



State of Rhode Island
Coastal Resources Management Council
Oliver H. Stedman Government Center
4808 Tower Hill Road, Suite 3
Wakefield, RI 02879-1900

(401) 783-3370
Fax (401) 783-2069

PUBLIC NOTICE

File Number: 2023-02-061

Date: October 4, 2023

This office has under consideration the application of:

**Russ Russ Realty
P.O Box 656
Bristol, RI 02809**

for a State of Rhode Island Assent to construct and maintain: A mixed use redevelopment, consisting of 127 units, shops, new parking, public access, buffer zone restoration, site remediation and stormwater management. The former Robin Rug/Bristol Yarn historic mill building will be renovated in-place, one structure demolished and commercial/residential mixed use created. On and off site private, business and public parking will be created/enhanced, public access and buffer zone will be created and stormwater captured/treated. An existing outfall and seawall will be repaired as well. The project requires a variance to Redbook 650-RICR-20-00-01 Section 1.3.1(F)(4)(d) for providing less than the required water quality volume, a 66% variance to Section 1.1.11 for not meeting the required 125' buffer zone and an 87% setback variance to Section 1.1.9 for not meeting the required 150' construction setback (existing building is located 20' from the coastal feature).

Project Location:	125 Thames Street
City/Town:	Bristol
Plat/Lot:	Plat 10; Lot 41, 42, 43, 44, 49, 50, 60, 61, 62, 68, 71, 73, 74, 76
Waterway:	Bristol Harbor, Type 5, Commercial & Recreational Harbors

Plans of the proposed work can be requested at Cstaffl@crmc.ri.gov.

In accordance with the Administrative Procedures Act (Chapter 42-35 of the Rhode Island General Laws) you may request a hearing on this matter.

You are advised that if you have good reason to enter protests against the proposed work it is your privilege to do so. It is expected that objectors will review the application and plans thoroughly, visit site of proposed work if necessary, to familiarize themselves with the conditions and cite what law or laws, if any, would in their opinion be violated by the work proposed.

If you desire to protest, you must attend the scheduled hearing and give sworn testimony. A notice of the time and place of such hearing will be furnished to you as soon as possible after receipt of your request for hearing. If you desire to request a hearing, to receive consideration, it should be in writing (**with your correct mailing address, e-mail address and valid contact number**) and be received at this office on or before November 4, 2023.

Please email your comments/hearing requests to: cstaffl@crmc.ri.gov; or mail via USPS to: Coastal Resources Management Council; O. S. Government Center, 4808 Tower Hill Road, Rm 116; Wakefield, RI 02879.

BRISTOL YARN MILL

THAMES STREET & HOPE STREET · BRISTOL · RHODE ISLAND
ASSESSOR'S PLAT 10 LOTS 41, 42, 43, 44, 49, 50, 60, 61, 62, 68, 71, 73, 74, 76

PERMITTING PLAN

DECEMBER 6, 2022

REVISED: JULY 12, 2023

PREPARED FOR
**BRADY SULLIVAN
PROPERTIES**

670 N. COMMERCIAL STREET
MANCHESTER, NH 03101
603.622.6223
WWW.BRADYSULLIVAN.COM

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PREPARED BY
FUSS & O'NEILL

317 IRON HORSE WAY, SUITE 204
PROVIDENCE, RI 02908
401.861.3070
www.fando.com

CONSULTANTS

ENVIRONMENTAL:
NOBIS GROUP
18 CHENELL DR
CONCORD, NH
03301
603.224.4182

ARCHITECTURAL:
BRADY SULLIVAN
PROPERTIES
670 N. COMMERCIAL STREET
MANCHESTER, NH
03101
630.622.6223

SURVEYOR:
CONTROL POINT
ASSOCIATES, INC.
352 TURNPIKE ROAD
SOUTHBOROUGH, MA
01772
508.948.3000



LOCATION MAP
SCALE: 1" = 500'

PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE



PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2022

GI-001

SHEET 1 OF 28

LEGEND		LEGEND	
EXIST	PROP	EXIST	PROP

LEGEND NOTE

SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SHOWN ON THE DRAWINGS TO SCALE OR TO THEIR ACTUAL DIMENSION OR LOCATION. COORDINATE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS, AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.

GENERAL NOTES

- REFERENCES:
 - THE STATE OF RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2018 EDITION, REVISIONS AND ALL CURRENT ADDENDA, ARE MADE A PART HEREOF, AS IF ATTACHED HERETO. ALL REFERENCES TO "STATE STANDARD SPECIFICATIONS" SHALL REFER TO THE LATEST EDITION OF THE STATE OF RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
 - THE STATE OF RHODE ISLAND STANDARD DETAILS, 2015 EDITION, AND ALL CURRENT REVISIONS, ARE MADE A PART HEREOF, AS IF ATTACHED HERETO. ALL REFERENCES TO "STATE STANDARD DETAILS" OR "R.I. STD. ###" SHALL REFER TO THE LATEST EDITION OF THE STATE OF RHODE ISLANDS STANDARD DETAILS.
 - THE STATE OF RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK, 2016 EDITION, REVISIONS AND ALL CURRENT ADDENDA, ARE MADE A PART HEREOF, AS IF ATTACHED HERETO. ALL REFERENCES TO "SOIL EROSION AND SEDIMENT CONTROL HANDBOOK" SHALL REFER TO THE LATEST EDITION OF THE STATE OF RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK.
 - THE STATE OF RHODE ISLAND COASTAL RESOURCES MANAGEMENT COUNCIL, COASTAL MANAGEMENT PROGRAM "RED BOOK" (650-RCP-20-00-01), 2022 EDITION, REVISIONS AND ALL CURRENT ADDENDA, ARE MADE A PART HEREOF, AS IF ATTACHED HERETO.
 - THE STATE OF RHODE ISLAND COASTAL RESOURCES MANAGEMENT COUNCIL, COASTAL MANAGEMENT PROGRAM "METRO BAY REGION SPECIAL AREA MANAGEMENT PLAN" (650-ROR-20-00-5), 2022 EDITION, REVISIONS AND ALL CURRENT ADDENDA, ARE MADE A PART HEREOF, AS IF ATTACHED HERETO.
 - THE SITE-SPECIFIC SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC PLAN) PREPARED BY FUSS & O'NEILL, INC., DATED NOVEMBER 4, 2022, IS MADE A PART HEREOF, AS IF ATTACHED HERETO.
- EXISTING CONDITIONS:
 - SURVEY: PROPERTY BOUNDARY AND TOPOGRAPHICAL INFORMATION WERE OBTAINED FROM A PLAN TITLED BOUNDARY AND TOPOGRAPHIC SURVEY, BY CONTROL POINT ASSOCIATES, INC., DATED SEPTEMBER 28, 2021.
 - FLOOD ZONE: THE SUBJECT SITE LIES WITHIN ZONE "AE", A SPECIAL FLOOD HAZARD AREA SUBJECT TO INUNDATION BY 1% ANNUAL-CHANCE FLOOD EVENT, WITH BASE FLOOD ELEVATION OF 12 FT. & ZONE "VE", A SPECIAL FLOOD ZONE AREA, WITH BASE FLOOD ELEVATION OF 14 FT. & ZONE "X", WITH 0.2% ANNUAL CHANCE FLOOD HAZARD, AREA OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTH LESS THAN ONE FOOT OR WITH DRAINAGE AREAS OF LESS THAN ONE SQUARE MILE, PER FLOOD INSURANCE RATE MAP (FIRM) 44001C0014H, EFFECTIVE JULY 7, 2014.
 - UTILITIES: THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE ONLY AND HAVE NOT YET BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE.
- MATERIAL:
 - CURBING: CURBING SHALL BE GRANITE (R.I. STD. 7.3.0), CONCRETE (R.I. STD. 7.1.0) OR BITUMINOUS BERM (R.I. STD. 7.5.1) AND IN ACCORDANCE WITH SECTION M.09 OF THE STATE STANDARD SPECIFICATIONS.
 - BITUMINOUS CONCRETE PAVEMENT: BITUMINOUS PAVEMENTS SHALL MEET REQUIREMENTS OF PART 400 OF THE STATE STANDARD SPECIFICATIONS.
 - CEMENT CONCRETE SIDEWALKS: ALL PORTLAND CEMENT CONCRETE USED IN THE CONSTRUCTION OF THE CEMENT CONCRETE SIDEWALKS SHALL BE CLASS A(AE) AND CONFORM TO THE REQUIREMENTS AS SET FORTH IN SUBSECTIONS 601.01.1 AND 601.03.1 OF THE STATE STANDARD SPECIFICATIONS.
 - SIGNAGE: ALL SIGNAGE SHALL MEET MUTCD REQUIREMENTS AND COMPLY WITH STANDARDS IN RIDOT SECTIONS T.15. AND M.16.
- UTILITIES:
 - STORM DRAINAGES: STORM DRAIN PIPING SHALL BE SMOOTH LINED BE DOUBLE-WALL HIGH DENSITY POLYETHYLENE PIPE, (n=0.012) WITH WATERTIGHT JOINTS. THE SIZES OF ALL PIPES ARE NOTED ON THE PLANS.

ALL CATCH BASINS SHALL BE PRECAST CONCRETE, AS SPECIFIED ON THE DETAIL SHEETS, WITH BICYCLE SAFE GRATES, R.I. STANDARD 6.3.2, OR APPROVED EQUAL.
 - SEWER: ALL SEWER PIPE, UNLESS OTHERWISE SPECIFIED, SHALL BE POLYVINYL CHLORIDE (SDR 35).

CLEAN OUTS SHALL BE INSTALLED WHERE THE DISTANCE FROM THE BUILDING TO THE MAIN SEWER IS GREATER THAN 100 FEET OR WHERE BENDS GREATER THAN 45° ARE PROPOSED. CLEAN OUTS SHALL BE MADE BY INSTALLING "Y" AND ONE-EIGHTH BENDS OF THE SAME DIAMETER AS THE BUILDING SEWER, OR A MAXIMUM OF FOUR INCHES. THE CLEAN OUT SHALL BE BROUGHT UP FROM THE BUILDING SEWER TO FINISH GRADE WITH A ROADWAY BOX.

SEWER INSTALLATION PRACTICES AND APPURTENANCES SHALL BE IN ACCORDANCE WITH TOWN OF BRISTOL DPW STANDARDS.
 - GAS AND ELECTRIC: COORDINATE AND INSTALL GAS, ELECTRIC, AND COMMUNICATIONS UTILITIES IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE APPROPRIATE UTILITY COMPANIES.
 - WATER: WATER MAINS SHALL BE CEMENT LINED DUCTILE IRON, DUCTILE IRON SHALL BE CLASS 52 AND CONFORM TO AWWA C151. CEMENT LINING SHALL CONFORM TO AWWA C104 AND HAVE DOUBLE THICKNESS. JOINTS AT FITTINGS, VALVES, AND HYDRANT LATERALS SHALL BE MECHANICAL JOINTS, AWWA C11, WITH NEOPRENE GASKETS. JOINTS AT OTHER LOCATIONS SHALL BE PUSH-ON TYPE, AWWA C111, WITH NEOPRENE OR SYNTHETIC RUBBER GASKETS. FITTINGS SHALL BE CEMENT-LINED, DUCTILE IRON, AWWA C110, WITH A 250 PSI MINIMUM.

WATER SERVICE SHALL BE INSTALLED IN ACCORDANCE WITH BRISTOL COUNTY WATER AUTHORITY STANDARDS. WATER SERVICE, GREATER THAN 2-INCH DIAMETER, SHALL BE CLASS 52 CEMENT LINED DUCTILE IRON AND CONFORM TO AWWA C151. CEMENT LINING SHALL CONFORM TO AWWA C104 AND HAVE DOUBLE THICKNESS. JOINTS AT FITTINGS, VALVES, AND HYDRANT LATERALS SHALL BE MECHANICAL JOINTS, AWWA C111, WITH NEOPRENE GASKETS. JOINTS AT OTHER LOCATIONS SHALL BE PUSH-ON TYPE, AWWA C111, WITH NEOPRENE OR SYNTHETIC RUBBER GASKETS. FITTINGS SHALL BE CEMENT-LINED, DUCTILE IRON, AWWA C110, WITH A 250 PSI MINIMUM.

CURB STOP BOXES SHALL BE IN CONFORMANCE WITH BRISTOL COUNTY WATER AUTHORITY STANDARDS.

ABBREVIATIONS

GENERAL APPROX	UTILITY
BIT	CMP
BW	CPP
CON	DCB
COB	DI
ELEV	F&G
EXIST	F&C
GO	HDPE
MAX	HYD
MIN	INV
NTS	PVC
PCC	RCP
PROP	RD
R&D	SMH
R&R	TSV
R&S	UP
TOS	
TW	
TYP	
VGC	

GENERAL CONSTRUCTION REQUIREMENTS

- THE SITE IS A REGULATED SITE UNDER THE RIDEM "RULES AND REGULATIONS FOR THE INVESTIGATION AND REMEDIATION OF HAZARDOUS MATERIALS RELEASES" ("REMEDIATION REGULATIONS"), AND A SITE-SPECIFIC REMEDIAL ACTION WORK PLAN (RAWP). COMPLY WITH THE RAWP AND RIDEM OFFICE OF WASTE MANAGEMENT REQUIREMENTS FOR ALL LAND DISTURBANCE ACTIVITIES AND CONSTRUCTION. ALL EXCESS EXCAVATED MATERIALS, EXCESS FILL, EXCESS CONSTRUCTION MATERIALS, AND DEBRIS SHALL BE REMOVED FROM THE SITE AND SHALL BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS, AND RAMP.
- ALL EXISTING SOIL AT THE SITE IS CONSIDERED TO BE REGULATED SOIL, FALLS UNDER RIDEM JURISDICTION, AND AT THE END OF THE PROJECT, SHOULD BE COVERED BY A SOIL CAP. ALL EXCAVATED ON-SITE SOIL TO BE REMOVED FROM THE SITE BY THE CONTRACTOR MUST BE MANAGED IN ACCORDANCE WITH THE RAWP AND DISPOSED OF AT A RIDEM-APPROVED FACILITY.
- PRIOR TO IMPORTATION TO THE SITE, ALL EARTHEN MATERIAL, INCLUDING BUT NOT LIMITED TO BACKFILL, BEDDING, BORROW, GRANULAR MATERIAL, FILL, GRAVEL BORROW, AND GRAVEL BASE, MUST BE LABORATORY ANALYZED AND APPROVED AS CLEAN FILL BY THE ENGINEER IN ACCORDANCE WITH THE RAWP.
- THE SITE IS REGULATED UNDER OSHA 29 CFR 1910.120 AND 1926.65. ALL CONTRACTORS AND WORKERS SHALL MAINTAIN COMPLIANCE WITH HAZARDOUS WASTE OPERATIONS AND EMERGENCY RESPONSE (HAZWOPER) TRAINING AND CERTIFICATION REQUIREMENTS.
- CONTRACTOR IS RESPONSIBLE FOR PREPARING AND FOLLOWING A SITE-SPECIFIC HEALTH AND SAFETY PLAN (HASP) IN ACCORDANCE WITH OSHA 29 CFR 1910.120. A COPY MUST BE MAINTAINED ON-SITE AT ALL TIMES AND BE AVAILABLE FOR EXAMINATION BY THE OWNER AND ENGINEER, IF REQUESTED. THE SITE IS REGULATED UNDER OSHA 29 CFR 1910.120 AND 1926.65. ALL CONTRACTORS AND WORKERS SHALL MAINTAIN COMPLIANCE WITH HAZARDOUS WASTE OPERATIONS AND EMERGENCY RESPONSE (HAZWOPER) TRAINING AND CERTIFICATION REQUIREMENTS.
- CONTRACTOR IS RESPONSIBLE FOR PREPARING AND FOLLOWING A SITE-SPECIFIC HEALTH AND SAFETY PLAN (HASP) IN ACCORDANCE WITH OSHA 29 CFR 1910.120. A COPY MUST BE MAINTAINED ON-SITE AT ALL TIMES AND BE AVAILABLE FOR EXAMINATION BY THE OWNER AND ENGINEER, IF REQUESTED.
- DISCHARGES FROM CONSTRUCTION SITE ARE REGULATED BY THE RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT RHODE ISLAND POLLUTANT DISCHARGE SYSTEM ELIMINATION (RIDPES) PROGRAM. THE PROJECT SHALL COMPLY WITH THE CONDITIONS OF THE RIDPES GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION SITE RUNOFF, AND THE TOWN OF BRISTOL CODE OF ORDINANCES, CHAPTER 29 ARTICLE III "SOIL EROSION, RUNOFF AND SEDIMENT CONTROL".
- VERIFY THE PROPOSED LAYOUT WITH ITS RELATIONSHIP TO THE EXISTING SITE SURVEY AND CONFIRM ALL DIMENSIONS, SITE CONDITIONS, AND MATERIAL SPECIFICATIONS ARE CONSISTENT. NOTIFY THE OWNER AND ENGINEER IN WRITING OF ANY ERRORS, OMISSIONS OR DISCREPANCIES BEFORE COMMENCING OR PROCEEDING WITH WORK.
- OBTAIN ALL NECESSARY PERMITS, INSPECTIONS, BONDS, ETC. AND OTHER APPROVAL RELATED ITEMS WITH THE LOCAL AND STATE MUNICIPALITIES. APPLICATION FEES SHALL BE PAID BY OWNER. NO CONSTRUCTION SHALL COMMENCE UNTIL SUCH PERMITS HAVE BEEN SECURED AND THE CONTRACTOR HAS SUPPLIED THE REQUIRED NOTICES.
- METHODS AND MATERIALS USED IN THE CONSTRUCTION OF IMPROVEMENTS FOR THIS PROJECT SHALL CONFORM TO THE CURRENT CONSTRUCTION STANDARDS AND SPECIFICATIONS OF THE LOCAL MUNICIPALITY AND THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION.
- DEVIATIONS OR CHANGES FROM THESE PLANS WILL NOT BE ALLOWED UNLESS APPROVED BY THE ENGINEER/OWNER.
- CONTACT "DIG SAFE" AT 1-888-344-7233, 72 HOURS PRIOR, EXCLUDING WEEKENDS AND HOLIDAYS, TO ANY EXCAVATION PERFORMED ON SITE.
- THE EXISTENCE AND/OR LOCATION OF UTILITIES SHOWN ON THESE PLANS MAY BE ONLY APPROXIMATELY CORRECT. MAKE EXPLORATORY EXCAVATIONS AND LOCATE ANY EXISTING UTILITIES AND NOTIFY OWNER/ENGINEER OF ANY DISCREPANCIES FROM CONTRACT DOCUMENTS. THE OWNER SHALL BE NOTIFIED AS TO THE RELOCATIONS REQUIRED PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN HEREOF AND ANY OTHER EXISTING UTILITIES NOT OF RECORD OR NOT SHOWN ON THESE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING, AT HIS/HER EXPENSE, ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.
- AN APPROVED SET OF PLANS, SIGNED SOIL EROSION AND SEDIMENT CONTROL PLAN (AKA STORMWATER POLLUTION PREVENTION PLAN), AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.
- THE CONTRACTOR IS RESPONSIBLE FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- IDENTIFY TREES TO BE REMOVED PRIOR TO CONSTRUCTION AND MARK THEM WITH CONSTRUCTION TAPE FOR REVIEW BY THE OWNER/ENGINEER. TREES AND OTHER EXISTING VEGETATION SHALL BE RETAINED WHEREVER FEASIBLE. DO NOT REMOVE TREES UNTIL REVIEWED AND APPROVED BY THE OWNER/ENGINEER.
- PROVIDE PRAIRIE TRANSITIONS BETWEEN EXISTING AND PROPOSED SITE IMPROVEMENTS.
- RESTORE HARDSCAPE IMPROVEMENTS WITH MATCHING MATERIALS (I.E. ANY PAVEMENT, WALKS, CURBS, ETC.) THAT MUST BE CUT OR THAT ARE DAMAGED DURING CONSTRUCTION.
- RESTORE DISTURBED LANDSCAPE AREAS TO ORIGINAL CONDITION (I.E. SEEDED, SODDED, PLANTED) UNLESS OTHERWISE DIRECTED WITHIN CONTRACT DOCUMENTS.
- ADJUST UTILITY COVERS, GRATES, AND HAND HOLES TO FINISH GRADE.
- ALL EXCESS EXCAVATED MATERIALS, EXCESS FILL, EXCESS CONSTRUCTION MATERIALS, DEBRIS, AND WASTE SHALL BE REMOVED FROM THE SITE AND SHALL BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS.
- DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, FIRE HYDRANTS, AND UTILITIES WITHOUT APPROPRIATE PERMITS.
- WORK IS RESTRICTED TO THE HOURS OF 7 AM TO 5 PM ON MONDAY THROUGH FRIDAY, EXCLUDING HOLIDAYS, UNLESS OTHERWISE APPROVED BY THE OWNER.

MASTER PLAN APPROVAL CONDITIONS

- CHANGE OF CONDITIONS OF THE 2008 TOWN COUNCIL ZONING MAP APPROVAL AND ORDINANCE TEXT INCLUDING RESIDENTIAL AND COMMERCIAL DENSITY USES AS WELL AS MODIFICATION TO THE WIDTH OF THE PARKING SPACES AND THE DOUBLE STRIPING ON THE INTERIOR PARKING SPACES.
- DEDICATION BY DEED OF THE PARKING LOT ON THE NORTHEAST CORNER OF CHURCH AND THAMES STREET, PLAT 10, LOT 32 TO THE TOWN OF BRISTOL FOR PUBLIC PARKING AS REQUIRED BY THE ZONING THAT THERE BE 10% OF THE LAND AREA TO BE SET ASIDE FOR PUBLIC INSTITUTIONAL USES AS REQUIRED BY SECTION 28-284(g).
- CONNECTION OF THE PUBLIC WALKWAY TO THE MARITIME CENTER.
- A TRAFFIC STUDY TO INCLUDE COUNTS TO BE TAKEN IN THE SUMMER MONTHS (JUNE, JULY, AUGUST, OR SEPTEMBER), AND TO BE SUBMITTED TO THE PLANNING BOARD'S CONSULTANT ENGINEER, WITH THE REVIEW FEE TO BE REIMBURSED BY THE APPLICANT IN ACCORDANCE WITH THE REGULATIONS.
- A REVISED FISCAL IMPACT STUDY SUBJECT TO THE PEER REVIEW OF A CONSULTANT SELECTED BY THE PLANNING BOARD WITH REVIEW FEE TO BE REIMBURSED BY THE APPLICANT IN ACCORDANCE WITH THE REGULATIONS.
- DEED RESTRICTIONS ON BOTH THE MILL BUILDING PROPERTY AND THE SURFACE PARKING LOT ACROSS FROM THE MILL SO THAT PARKING IS CONNECTED TO THE MILL AND CANNOT BE SEPARATELY CONVEYED.
- DEED RESTRICTIONS, RUNNING TO THE TOWN OF BRISTOL, ON THE SURFACE PARKING LOT THAT NO STRUCTURES BE BUILT ON THIS PROPERTY.
- PARKING SPACES ON THE SURFACE PARKING LOT TO BE DOUBLE STRIPED.
- ALL SERVICES TO THE RESIDENTIAL UNITS WILL BE PRIVATE INCLUDING RECYCLING AND GARBAGE PICK-UP, SNOW PLOWING, DRIVEWAY AND DRAINAGE MAINTENANCE. THIS SHALL BE A DEED COVENANT IN LAND EVIDENCE RECORDS.

SOIL EROSION AND SEDIMENT CONTROL

- A SITE-SPECIFIC SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC PLAN) HAS BEEN PREPARED. THE SESC PLAN MUST BE REVIEWED AND SIGNED BY THE OWNER, OPERATOR (I.E. CONTRACTOR), AND CONTRACTOR'S DESIGNATED SESC INSPECTOR. A HARD-COPY OF THE SIGNED SESC PLAN, INCLUDING ALL INSPECTION REPORTS, CORRECTIVE ACTION LOGS, AND ADDENDA, MUST BE KEPT ON SITE AT ALL TIMES THROUGHOUT CONSTRUCTION.
- FOLLOW THE SITE-SPECIFIC SESC PLAN, SITE PREPARATION PLAN, EROSION AND SEDIMENT CONTROL SPECIFICATION, AS WELL AS RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK AND THE TOWN OF BRISTOL CODE OF ORDINANCES, CHAPTER 29 ARTICLE III "SOIL EROSION, RUNOFF AND SEDIMENT CONTROL". IN CONSTRUCTING THE EROSION AND SEDIMENT CONTROLS INDICATED ON THE PLANS, ALL EROSION AND SEDIMENT CONTROL MEASURES OR WORKS AND REHABILITATION MEASURES MUST CONFORM TO OR EXCEED THESE REQUIREMENTS.
- THE TIMELY INSTALLATION, INSPECTION, AND MAINTENANCE/REPLACEMENT OF SEDIMENT AND EROSION CONTROL DEVICES TO ENSURE PROPER OPERATION AND PERMIT COMPLIANCE IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL CONSTRUCTION OF THE PROJECT IS COMPLETE AND ACCEPTED BY THE OWNER. THE OWNER IS RESPONSIBLE THEREAFTER. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL CONTINUE TO BE MAINTAINED IN EFFECTIVE CONDITION UNTIL SITE STABILIZATION.
- PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES, INSTALL ALL EROSION AND SEDIMENT CONTROL DEVICES AS SHOWN ON THE PLAN, OR AS DIRECTED BY THE RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND LOCAL MUNICIPALITY, OR AS MAY BE REQUIRED TO PREVENT SEDIMENT FLOW TO STORM DRAINS OR SURFACE WATERS.
- AN INSPECTION OF STORMWATER CONTROL MEASURES MUST BE CONDUCTED BY THE CONTRACTOR AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS, AND WITHIN TWENTY-FOUR (24) HOURS AFTER ANY STORM EVENT WHICH GENERATES AT LEAST 0.25 INCHES OF RAINFALL PER TWENTY-FOUR (24) HOUR PERIOD.
- PREPARE AN INSPECTION REPORT SUMMARIZING THE SCOPE OF THE INSPECTION, NAME(S) AND TITLES OF PERSONNEL MAKING THE INSPECTION, THE DATE(S) OF THE INSPECTION, MAJOR OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THE SESC PLAN, AND CORRECTIVE ACTIONS WHICH MUST BE MADE. SUCH REPORTS MUST IDENTIFY ANY INCIDENTS OF NONCOMPLIANCE. WHERE AN INSPECTION DOES NOT IDENTIFY ANY INCIDENTS OF NONCOMPLIANCE, INSPECTION REPORT MUST STILL BE PREPARED TO CERTIFY THAT THE SITE IS IN COMPLIANCE WITH THE SESC PLAN AND RIDPES PERMIT. THE INSPECTION REPORT MUST BE SIGNED BY THE INSPECTOR AND OPERATOR AND KEPT WITH THE ON-SITE SESC PLAN.
- FOLLOWING AN INSPECTION, ALL CORRECTIVE ACTIONS MUST BE COMPLETED WITHIN SEVEN (7) CALENDAR DAYS. A CORRECTIVE ACTION LOG MUST BE SIGNED BY THE OPERATOR AND KEPT WITH THE ON-SITE SESC PLAN.
- BASED ON THE RESULTS OF THE INSPECTIONS, THE SESC PLAN MUST BE REVISED AS APPROPRIATE, BUT IN NO CASE LATER THAN SEVEN (7) CALENDAR DAYS FOLLOWING THE INSPECTION. SUCH MODIFICATIONS MUST PROVIDE FOR IMPLEMENTATION OF ANY CHANGES TO THE SESC PLAN WITHIN SEVEN (7) CALENDAR DAYS FOLLOWING THE INSPECTION.
- IF AN INSPECTION REVEALS A DISCHARGE OF SEDIMENTS TO THE WATERS OF THE STATE OR A SEPARATE STORM SEWER SYSTEM, THE PERMITTEE MUST NOTIFY THIS OFFICE OF THE NATURE OF THE DISCHARGE, THE MEASURES TAKEN TO CLEAN UP THE DISCHARGE, AND THE MEASURES TAKEN TO PREVENT FUTURE RELEASES.
- A HARD COPY OF THE COMPLETE SESC PLAN, INCLUDING ALL INSPECTION REPORTS, CORRECTIVE ACTION LOGS, AND ADDENDA, MUST BE RETAINED BY THE OWNER FOR AT LEAST FIVE (5) YEARS FROM THE DATE THAT THE SITE HAS UNDERGONE FINAL STABILIZATION.

SPILL PREVENTION AND RESPONSE PROCEDURE

- ANY INADVERTENT OR DELIBERATE DISCHARGE OF WASTE OIL OR ANY OTHER POLLUTANT TO THE STORMWATER MANAGEMENT SYSTEM (I.E. INFILTRATION BEST MANAGEMENT PRACTICES, OR CLOSED-CONDUIT DRAINAGE SYSTEM THAT DISCHARGES TO MUNICIPAL SEPARATE STORM SEWER SYSTEM OR WATER BODY) REQUIRES IMMEDIATE NOTIFICATION TO THE RIDEM OIL POLLUTION CONTROL PROGRAM AT (401) 277-2284, AS PER THE OIL POLLUTION CONTROL REGULATIONS. DURING NON-WORKING HOURS, NOTIFICATION OF SPILLS CAN BE MADE TO THE RIDEM DIVISION OF ENFORCEMENT AT (401) 222-3070 (THE 24-HOUR EMERGENCY RESPONSE PHONE NUMBER).
- ANY INCIDENT OF GROUNDWATER CONTAMINATION RESULTING FROM THE IMPROPER DISCHARGE OF POLLUTANTS TO THE STORMWATER MANAGEMENT SYSTEM SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AS WELL AS ANY OTHER PARTIES THAT THE RIDEM DETERMINES TO BE RESPONSIBLE FOR THE CONTAMINATION. PURSUANT TO STATE LAWS AND REGULATIONS, THE RIDEM MAY REQUIRE THE PROPERTY OWNER, CONTRACTOR, AND OTHER RESPONSIBLE PARTIES TO REMEDIATE ANY INCIDENTS THAT MAY ADVERSELY IMPACT GROUNDWATER QUALITY.
- UPON TRANSFER OF THE PROPERTY, THE NEW OWNER SHALL BE INFORMED AS TO THE LEGAL RESPONSIBILITIES ASSOCIATED WITH STORMWATER MANAGEMENT SYSTEM, AS INDICATED ABOVE.

STORMWATER MAINTENANCE PROGRAM

- OPERATION AND MAINTENANCE OF STORMWATER MANAGEMENT SYSTEM SHALL BE CONDUCTED IN ACCORDANCE WITH SITE-SPECIFIC LONG-TERM OPERATION & MAINTENANCE PLAN.

CONSTRUCTION SEQUENCE

CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT ARE EXPECTED TO COMMENCE IN APRIL 2024 AND WILL BE COMPLETED BY APRIL 2026. THE GENERAL SEQUENCE FOR EACH PHASE OF CONSTRUCTION IS AS FOLLOWS:

- INSTALL PERIMETER SEDIMENT CONTROL BARRIERS, INLET PROTECTION, TREE PROTECTION AND PROPOSED CONSTRUCTION ACCESSSES.
- CLEAR AND GRUB SITE, REMOVE PAVEMENT, REMOVE MATERIALS TO BE DISPOSED OF, AND STOCKPILE ITEMS AS DEPICTED ON PLANS.
- RAZE CONCRETE MASONRY BLOCK STRUCTURE ON MILL PROPERTY.
- PERFORM SELECTIVE DEMOLITION WITHIN BUILDING INTERIOR AND RENOVATE MILL BUILDING PER ARCHITECTURAL PLANS.
- CONDUCT ROUGH GRADING AND STOCKPILE EXCESS SOILS FOR REMOVAL OR REUSE.
- INSTALL STORMWATER MANAGEMENT SYSTEMS, STORM DRAINS, AND UTILITIES.
- COMPACT SUBGRADE AND INSTALL GRAVEL BORROW IN ALL AREAS TO BE PAVED WITH BITUMINOUS OR CONCRETE PAVEMENT.
- INSTALL PROPOSED CURBING.
- INSTALL BASE AND BINDER COURSES FOR ALL PAVED AREAS.
- CONDUCT FINAL GRADING OF LANDSCAPED AREAS, CONSTRUCT SIDEWALKS AND PERVIOUS WALKWAYS, AND INSTALL FENCING.
- PERMANENTLY SEED ALL NON-PAVED AREAS AND INSTALL LANDSCAPING.
- INSTALL THE SURFACE COURSE FOR ROADWAYS AND PARKING AREAS.
- INSTALL PAVEMENT MARKINGS AND SIGNAGE.
- REMOVE TEMPORARY EROSION CONTROLS MEASURES ONCE PERMANENT VEGETATION COVER HAS BEEN ESTABLISHED AND THE SITE IS STABILIZED, INSPECTED, AND APPROVED BY THE CITY OF PROVIDENCE AND THE ENGINEER.

PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

SEAL

SEAL

SCALE:

HORIZ.: NOT TO SCALE

VERT.:

DATUM:

HORIZ.:

VERT.:

0

GRAPHIC SCALE



FUSS & O'NEILL

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PROVIDENCE, RI 02908
401.861.3070
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BRADY SULLIVAN PROPERTIES, LLC

GENERAL NOTES AND LEGEND

BRISTOL YARN MILL

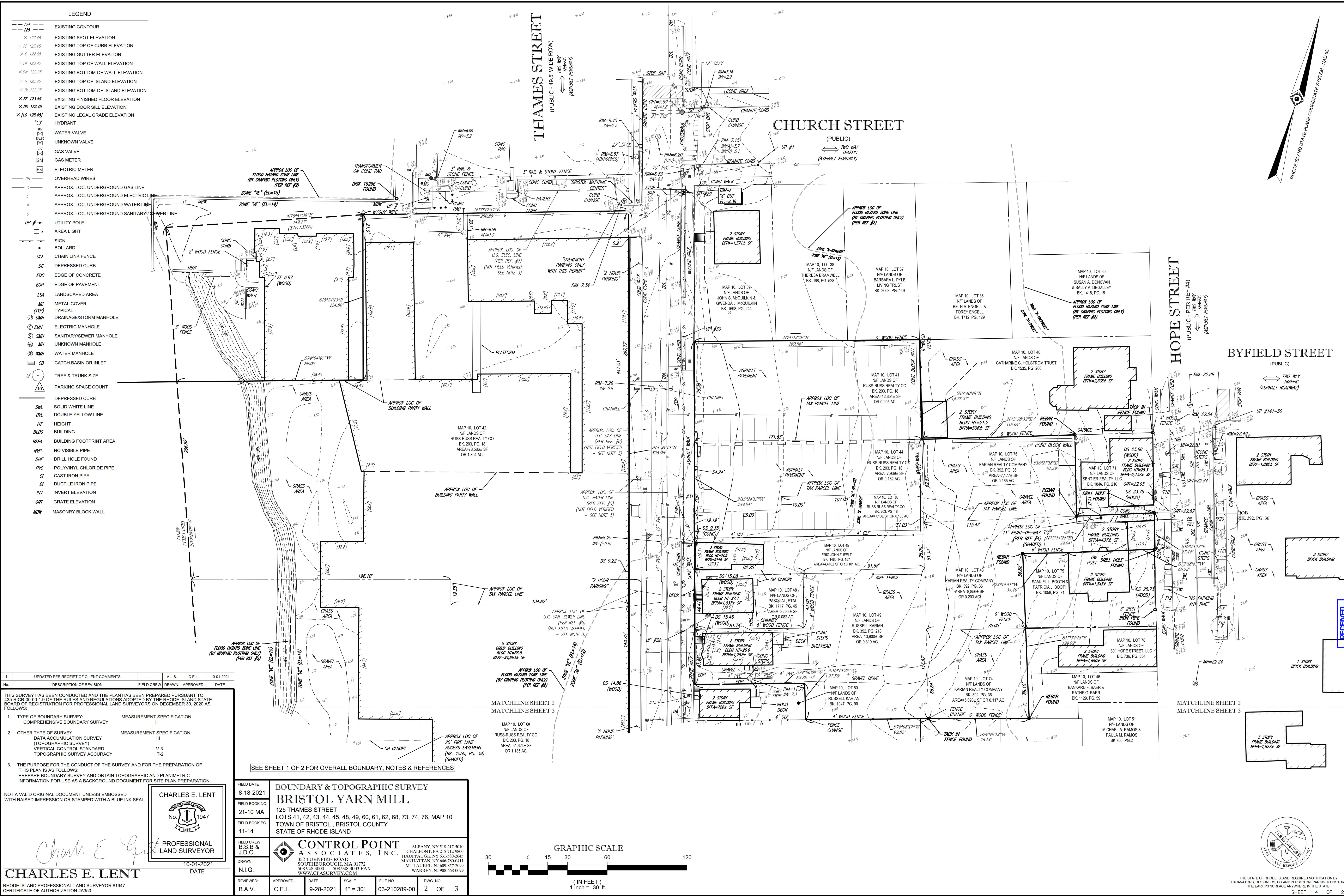
125 THAMES STREET

BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2023

CN-001

SHEET 2 OF 28



LEGEND

- 124 --- EXISTING CONTOUR
- 125 --- EXISTING SPOT ELEVATION
- X 123.45 EXISTING TOP OF CURB ELEVATION
- X G 122.95 EXISTING GUTTER ELEVATION
- X TW 123.45 EXISTING TOP OF WALL ELEVATION
- X BW 122.85 EXISTING BOTTOM OF WALL ELEVATION
- X D 123.45 EXISTING TOP OF ISLAND ELEVATION
- X B 122.95 EXISTING BOTTOM OF ISLAND ELEVATION
- X FF 123.45 EXISTING FINISHED FLOOR ELEVATION
- X DS 123.45 EXISTING DOOR SILL ELEVATION
- X LG 125.45 EXISTING LEGAL GRADE ELEVATION
- HYDRANT
- WATER VALVE
- UNKNOWN VALVE
- GAS VALVE
- GAS METER
- ELECTRIC METER
- OVERHEAD WIRES
- APPROX. LOC. UNDERGROUND GAS LINE
- APPROX. LOC. UNDERGROUND ELECTRIC LINE
- APPROX. LOC. UNDERGROUND WATER LINE
- APPROX. LOC. UNDERGROUND SANITARY/SEWER LINE
- UTILITY POLE
- AREA LIGHT
- SIGN
- BOLLARD
- CLF CHAIN LINK FENCE
- DC DEPRESSIONED CURB
- EDC EDGE OF CONCRETE
- EOP EDGE OF PAVEMENT
- LSA LANDSCAPED AREA
- MC METAL COVER
- (TYP) TYPICAL
- DMH DRAINAGE/STORM MANHOLE
- EMH ELECTRIC MANHOLE
- SMH SANITARY/SEWER MANHOLE
- UMH UNKNOWN MANHOLE
- WMH WATER MANHOLE
- CB CATCH BASIN OR INLET
- TR & TRUNK SIZE
- PARKING SPACE COUNT
- DEPRESSIONED CURB
- SWL SOLID WHITE LINE
- DYL DOUBLE YELLOW LINE
- HT HEIGHT
- BLDG BUILDING
- BFFPA BUILDING FOOTPRINT AREA
- NVP NO VISIBLE PIPE
- DHF DRILL HOLE FOUND
- PVC POLYVINYL CHLORIDE PIPE
- CI CAST IRON PIPE
- DI DUCTILE IRON PIPE
- INV INVERT ELEVATION
- GRT GRATE ELEVATION
- MEW MASONRY BLOCK WALL

1 UPDATED PER RECEIPT OF CLIENT COMMENTS

No. DESCRIPTION OF REVISION FIELD CREW DRAWN: APPROVED: DATE

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-01.3 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON DECEMBER 30, 2020 AS FOLLOWS:

1. TYPE OF BOUNDARY SURVEY: MEASUREMENT SPECIFICATION

2. OTHER TYPE OF SURVEY: DATA ACCUMULATION SURVEY (TOPOGRAPHIC SURVEY) MEASUREMENT SPECIFICATION: III

3. THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THIS PLAN IS AS FOLLOWS: PREPARE BOUNDARY SURVEY AND OBTAIN TOPOGRAPHIC AND PLANIMETRIC INFORMATION FOR USE AS A BACKGROUND DOCUMENT FOR SITE PLAN PREPARATION.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL.

CHARLES E. LENT

No. 1947

PROFESSIONAL LAND SURVEYOR

10-01-2021 DATE

18-2021

21-10 MA

11-14

BOUNDARY & TOPOGRAPHIC SURVEY

BRISTOL YARN MILL

125 THAMES STREET

LOTS 41, 42, 43, 44, 45, 48, 49, 60, 61, 62, 68, 73, 74, 76, MAP 10

TOWN OF BRISTOL, BRISTOL COUNTY

STATE OF RHODE ISLAND

FIELD CREW: B.S.B. & J.D.O.

ALBANY, NY 518-217-0010

CHALFONT, PA 215-712-9800

HAUPPAUGE, NY 631-580-2645

MANHATTAN, NY 646-780-0411

MT LAUREL, NJ 609-857-2099

WARRICK, NJ 908-668-0099

WWW.CPASPURVEY.COM

N.I.G.

APPROVED: C.E.L.

DATE: 9-28-2021

SCALE: 1" = 30'

FILE NO.: 03-210289-00

DWS. NO.: 2 OF 3

18-2021

21-10 MA

11-14

BOUNDARY & TOPOGRAPHIC SURVEY

BRISTOL YARN MILL

125 THAMES STREET

LOTS 41, 42, 43, 44, 45, 48, 49, 60, 61, 62, 68, 73, 74, 76, MAP 10

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N.I.G.

APPROVED: C.E.L.

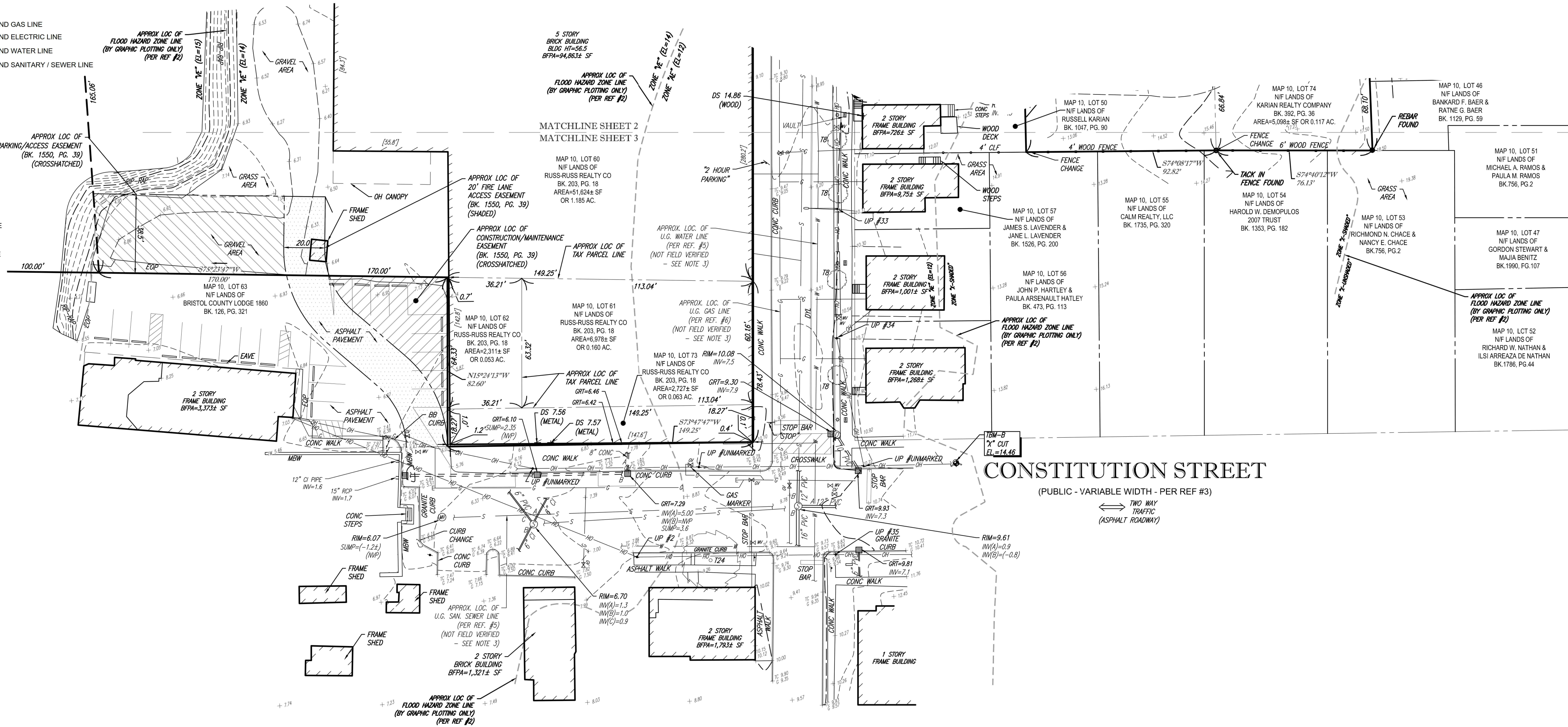
DATE: 9-28-2021

SCALE: 1" = 30'

FILE NO.: 03-210289-00

DWS. NO.: 2 OF 3

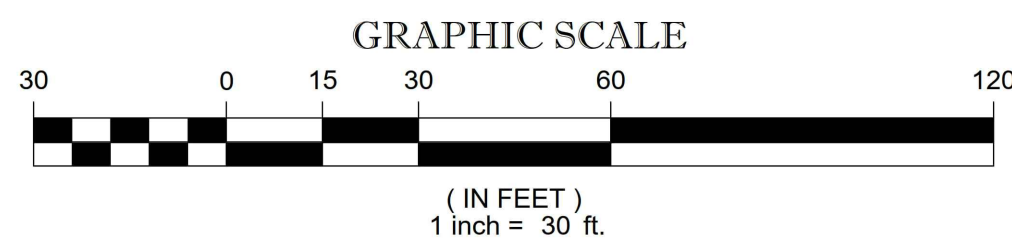
- LEGEND
- 124 --- EXISTING CONTOUR
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CAST IRON PIPE
DUCTILE IRON PIPE
INVERT ELEVATION
GRATE ELEVATION
MASONRY BLOCK WALL



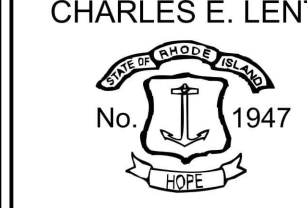
CONSTITUTION STREET

(PUBLIC - VARIABLE WIDTH - PER REF #3)

TWO WAY TRAFFIC (ASPHALT ROADWAY)



FIELD DATE 8-18-2021	BOUNDARY & TOPOGRAPHIC SURVEY BRISTOL YARN MILL				
FIELD BOOK NO. 21-10 MA	125 THAMES STREET LOTS 41, 42, 43, 44, 45, 48, 49, 60, 61, 62, 68, 73, 74, 76, MAP 10 TOWN OF BRISTOL, BRISTOL COUNTY STATE OF RHODE ISLAND				
FIELD BOOK PG. 11-14					
FIELD CREW B.S.B. & J.D.O.	CONTROL POINT ASSOCIATES, INC. ALBANY, NY 518-217-5010 352 TURNPIKE ROAD CHATHAM, PA 215-712-9800 SOUTHERNBOURNE, MA 01772 HAITHAUG, NJ 603-880-2645 508.948.3000 - 508.948.3003 FAX MANHATTAN, NY 646-780-0411 WWW.CPASURVEY.COM WARREN, NJ 908-668-0099				
DRAWN: N.I.G.	APPROVED: C.E.L.	DATE 9-28-2021	SCALE 1" = 30'	FILE NO. 03-210289-00	DWG. NO. 3 OF 3

1	UPDATED PER RECEIPT OF CLIENT COMMENTS	--	A.L.S.	C.E.L.	10-01-2021
No.	DESCRIPTION OF REVISION	FIELD CREW	DRAWN	APPROVED	DATE
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON DECEMBER 30, 2020 AS FOLLOWS:					
1.	TYPE OF BOUNDARY SURVEY: COMPREHENSIVE BOUNDARY SURVEY	MEASUREMENT SPECIFICATION I			
2.	OTHER TYPE OF SURVEY: DATA ACCUMULATION SURVEY (TOPOGRAPHIC SURVEY) VERTICAL CONTROL STANDARD TOPOGRAPHIC SURVEY ACCURACY	MEASUREMENT SPECIFICATION: III V-3 T-2			
3.	THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THIS PLAN IS AS FOLLOWS: PREPARE BOUNDARY SURVEY AND OBTAIN TOPOGRAPHIC AND PLANIMETRIC INFORMATION FOR USE AS A BACKGROUND DOCUMENT FOR SITE PLAN PREPARATION.				
NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL.					
<div><div>CHARLES E. LENT</div><div></div><div>10-01-2021 DATE</div></div>					
CHARLES E. LENT					
RHODE ISLAND PROFESSIONAL LAND SURVEYOR #1947 CERTIFICATE OF AUTHORIZATION #A350					
			SHEET 5 OF 27		

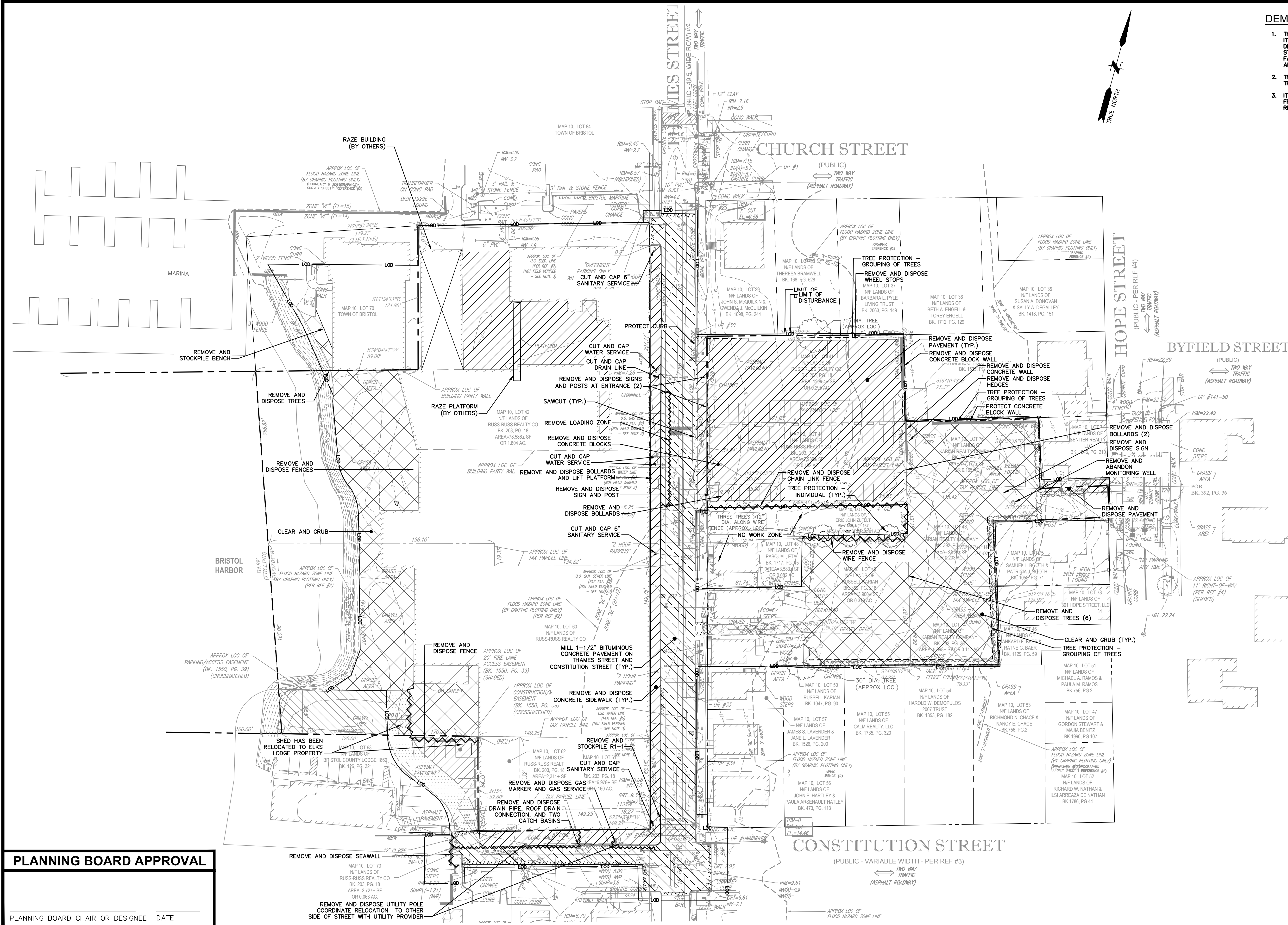


THE STATE OF RHODE ISLAND REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.

CONTROL POINT ASSOCIATES, INC. ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF CONTROL POINT ASSOCIATES, INC. IS PROHIBITED.

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8/22/2023
LAND SURVEYING
MANHATTAN, NY

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- DEMOLITION NOTES**
1. THE DEMOLITION PLAN IS PROVIDED FOR INFORMATION ONLY AND MAY NOT INDICATE ALL ITEMS REQUIRED TO BE DEMOLISHED. PERFORM A PRE-BID SITE INSPECTION. COORDINATE DEMOLITION OF UNIDENTIFIED UTILITIES OR STRUCTURES WITH OWNER. DEMOLISH STRUCTURES, SITE IMPROVEMENTS, UTILITIES, ETC. AS REQUIRED TO CONSTRUCT PROPOSED FACILITY AND UTILITY SERVICES. PROTECT ALL PUBLIC AND PRIVATE UTILITIES, SERVICES, AND STRUCTURES THAT ARE NOT DESIGNATED FOR REMOVAL.
 2. TREES, BRUSH AND STUMPS REMOVED BY CLEARING & GRUBBING OPERATIONS SHALL BE TRANSPORTED OFF THE PROJECT SITE TO AN APPROVED DISPOSAL LOCATION.
 3. ITEMS TO BE STOCKPILED ON-SITE FOR REUSE OR TO BE RELOCATED SHALL BE PROTECTED FROM CONSTRUCTION OPERATIONS. IF DAMAGED DURING CONSTRUCTION THEY SHALL BE REPLACED IN-KIND AT NO ADDITIONAL COST TO THE OWNER.

PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE	DATE

No.	DATE	DESCRIPTION	REVIEWER	REVIEWER
5.	7/12/23	RESPONSE TO CRMC COMMENTS	KLM/SL	SMM
4.	5/19/23	RESPONSE TO TRC AND PARE COMMENTS	KLM/MH	SMM
3.	3/27/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM
2.	2/2/23	RIDEM AND CRMC PERMITTING APPLICATION	KLM	SMM
1.	1/25/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM
No.	DATE	DESCRIPTION	REVIEWER	REVIEWER



SEAL	SEAL	SEAL

SCALE:

HORIZ.: 1"= 40'

VERT.: 1"= 10'

DATUM:

HORIZ.: NAD 1983

VERT.: NAVD 1988

GRAPHIC SCALE

f **FUSS & O'NEILL**

317 IRON HORSE WAY, SUITE 204
PROVIDENCE, RI 02908
401.861.3070
www.fando.com

BRADY SULLIVAN PROPERTIES, LLC

SITE DEMOLITION PLAN

BRISTOL YARN MILL

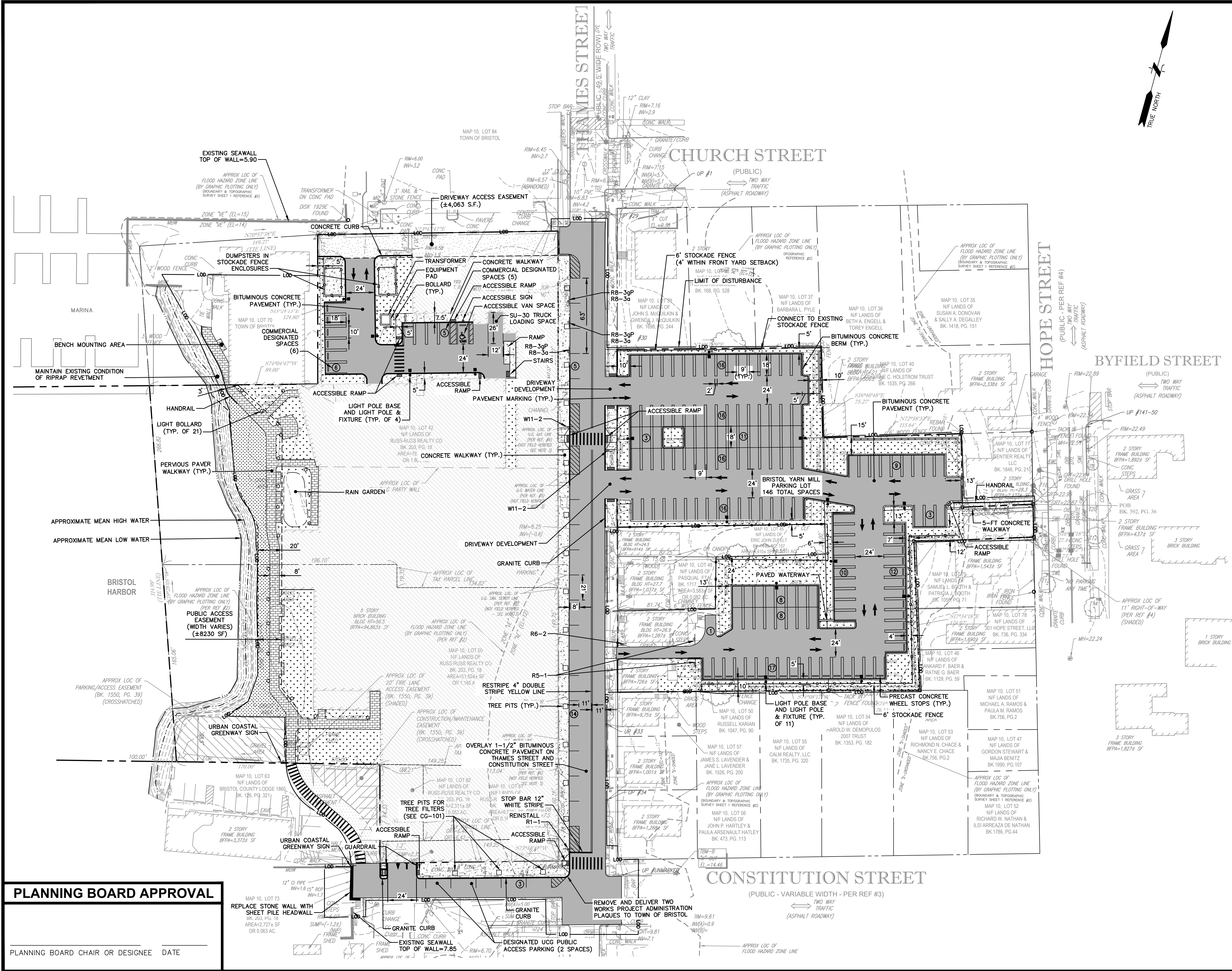
125 THAMES STREET BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2023

CP-101

SHEET 6 OF 28

File Path: \\private\dfs\CadPro\DWG\GP20061150A22\Civil\Plan\Permitting Plans\20061150A22_STP01.dwg Layout: CS-101 Plotted: Wed, July 12, 2023 - 9:27 AM User: kmcombs
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1.	1/25/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM
No.	DATE	DESCRIPTION		

RECEIVED
8/22/2023
COASTAL RESOURCES
MANAGEMENT COUNCIL

SEAL	SEAL

SCALE:	HORIZ.: 1"= 40'
DATUM:	HORIZ.: NAD 1983
	VERT.: NAD 1988
40 20 0 40	
GRAPHIC SCALE	



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BRADY SULLIVAN PROPERTIES, LLC

SITE PLAN

BRISTOL YARN MILL

125 THAMES STREET

BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2023

CS-101

SHEET 8 OF 28

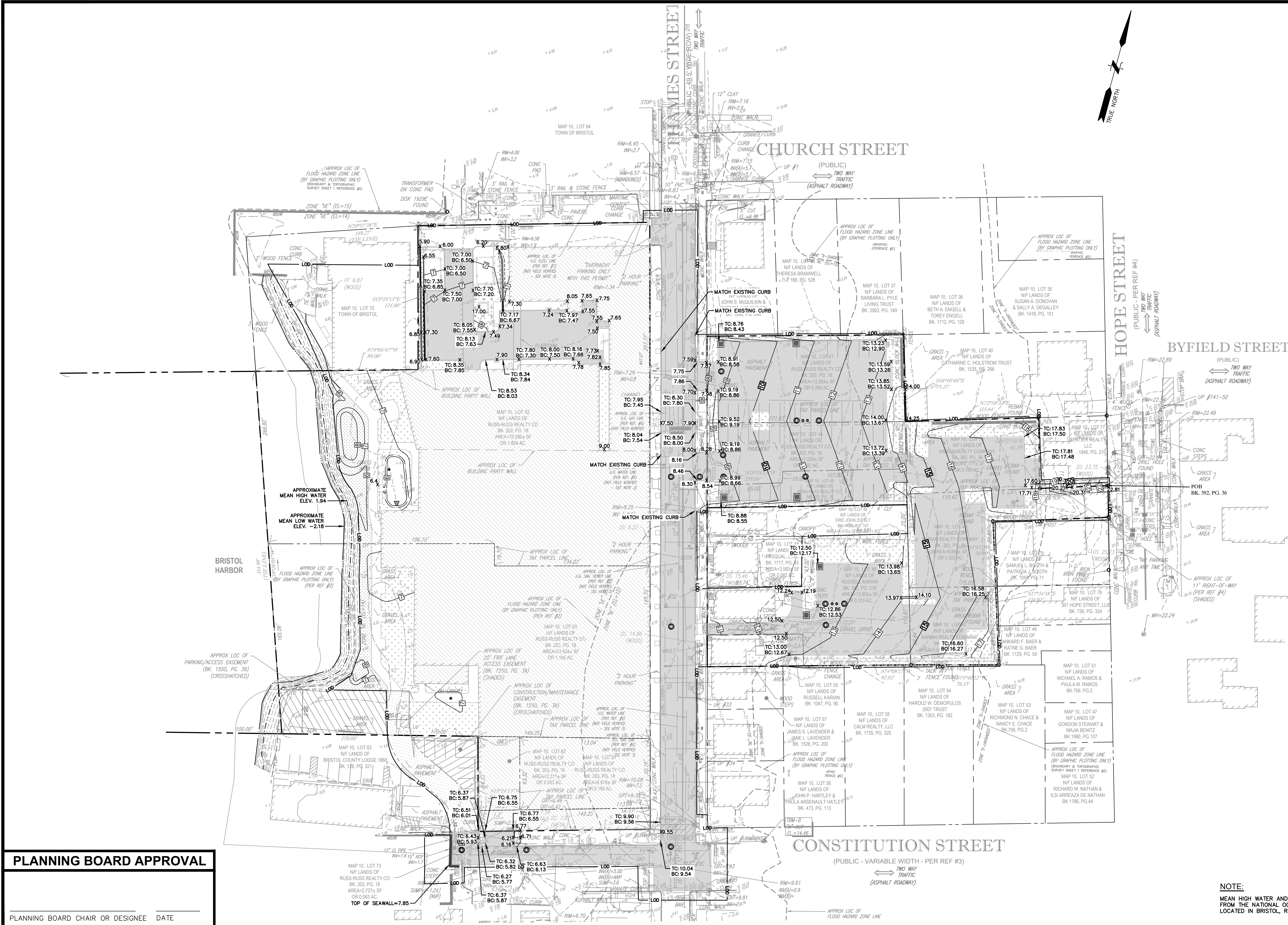
ZONING DIMENSION TABLE				
CRITERIA	REQUIRED PER ZONING DISTRICT			PROPOSED
	W	D	WPUD	(BUILDING SITE - LOTS 42,60,61,62,73)
MINIMUM LOT AREA		5,000 SF		142,226± SF (3.265 AC)
MINIMUM LOT AREA PER DWELLING UNIT	4,000 SF	2,500 SF	N/A	N/A
MINIMUM FRONTAGE		50'		149.25' CONSTITUTION STREET (MIN.)
MINIMUM LOT WIDTH		50'		149.25' CONSTITUTION STREET (MIN.)
FRONT SETBACK		0'		-0.90'
SIDE SETBACK		0'		0.0'
REAR SETBACK		10'		30±' (TO APPROX. MEAN HIGH WATER)
MAX. BUILDING HEIGHT		35' (3 STORIES)		55' MAX.-4 STORIES (EXISTING)
MAX. LOT COVERAGE BY STRUCTURES		70%		83,153 S.F./142,226 S.F. = 58.5% (PROP.) 87,296 S.F./142,226 S.F. = 61.4% (EXIST.)
MAX. TOTAL COVERAGE	85%	95%	N/A	97,606 S.F./142,226 S.F. = 68.6%
MAX. FLOOR AREA RATIO	1.5	1.4	N/A	227,286 S.F./142,226 S.F. = 1.6±
IMPERVIOUS COVER		PARKING LOT SITE		51,237 S.F./66,327 S.F. = 77.2%

- NOTES:
1. MILL BUILDING PROPERTIES COMBINED AREA IS APPROXIMATELY 142,226 SQUARE FEET.
 2. TOTAL LAND AREA INCLUDED IN REDEVELOPMENT IS APPROXIMATELY 227,286 SQUARE FEET.
 3. ALL PROJECT PARCELS ARE LOCATED WITHIN TOWN OF BRISTOL HISTORIC DISTRICT.

PARKING SUMMARY				
	USE	REQUIRED	PROPOSED	
RESIDENTIAL PARKING SPACES (ON-SITE)		127	125	
RESIDENTIAL PARKING SPACES (OFF-SITE)		0	143	
COMMERCIAL PARKING SPACES (ON-SITE)		11	11	
317 HOPE STREET (LOT 71) - ZONE D	RES/COMM	0	0	
325 HOPE STREET (LOT 43) - ZONE D	COMM	0	0	
60 THAMES STREET (LOT 50) - ZONE W	SF RES	1	1	
70 THAMES STREET (LOT 49) - ZONE W	MF RES	2	2	
TOTAL PARKING SPACES:		141	282	
RESIDENTIAL PARKING REQUIREMENT:	1 SPACE/D.U. (127 RESIDENTIAL W AND REHAB LDP ZONES)			
COMMERCIAL PARKING REQUIREMENT:	1 SPACE/600 S.F. GFA (0 SPACES REQ'D FOR RESIDENTIAL, OFFICE, SERVICE, RETAIL, OR INSTITUTIONS WITHIN D ZONE) (6,479 S.F. / 600 S.F. = 11 SPACES)			
LOADING SPACE REQUIREMENT:	1 SPACE/3,000-19,999 S.F. OF GFA (6,479 S.F. = 1 SPACE)			
NOTES:	1. PARKING AND LOADING REQUIREMENTS SHALL COMPLY WITH ARTICLE VII SEC. 28-251. 2. ON-STREET PARKING IS NOT INCLUDED IN THE CALCULATIONS. 3. THERE ARE 30 TOTAL COMPACT VEHICLE PARKING SPACES, 9 DESIGNATED MOTORCYCLE SPACES AND 24 BICYCLE SPACES WITHIN THE BASEMENT LEVEL OF 125 THAMES STREET. COMPACT PARKING SPACES ACCOUNTS FOR 10.6% OF TOTAL PARKING COUNT. MOTORCYCLE AND BICYCLE PARKING IS NOT INCLUDED IN THE CALCULATIONS. 4. 5 ADA SPACES AND 2 ADA VAN SPACES ARE PROVIDED FOR RESIDENTIAL UNITS WITHIN THE BASEMENT LEVEL OF 125 THAMES STREET.			

NOTE:
MEAN HIGH WATER AND MEAN LOW WATER LINES SHOWN ARE APPROXIMATE BASED ON TIDAL DATUMS FROM THE NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION TIDE STATION NUMBER 8452154 LOCATED IN BRISTOL, RI.

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PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

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No.	DATE	DESCRIPTION	REVIEWER	REVIEWER

RECEIVED
8/22/2023
COASTAL RESOURCES
MANAGEMENT COUNCIL

SEAL

SEAL

SEAL

SCALE:

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GRAPHIC SCALE

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PROVIDENCE, RI 02908
401.861.3070
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BRADY SULLIVAN PROPERTIES, LLC

GRADING PLAN

BRISTOL YARN MILL

125 THAMES STREET

BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22

DATE: DECEMBER 6, 2023

CG-101

SHEET 10 OF 28

PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

No.	DATE	DESCRIPTION	REVIEWER	REVIEWER
5.	7/12/23	RESPONSE TO CRMC COMMENTS	KLM/SL	SMM
4.	5/19/23	RESPONSE TO TRC AND PARE COMMENTS	KLM/MH	SMM
3.	3/27/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM
2.	2/2/23	RIDEM AND CRMC PERMITTING APPLICATION	KLM	SMM
1.	1/25/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM
No.	DATE	DESCRIPTION	REVIEWER	REVIEWER



SEAL

SEAL

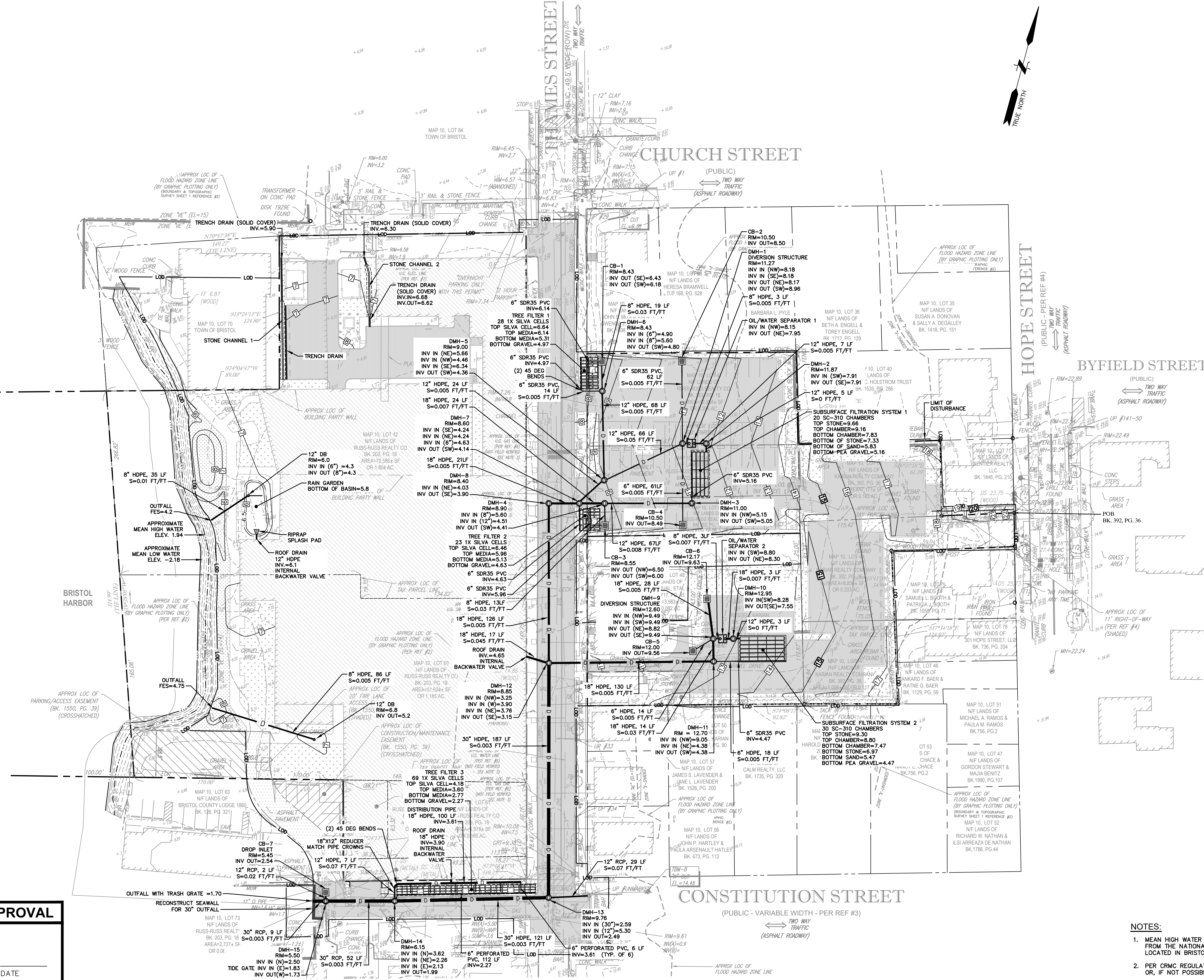
SCALE:
HORIZ.: 1"= 40'
VERT.:
DATUM:
HORIZ.: NAD 1983
VERT.: NAD 1988
GRAPHIC SCALE

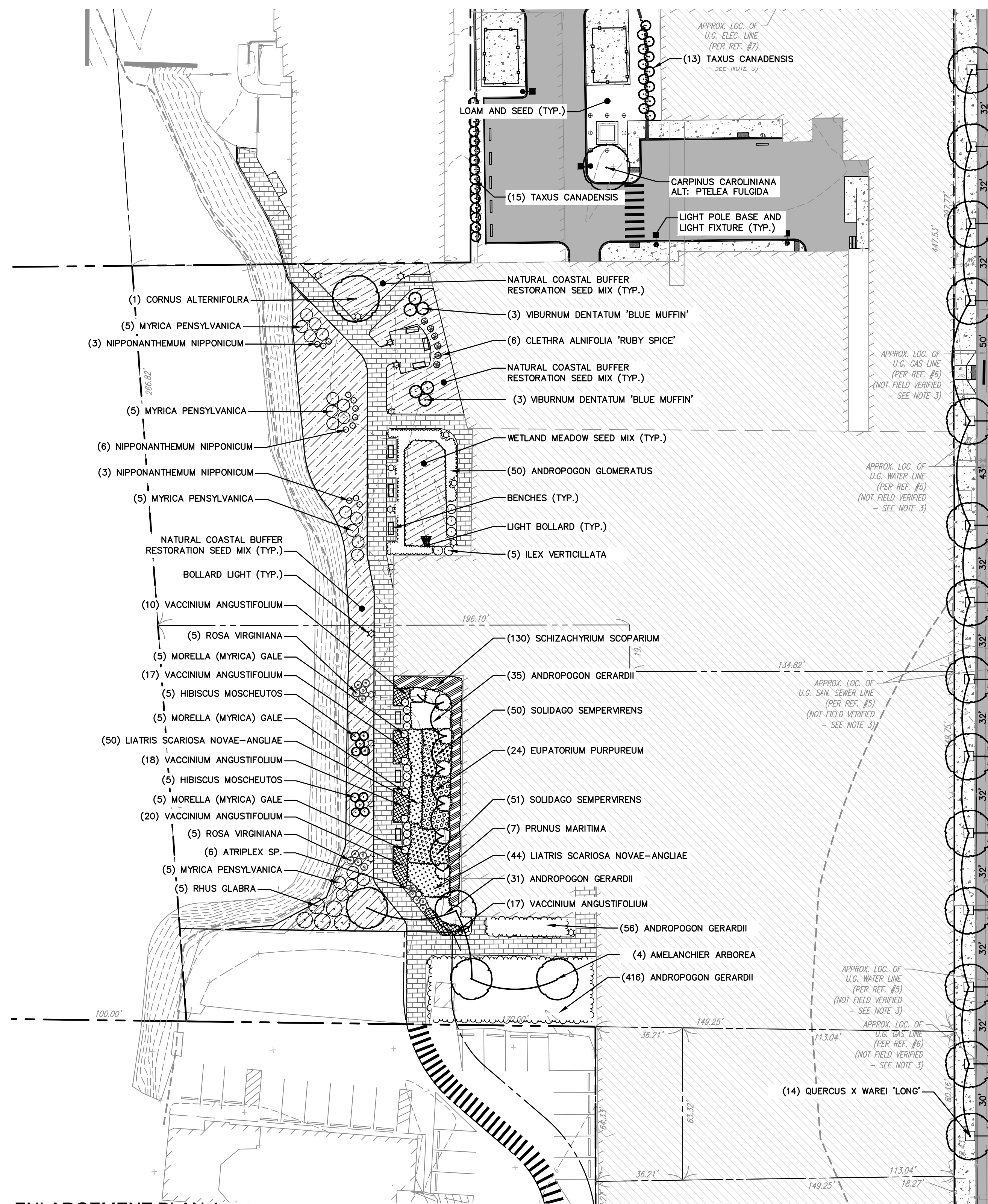


BRADY SULLIVAN PROPERTIES, LLC
DRAINAGE PLAN
BRISTOL YARN MILL
125 THAMES STREET
BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2023
CG-102
SHEET 11 OF 28

- NOTES:
- MEAN HIGH WATER AND MEAN LOW WATER LINES SHOWN ARE APPROXIMATE BASED ON TIDAL DATUMS FROM THE NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION TIDE STATION NUMBER 8452154 LOCATED IN BRISTOL, RI.
 - PER CRMC REGULATIONS, OUTFALL WORK SHALL PROCEED FROM THE SHORELINE TOWARD THE UPLAND OR, IF NOT POSSIBLE, FLOWS SHALL BE DIVERTED AREAS UNTIL STABILIZATION IS COMPLETED.






PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE	DATE
----------------------------------	------

5.	7/12/23	RESPONSE TO CRMC COMMENTS	KLM/SNL	SMM	
4.	5/19/23	RESPONSE TO TRC AND PARE COMMENTS	KLM/JMH	SMM	
3.	3/27/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM	
2.	2/2/23	RIDEM AND CRMC PERMITTING APPLICATION	KLM	SMM	
1.	1/25/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM	
No.	DATE	DESCRIPTION	8/22/2023 SNL	REVIEWER	

SEAL	SEAL	
------	------	--

SCALE:	HORIZ.: AS NOTED
	VERT.:
DATUM:	HORIZ.: NAD 1983
	VERT.: NAD 1988
	
GRAPHIC SCALE	



FUSS & O'NEILL
317 IRON HORSE WAY, SUITE 204
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BRADY SULLIVAN PROPERTIES, LLC

ENLARGEMENT PLANTING PLAN

BRISTOL YARN MILL

125 THAMES STREET

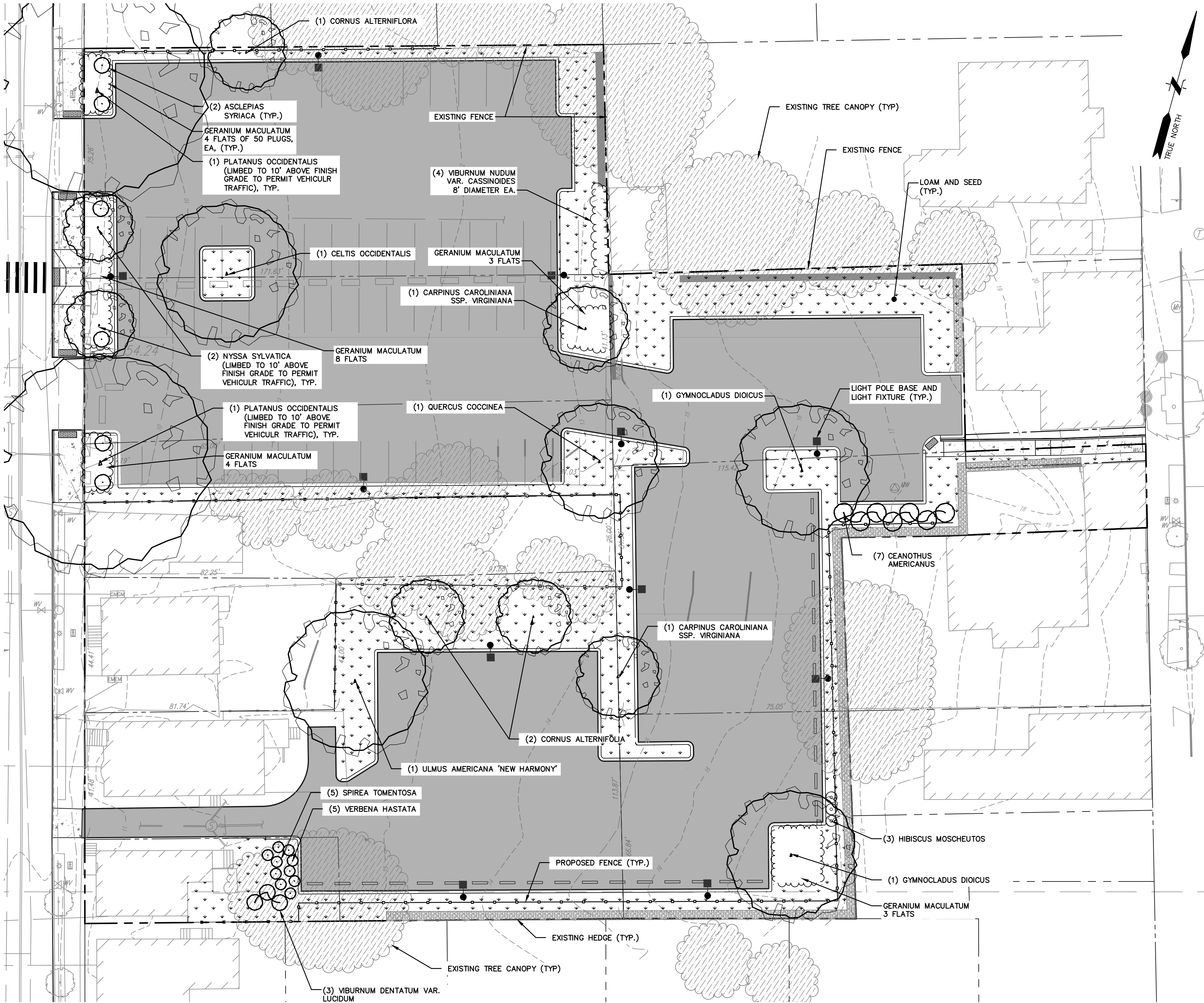
BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2023

LP-102

SHEET 14 OF 28

File Path: J:\DWG\20081150A22\Civil\Plan\Permitting Plans\20061150A22_LND01.dwg Layout: LP-103 Plotted: Wed, July 12, 2023 - 11:39 AM User: slawler
MS VIEW: LAYER STATE: Plotter: NONE CTB File: FO.STB



ENLARGEMENT PLAN 3
SCALE: 1" = 20'

PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

No.	DATE	DESCRIPTION	REVIEWER	REVIEWER
5.	7/12/23	RESPONSE TO CRMC COMMENTS	KLM/SL	SMM
4.	5/19/23	RESPONSE TO TRC AND PARE COMMENTS	KLM/MH	SMM
3.	3/27/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM
2.	2/2/23	RIDEM AND CRMC PERMITTING APPLICATION	KLM	SMM
1.	1/25/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM



SEAL

SEAL

SCALE:

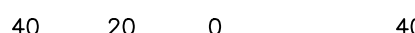
HORZ.: 1"= 40'

VERT.:

DATUM:

HORZ.: NAD 1983

VERT.: NAD 1988



GRAPHIC SCALE



FUSS & O'NEILL

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BRADY SULLIVAN PROPERTIES, LLC

ENLARGEMENT PLANTING PLAN

BRISTOL YARN MILL

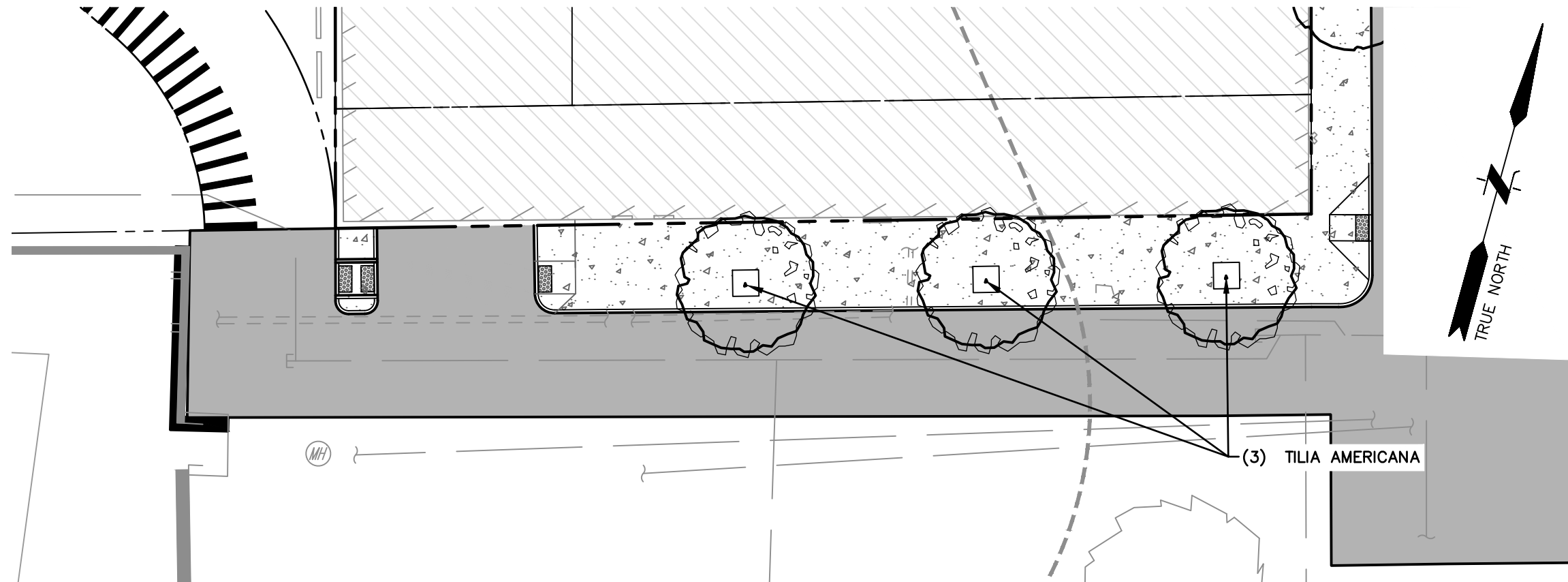
125 THAMES STREET

BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2023

LP-103

SHEET 15 OF 28



ENLARGEMENT PLAN 4
SCALE: 1" = 20'

PLANT LIST

BOTANICAL NAME

COMMON NAME

QTY.

SIZE

ENLARGEMENT 3

TREES

CARPINUS CAROLINIANA SSP. VIRGINIANA
CELTIS OCCIDENTALIS
CORNUS ALTERNIFOLIA
GYMNOCLADUS DIOICUS
NYSSA SYLVATICA
PLATANUS OCCIDENTALIS
QUERCUS COCCINEA
ULMUS AMERICANA 'NEW HARMONY'

AMERICAN HORNBEAM
COMMON HACKBERRY
PAGODA DOGWOOD
KENTUCKY COFFEE TREE
BLACK GUM
COMMON SYCAMORE
SCARLET OAK
NEW HARMONY AMERICAN ELM

2
1
3
2
2
2
1
1
3.5" CALIPER
3.5" CALIPER
3.5" CALIPER
3.5" CALIPER
3.5" CALIPER
3.5" CALIPER
3.5" CALIPER

SHRUBS

ASCLEPIAS SYRIACA
CEANOTHUS AMERICANUS
VIBURNUM DENTATUM VAR. LUCIDUM
VERBENA HASTATA
VIBURNUM NUDUM VAR. CASSINOIDES

COMMON MILKWEED
NEW JERSEY TEA
SMOOTH ARROWWOOD
BLUE VERVAIN
WITHE ROD VIBURNUM

12
7
3
5
4
2 GAL.
2 GAL.
3'-4" B&B
3 GAL.
3'-4" B&B

PERENNIALS/GRASSES

GERANIUM MACULATUM
HIBISCUS MOSCHEUTOS
SPIREA TOMENTOSA

SPOTTED CRANE'S BILL
SWAMP ROSE MALLOW
STEEPLEBUSH

1100
3
5
22 FLATS
2 GAL.
2 GAL.

ENLARGEMENT 4

TREES

SILVER LINDEN

TILIA TOMENTOSA

3
3.5" CALIPER

NOTE:
ALL PLANTS TO BE LAID OUT IN FIELD AND PLACEMENT TO BE APPROVED PRIOR TO FINAL
INSTALLATION BY L.A. AND OWNER.