINGTON, R.I., A PORTION OF THE ESTATE OF HOWARD BLANDING, HELLER & BLANDING AND PROVIDENCE NATIONAL BANK TRUSTEES, PREPARED BY EDWARD O. GREENE, CIVIL ENGINEER, SCALE: ONE HUNDRED FEET EQUALS ONE INCH, DATED: JULY 7th, 1933."
- F.) PLAN ENTITLED "PLAN OF TOPOGRAPHICAL SURVEY LOT 99 ON ASSESSORS PLAT 11, RUMSTICK ROAD IN BARRINGTON, RHODE ISLAND, FOR GLENN AND CORDEEN THOMPSON, PREPARED BY STANLEY ENGINEERING, INC., SCALE: 1" = 40', DATED: AUGUST, 2000 (DRAFT PLAN)"
- G.) PLAN ENTITLED "PLAN OF PROPERTY LINE SURVEY, LOT 99 ON ASSESSORS PLAT 11, RUMSTICK ROAD IN BARRINGTON, RHODE ISLAND FOR _____, PREPARED BY STANLEY ENGINEERING, INC., SCALE: 1" = 40', DECEMBER, 1989 (DRAFT PLAN)"

2. REFERENCE IS MADE TO THE FOLLOWING TOWN OF BARRINGTON LAND EVIDENCE RECORDS REGARDING RECORDED TITLE TO THE PREMISES SURVEYED:

- A.) A.P. 11, LOT 99 - JILL E. SUTTON - VOLUME 1580, PAGE 198
3. THESE PREMISES MAY BE SUBJECT TO THE FOLLOWING EASEMENTS, RIGHTS OF WAY OR AGREEMENTS OF RECORD:
- A.) RIGHT OF WAY AND RIGHT TO LAY SEWER & UTILITY LINES AS DESCRIBED IN VOLUME 451, PAGE 253.
- B.) RIGHT OF WAY IN FAVOR OF LOT 11, AS DESCRIBED IN VOLUME 451, PAGE 253.
- C.) EASEMENT GRANTED TO THE NARRAGANSETT ELECTRIC COMPANY AS DESCRIBED IN VOLUME 176, PAGE 469.
- D.) SEWER LINE EASEMENT GRANTED TO WILLIAM J. PICCARELLI, AS DESCRIBED IN VOLUME 165, PAGE 1169.
- E.) SUBJECT TO 30' BUILDING SETBACK LINES AS SHOWN ON PLAN REF. 1(C).
- F.) SUBJECT TO RESTRICTIONS AS SHOWN ON PLAN REF. 1(C).

4. COASTAL FEATURE FLAGGING DELINEATED BY NATURAL RESOURCE SERVICES, INC. P.O. BOX 371, HARRISVILLE, RI 02830 ON APRIL 7, 2020 AND FIELD LOCATED BY WATERMAN ENGINEERING COMPANY.

5. THESE PREMISES ARE SITUATED IN AN R-40' ZONE.

DIMENSIONAL REQUIREMENTS	SINGLE FAMILY DWELLING
MIN. LOT AREA	= 40,000 SQ. FT.
MIN. FRONTAGE/WIDTH	= 180 FT. - (SINGLE-FAMILY)
	= 100 FT. - (WHERE ABUTTING CUL-DE-SAC OR OUTSIDE CURB OF A STREET WITH A CENTERLINE RADIUS OF LESS THAN 150')
MIN. S/B FRONT YARD	= 50 FT.
MIN. S/B REAR YARD	= 30 FT.
MIN. S/B SIDE YARD	= 18 FT. OR 10% OF THE FRONTAGE (THE GREATER OF) (SEE PLAN REF. 1(C) FOR 30' SETBACK RESTRICTION)
MAX. STRUCTURE HEIGHT	= 35 FT.
MAX. BUILDING LOT COVERAGE	= 15%

NOTE: - ZONING INFORMATION IS FROM CURRENT ZONING AND MAY NOT REFLECT THE CONDITIONS AT THE TIME OF CONSTRUCTION OR ANY VARIANCES GRANTED.

6. THESE PREMISES ARE SITUATED IN A ZONE 'AE' (EL. 14), ZONE 'VE' (EL. 16), ZONE 'X' (AREAS OF 0.2% ANNUAL CHANCE FLOOD, 1% ZONE 'X' AREAS DETERMINED TO BE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS DESIGNATED ON THE NATIONAL FLOOD INSURANCE PROGRAM FIRM FLOOD INSURANCE RATE MAP BRISTOL COUNTY, RHODE ISLAND (ALL JURISDICTIONS) PANEL 10, 10-18 TOWN OF BARRINGTON, MAP NUMBER 44010010N, MAP REVISED: JULY 2014, FEDERAL EMERGENCY MANAGEMENT AGENCY."

7. ANY UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING PLANS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH OR ABANDONED. THE SURVEYOR DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM ALL AVAILABLE INFORMATION. (PLEASE CONTACT DIG SAFE 48 HOURS PRIOR TO CONSTRUCTION AT PHONE NO. 1-888-DIG-SAFE AND/OR ALL LOCAL UTILITY COMPANIES.)

8. THE HORIZONTAL DATUM FOR THIS PROJECT IS THE NAD 83 P.C.S. (NAD 83) AND THE VERTICAL DATUM FOR THIS PROJECT IS MEAN LOW WATER (M.L.W.). THE PROJECT DATUM WAS ESTABLISHED FROM REFERENCE STATIONS AND GNSS CORRECTIONS RECEIVED FROM THE LEICA SMARTNET NORTH AMERICA RTX NETWORK VIA CARLSON BRX GNSS ANTENNAS / RECEIVERS AND CONVERTED TO THE MEAN LOW WATER DATUM. A FACTOR OF 2.29 MUST BE SUBTRACTED FROM THE ELEVATIONS AS SHOWN ON THIS PLAN TO CONVERT THEM TO NAVD 88 (SEE TIDAL INFORMATION TABLE AT THE BOTTOM OF THIS SHEET).

9. NO BUILDING, STRUCTURE OR SIGN MAY BE LOCATED WITHIN 100 FEET OF ANY WETLAND, WATER BODY OR STREAM, OR WITHIN 200 FEET IN THE CASE OF FLOWING WATER BODIES IN EXCESS OF 10 FEET IN WIDTH AS PROVIDED BY THE STATE FRESHWATER WETLANDS ACT, PER SECTION 185-52 OF THE TOWN OF BARRINGTON ZONING ORDINANCE.

10. THE TOPOGRAPHY SHOWN SEAWARD OF THE MEAN HIGH WATER LINE IS BASED UPON SOUNDINGS TAKEN ON JULY 2, 2018 (USING A SEA SONAR) ECHO SOUNDER WITH CARLSON BRX GNSS ANTENNAS / RECEIVERS. THE TOPOGRAPHY SHOWN MAY NOT NECESSARILY REPRESENT ANY BOULDERS, HOLES, DEBRIS, ETC. THAT COULD NOT BE OBSERVED DURING THE COURSE OF THE SURVEY.

11. THE FLOODPLAIN BOUNDARY AND THE COASTAL BARRIER DEPICTED HAVE BEEN OVERLAYS & APPROXIMATED USING FEMA'S ONLINE NATIONAL FLOOD HAZARD LAYER (NFIHL) DATASET & THE U.S. FISH & WILDLIFE SERVICE COASTAL BARRIER RESOURCES SYSTEM MAPPER.

12. REFERENCE IS MADE TO THE "DOCK REMNANTS SITE INSPECTION (HISTORICAL AERIAL IMAGERY REVIEW SUMMARY REPORT DATED OCTOBER 29, 2019 BY NEWPORT ENVIRONMENTAL REMNANTS OF AN EXISTING DOCK EXIST AS SHOWN HEREON AND NOTED IN THE REPORT."

13. A PORTION OF THE PROPERTY FALLS WITHIN THE "COASTAL BARRIER RESOURCES SYSTEM (CBRS) AREAS AS SHOWN HEREON.

"SIGNATURES MUST BE IN BLUE INK TO CONSTITUTE AN ORIGINAL PLAN"



CERTIFICATION

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-20-20-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON APRIL 28, 2018, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY: LIMITED CONTENT BOUNDARY SURVEY
MEASUREMENT / ACCURACY SPECIFICATION: I

OTHER TYPE OF SURVEY: DATA ACCUMULATION SURVEY
TOPOGRAPHIC SURVEY: T-1 (PARTIAL TOPOGRAPHIC SURVEY AS SHOWN)

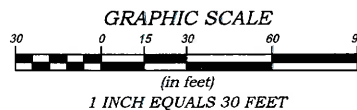
THE PURPOSE FOR CONDUCTING THIS SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:

BOUNDARY & TOPOGRAPHIC SURVEY FOR THE FUTURE DEVELOPMENT OF THE SUBJECT PARCEL.

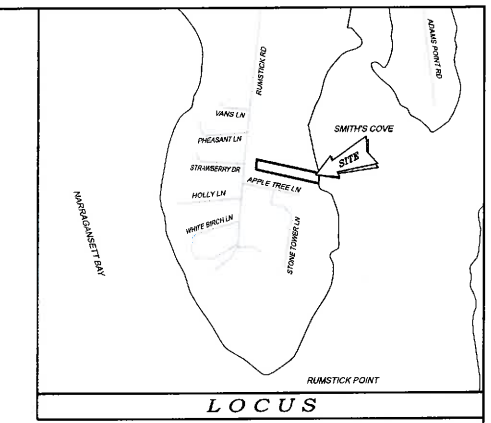
BY: RICHARD S. LIPSITZ, P.L.S. REG. NO. 1837
WATERMAN ENGINEERING COMPANY (COA No. L5.0004483) DATE: 04/20/2020

LEGEND & ABBREVIATIONS

N/F	- NOW OR FORMERLY	- PROPERTY LINE
A.P.	- ASSESSORS PLAT	- ZONING SETBACK LINE
S.F.	- SQUARE FEET	- EXISTING CONTOUR
AC.	- ACRES	- NEW CONTOUR
#	- PLUS OR MINUS	- STONE WALL
STV	- STORY	- FENCE
W/F	- WOOD FRAMED	- SEWER LINE
SHP	- STATE HIGHWAY PLAT	- DRAIN LINE
RET.	- RETAINING WALL	- WATER LINE
PEO.	- PEDESTRIAN	- GAS LINE
(FND.)	- FOUND	- ELECTRIC LINE
RHB	- RI HIGHWAY BOUND	- SANITARY SEWER MANHOLE
PK NAIL	- MASONRY NAIL	- CATCH BASIN
FE	- FLARED END	- STORM DRAIN MANHOLE
RCP	- REINFORCED CONCRETE PIPE	- WATER GATE
CLF	- CHAIN LINK FENCE	- GAS VALVE
INV.	- INVERT	- ELECTRIC MANHOLE
x 10.80	- EXISTING SPOT GRADE	- GRANITE BOUND
	- NEW SPOT GRADE	- DRILL HOLE
		- IRON PIPE



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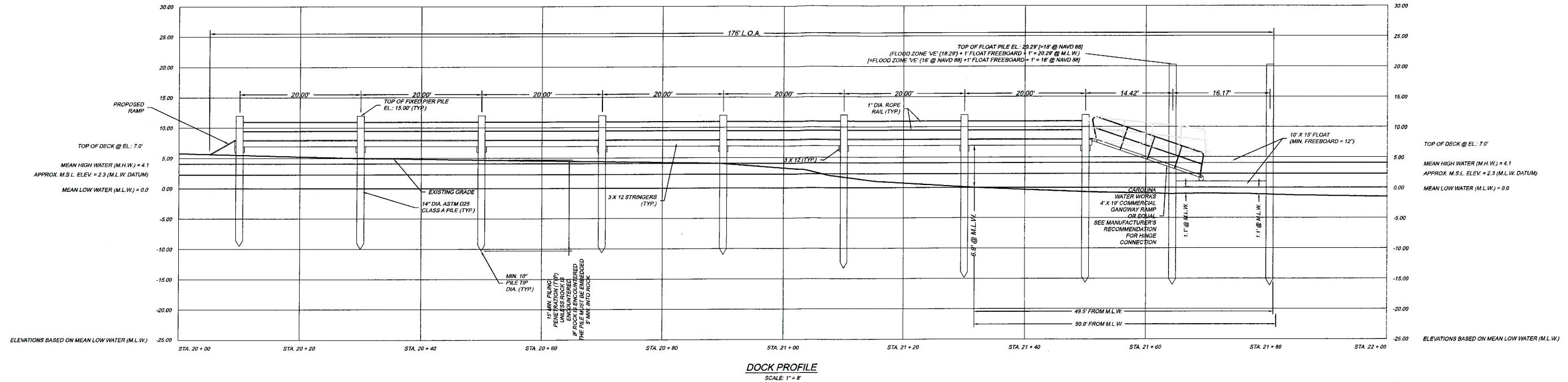


PHOTO 1



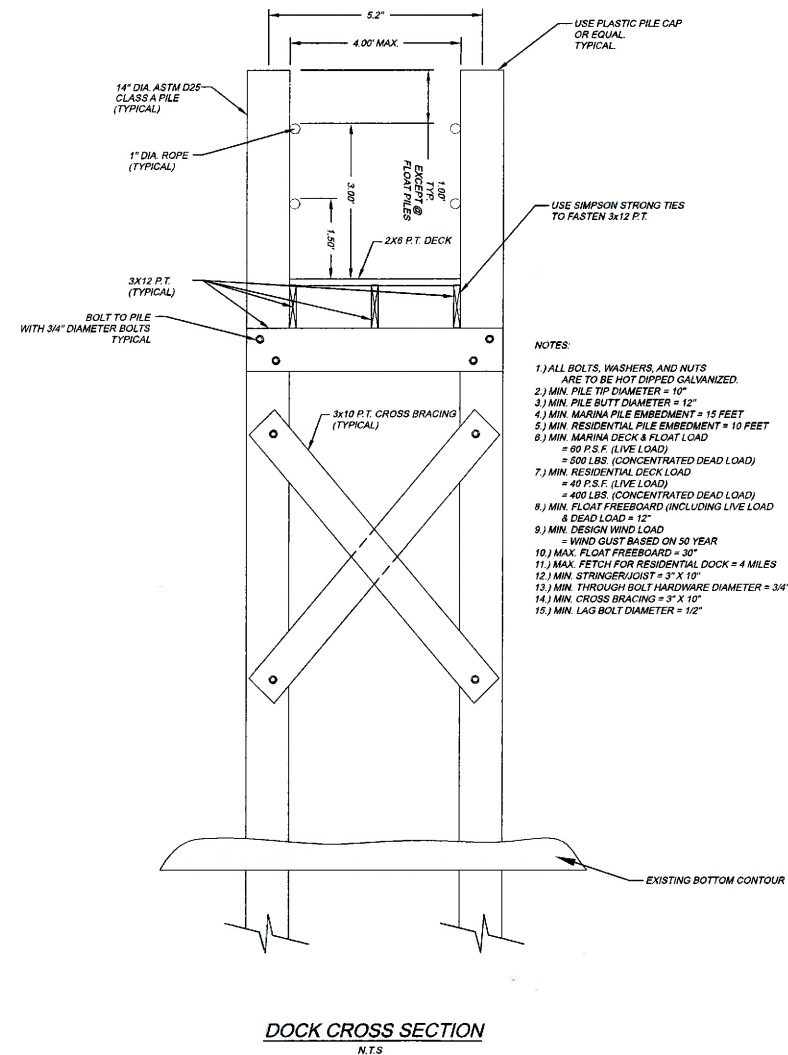
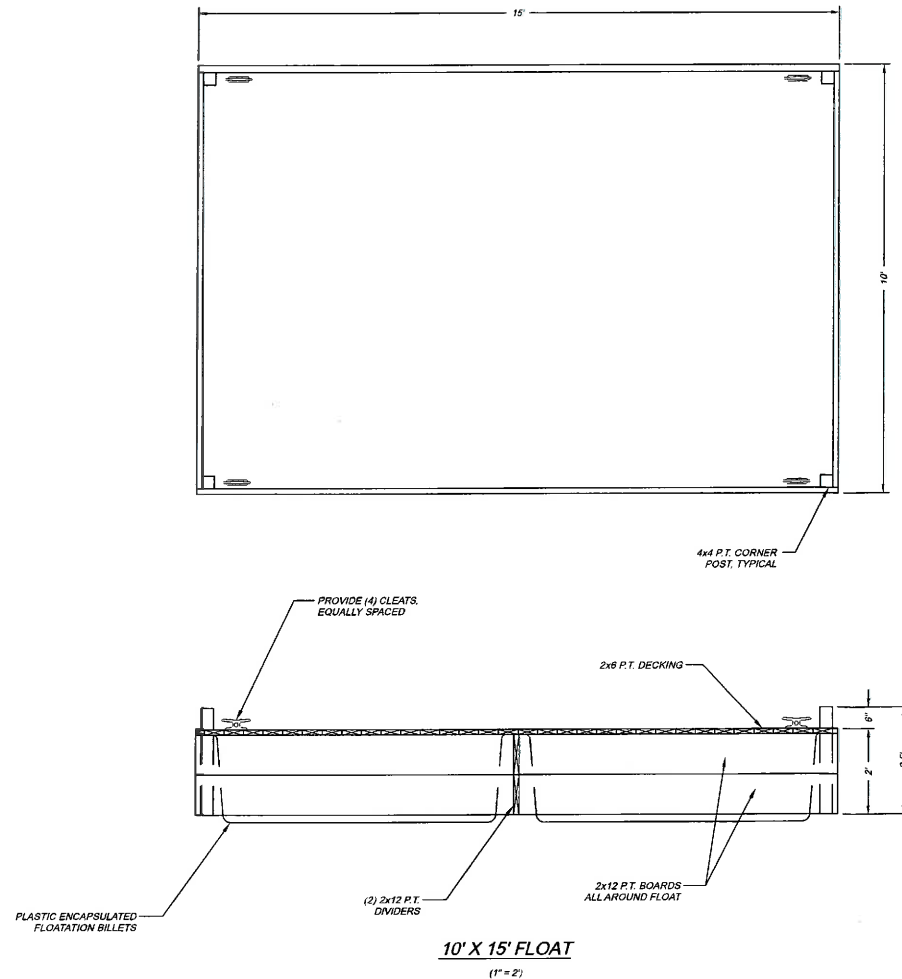
PHOTO 2

1	4/20/2020	ADDED REVISED WETLAND FLAGS & FENCE	RSL
NO.	DATE	REVISION	CHECKED BY
PROPOSED DOCK PLAN ASSESSORS PLAT 11, LOT 99 RUMSTICK ROAD BARRINGTON, RHODE ISLAND			
JILL E. SUTTON 330 RUMSTICK ROAD BARRINGTON, RHODE ISLAND 02806			
Waterman ENGINEERING COMPANY Engineers & Surveyors - Est. 1894			
46 Sutton Avenue East Providence, RI Phone: (401) - 458 - 5775 Fax: (401) - 458 - 5773 www.watermanengineering.net			



GENERAL DOCK NOTES

1. THE SUBJECT PARCEL IS NOT IN A HIGH FETCH AREA.
2. NO GRADE CHANGES ARE PROPOSED.
3. NO BOAT MOORINGS IN THE IMMEDIATE VICINITY OF THE PROPOSED DOCK.
4. CONSTRUCTION OF DOCK TO TAKE PLACE FROM A BARGE.
5. DESIGN LIVE LOAD (PEDESTRIAN) FOR PIER - MINIMUM 40 P.S.F. AND 400 LBS. CONCENTRATED LOAD. DESIGN LIVE LOAD (PEDESTRIAN) FOR FLOAT - MINIMUM 40 P.S.F. AND 400 LBS. CONCENTRATED LOAD.
6. PILES SHALL BE 14" GREENHEART HARDWOOD.
7. ALL WOOD FRAMING OF THE PIER SUPERSTRUCTURE SHALL BE CONSTRUCTED OF SOUTHERN YELLOW PINE NO. 1 OR BETTER, TREATED WITH AN ACCEPTABLE PRESERVATIVE. APPLY PRESERVATIVES IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND THE REQUIREMENTS OF THE AMERICAN WOOD PRESERVERS ASSOCIATION (AWPA).
8. ALL TIMBER DECKING SHALL BE CONSTRUCTED OF SOUTHERN YELLOW PINE NO. 1 OR BETTER, TREATED WITH AN ACCEPTABLE PRESERVATIVE. DECKING SHALL BE DRIED TO A MOISTURE CONTENT OF 18% (MAX.) AFTER PRESERVATIVE TREATMENT.
9. ALL FIELD CUTS (FOR WOOD) SHALL BE TREATED WITH PRESERVATIVE.
10. PRE-DRILL ALL DECKING PRIOR TO FASTENING TO THE PIER FRAMING TO AVOID END SPLITTING.
11. PROVIDE AND INSTALL ASPHALT IMPREGNATED BUILDING FELT (30#) OVER ALL HORIZONTAL SURFACES AT TIMBER AND DECKING CONNECTIONS.
12. ALL HARDWARE AND FASTENERS FOR TIMBER CONNECTIONS SHALL BE HOT-DIPPED GALVANIZED IN ACCORDANCE WITH ASTM A-123 OR ASTM A-153 AS APPLICABLE (3/4" DIAMETER, MINIMUM).
13. COUNTER-SINK ALL HARDWARE UNLESS OTHERWISE NOTED AND FILL ALL COUNTER-SINK HOLES WITH BITUMINOUS FILLER.
14. PROVIDE AND INSTALL HURRICANE CLIPS TO ALL DECK JOIST TO BEAM CONNECTIONS.
15. AFTER TIGHTENING, ALL EXPOSED THREADS OF HARDWARE CONNECTIONS SHALL BE PEENED (BENT) OVER TO AVOID LOOSENING THE CONNECTION.
16. DOCK WASHERS SHALL BE INSTALLED WITH ALL HARDWARE TIMBER CONNECTIONS.
17. CONTRACTOR TO SUBMIT PLAN FOR DRIVING PILES INTO LEDGE, PRIOR TO START OF CONSTRUCTION.
18. AT A MINIMUM, THE RESIDENTIAL BOATING FACILITY SHALL CONFORM TO SECTION 1.3.1 (D) OF THE MOST RECENT REVISION OF THE COASTAL RESOURCES MANAGEMENT COUNCIL'S COASTAL RESOURCES MANAGEMENT PROGRAM.
19. PER SECTION 1.3.1 (D) (1) (I) OF THE MOST RECENT REVISION OF THE COASTAL RESOURCES MANAGEMENT COUNCIL'S COASTAL RESOURCES MANAGEMENT PROGRAM, ALL APPLICANTS FOR RESIDENTIAL AND LIMITED RECREATIONAL DOCKS SHALL SUBMIT THE CRMC DESIGNER'S DOCK AS-BUILT FORM AND AN AS-BUILT SURVEY WITHIN THIRTY (30) DAYS FOLLOWING CONSTRUCTION. THE APPLICANT, OWNER AND CONTRACTOR ARE TO COORDINATE WITH WATERMAN ENGINEERING COMPANY TO COMPLETE THE AS-BUILT PLAN AND NECESSARY DOCUMENTATION IN ORDER TO SUBMIT TO CRMC WITHIN THE TIMELINE.



** SIGNATURES MUST BE IN BLUE INK TO CONSTITUTE AN ORIGINAL PLAN



1	4/9/2020	ADDED REVISED WETLAND FLAGS & FENCE	RSL
NO.	DATE	REVISION	CHECKED BY
DETAIL PLAN ASSESSORS PLAT 11, LOT 99 RUMSTICK ROAD BARRINGTON, RHODE ISLAND			
JILL E. SUTTON 330 RUMSTICK ROAD BARRINGTON, RHODE ISLAND 02806			
PROJECT NO. 19-051 SCALE AS NOTED DATE 07/11/19 DRAWN BY MS CHECKED BY LRS FILENAME 19054_2019 Deck 3 of 3 SHOTS DRAWING # C-2			
Waterman ENGINEERING COMPANY Engineers & Surveyors - Est. 1894			
46 Sutton Avenue East Providence, RI Phone: (401) 438-5775 Fax: (401) 438-5775 www.watermanengineering.net			