



State of Rhode Island
Coastal Resources Management Council
Oliver H. Stedman Government Center
4808 Tower Hill Road, Suite 3
Wakefield, RI 02879-1900

(401) 783-3370
Fax (401) 783-2069

PUBLIC NOTICE

File Number: 2022-05-063 Date: October 2, 2024

This office has under consideration the application of:

**401 Realty Associates LLC
136 Sunset Road
Carlisle, MA 01741**

for a State of Rhode Island Assent to construct and maintain: A 114.8' Residential Boating Facility consisting of a fixed pier, ramp and float to extend 55' beyond Mean Low Water (MLW), requiring a 5 foot Variance to 650-RICR-20-01- For length beyond MLW; and a 24' Variance to Section for distance to adjacent property line.

Project Location:	223 Cliff Avenue
City/Town:	Portsmouth
Plat/Lot:	Plat 15, lot 35
Waterway:	Sakonnet River

Plans of the proposed work can be requested at Cstaff1@crmc.ri.gov.

In accordance with the Administrative Procedures Act (Chapter 42-35 of the Rhode Island General Laws) you may request a hearing on this matter.

You are advised that if you have good reason to enter protests against the proposed work it is your privilege to do so. It is expected that objectors will review the application and plans thoroughly, visit site of proposed work if necessary, to familiarize themselves with the conditions and cite what law or laws, if any, would in their opinion be violated by the work proposed.

If you desire to protest, you must attend the scheduled hearing and give sworn testimony. A notice of the time and place of such hearing will be furnished you as soon as possible after receipt of your request for hearing. If you desire to request a hearing, to receive consideration, it should be in writing (**with your correct mailing address, e-mail address and valid contact number**) and be received at this office on or before **November 2, 2024**.

Please email your comments/hearing requests to: cstaff1@crmc.ri.gov; or mail via USPS to: Coastal Resources Management Council; O. S. Government Center, 4808 Tower Hill Road, Rm 116; Wakefield, RI 02879.

/lat

GENERAL SPECIFICATIONS:

IN THE EVENT THAT ANY PILE PENETRATION CANNOT BE ATTAINED THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER. FOR ANY LOCATION WHERE PILE DEPTH CAN NOT BE ACHIEVED THE CONTRACTOR SHALL RECORD THOSE LOCATIONS AND SUBMIT RECORDS TO THE DESIGN ENGINEER.

ALL WOOD PILINGS SHALL BE 12" DIAMETER SOUTHERN PINE WITH A MINIMUM TIP DIAMETER OF 8". MINIMUM PILE DIAMETER AT MUDLINE SHALL BE 10". PRESSURE TREATMENT SHALL BE 2.5 LB/CF CCA. PILES SHALL BE DRIVEN TO DEPTHS AS INDICATED ON THE PLAN. PILES MAY BE DRIVEN USING A VIBRATORY HAMMER AS LONG AS THE MINIMUM PILE PENETRATION CAN BE ATTAINED.

ALL OTHER STRUCTURAL MEMBERS SHALL BE SOUTHERN PINE OR EQUIVALENT. MINIMUM TREATMENT FOR CROSS BRACING SHALL BE 2.5 LB/CF OF CCA. DIAGONAL BRACING SHALL NOT BE CUT BELOW THE MHW LINE. ALL CUTTING OF SUCH MEMBERS SHALL BE DONE ON THE END ABOVE MHW. FOR ALL OTHER MEMBERS (STRINGERS, HEADERS, WOOD DECKING AND ANY POST OR RAILS) TREATMENT SHALL BE 0.6 LB/CF CCA.

ALL METAL CONNECTION MATERIALS SHALL BE HOT DIPPED GALVANIZED. BOLTS SHALL BE A MINIMUM OF 36KSI STEEL. ALL BOLTED CONNECTIONS FOR HEADERS AND BRACING MEMBERS SHALL BE LOCATED A MINIMUM OF 4" FROM THE END OF THE MEMBER, AND 2" FROM THE EDGE OF THE MEMBER. MEMBERS THAT ARE SPLIT OR CRACKED IN THE AREA OF THE BOLT LOCATION SHALL NOT BE USED. FOR ALL 1" BOLTS PROVIDE 2" WASHERS BOTH SIDES.

DECKING FOR FIXED DOCK SHALL BE 3/4"x6" COMPOSITE. ALTERNATIVELY 2X6 MEMBERS CAN BE USED. FASTENERS FOR DECKING SHALL BE 22" STAINLESS STEEL SCREWS TWO AT EACH ATTACHMENT LOCATIONS.

FLOATING DOCK SHALL BE OF WOOD CONSTRUCTION AND HAVE APPROXIMATELY 18" FREEBOARD AND 6" DRAFT. DECKING SHALL BE 3/4"x6" COMPOSITE. FLOATING DOCKS SHALL HAVE HEAVY DUTY INSIDE AND OUTSIDE CORNER HARDWARE AT EACH CORNER LOCATION (FOLLANSBEE WD-E AND WD-IN OR EQUAL). ANGLE CLIPS (FOLLANSBEE RWD-A OR EQUAL) SHALL BE PROVIDED FOR INTERIOR STRUCTURAL MEMBERS AS INDICATED. CLIPS SHALL BE FASTENED USING 2"x3/8" GALVANIZED LAG BOLTS INTO EACH CONNECTING MEMBER.

FLOAT DRUMS SHALL BE FOAM FILLED POLYTHYLENE WITH UV INHIBITORS AND SHALL HAVE STRUCTURAL MOUNTING FLANGES. DESIGN IS BASED ON FLOAT DRUMS AS MANUFACTURED BY "CUSTOM FLOATS." ANY PROPOSED SUBSTITUTES SHALL BE APPROVED BY THE DESIGN ENGINEER.

SECURE FLOAT DRUMS AT ALL EDGES IN CONTACT WITH STRUCTURAL MEMBERS. FOLLOW MANUFACTURES SPECIFICATIONS. 3/8" LAG BOLTS WITH 1 1/2" WASHERS AND 1" PENETRATOR INTO STRUCTURAL MEMBER SHALL BE A REQUIRED MINIMUM. WHERE TWO DRUMS MEET ON THE SAME STRUCTURAL MEMBER, USE ONE FASTENER FOR EACH DRUM.

PILE HOLDERS FOR FLOATING DOCK PILES SHALL BE HEAVY DUTY GALVANIZED, CHAIN TYPE FOR USE WITH 12" PILINGS (FOLLANSBEE PH-C OR EQUAL). PLACEMENT OF ALL PILES SHALL BE SO AS TO ALLOW FLOAT TO BE TIED OFF FROM PILINGS SUCH THAT NO CONTACT WITH PILINGS OCCURS.

AS AN ALTERNATIVE, PILE HOLDERS FOR FLOATING DOCK MAY BE HEAVY DUTY GALVANIZED, SINGLE ROLLER TYPE FOR USE WITH 12" PILINGS (FOLLANSBEE PH-H14R OR EQUAL). PLACEMENT OF ALL PILES SHALL BE SO AS TO ALLOW MOVEMENT OF THE FLOAT TO AVOID EXCESSIVE RUBBING OF HOOPS.

SECURE PILE HOLDERS TO FLOATING DOCK WITH 4-1/2" THROUGH BOLTS (IN HORIZONTAL DIRECTION) AND 4-3/8" LAG BOLTS (VERTICAL DIRECTION). USE 3"x10" SPLICE BLOCK BEHIND OUTSIDE MEMBER TO PROVIDE ADEQUATE WIDTH FOR FASTENING. USE METAL BACKER PLATES FOR 1/2" THROUGH BOLTS.

CLEATS SHALL BE PROVIDED FOR FLOATING DOCK, TWO ON EACH SIDE 1' FROM EACH END. CLEAT SIZE SHALL BE 10" (FOLLANSBEE C-10-M OR EQUAL) AND SHALL BE FASTENED TO WOOD MEMBERS USING CLEAT ANGLES.

A VINYL BUMPER STRIP SHALL BE PROVIDED ALONG THE OUTBOARD SIDE OF THE FLOATING DOCK. BUMPER STRIP SHALL BE AS MANUFACTURED BY "FOLLANSBEE" MODEL VRR-2 OR EQUAL.

RAMP SHALL BE ALUMINUM AND CONSTRUCTION SHALL BE BY MANUFACTURER REGULARLY ENGAGED IN THE TRADE. RAMP SHALL BE CONNECTED TO FIXED PORTION OF DOCK AS RECOMMENDED BY MANUFACTURER. ROLLER ASSEMBLY AT FLOATING DOCK SHALL BE 2" DIAMETER BY 6" WIDE SMALL ROLLER TYPE. INSTALL PLASTIC OR METAL SHEET TO DECK, FOR ROLLERS.

UTILITY SPECIFICATIONS:

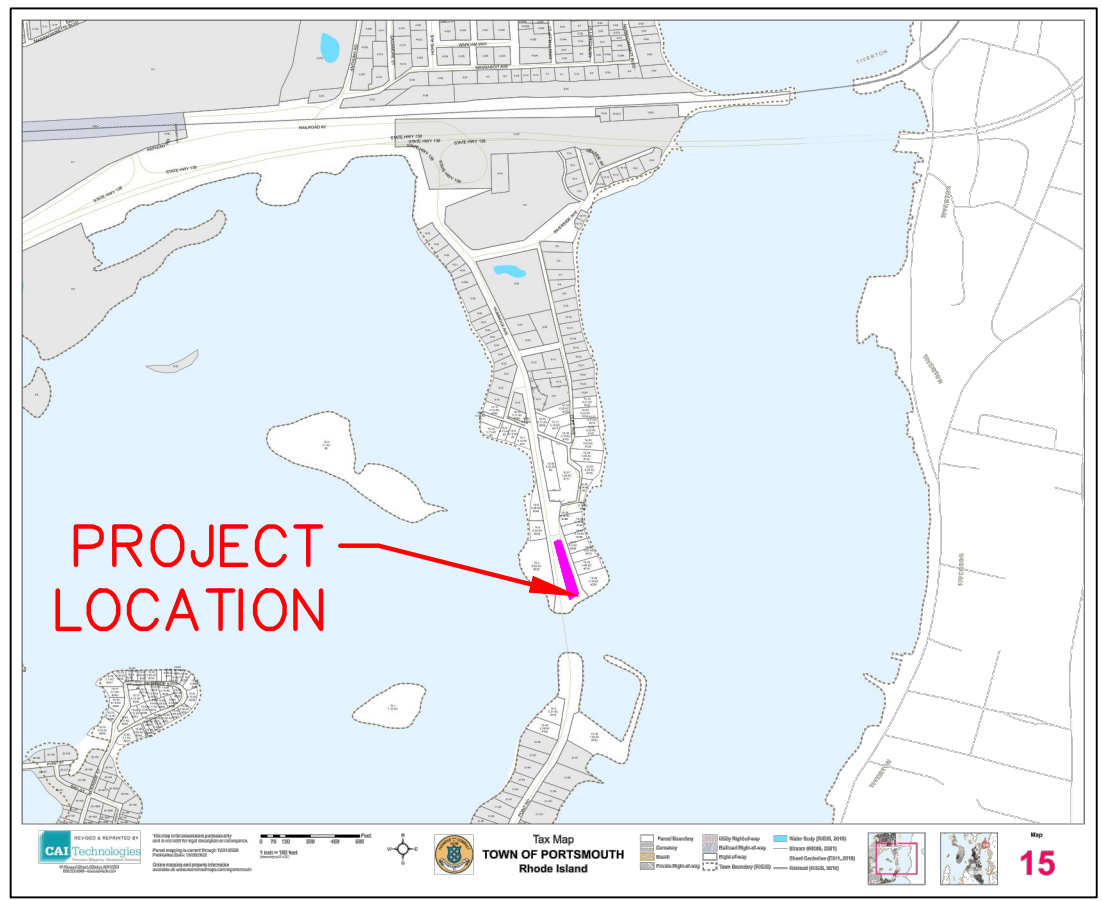
ALL UTILITY WORK SHALL BE PERFORMED BY LICENSED CONTRACTORS IN THEIR RESPECTIVE TRADES. ALL WORK SHALL MEET REQUIREMENTS OF THE CURRENT STATE BUILDING CODES.

ELECTRICAL WIRE SHALL BE SIZED BY THE ELECTRICAL CONTRACTOR. WIRE SHALL BE ENCASED IN PVC CONDUIT SUITABLE FOR MARINE APPLICATION. INSTALL EXTERIOR-TYPE, MARINE GRADE, DOUBLE RECEPTACLE AT END OF PIER AS INDICATED.

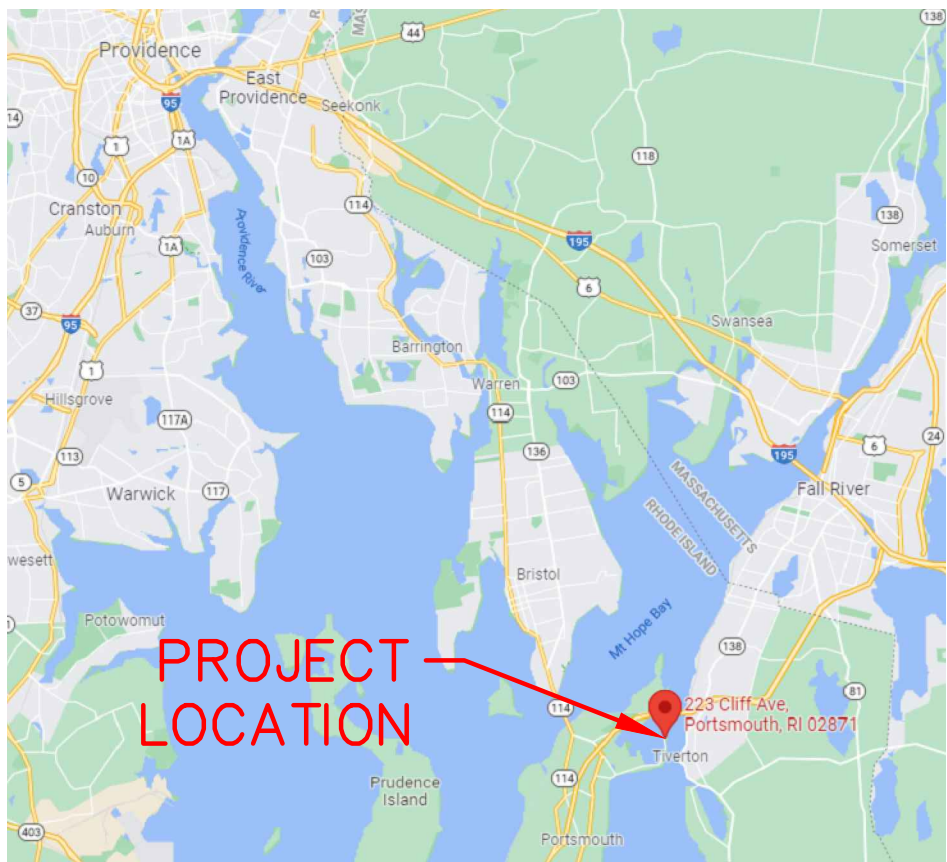
WATER LINE SHALL BE 3/4" POLYTHYLENE TUBING AS MANUFACTURED BY "AQUAPEX" OR EQUAL. INSTALL SUITABLE BACKFLOW PREVENTER AT EITHER EXISTING DWELLING OR PIER HEAD AS REQUIRED BY CODE. PROVIDE DRAIN AT PIER HEAD TO ALLOW REMOVAL OF WATER FROM THE LINE DURING THE WINTER MONTHS. INSTALL SPIGOT AT END OF PIER AS INDICATED.

ELECTRIC/WATER UTILITY LINES SHALL BE CONNECTED AT EXISTING DWELLING. LINES SHALL BE BURIED A MINIMUM DEPTH OF 12" ACROSS EXISTING LAWN AREA. UTILITIES SHALL BE SECURED TO UNDERSIDE OF PIER AS INDICATED, WITH GALVANIZED METAL FASTENERS EVERY 5' ON CENTER.

LOW VOLTAGE LIGHTING SHALL BE PROVIDED ALONG THE DOCK AS INDICATED. LIGHTING TYPE TO BE PROPOSED BY CONTRACTOR. INCLUDE LOW VOLTAGE WIRING IN ELECTRICAL CONDUIT OR SEPERATE CONDUIT AS REQUIRED BY CODE.

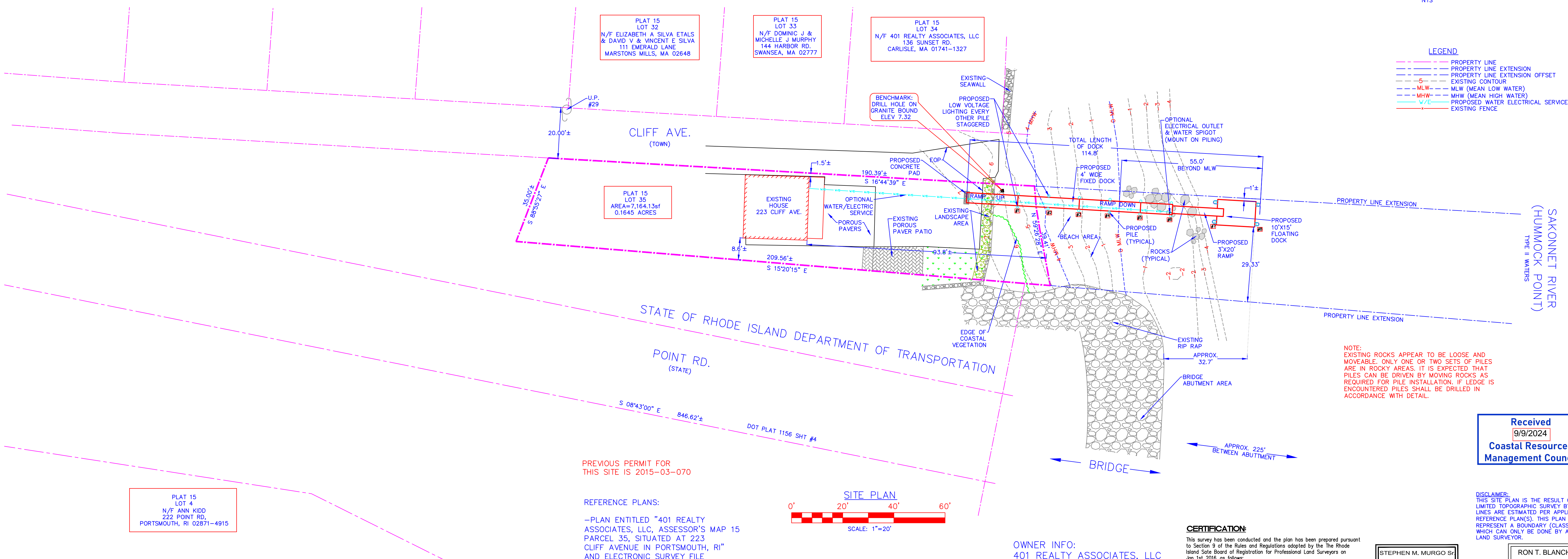


PORTSMOUTH, RI PLAT MAP #15



LEGEND

- PROPERTY LINE
- PROPERTY LINE EXTENSION
- EXISTING CONTOUR
- MLW (MEAN LOW WATER)
- MHW (MEAN HIGH WATER)
- PROPOSED WATER ELECTRICAL SERVICE
- EXISTING FENCE

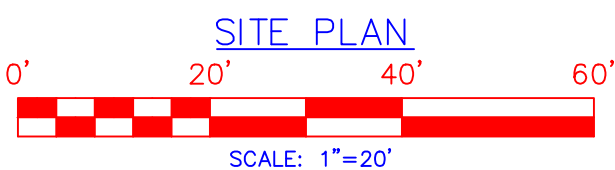


PREVIOUS PERMIT FOR THIS SITE IS 2015-03-070

REFERENCE PLANS:

-PLAN ENTITLED "401 REALTY ASSOCIATES, LLC, ASSESSOR'S MAP 15 PARCEL 35, SITUATED AT 223 CLIFF AVENUE IN PORTSMOUTH, RI" AND ELECTRONIC SURVEY FILE PREPARED BY: STEPHEN M. MURGO SR. PLS #1663 DATED: 3/16/22

-PLAN ENTITLED "CRMC SITE PLAN FOR PLAT 15, LOT 35, 223 CLIFF AVENUE IN PORTSMOUTH, RHODE ISLAND" PREPARED BY: SITE ENGINEERING INC. DATED: 12/20/22



OWNER INFO:
401 REALTY ASSOCIATES, LLC
136 SUNSET RD.
CARLISLE, MA 01741-1327

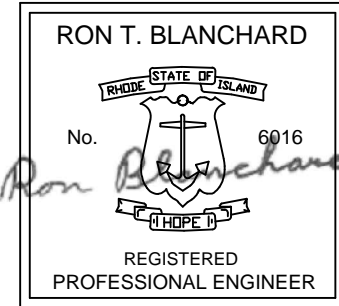
SITE LOCATION:
223 CLIFF AVE.
PORTSMOUTH, RI

CERTIFICATION:

This survey has been conducted and the plan has been prepared pursuant to Section 9 of the Rules and Regulations adopted by the The Rhode Island State Board of Registration for Professional Land Surveyors on Jan 1st, 2016, as follows:
(a) Type of Boundary Survey
(b) The purpose of the Survey and Plan is to show property line information and the location on structures and other features deemed important.
Measurement Specification
BY: Stephen M. Murgo Sr. PLS #1663
May 20, 2022



DISCLAIMER:
THIS SITE PLAN IS THE RESULT OF A LIMITED TOPOGRAPHIC SURVEY BY SEI. LOT LINES ARE ESTIMATED PER APPLICABLE REFERENCE PLAN(S). THIS PLAN DOES NOT REPRESENT A BOUNDARY (CLASS I) SURVEY, WHICH CAN ONLY BE DONE BY A LICENSED LAND SURVEYOR.



NOTES:
ALL MOORINGS FOUND WITHIN 50' OF END OF PROPOSED DOCK HAVE BEEN SHOWN ON PLAN

DATUM:
REFERENCE DATUM IS MEAN LOW WATER

SITE ENGINEERING INC. SEI

CIVIL • COASTAL • STRUCTURAL

75 WOOD STREET
BRISTOL, RI 02809
PHONE: (401) 253-8231

SITE PLAN AND SPECIFICATIONS
RESIDENTIAL BOATING FACILITY

PLAT 15, LOT 35
223 CLIFF AVE.

RHODE ISLAND.

PORTSMOUTH,

SCALE: AS NOTED
(SHEET 1 OF 2)

DK-1

REVISIONS					DATE	APP'VD
SYMBOL	DESCRIPTION					
001	REVISED FOR SURVEY AND MINOR REVISIONS	3/31/22				
002	MINOR REVISIONS	4/29/22				
003	INCLUDE FOLLANSBEE'S CENT COMMENTS	5/26/22				
004	REVISIONS PER CRMC COMMENTS	9/14/24				
005	REVISIONS PER CRMC COMMENTS	9/14/24				

DSGN.	RB
DR.	VS
CHK.	RB
DATE:	1/26/22