



State of Rhode Island
Coastal Resources Management Council
Oliver H. Stedman Government Center
4808 Tower Hill Road, Suite 3
Wakefield, RI 02879-1900

(401) 783-3370
Fax (401) 783-2069

PUBLIC NOTICE

File Number: 2021-10-024 Date: November 23 2021

This office has under consideration the application of:

William & Wendy Conley
59F Winter Street
Wakefield, RI 02879

for a State of Rhode Island Assent to construct and maintain: A residential boating facility consisting of a 4' x 47' fixed timber pier, 2.5' x 20' access ramp and 17' access ramp and 8' x 18' (144sf) terminal float extending 70' seaward of the cited MLW mark. The proposal requires a 20' length variance to Red Book 650-RICR-00-01 Section 1.3.1(D)(11)(l) and a 6' property line setback variance to Section 1.3.1(D)(11)(k).

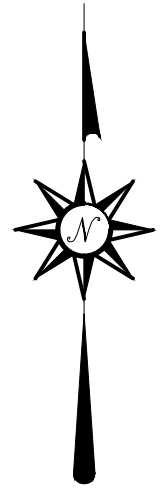
| | |
|-------------------|--|
| Project Location: | 194 Winchester Drive |
| City/Town: | South Kingstown |
| Plat/Lot: | 70-1 / 25 |
| Waterway: | Point Judith Pond (Upper), Type 2, Low Intensity Use |

Plans of the proposed work may be seen at the CRMC office in Wakefield.

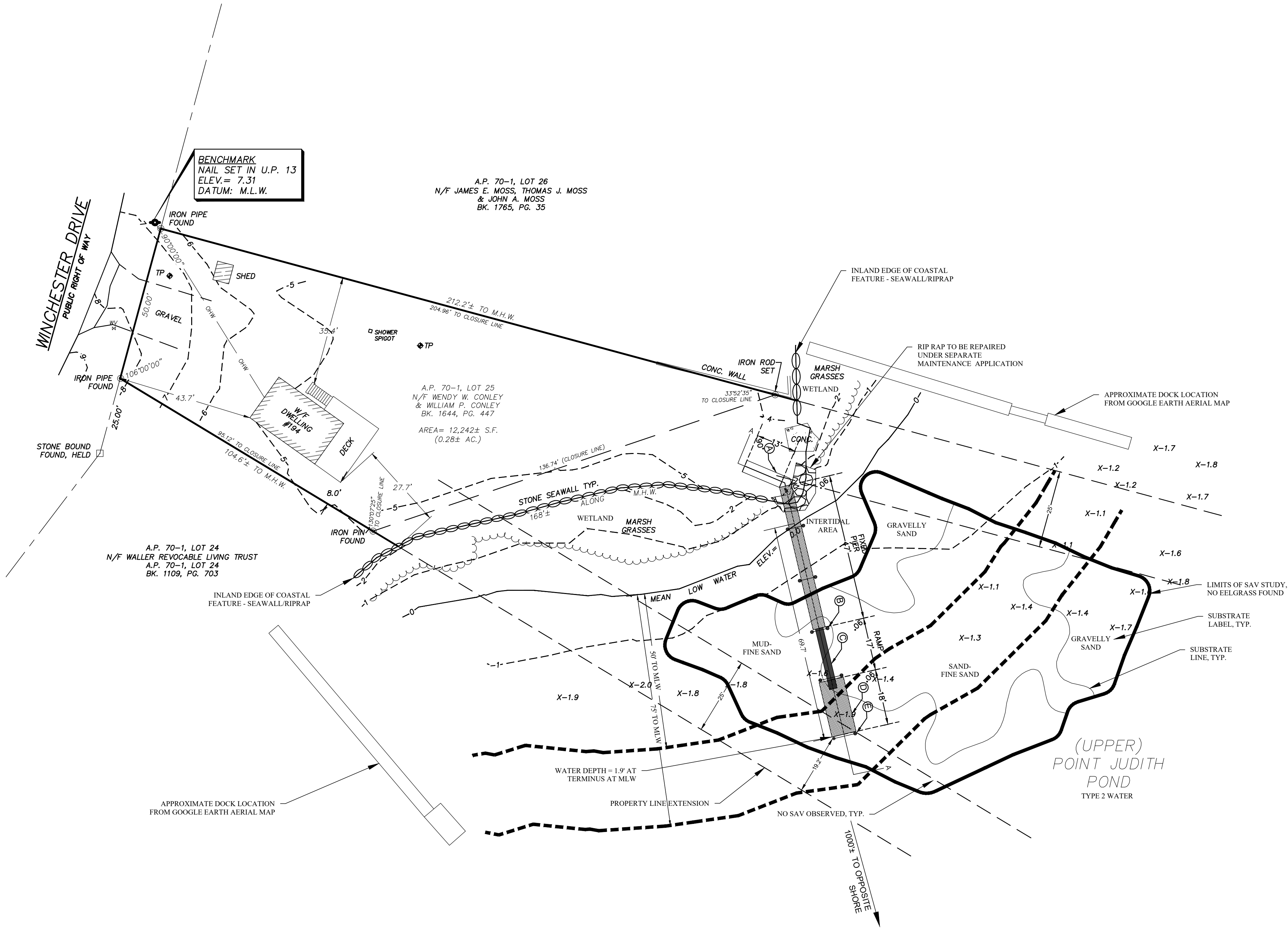
In accordance with the Administrative Procedures Act (Chapter 42-35 of the Rhode Island General Laws) you may request a hearing on this matter.

You are advised that if you have good reason to enter protests against the proposed work it is your privilege to do so. It is expected that objectors will review the application and plans thoroughly, visit site of proposed work if necessary, to familiarize themselves with the conditions and cite what law or laws, if any, would in their opinion be violated by the work proposed.

If you desire to protest, you must attend the scheduled hearing and give sworn testimony. A notice of the time and place of such hearing will be furnished you as soon as possible after receipt of your request for hearing. If you desire to request a hearing, to receive consideration, it should be in writing (**with your correct mailing address, e-mail address and valid contact number**) and be received at this office on or before December 23, 2021.



| LEGEND | |
|--------|---------------------------------|
| | PROPERTY LINE |
| | ADJUTER'S PROPERTY LINE |
| | TOPOGRAPHIC/BATHYMETRIC CONTOUR |
| | EDGE OF VEGETATION |
| | STONE SEAWALL |
| | OVERHEAD WIRES |
| | UTILITY POLE |
| | STONE BOUND |
| | IRON ROD/PIN/PIPE |



CONSTRUCTION NOTES:

UNLESS OTHERWISE NOTED, NO OPERATION OF HEAVY EQUIPMENT SHALL OCCUR ON THE COASTAL FEATURE, IN COASTAL WATERS, OR IN ANY AREAS DESIGNATED AS COASTAL BUFFER ZONE IN ACCORDANCE WITH CRMC SECTION 150.

THERE SHALL BE NO STOCKPILING OR DISPOSAL OF SOILS, CONSTRUCTION MATERIALS, DEBRIS, ETC. ON THE COASTAL FEATURE, WITHIN 200' OF THE INLAND EDGE OF THE COASTAL FEATURE, IN COASTAL WATERS OR IN ANY AREAS DESIGNATED AS CRMC SETBACKS OR COASTAL BUFFER ZONE.

ALL EXCESS EXCAVATED MATERIALS, EXCESS SOILS, EXCESS CONSTRUCTION MATERIALS, AND DEBRIS SHALL BE REMOVED FROM THE SITE. NO MATERIALS SHALL BE DEPOSITED ON THE COASTAL FEATURE, WITHIN 200 FEET OF THE INLAND EDGE OF THE COASTAL FEATURE, IN COASTAL WATERS, OR IN ANY AREAS DESIGNATED AS A CRMC SETBACK OR COASTAL BUFFER ZONE.

ALL CONSTRUCTION SHALL MEET ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES.

DESIGN STANDARDS:

- RESIDENTIAL DOCK DESIGN IN ACCORDANCE WITH TABLE 3 - MINIMUM DESIGN CRITERIA RICRMP SECTION 300.4. FIXED STRUCTURES INCLUDING STAIRWAYS ARE CAPABLE OF SUPPORTING 40 PSF LIVE LOAD + 10 PSF DEAD LOAD.
- FLOATING STRUCTURE CAPABLE OF SUPPORTING A UNIFORM LIVE LOAD OF 20 PSF OR A CONCENTRATED LOAD OF 400 LBS.

VESSEL INFORMATION :

- OWNER DOES NOT HAVE A BOAT AT THIS TIME BUT WILL PURCHASE AT A LATER DATE. NO MARINE TOILETS ANTICIPATED ON THE VESSEL. NO COMMERCIAL FISHING VESSELS SHALL UNLOAD ON DOCK.

WINTER SEASON STORAGE :

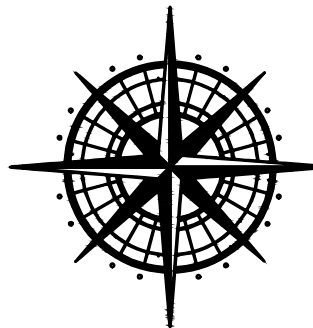
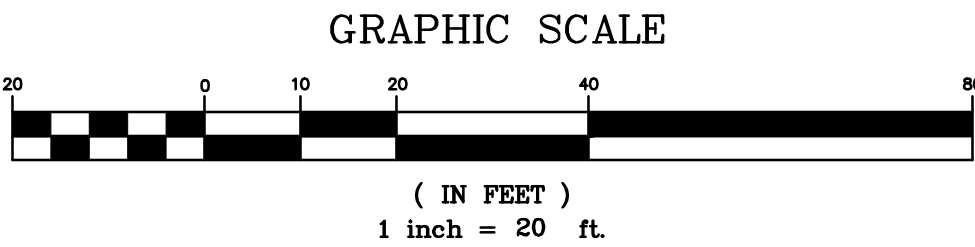
- DURING WINTER SEASON STORAGE, THE FLOAT SECTION MAY BE REMOVED FROM THE WATER OR RAISED ABOVE THE WATER SURFACE WITH A PULLEY SYSTEM AND LEFT IN-PLACE. THE FLOAT AND BOAT WILL BE STORED IN A UPLAND LOCATION ON THE SUBJECT LOT AND OUTSIDE CRMC BUFFER OR SETBACK AREAS.

SAV:

ECOTONES, INC. COMPLETED A SUBMERGED AQUATIC VEGETATION SURVEY FOR THE SUBJECT PROPERTY ON JULY 5, 2021. ECOTONES ESTABLISHED TRANSECT LINES COVERING AN IRREGULARLY SHAPED AREA OF APPROXIMATELY 90 FEET WIDE BY 90 TO 100 FEET OFFSHORE. SURVEY PLOTS WERE ESTABLISHED AT 10 FOOT INTERVALS PERPENDICULAR TO THE SHORELINE ALONG EACH TRANSECT. NO SAV WAS OBSERVED WITHIN THE STUDY AREA. SEE ECOTONES REPORT.

PROPOSED DOCK COMPONENTS:

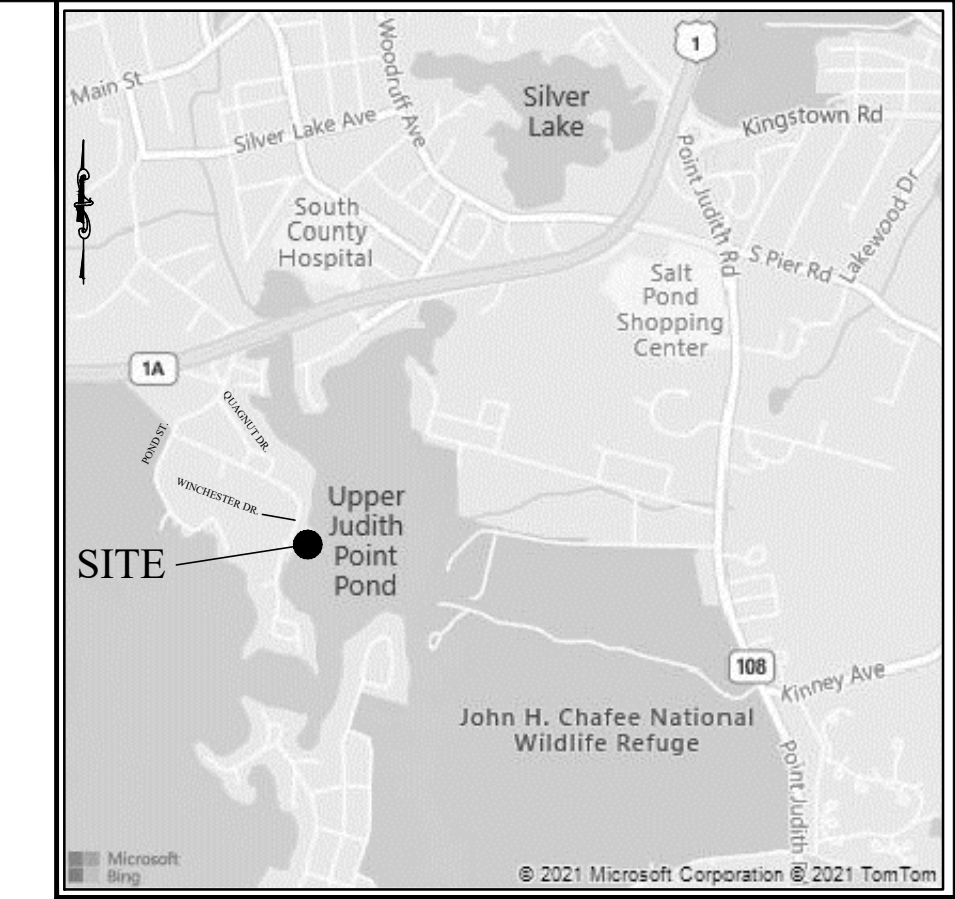
- A PROPOSED 4' WIDE x 47' LONG FIXED-PIER SECTION. SEE SEPARATE DETAILS.
- B PROPOSED 12" DIA. TIMBER PILE (MINIMUM).
- C PROPOSED 30" WIDE X 20' LONG PREFABRICATED RAMP SECTION. SEE SEPARATE DETAILS.
- D PROPOSED 8' WIDE X 18' FLOAT. SEE SEPARATE DETAILS.
- E PROPOSED TIE OFF PILES, 12" DIA. TIMBER PILE (MINIMUM), SET 16' ON CENTER.



SOUTH COUNTY SURVEY Co
382B MAIN ST. WAKEFIELD, RI 02879
(401) 783-2300
www.SouthCountySurvey.com



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LOCATION MAP N.T.S.

VERTICAL DATUM CONVERSION CHART

| | |
|---|-------|
| MEAN HIGHER HIGH WATER (M.H.H.W.) | -3.23 |
| MEAN HIGH WATER (M.H.W.) | -2.98 |
| NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) | -1.71 |
| MEAN LOW WATER (M.L.W.) | +0.00 |
| MEAN LOWER LOW WATER (M.L.L.W.) | +0.13 |

PLAN NOTES:

- NORTH ARROW REFERENCES GRID NORTH (RI SPC ZONE 3800).
- VERTICAL DATUM SHOWN IS MEAN LOW WATER (M.L.W.).
- HORIZONTAL AND VERTICAL DATUMS ESTABLISHED BY STATIC GNSS OBSERVATIONS ON JUNE 2, 2021 AND OPUS SOLUTIONS FOR POST PROCESSING (ITRF2014 EPOCH: 2021.4186).
- EXISTING CONDITIONS SHOWN AS OF JUNE 15, 2021 AND ARE THE RESULT OF A FIELD SURVEY BY SOUTH COUNTY SURVEY COMPANY, LLC.
- SUBJECT PARCEL LIES WITHIN THE HIGH DENSITY RESIDENTIAL (R-40) ZONING DISTRICT.
- BY GRAPHIC PLOTTING ONLY SUBJECT PARCEL LIES WITHIN FEMA FLOOD ZONE AE (EL 10 FEET); AREA OF SPECIAL FLOOD HAZARD. SEE PANEL 44009C0211J EFFECTIVE 10/16/2013.

PLAN REFERENCES:

- SEE "POINT JUDITH POND SHORE PLAT NO.2. IN SOUTH KINGSTOWN, R.I. OWNED BY MARGINAL DOCK CO., INC. SCALE 1"=80' DEC. 10, 1937. T.G. HAZARD, JR., SURVEYOR." RECORDED IN PLAT BOOK 8, PAGE 602.

CJ DOYLE, P.E.

CIVIL ENGINEERING
MAILING ADDRESS:
P.O. BOX 1161, HOPE VALLEY, RI 02832
OFFICE LOCATION:
1122 MAIN STREET, WYOMING, RI
PHONE (401) 491-9530
cjengine@cox.net

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| NO. | DATE | DESCRIPTION | BY |
|-----|------|-------------|----|
|-----|------|-------------|----|

DRAWING TITLED:
PROPOSED RESIDENTIAL BOATING FACILITY

LOCATED ON:
LOT 25 PLAT 70-1

OWNED BY:
WILLIAM P. & WENDY W. CONLEY

ADDRESS:
**194 WINCHESTER DRIVE
IN THE TOWN OF SOUTH KINGSTOWN, RI**

SEPTEMBER 15, 2021
DESIGNED BY:
CAROLYN J. DOYLE, P.E.

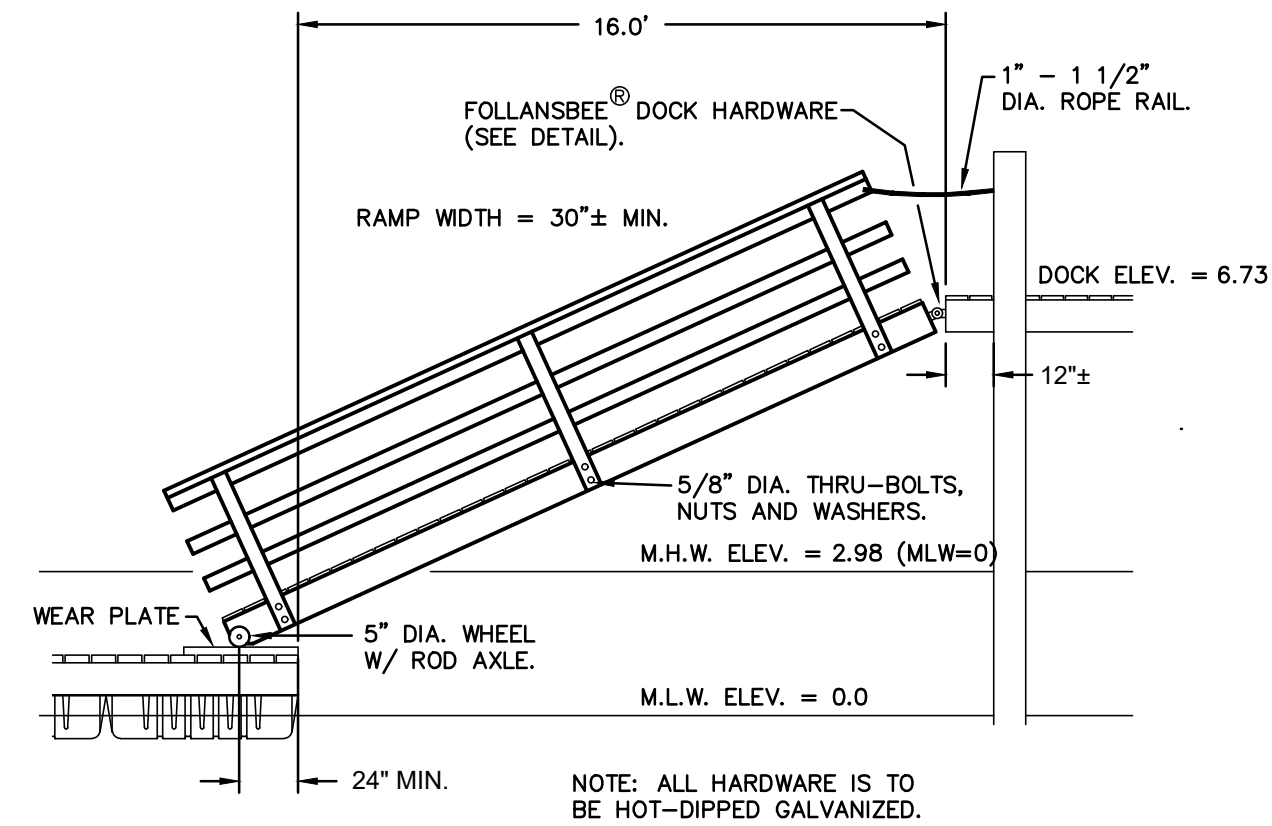
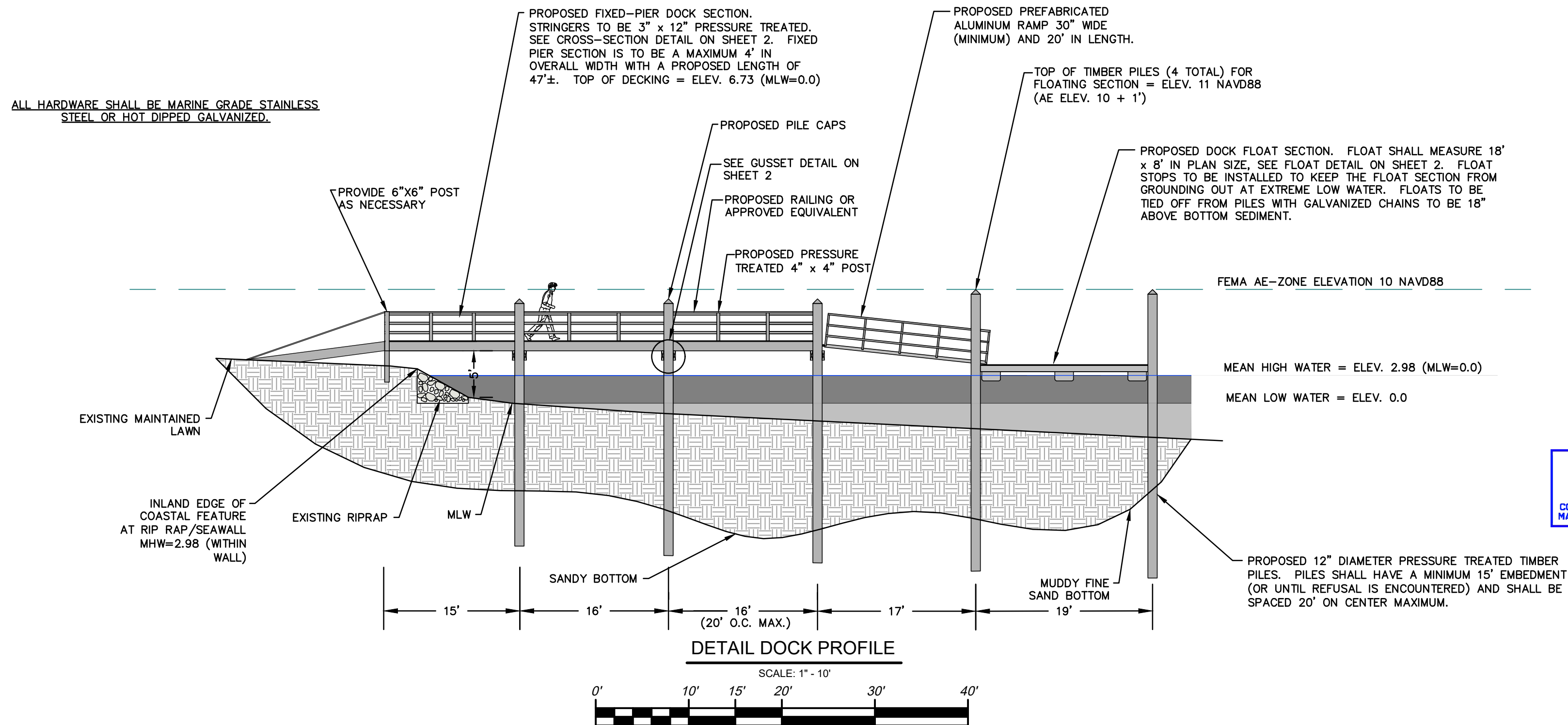
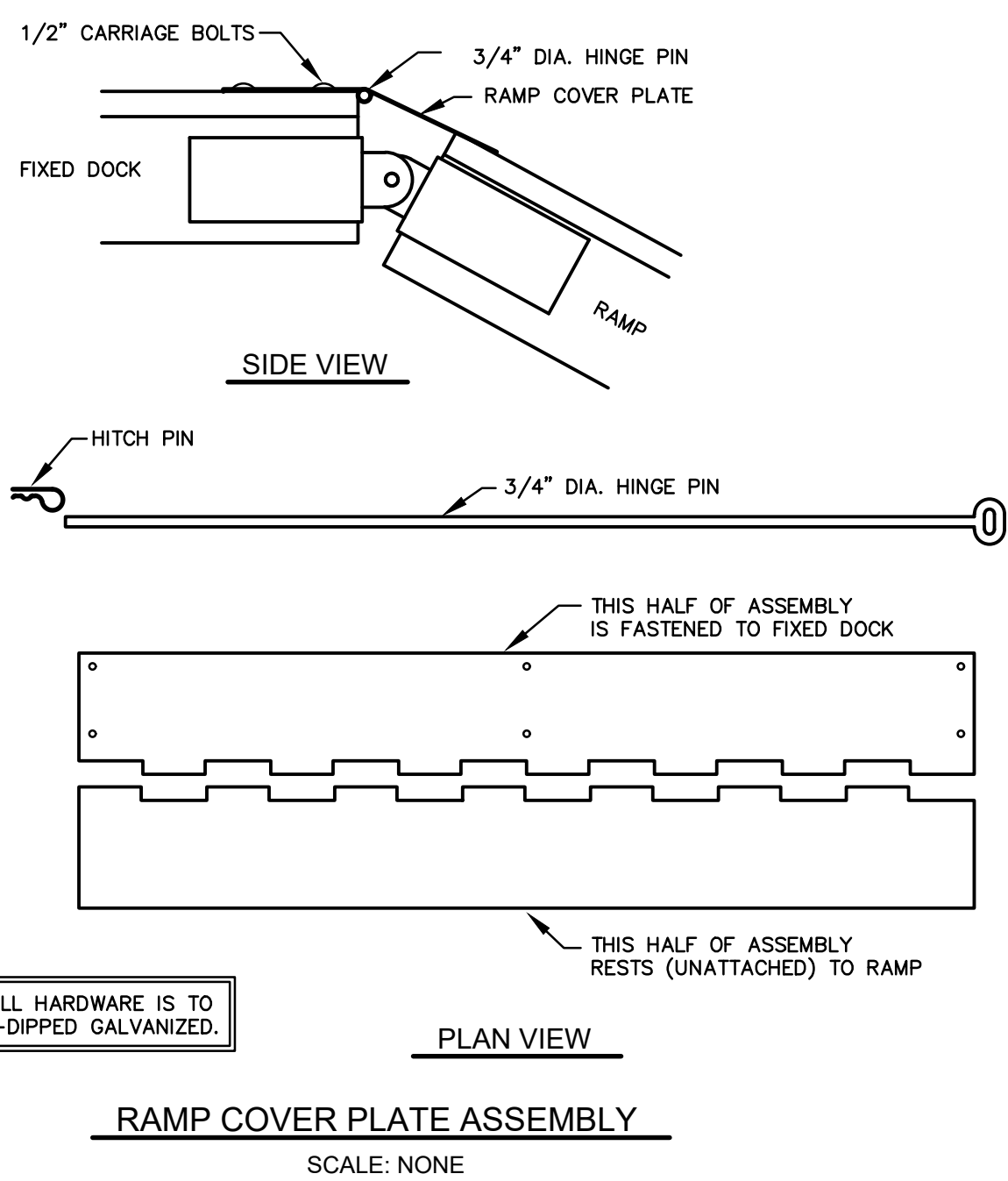
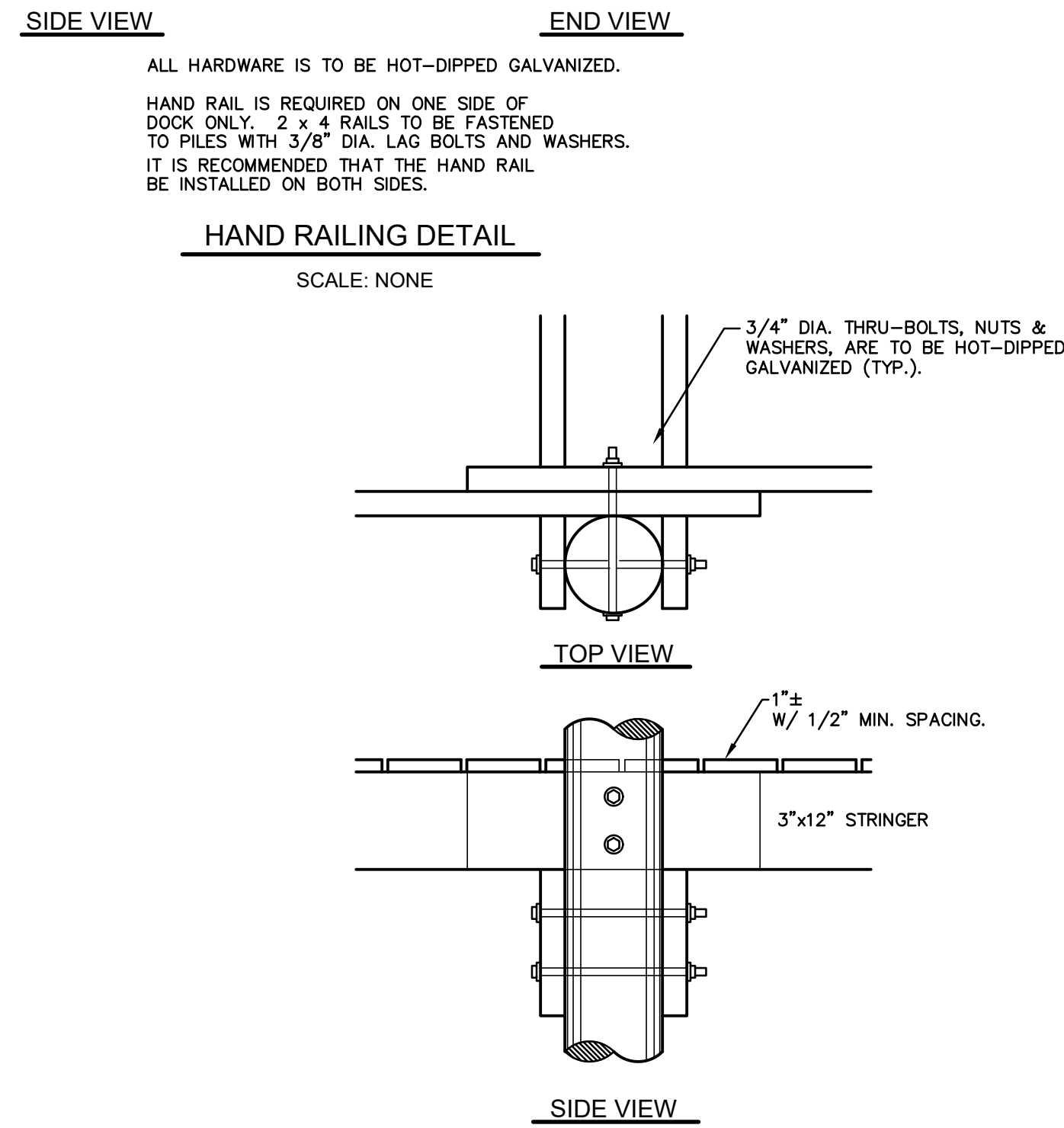
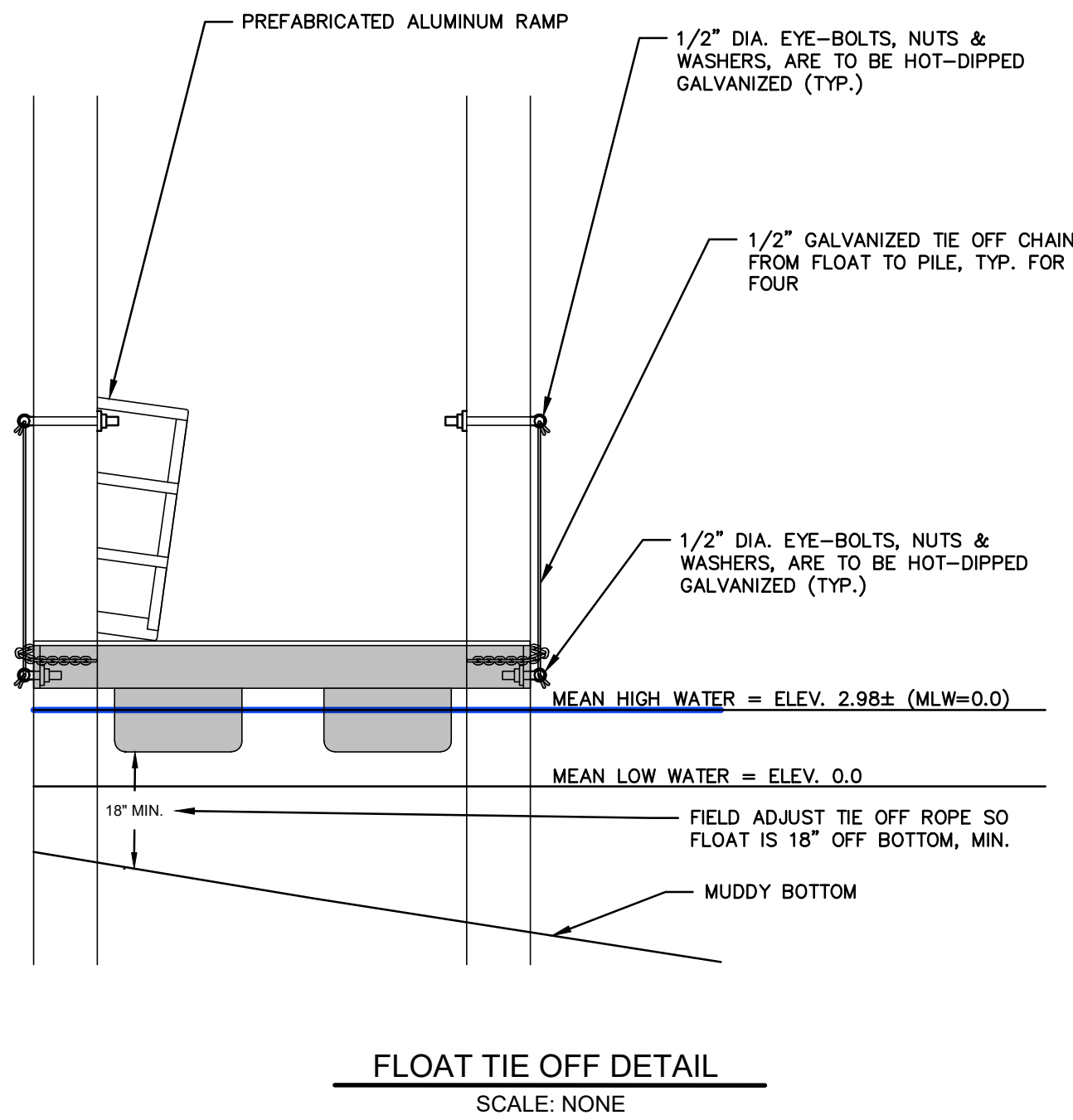
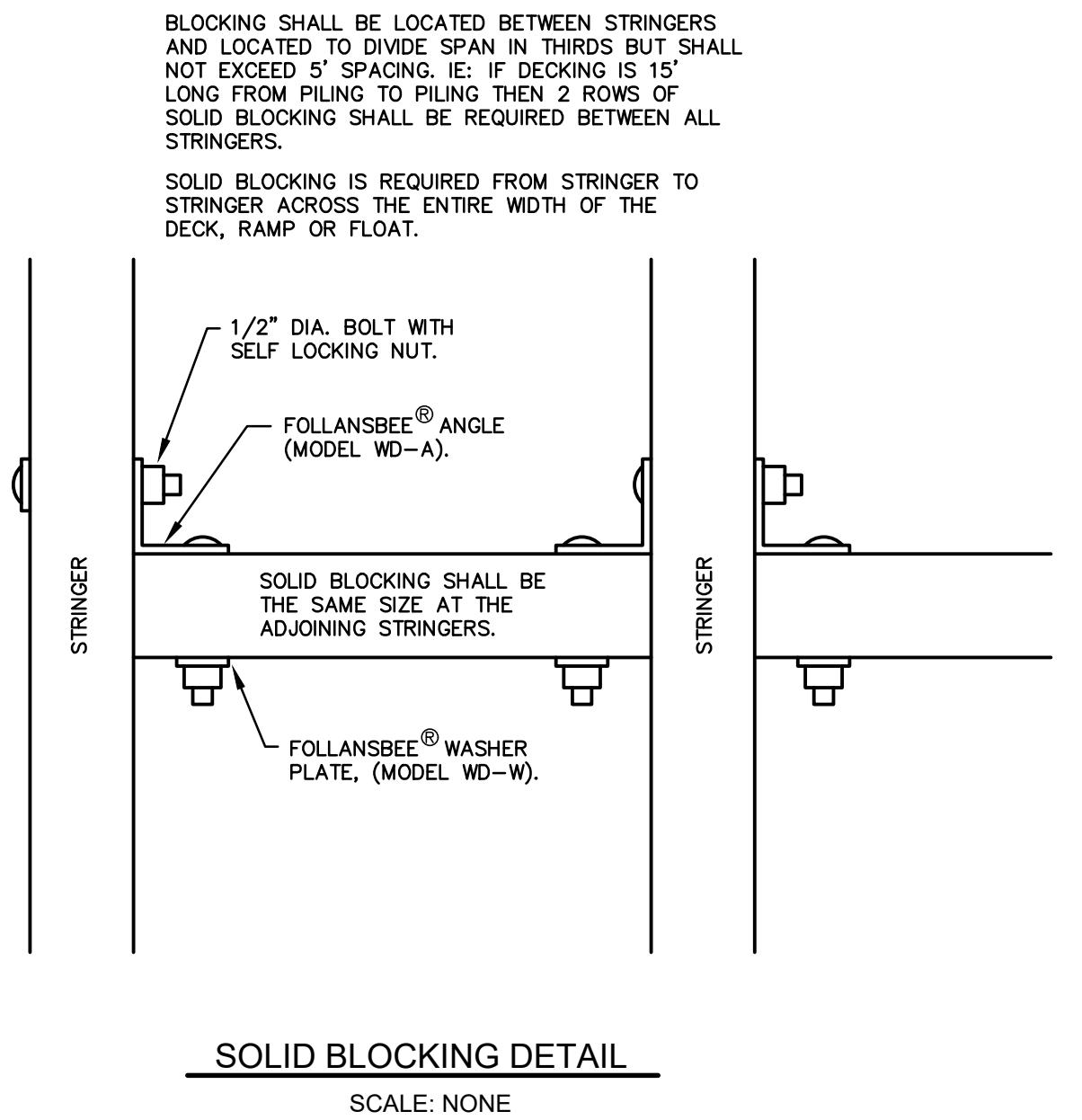
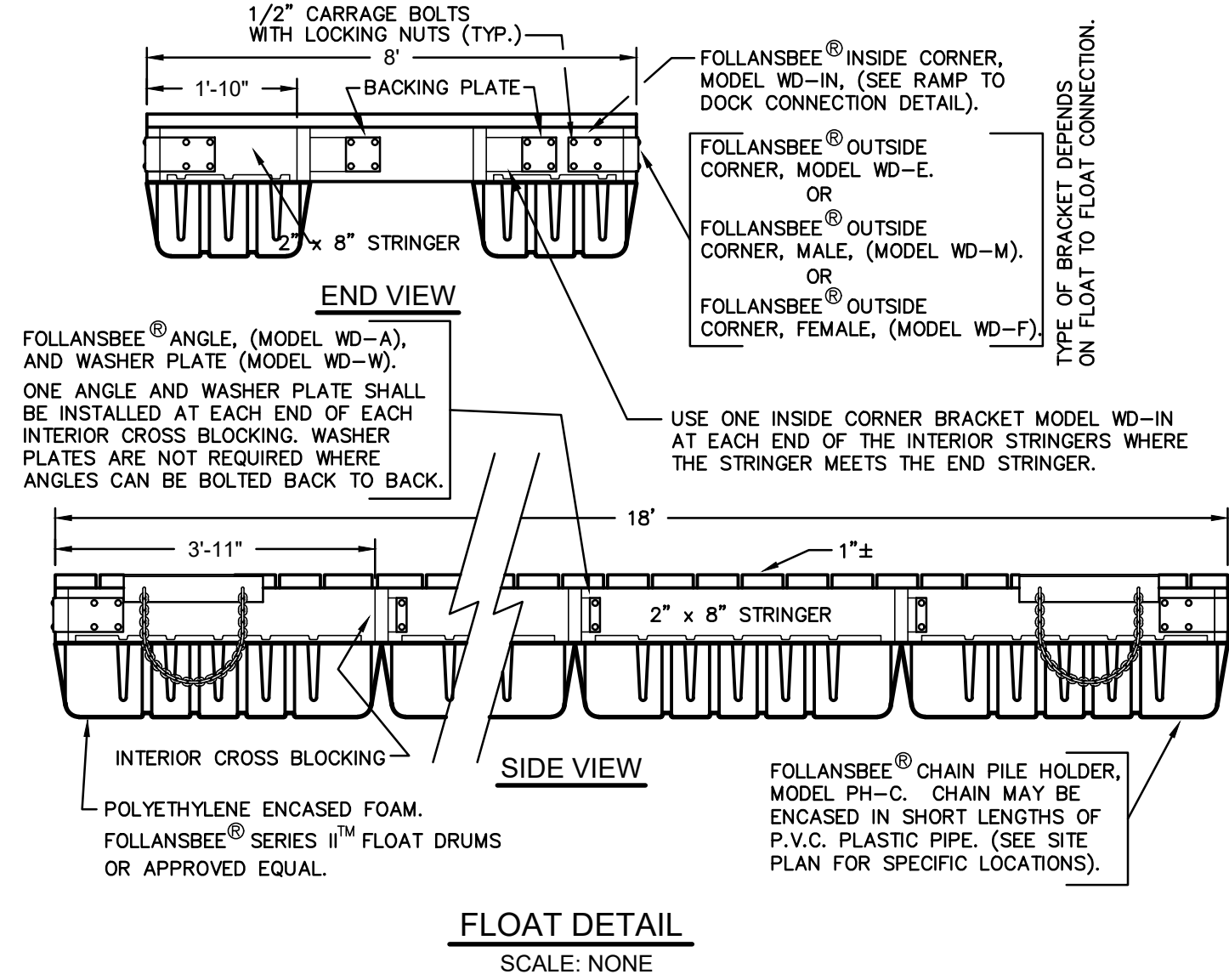
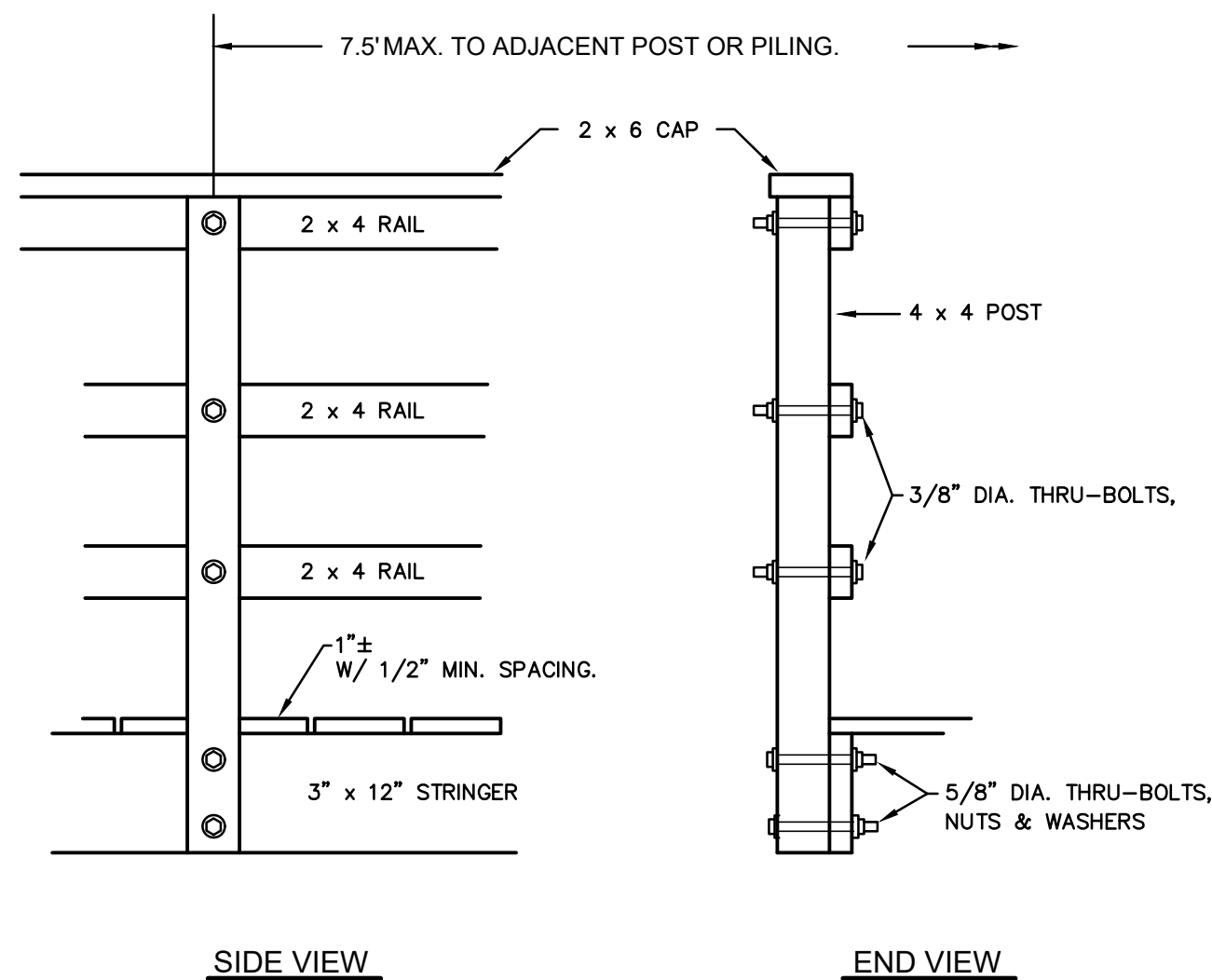
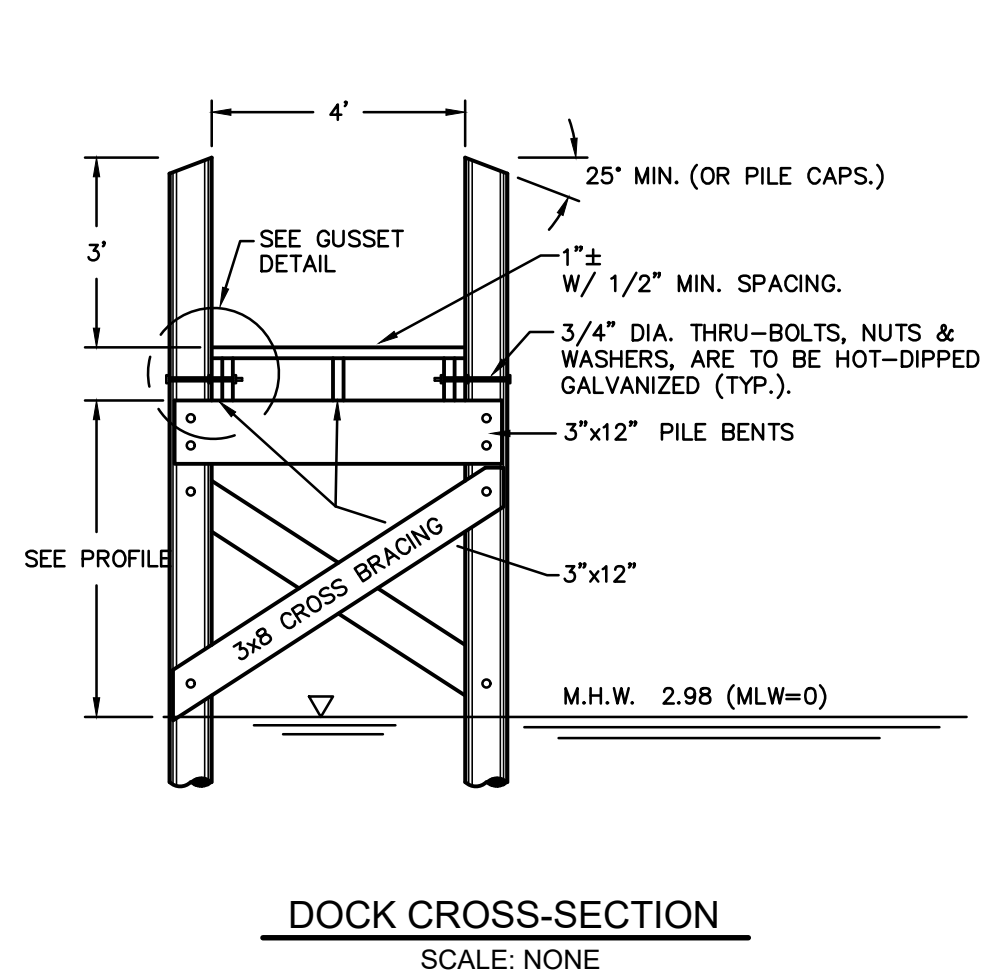
SCALE: 1" = 20'

DRAWN BY:
CJD

CHECKED BY:
CJD

DRAWING NO.
SHEET 1 OF 2

CAROLYN J. DOYLE
No. 5078
REGISTERED PROFESSIONAL ENGINEER



CJ DOYLE, P.E.
CIVIL ENGINEERING
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**DETAILS FOR PROPOSED RESIDENTIAL
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CAROLYN J. DOYLE
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