



State of Rhode Island
Coastal Resources Management Council
Oliver H. Stedman Government Center
4808 Tower Hill Road, Suite 3
Wakefield, RI 02879-1900

(401) 783-3370
Fax (401) 783-2069

PUBLIC NOTICE

File Number: 2021-08-096 Date: December 6, 2021

This office has under consideration the application of:

**New York Yacht Club
5 Halidon Ave.
Newport, RI 02840**

for a State of Rhode Island Assent to construct and maintain:

The New York Yacht Club is to rebuild a stone seawall and quay wall leading to their fixed pier. The current seawall and quay wall both have voids and inconsistent elevation. The walls will be rebuilt or restacked to a matching elevation of 7.05 NAVD88. To accommodate and increase the setback the boathouse building will be moved away from the seawall to the southwest.

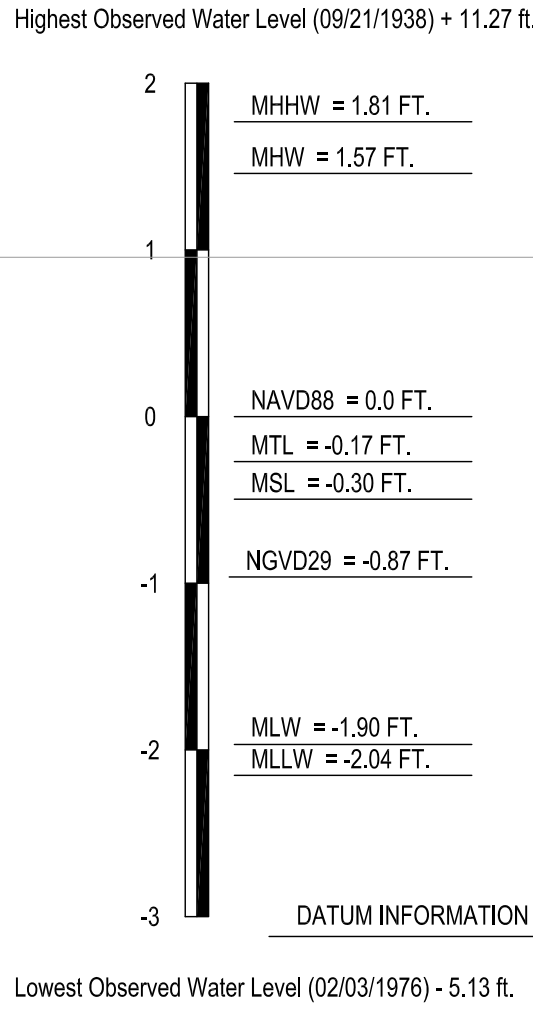
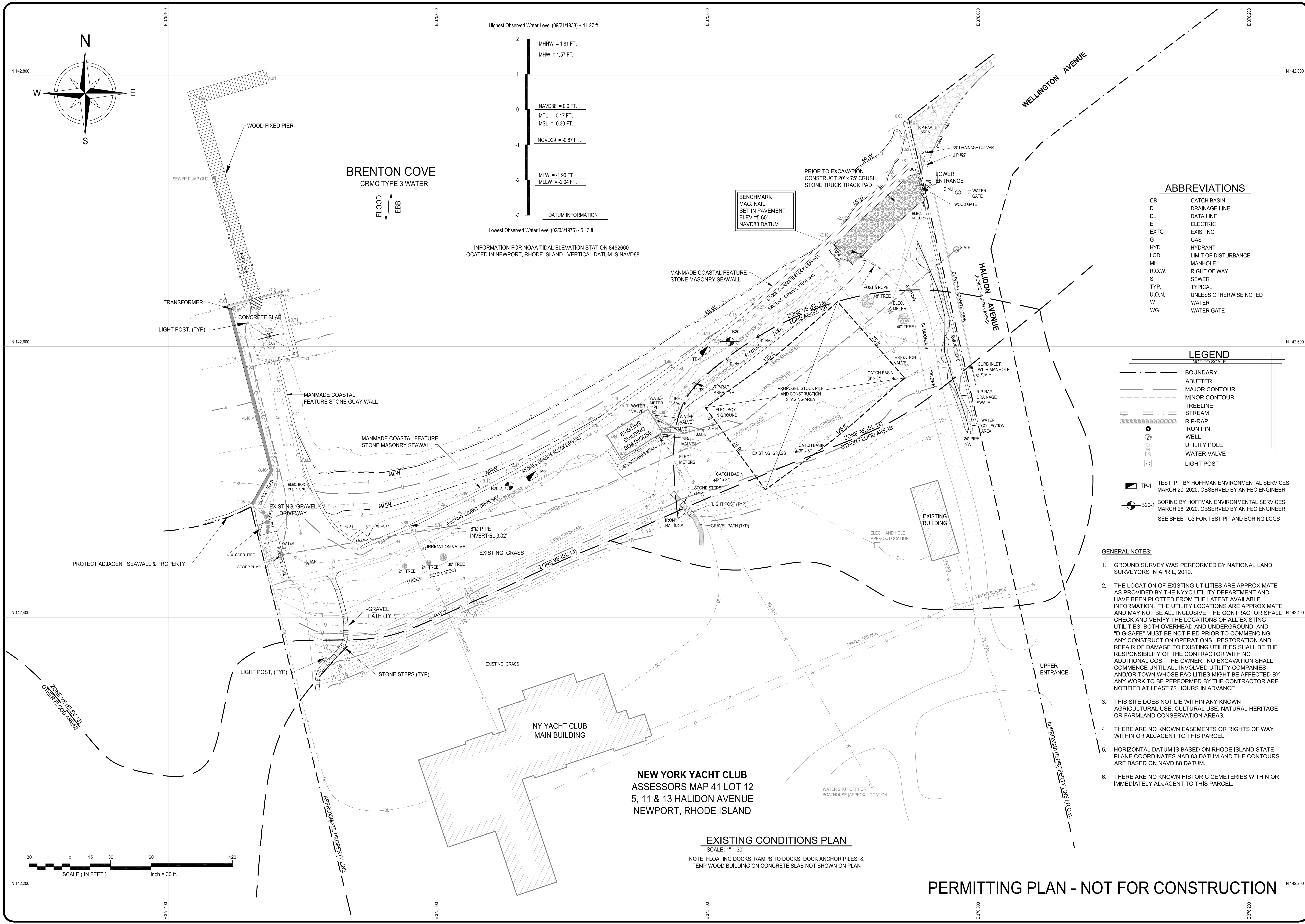
Project Location:	5 Halidon Ave
City/Town:	Newport
Plat/Lot:	41/012
Waterway:	Brenton Cove, Newport Harbor

Plans of the proposed work may be seen at the CRMC office in Wakefield.

In accordance with the Administrative Procedures Act (Chapter 42-35 of the Rhode Island General Laws) you may request a hearing on this matter.

You are advised that if you have good reason to enter protests against the proposed work it is your privilege to do so. It is expected that objectors will review the application and plans thoroughly, visit site of proposed work if necessary, to familiarize themselves with the conditions and cite what law or laws, if any, would in their opinion be violated by the work proposed.

If you desire to protest, you must attend the scheduled hearing and give sworn testimony. A notice of the time and place of such hearing will be furnished you as soon as possible after receipt of your request for hearing. If you desire to request a hearing, to receive consideration, it should be in writing (**with your correct mailing address, e-mail address and valid contact number**) and be received at this office on or before January 6, 2022.



INFORMATION FOR NOAA TIDAL ELEVATION STATION 8452660
LOCATED IN NEWPORT, RHODE ISLAND - VERTICAL DATUM IS NAVD88

ABBREVIATIONS

CB	CATCH BASIN
D	DRAINAGE LINE
DL	DATA LINE
E	ELECTRIC
EXTG	EXISTING
G	GAS
HYD	HYDRANT
LOD	LIMIT OF DISTURBANCE
MH	MANHOLE
R.O.W.	RIGHT OF WAY
S	SEWER
TYP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
W	WATER
WG	WATER GATE

LEGEND

---	BOUNDARY
---	ABUTTER
---	MAJOR CONTOUR
---	MINOR CONTOUR
---	TREELINE
---	STREAM
---	RIP-RAP
---	IRON PIN
---	WELL
---	UTILITY POLE
---	WATER VALVE
---	LIGHT POST
TP-1	TEST PIT BY HOFFMAN ENVIRONMENTAL SERVICES MARCH 20, 2020. OBSERVED BY AN FEC ENGINEER
B20-1	BORING BY HOFFMAN ENVIRONMENTAL SERVICES MARCH 26, 2020. OBSERVED BY AN FEC ENGINEER SEE SHEET C3 FOR TEST PIT AND BORING LOGS

GENERAL NOTES:

- GROUND SURVEY WAS PERFORMED BY NATIONAL LAND SURVEYORS IN APRIL, 2019.
- THE LOCATION OF EXISTING UTILITIES ARE APPROXIMATE AS PROVIDED BY THE NY YC UTILITY DEPARTMENT AND HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND "DIG-SAFE" MUST BE NOTIFIED PRIOR TO COMMENCING ANY CONSTRUCTION OPERATIONS. RESTORATION AND REPAIR OF DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO ADDITIONAL COST TO THE OWNER. NO EXCAVATION SHALL COMMENCE UNTIL ALL INVOLVED UTILITY COMPANIES AND/OR TOWN WHOSE FACILITIES MIGHT BE AFFECTED BY ANY WORK TO BE PERFORMED BY THE CONTRACTOR ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCE.
- THIS SITE DOES NOT LIE WITHIN ANY KNOWN AGRICULTURAL USE, CULTURAL USE, NATURAL HERITAGE OR FARMLAND CONSERVATION AREAS.
- THERE ARE NO KNOWN EASEMENTS OR RIGHTS OF WAY WITHIN OR ADJACENT TO THIS PARCEL.
- HORIZONTAL DATUM IS BASED ON RHODE ISLAND STATE PLANE COORDINATES NAD 83 DATUM AND THE CONTOURS ARE BASED ON NAVD 88 DATUM.
- THERE ARE NO KNOWN HISTORIC CEMETERIES WITHIN OR IMMEDIATELY ADJACENT TO THIS PARCEL.

EXISTING CONDITIONS PLAN

SCALE: 1" = 30'

NOTE: FLOATING DOCKS, RAMPS TO DOCKS, DOCK ANCHOR PILES, & TEMP WOOD BUILDING ON CONCRETE SLAB NOT SHOWN ON PLAN

PERMITTING PLAN - NOT FOR CONSTRUCTION

ST. JEAN ENGINEERING, LLC

CIVIL, MARINE AND STRUCTURAL ENGINEERING
209 Arnold Neck Drive
Warwick, RI 02886

FAIRBANKS ENGINEERING CORP.
GEOTECHNICAL & MARINE ENGINEERS
42 Cobblestone Hill Road
Exeter, RI 02822

NY YC SEAWALL REPAIRS

AP 41 Lot 12/ 5, 11, 13 Halidon Avenue
Newport, Rhode Island

SEA WALL REPAIRS
EXISTING CONDITIONS PLAN

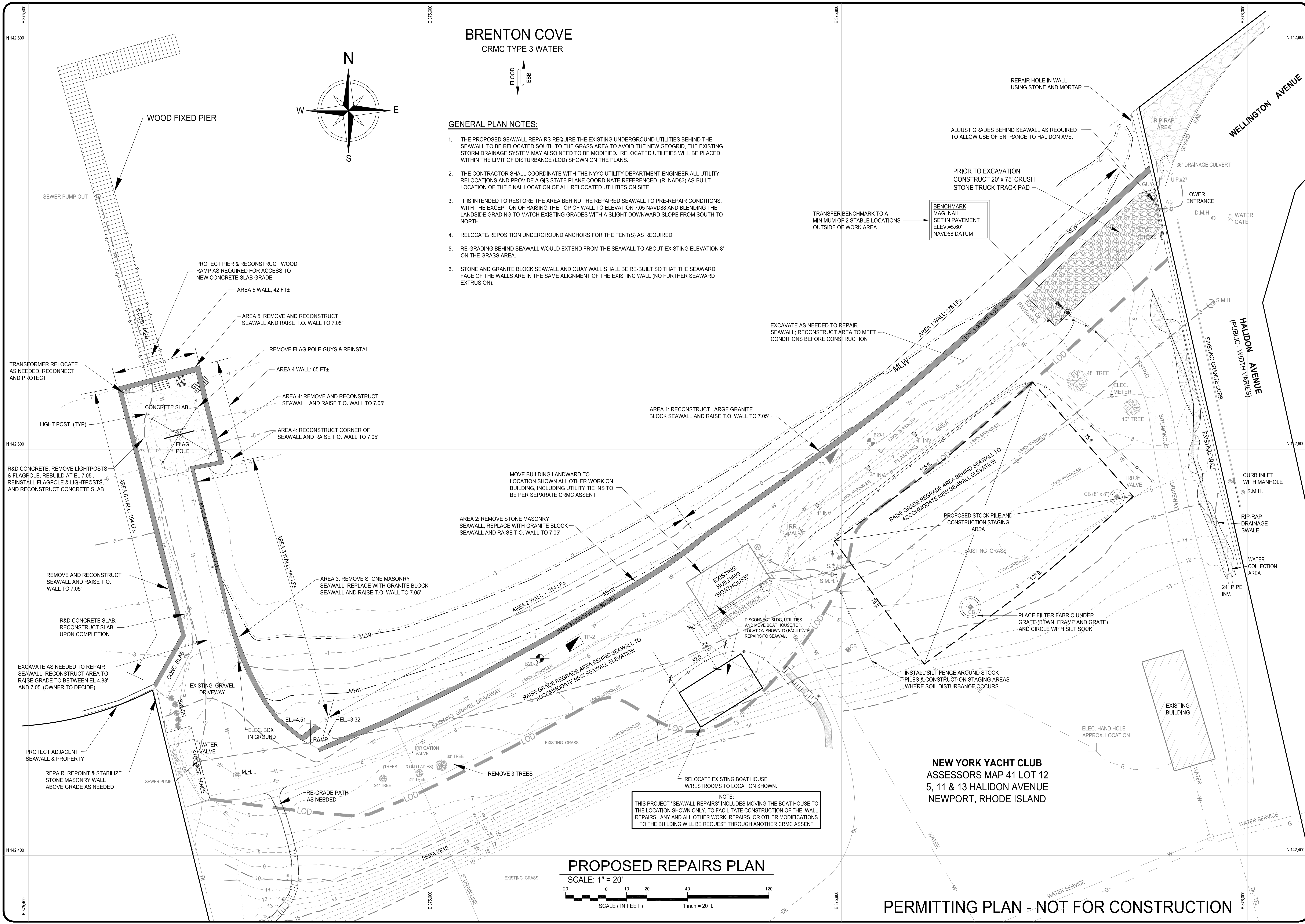
JOB NO.
DWG. NO.

C1

SHT. 1 OF 5

RICHARD N. ST. JEAN
Professional Engineer
No. 4997
Ex. 4997

Revisions:



BRENTON COVE
CRMC TYPE 3 WATER

GENERAL PLAN NOTES:

1. THE PROPOSED SEAWALL REPAIRS REQUIRE THE EXISTING UNDERGROUND UTILITIES BEHIND THE SEAWALL TO BE RELOCATED SOUTH TO THE GRASS AREA TO AVOID THE NEW GEOGRID, THE EXISTING STORM DRAINAGE SYSTEM MAY ALSO NEED TO BE MODIFIED. RELOCATED UTILITIES WILL BE PLACED WITHIN THE LIMIT OF DISTURBANCE (LOD) SHOWN ON THE PLANS.
2. THE CONTRACTOR SHALL COORDINATE WITH THE NYYC UTILITY DEPARTMENT ENGINEER ALL UTILITY RELOCATIONS AND PROVIDE A GIS STATE PLANE COORDINATE REFERENCED (RI NAD83) AS-BUILT LOCATION OF THE FINAL LOCATION OF ALL RELOCATED UTILITIES ON SITE.
3. IT IS INTENDED TO RESTORE THE AREA BEHIND THE REPAIRED SEAWALL TO PRE-REPAIR CONDITIONS, WITH THE EXCEPTION OF RAISING THE TOP OF WALL TO ELEVATION 7.05 NAVD88 AND BLENDING THE LANDSIDE GRADING TO MATCH EXISTING GRADES WITH A SLIGHT DOWNWARD SLOPE FROM SOUTH TO NORTH.
4. RELOCATE/REPOSITION UNDERGROUND ANCHORS FOR THE TENT(S) AS REQUIRED.
5. RE-GRADING BEHIND SEAWALL WOULD EXTEND FROM THE SEAWALL TO ABOUT EXISTING ELEVATION 8' ON THE GRASS AREA.
6. STONE AND GRANITE BLOCK SEAWALL AND QUAY WALL SHALL BE RE-BUILT SO THAT THE SEAWARD FACE OF THE WALLS ARE IN THE SAME ALIGNMENT OF THE EXISTING WALL (NO FURTHER SEAWARD EXTRUSION).

NEW YORK YACHT CLUB
ASSESSORS MAP 41 LOT 12
5, 11 & 13 HALIDON AVENUE
NEWPORT, RHODE ISLAND

NOTE:
THIS PROJECT "SEAWALL REPAIRS" INCLUDES MOVING THE BOAT HOUSE TO THE LOCATION SHOWN ONLY, TO FACILITATE CONSTRUCTION OF THE WALL REPAIRS. ANY AND ALL OTHER WORK, REPAIRS, OR OTHER MODIFICATIONS TO THE BUILDING WILL BE REQUEST THROUGH ANOTHER CRMC ASSENT

PROPOSED REPAIRS PLAN

SCALE: 1" = 20'



PERMITTING PLAN - NOT FOR CONSTRUCTION

Revisions:

ST. JEAN ENGINEERING, LLC

CIVIL, MARINE AND STRUCTURAL ENGINEERING

206 Arnold Neck Drive
Warwick, RI 02886

Phone: 401.398.0999
stjeanengineering@verizon.net

FAIRBANKS ENGINEERING CORP.

GEOTECHNICAL & MARINE ENGINEERS

42 Cobblestone Hill Road
Exeter, RI 02822

Office: 401.294.3484 Cell: 401.474.2361
fairbanks@fairbankseng.com

SEA WALL REPAIR PLAN

RECEIVED
8/23/2021
COASTAL RESOURCES

DATE: 8/10/2021

Scale: AS NOTED

Checked: RSJ

Drawn: RWF

NYYC SEAWALL REPAIRS

AP 41 Lot 12/ 5, 11, 13 Halidon Avenue
Newport, Rhode Island

SEA WALL REPAIR PLAN

JOB NO.

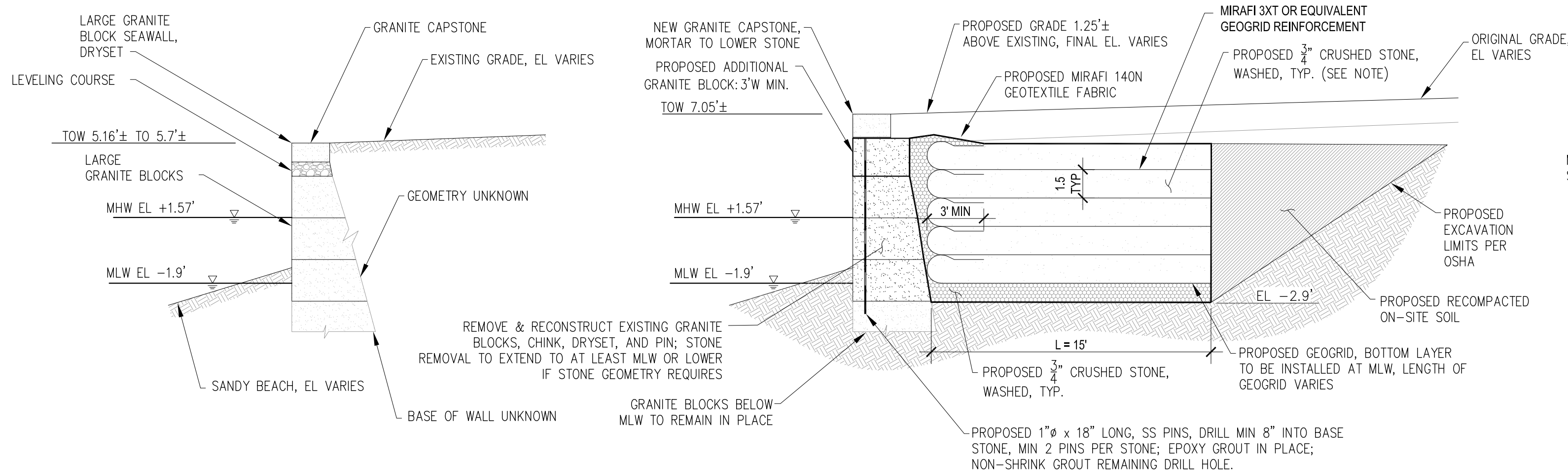
DWG. NO.

C2

SHT. 2 OF 5



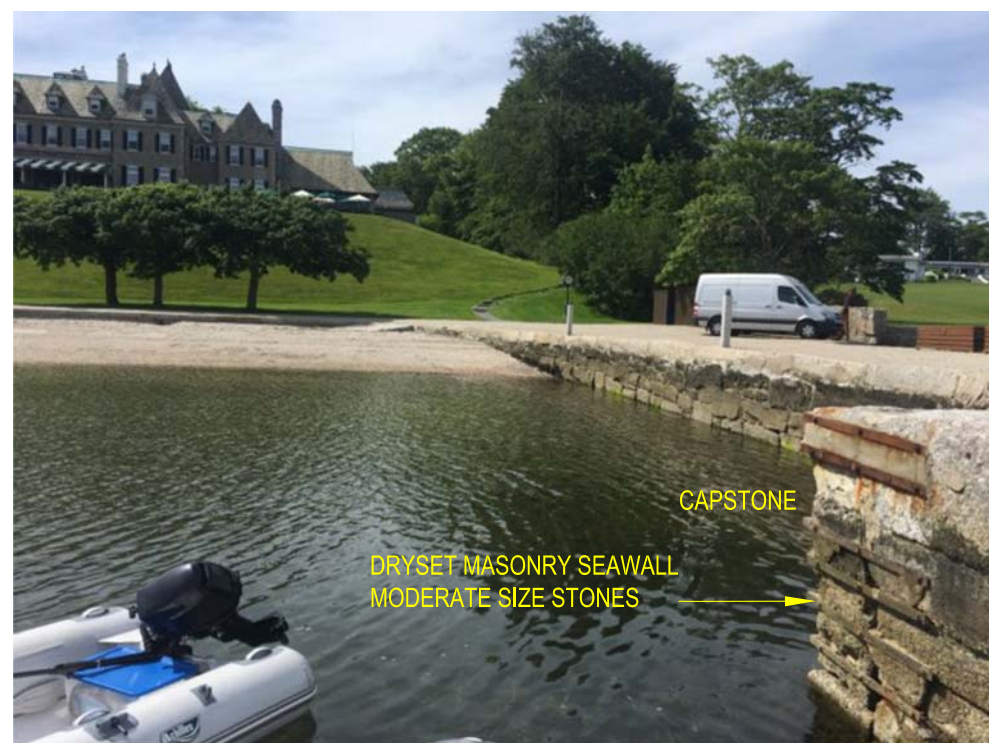
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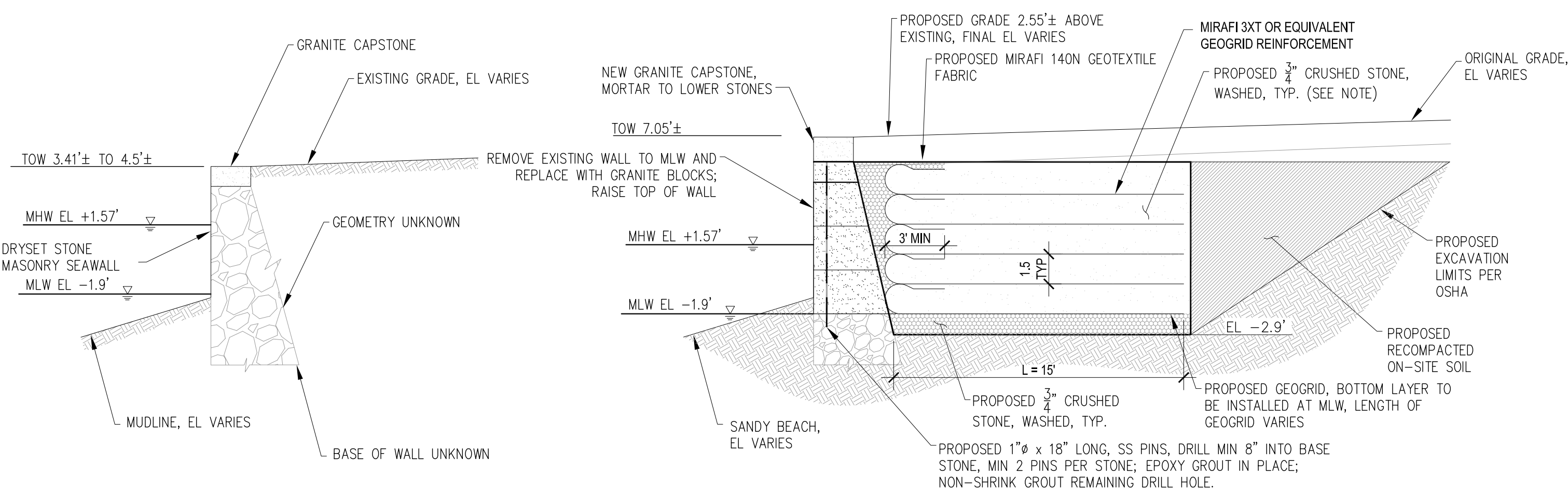
EXISTING

AREA #1 REPAIRS
SCALE: 1" = 5'

PROPOSED



EXISTING COND PHOTO



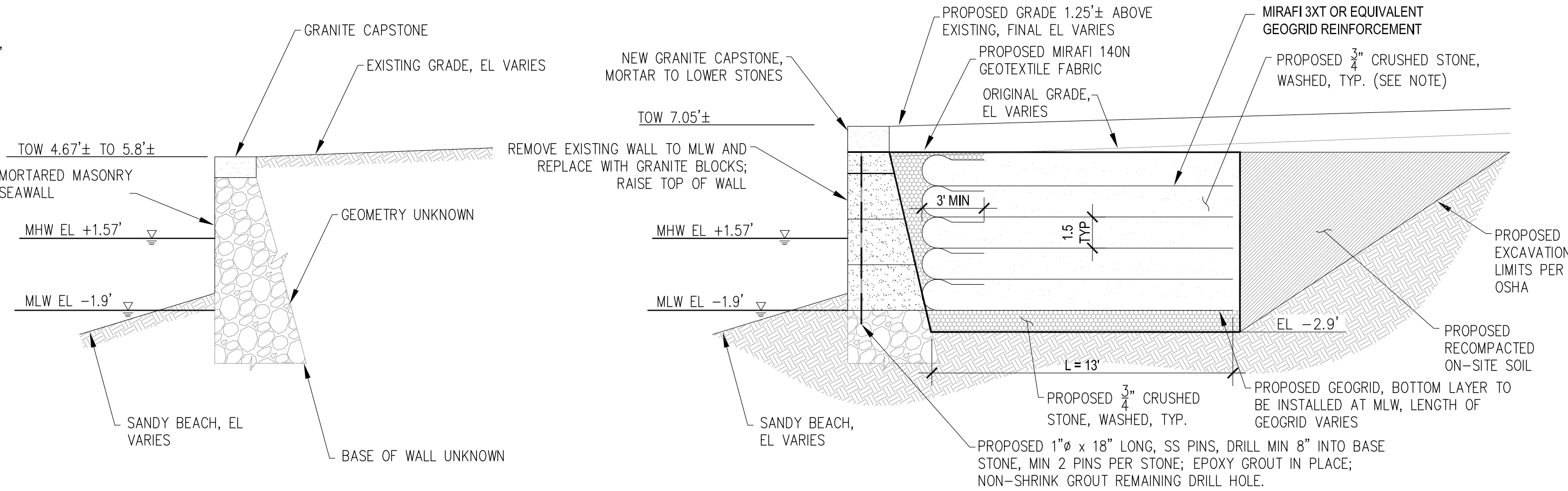
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AREA #3 REPAIRS
SCALE: 1" = 5'

PROPOSED



EXISTING COND PHOTO



EXISTING

AREA #2 REPAIRS
SCALE: 1" = 5'

PROPOSED

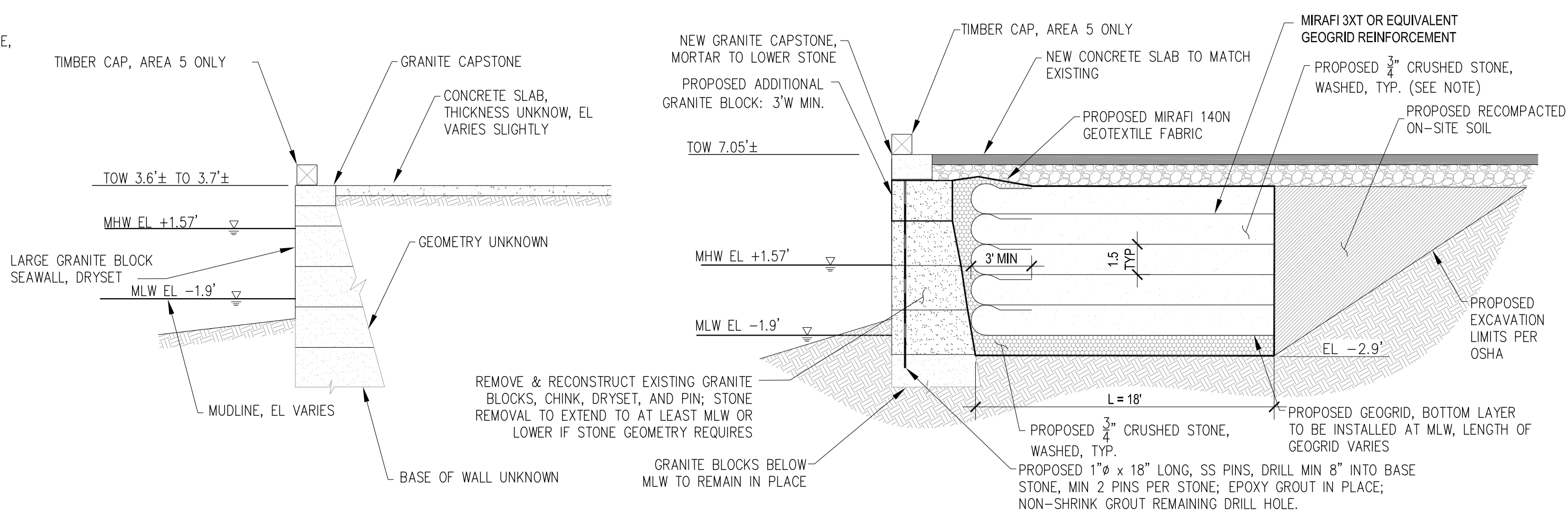


AREA 4



AREA 5

EXISTING COND PHOTO



EXISTING

AREAS #4 & #5 REPAIRS
SCALE: 1" = 5'

PROPOSED

NOTE: AT AREA #4 COMPLETELY REBUILD THE CORNER EXTENDING ONE BLOCK LENGTH IN EACH DIRECTION. OVERLAP STONES IN RUNNING BOND PATTERN AT THE CORNER AND PIN STONES WITH 1"Ø SS PINS USING THE DETAIL SHOWN AT AREA #1.

PERMITTING PLAN - NOT FOR CONSTRUCTION

ST. JEAN ENGINEERING, LLC

CIVIL, MARINE AND STRUCTURAL ENGINEERING
209 Arnold Neck Drive
Warwick, RI 02886

FAIRBANKS ENGINEERING CORP.
GEOTECHNICAL & MARINE ENGINEERS

42 Cobblestone Hill Road
Exeter, RI 02822

NYC SEAWALL REPAIRS

AP 41 Lot 12/ 5, 11, 13 Haldon Avenue
Newport, Rhode Island

PROPOSED REPAIR SECTION

Sheet 1 of 2

JOB NO.

DWG. NO.

C3

SHT. 3 OF 5

Drawn: RWF
Checked: RSJ
Scale: AS NOTED
DATE: 8/10/2021

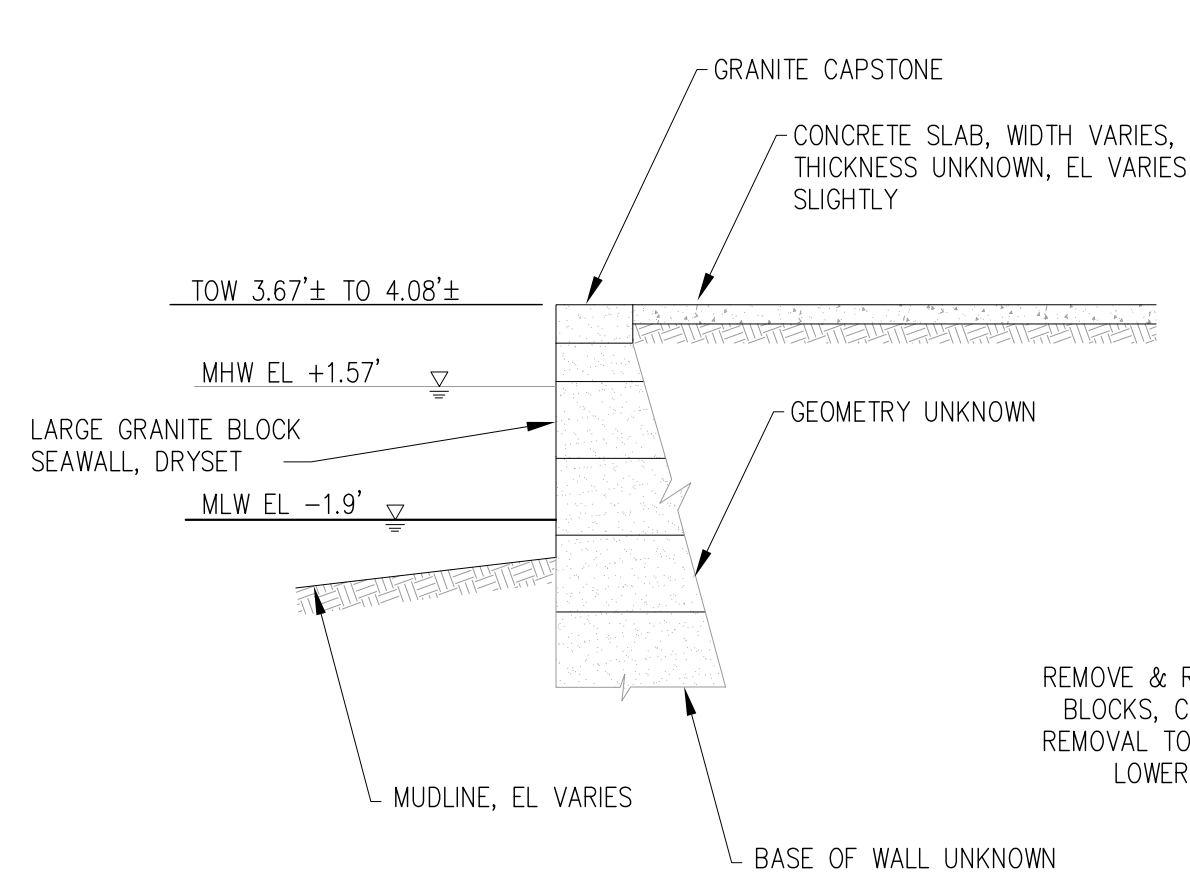
APPROVED
8/23/2021
COSTAS RESOURCES

RICHARD N. ST. JEAN
Professional Engineer
No. 4997
ST. JEAN ENGINEERING, LLC

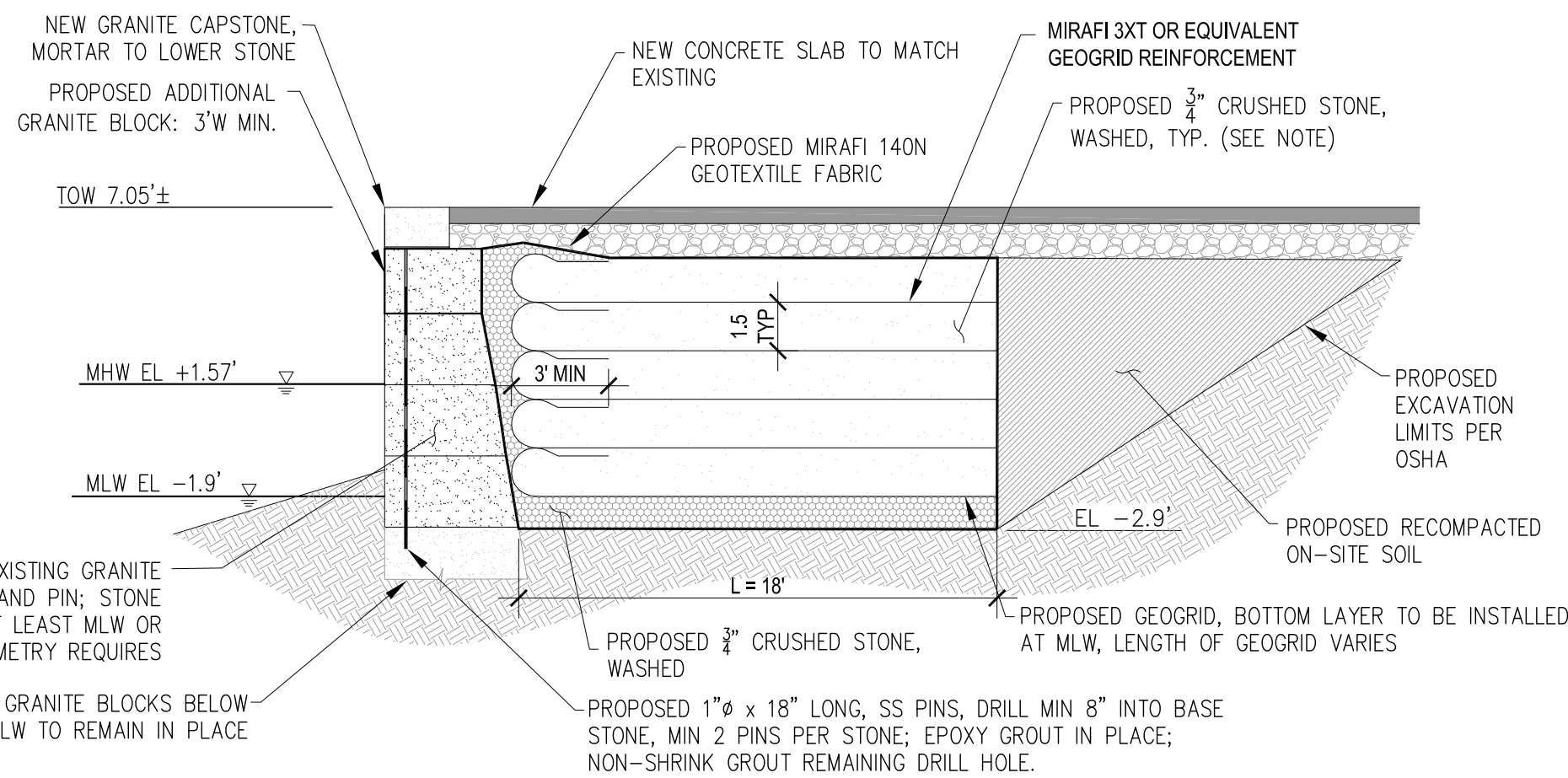
Revisions:



EXISTING COND PHOTO



EXISTING



AREA #6 REPAIRS

NOTE: AREAS BEHIND THE SEAWALL INCLUDE CONCRETE SLAB AND GRAVEL SURFACE. ONLY THE CONCRETE SLAB IS SHOWN ABOVE BUT THE INTENT IS TO RECONSTRUCT THE AREA TO BE SIMILAR TO ORIGINAL CONDITIONS.

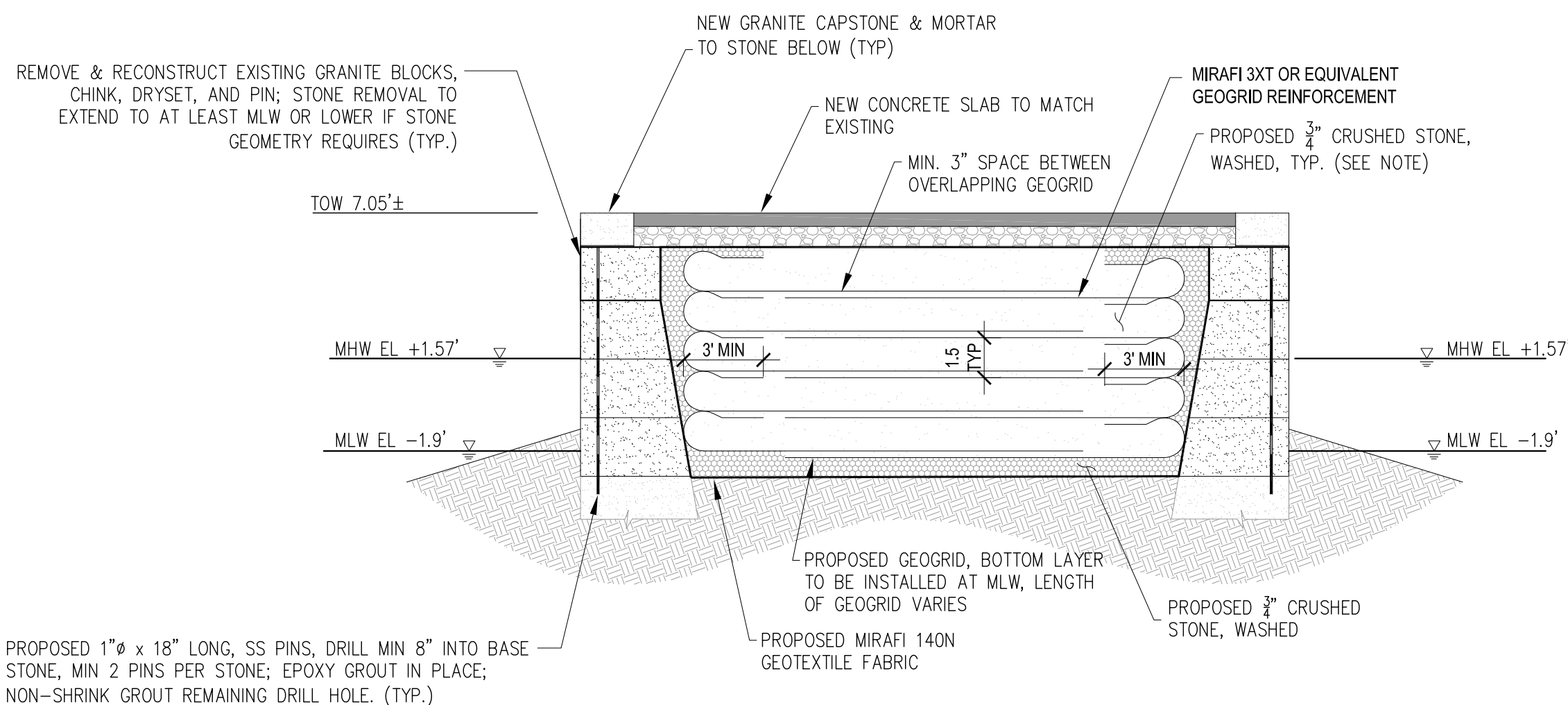
PROPOSED

SEAWALL NOTE:
THE PROPOSED GEOGRID REINFORCEMENT INDICATED ON THESE SECTIONS HAS BEEN DESIGNED TO ALLOW THE SEAWALL HEIGHT TO POTENTIALLY BE INCREASED AN ADDITIONAL 3 FT. TO EL +10.0' IN THE FUTURE. THE CAVEAT BEING ADDITIONAL BORINGS WOULD BE REQUIRED TO VERIFY ADEQUATE STABILITY SLIDING AND BEARING STABILITY EXISTS FOR THE EXISTING UNREINFORCED SECTIONS OF SEAWALL BELOW MLW AT EACH REPAIR AREA.

REINFORCED BACKFILL NOTE:
FREE DRAINING STRUCTURAL FILL WITH LESS THAN 5 PERCENT PASSING THE 200 SIEVE MAY BE SUBSTITUTED FOR 3/4" CRUSHED STONE WITH WRITTEN APPROVAL FROM ENGINEER. SUBMIT ALTERNATE MATERIALS TO ENGINEER FOR REVIEW.



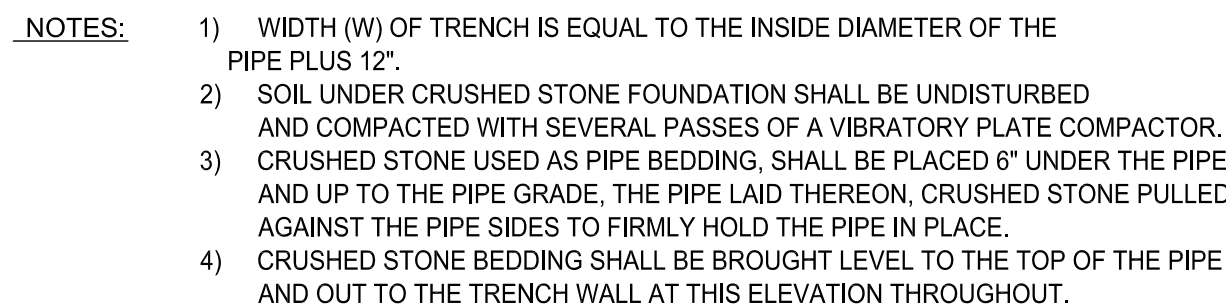
PERMITTING PLAN - NOT FOR CONSTRUCTION



TYPICAL BACK-TO-BACK MSE WALL SECTION

SCALE: 1" = 5'

FAIRBANKS ENGINEERING CORPORATION										BORING NO. B20-1	
42 COBBLESTONE HILL ROAD, EXETER, RI GEOTECHNICAL AND MARINE ENGINEERS										SHEET 1 OF 1	
PROJECT		PROPOSED SEAWALL REPAIRS NEW YORK YACHT CLUB, NEWPORT, RI				PROJECT NO.		19013.00		CHKD. BY	
BORING CO.		HOFFMAN ENVR. SERVICES				BORING LOCATION		SEE EXPLORATION LOCATION PLAN			
FOREMAN		KYLE HOFFMAN, SAM				GROUND SURFACE ELEVATION		5.5 ft±		DATUM	
ENGINEER		FEC: RWF				DATE START		3/28/2020		DATE END	
SAMPLER:		UNLESS OTHERWISE NOTED, SAMPLER CONSISTS OF A 2" SPLIT SPOON DRIVEN USING A 140 lb HAMMER FALLING 30 IN.				GROUNDWATER READINGS		DATE		TIME	
CASING:		UNLESS OTHERWISE NOTED, CASING DRIVEN USING 300 lb. HAMMER FALLING 24 IN.				DATE		TIME		WATER AT	
CASING SIZE:		OTHER: 3.25" HSA				DATE		TIME		WATER AT	
CASING SIZE:		OTHER: 3.25" HSA				DATE		TIME		WATER AT	
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CASING SIZE:		OTHER: 3.25" HSA				DATE		TIME			



SCALE: N.T.S.



SCALE: NTS
(NOT USED IF INSPECTION MANHOLE INSTALLED)



SCALE: NTS



NOTE: IN LIEU OF SILT FENCE ARRANGEMENT SHOWN ABOVE THE CONTRACTOR MAY USE ENGINEER APPROVED PRE-MADE SILT FENCE

Diagram illustrating the installation of a silt sock on a slope. The diagram shows a cross-section of a slope with a 3:1 maximum slope. A silt sock, labeled as 8-9" diameter (also available in 12", 18" & 24" diameter), is placed in a trench 10-12" deep (minimum). The silt sock is secured by wooden stakes placed 10' on center (O.C.). The area to be protected is indicated on the right side of the slope. The top of the slope is labeled as a disturbed area.

1. A SLIGHT ENTRENCHMENT MAY BE REQUIRED ON STEEPER SLOPES TO ENSURE INTIMATE GROUND CONTACT.
2. REMOVE SEDIMENT FROM THE UPSLOPE SIDE OF THE SILT SOCK WHEN ACCUMULATION HAS REACHED 1/2 OF EFFECTIVE HEIGHT OF SOCK.
3. LOOSE FILTER MEDIA MAY BE BACKFILLED ON THE UPSLOPE SIDE OF SOCK TO ENHANCE PERFORMANCE.
4. HARDWOOD STAKES 2"x2"x24" (NOMINAL) ARE SUGGESTED.

NOTE:
THIS DETAIL OR SIMILAR TO BE USED
FOR SOIL STOCKPILE LOCATIONS

NOTE OVERLAP BASED ON FLOW DIRECTION



SCALE POINTS

1. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL REVIEW THE PLANS FOR EROSION AND SEDIMENT CONTROL MEASURES. THE CONTRACTOR SHALL FIELD MARK THE EXTENT OF CLEARING, GRUBBING, AND CONSTRUCTION LIMITS PRIOR TO BEGINNING CONSTRUCTION , AND THEREAFTER MAKE AWARE THE LIMITS TO ALL SUBCONTRACTORS PERFORMING THE WORK.
2. SILT FENCE AND/OR SILT SOCK SHALL BE INSTALLED IN LOCATIONS SHOWN ON THE PLANS PRIOR TO REMOVING STUMPS AND GRUBBING WITHIN THE CONSTRUCTION LIMITS. STOCK PILE LOCATIONS SHALL BE SECURED WITH SILT FENCE OR SILT SOCK. THE CONTRACTOR SHALL REVIEW THE CONDITION OF THESE MEASURES AT THE END OF EACH DAY AND REPLACE DAMAGED SECTIONS PRIOR TO LEAVING THE PROJECT AREA AT THE END OF THE WORK SHIFT. SEDIMENT DEPOSITS SHALL BE REMOVED WHEN THEY REACH ONE-QUARTER OF THE BARRIER HEIGHT.
3. THE LIMITS OF ALL CLEARING, GRADING AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION, ALL AREAS OUTSIDE OF THE LIMITS OF DISTURBANCE SHALL REMAIN TOTALLY UNDISTURBED.
4. ALL SOIL EROSION CONTROL MEASURES TO BE USED ON THE PROJECT ARE INDICATED ON THE PLANS. EROSION CONTROL MEASURES SHALL BE IN CONFORMANCE WITH THE PROVISIONS OF THE RHODE ISLAND "SOIL EROSION CONTROL HANDBOOK" (LATEST EDITION).
5. ANY CATCH BASINS WHICH RECEIVE RUNOFF FROM THE PROJECT SHALL BE PROTECTED WITH HAY BALE FILTERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED. SUMPS SHALL BE CLEARED IMMEDIATELY FOLLOWING ACCEPTANCE OF SEEDED AREAS.
6. SOIL STOCKPILES AND DEPOSITION AREAS FOR CONSTRUCTION MATERIALS SHALL BE LOCATED OUTSIDE WETLAND AREAS AS LOCATED ON PLANS AND SHALL BE SURROUNDED BY STAKED SILT SOCKS.
7. TEMPORARY VEGETATION SHALL BE USED TO PROTECT STOCKPILES FROM WIND EROSION.
8. TEMPORARY VEGETATION AND/OR HAY MULCHING SHALL BE USED TO PROTECT BARE AREAS AND STOCKPILES FROM EROSION DURING CONSTRUCTION. BARE EARTH SLOPES AND SOIL STOCKPILES SHALL BE KEPT TO A MINIMUM AT ALL TIMES. TEMPORARY SEEDING OR MULCHING SHALL BE INSTALLED ON ALL BARE EARTH PRIOR TO ENDING CONSTRUCTION FOR THE WINTER AND AS OTHERWISE NECESSARY.
9. AS SOON AS WEATHER PERMITS AFTER THE COMPLETION OF FINE GRADING, ALL DISTURBED AREAS WITHIN WETLAND BUFFERS (IF APPLICABLE) AND UPLAND AREAS, SHALL BE PERMANENTLY STABILIZED WITH PLACEMENT OF LOAM AND A SUITABLE CONSERVATION GRASS SEED MIXTURE AND COVERED WITH A MAT OF LOOSE HAY PRIOR TO THE COMPLETION OF THE PROJECT. AREAS EXPOSED FOR EXTENDED PERIODS ARE TO BE COMPLETELY COVERED WITH LOOSE HAY MULCH.
10. FOLLOWING FINAL GRADING, ALL DISTURBED AREAS SHALL BE LANDSCAPED I.A.W. THE PROJECT LANDSCAPE PLANS. DISTURBED OR DAMAGED AREAS OUT SIDE OF THE PROJECT AREAS SHALL BE RE-SEEDED OR PLANTED IN ACCORDANCE WITH THE LANDSCAPE PLANS.
11. ANY PROPOSED VEGETATION WHICH HAS NOT SURVIVED ONE GROWING SEASON SHALL BE REPLACED.
12. DUST FROM CONSTRUCTION ACTIVITIES SHALL BE MINIMIZED BY WETTING EXPOSED SOIL WITH CLEAN POTABLE WATER WHEN REQUIRED.



SCALE: NTS