



State of Rhode Island
Coastal Resources Management Council
Oliver H. Stedman Government Center
4808 Tower Hill Road, Suite 3
Wakefield, RI 02879-1900

(401) 783-3370
Fax (401) 783-2069

PUBLIC NOTICE

File Number: 2024-10-023 Date: January 31, 2025

This office has under consideration the application of:

Wickford Olde Theatre LLC
2 Charles Street; Bldg C3-1
Providence, RI 02904

for a State of Rhode Island Assent to convert an existing theater, garage and duplex to 18 condominium units. The garage currently shall be placed into a new location 34.3' from the coastal feature which is within the required 50-foot setback (Ref RICRMP 1.1.9). In total, the applicant is seeking a 15.7% reduction in the setback standard.

Project Location:	84 & 90 Phillips Street
City/Town:	North Kingstown
Plat/Lot:	Plat 92, lots 40 and 41
Waterway:	Wickford Cove

Plans of the proposed work can be requested at Cstaff1@crmc.ri.gov.

In accordance with the Administrative Procedures Act (Chapter 42-35 of the Rhode Island General Laws) you may request a hearing on this matter.

You are advised that if you have good reason to enter protests against the proposed work it is your privilege to do so. It is expected that objectors will review the application and plans thoroughly, visit site of proposed work if necessary, to familiarize themselves with the conditions and cite what law or laws, if any, would in their opinion be violated by the work proposed.

If you desire to protest, you must attend the scheduled hearing and give sworn testimony. A notice of the time and place of such hearing will be furnished you as soon as possible after receipt of your request for hearing. If you desire to request a hearing, to receive consideration, it should be in writing (**with your correct mailing address, e-mail address and valid contact number**) and be received at this office on or before **March 3, 2025**.

Please email your comments/hearing requests to: cstaff1@crmc.ri.gov; or mail via USPS to: Coastal Resources Management Council; O. S. Government Center, 4808 Tower Hill Road, Rm 116; Wakefield, RI 02879.

/lat

OLDE THEATRE CONDOMINIUMS ON WICKFORD COVE

NORTH KINGSTOWN, RI

LOCATION MAP SCALE: 1" = 2,000'

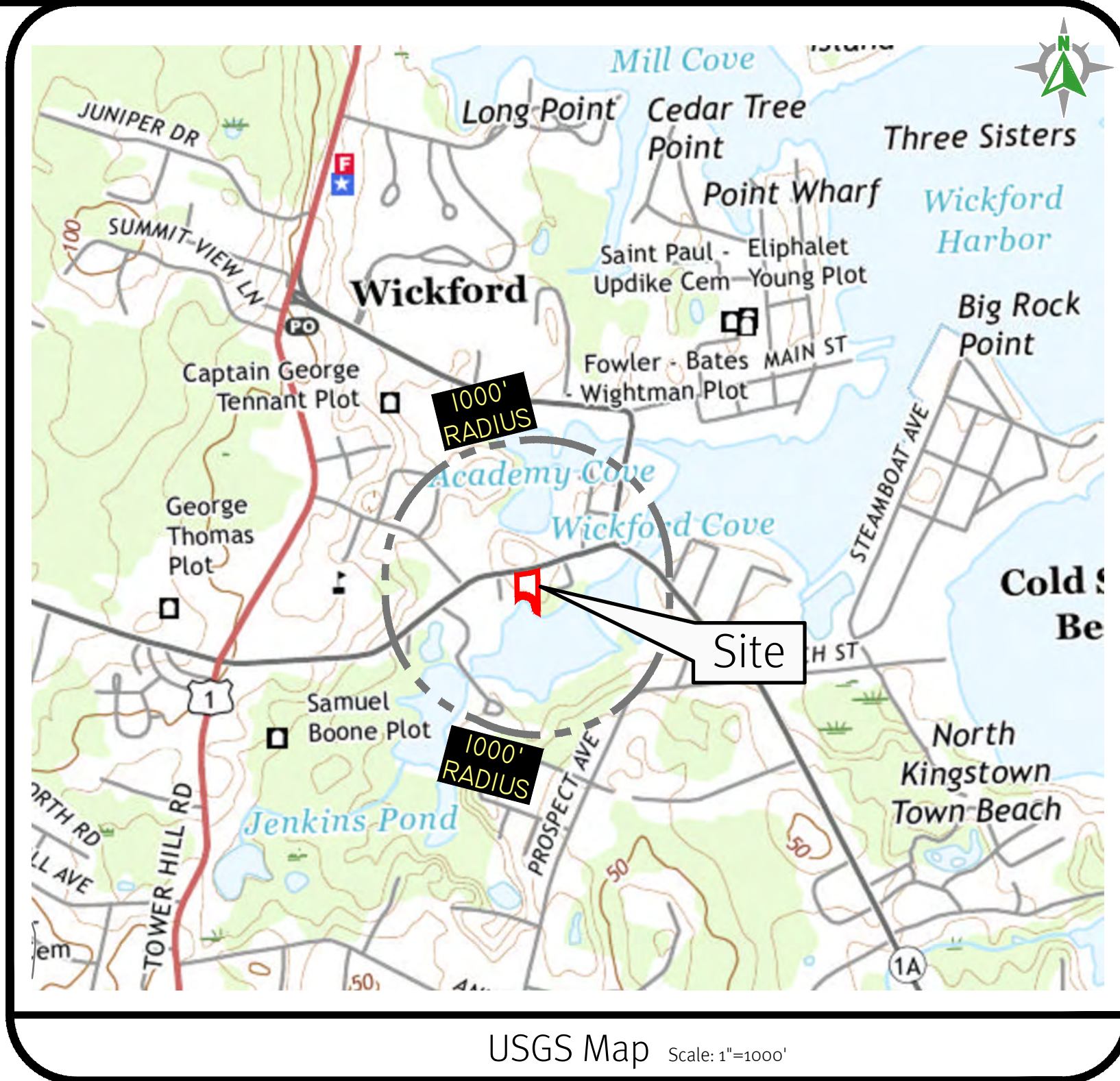
- 1 Cover Sheet
- 2 Aerial Half Mile Radius
- 3 General Notes & Legend
- 4 Existing Conditions Plan
- 5 Soil Erosion & Sediment Control Plan
- 6 Site Layout Plan
- 7 Grading, Drainage and Utilities
- 8 Detail Sheet

Z:\DEVELOPMENT\PROJECTS\0412-003 NORTH KINGSTOWN SCHOOL SURVEYS\AUTOCAD DRAWINGS\0412-003-CVAR-THEATRE.DWG PLOTTER: 10/2/2024



PHOTO OBTAINED FROM NEARMAP.
DATE OF PHOTOGRAPHY 03-27-2021.

Scale: 1"=300'
0 150' 300' 600'



DiPrete Engineering

Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-664-6006 www.diprete-eng.com

Boston • Providence • Newport

MOLLY R. TITUS

No.

REGISTERED PROFESSIONAL ENGINEER CIVIL

OWNER:
ALBERT SCARABELLO
OLDE THEATRE LLC
50 WHITTIER ROAD
NORTH KINGSTOWN, RI 02881

ZONING DISTRICT:
WICKFORD VILLAGE CENTER (WVC)

AREAS:
AP 92 LOT 40-10 16,736 SF (0.338 AC)
AP 92 LOT 41-10 18,589 SF (0.427 AC)

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED, ISSUED FOR CONSTRUCTION AND STAMPED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.

DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, MATERIALS, AND EQUIPMENT USED IN THE CONSTRUCTION OF THE PROJECT. ONLY DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR CONFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND FOR ANY UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE LOCATIONS INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES.

NO.	DATE	DESCRIPTION	DESIGN BY: J.A.R.
1	10-03-2024	CRC, ASSENT SUBMISSION	
2	10-03-2024	CRK, ASSENT SUBMISSION	

AERIAL HALF MILE RADIUS

OLDE THEATRE CONDOMINIUMS ON WICKFORD COVE

ASSESSOR'S PLAT 92 LOTS 40 & 41
NORTH KINGSTOWN, RHODE ISLAND

APPLICANT:
WICKFORD OLDE THEATRE LLC
2 CHARLES STREET, BLDG C3-1
PROVIDENCE, RHODE ISLAND 02904

DE JOB NO. 0412-003 COPYRIGHT 2024 BY DIPRETE ENGINEERING ASSOCIATES, INC.

SHEET **2** OF 8

Z:\BID\PROJECTS\1042-003 NORTH KINGSTOWN SCHOOL SURVEY\AUTOCAD DRAWINGS\1042-003-CVAR-THEATRE.DWG PLOTTER: 10/3/2024

GENERAL NOTES:

1. THE SITE IS LOCATED ON THE TOWN OF NORTH KINGSTOWN ASSESSOR'S PLAT 92 LOT 40 & 41.
2. THE SITE IS APPROXIMATELY 0.765 ACRES AND IS ZONED WVC (WICKFORD VILLAGE CENTER).
3. THE OWNER OF AP 92 LOT 40 IS: ALBERT SCARTABELLO, JR
50 WHITTIER RD
JAMESTOWN, RI 02835
- THE OWNER OF AP 92 LOT 41 IS: OLDE THEATER LLC
50 WHITTIER RD
JAMESTOWN, RI 02835

4. THIS SITE IS LOCATED IN FEMA FLOOD ZONES AE (EL. 13') AND X. REFERENCE FEMA FLOOD INSURANCE RATE MAP 44090C004L, MAP REVISED OCTOBER 16, 2013. (FLOOD PLAIN DESCRIPTIONS SHOWN BELOW)
- ZONE AE - THIS SITE IS LOCATED IN FEMA FLOOD ZONE AE. ZONE AE ARE SPECIAL FLOOD HAZARD AREAS INUNNATED BY 100-YEAR FLOOD. BASE FLOOD ELEVATIONS HAVE BEEN DETERMINED.
 - ZONE X (SHADED) - THIS SITE IS LOCATED IN FEMA FLOOD ZONE X, WHICH ARE AREAS OF 0.2% ANNUAL CHANCE OF FLOOD. AREAS OF 1% ANNUAL CHANCE OF FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

5. THE BOUNDARY LINE AS SHOWN ON THIS PLAN DEPICTS A CLASS I SURVEY AS PERFORMED BY DIPRETE ENGINEERING ASSOCIATES, INC. THE PLAN ITSELF CONFORMS ONLY TO A CLASS III STANDARD AS ADOPTED BY RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS. THIS PLAN IS NOT TO BE CONSTRUED AS A CLASS I BOUNDARY PLAN AND IS NOT SUITABLE FOR RECORDING AS A CLASS I STANDARD.
6. CONTOUR DATA SHOWN ON THIS PLAN CONFORMS TO A T-2 TOPOGRAPHICAL SURVEY STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS. FIELD SURVEY BY DIPRETE ENGINEERING ON FEBRUARY 1, 2012.

7. ALL WORK PERFORMED HEREIN IS TO BE COVERED BY CURRENT EDITIONS OF THE RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, TOWN OF NORTH KINGSTOWN STANDARD SPECIFICATIONS AND DETAIL, AND SPECIFICATIONS INCLUDED AS PART OF THE DRAWINGS. IN AREAS OF CONFLICT BETWEEN THE DIFFERENT SPECIFICATIONS, THE DESIGN PLANS AND PROJECT SPECIFICATIONS WILL TAKE PRECEDENCE OVER THE GENERAL SPECIFICATIONS AND THE CEOR WILL INTERPRET THE CONSTRUCTION REQUIREMENT. THE CONTRACTOR IS ADVISED TO SUBMIT A REQUEST FOR INFORMATION (RFI) FOR ANY AREAS OF CONFLICT BEFORE COMMITTING TO CONSTRUCTION.
8. THE SITE IS WITHIN A:
- NATIONAL REGISTER HISTORIC DISTRICT
CRMC SHORELINE CHANGE (BEACH) SPECIAL AREA MANAGEMENT PLAN

- *THE SITE IS NOT WITHIN ANY LOCAL WICKFORD HISTORIC DISTRICT
9. THE SITE IS LOCATED WITHIN THE FRESHWATER WETLAND BUFFER RIVER PROTECTION REGION 2 PER THE FRESHWATER WETLANDS BUFFER REGIONS MAPS (250-RICR-150-15-3.24).
10. THE FOLLOWING DOCUMENTS ARE CONSIDERED PART OF THE PROJECT PLANS AND THE CONTRACTOR/OWNER MUST MAINTAIN THESE DOCUMENTS AS PART OF A FULL PLAN SET:
- SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC). THE SESC CONTAINS THE FOLLOWING:
 - EROSION CONTROL MEASURES
 - SHORT TERM MAINTENANCE
 - ESTABLISHMENT OF VEGETATIVE COVER
 - CONSTRUCTION POLLUTION PREVENTION
 - SEQUENCE OF CONSTRUCTION
 - STORMWATER OPERATION AND MAINTENANCE PLAN (OSM). THE OSM CONTAINS:
 - LONG TERM MAINTENANCE
 - LONG TERM POLLUTION PREVENTION

11. THIS PLAN SET REFERENCES RIDOT STANDARD DETAILS (DESIGNATED AS RIDOT STD X.X.X). RIDOT STANDARD DETAILS ARE AVAILABLE FROM RIDOT AND ONLINE AT: HTTP://WWW.DOT.RI.GOV/BUSINESS/CONTRACTORSANDCONSULTANTS.PHP.
12. THE SITE IS TO BE SERVICED BY PUBLIC WATER AND PUBLIC SEWER.

13. THE DRAINAGE SYSTEM WILL MEET THE TOWN OF NORTH KINGSTOWN SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WITH THE USE OF PERMEABLE PAVEMENT. THE STORMWATER MANAGEMENT SYSTEM MEETS THE RIDEM BEST MANAGEMENT PRACTICES.
14. THE SITE IS PROPOSED TO BE BUILT IN ONE PHASE AND UNITS ARE PROPOSED TO BE ONE AND TWO BEDROOMS.
15. WETLAND LOCATIONS SHOWN BASED ON FIELD SURVEY BY DIPRETE ENGINEERING. WETLAND FLAGS WERE DELINEATED BY NATURAL RESOURCES SERVICES, INC.

16. SOIL EVALUATIONS WERE PERFORMED BY DIPRETE ENGINEERING ON JULY 23, 2021.
17. ANY PROPRIETARY PRODUCTS REFERENCED IN THIS PLAN SET ARE REPRESENTATIVE OF THE MINIMUM DESIGN REQUIREMENTS FOR THE PURPOSE THEY PROPOSE TO SERVE. ALTERNATIVES TO ANY PROPRIETARY PRODUCT MAY BE SUBMITTED TO THE CEOR FOR CONSIDERATION, WHICH MUST BE ACCOMPANIED BY A COMPLETED "SUBSTITUTION REQUEST" CSI FORM 13.1A (APRIL 2022 VERSION MODIFIED BY DIPRETE ENGINEERING 2023). FORM AVAILABLE FROM DIPRETE ENGINEERING. SUBMISSION PACKAGE MUST INCLUDE APPROPRIATE SPECIFICATION SHEETS/DESIGN CALCULATIONS THAT DEMONSTRATE THE ALTERNATIVE(S) MEET THE MINIMUM DESIGN PARAMETERS OF THE PRODUCT SHOWN ON THE PLANS. NO ALTERNATIVES MAY BE USED WITHOUT THE WRITTEN APPROVAL OF THE CEOR.

18. THIS PLAN SET MAY REFERENCE AND/OR INCLUDE REPRODUCTIONS OF PROPRIETARY PRODUCTS/ DETAILS BY OTHERS, AND/OR THEIR ASSOCIATED SPECIFICATIONS, ANY REFERENCED OR REPRODUCED PROPRIETARY PRODUCT OR DETAIL BY OTHERS THAT IS SHOWN ON CEOR PLANS IS STRICTLY FOR INFORMATION/SPECIFICATION PURPOSES ONLY. DIPRETE ENGINEERING DOES NOT WARRANT ANY PROPRIETARY PRODUCTS, DETAILS BY OTHERS OR THEIR RESPECTIVE DESIGNS. IF A DIPRETE ENGINEERING PLAN INCLUDES A PROPRIETARY PRODUCT DETAIL BY OTHERS (EITHER EXPLICITLY OR IMPLIED) AND IS STAMPED BY A REGISTERED PROFESSIONAL ENGINEER AND/OR REGISTERED LANDSCAPE ARCHITECT OF DIPRETE ENGINEERING, SAID STAMP DOES NOT EXTEND TO ANY PORTION OF THE PROPRIETARY PRODUCT/DETAIL BY OTHERS OR ITS DESIGN.

19. THE DRAINAGE SYSTEM WILL MEET THE TOWN OF NORTH KINGSTOWN SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WITH THE USE OF PERMEABLE PAVEMENT. THE STORMWATER MANAGEMENT SYSTEM MEETS THE RIDEM BEST MANAGEMENT PRACTICES.
20. THE SITE IS PROPOSED TO BE BUILT IN ONE PHASE AND UNITS ARE PROPOSED TO BE ONE AND TWO BEDROOMS.
21. WETLAND LOCATIONS SHOWN BASED ON FIELD SURVEY BY DIPRETE ENGINEERING. WETLAND FLAGS WERE DELINEATED BY NATURAL RESOURCES SERVICES, INC.
22. SOIL EVALUATIONS WERE PERFORMED BY DIPRETE ENGINEERING ON JULY 23, 2021.
23. ANY PROPRIETARY PRODUCTS REFERENCED IN THIS PLAN SET ARE REPRESENTATIVE OF THE MINIMUM DESIGN REQUIREMENTS FOR THE PURPOSE THEY PROPOSE TO SERVE. ALTERNATIVES TO ANY PROPRIETARY PRODUCT MAY BE SUBMITTED TO THE CEOR FOR CONSIDERATION, WHICH MUST BE ACCOMPANIED BY A COMPLETED "SUBSTITUTION REQUEST" CSI FORM 13.1A (APRIL 2022 VERSION MODIFIED BY DIPRETE ENGINEERING 2023). FORM AVAILABLE FROM DIPRETE ENGINEERING. SUBMISSION PACKAGE MUST INCLUDE APPROPRIATE SPECIFICATION SHEETS/DESIGN CALCULATIONS THAT DEMONSTRATE THE ALTERNATIVE(S) MEET THE MINIMUM DESIGN PARAMETERS OF THE PRODUCT SHOWN ON THE PLANS. NO ALTERNATIVES MAY BE USED WITHOUT THE WRITTEN APPROVAL OF THE CEOR.

24. THIS PLAN SET MAY REFERENCE AND/OR INCLUDE REPRODUCTIONS OF PROPRIETARY PRODUCTS/ DETAILS BY OTHERS, AND/OR THEIR ASSOCIATED SPECIFICATIONS, ANY REFERENCED OR REPRODUCED PROPRIETARY PRODUCT OR DETAIL BY OTHERS THAT IS SHOWN ON CEOR PLANS IS STRICTLY FOR INFORMATION/SPECIFICATION PURPOSES ONLY. DIPRETE ENGINEERING DOES NOT WARRANT ANY PROPRIETARY PRODUCTS, DETAILS BY OTHERS OR THEIR RESPECTIVE DESIGNS. IF A DIPRETE ENGINEERING PLAN INCLUDES A PROPRIETARY PRODUCT DETAIL BY OTHERS (EITHER EXPLICITLY OR IMPLIED) AND IS STAMPED BY A REGISTERED PROFESSIONAL ENGINEER AND/OR REGISTERED LANDSCAPE ARCHITECT OF DIPRETE ENGINEERING, SAID STAMP DOES NOT EXTEND TO ANY PORTION OF THE PROPRIETARY PRODUCT/DETAIL BY OTHERS OR ITS DESIGN.

SOIL INFORMATION:

(REFERENCE: SOIL MAPPING OBTAINED FROM RIGIS. SOIL GEOGRAPHIC DATA DEVELOPED BY THE RHODE ISLAND SOIL SURVEY PROGRAM IN PARTNERSHIP WITH THE NATIONAL COOPERATIVE SOIL SURVEY)

Soil Name	Description
Mk	MATUNUCK MUCKY PEAT
MMA*	MERRIMAC SANDY LOAM, 0 TO 3 PERCENT SLOPES
NOTE:	*PRIME FARMLAND *FARMLAND OF STATEWIDE IMPORTANCE

SOIL EROSION AND SEDIMENT CONTROL NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL EROSION AND SEDIMENT CONTROL ON SITE WHICH MUST BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE APPLICABLE REGULATIONS AND AUTHORITY HAVING JURISDICTION. THE CONTRACTOR MUST NOTIFY THE CEOR, THE DIRECTOR OF PUBLIC WORKS, THE TOWN ENGINEER, AND RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
2. ALL EROSION CONTROL MUST BE INSTALLED PER THE LATEST EDITION OF THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL (RISSCO) HANDBOOK AND THE SOIL EROSION AND SEDIMENT CONTROL PLANS. THE SEASONAL EROSION AND SEDIMENT CONTROL SHOWN ON THESE PLANS ARE THE MINIMUM QUANTITY/TYPE OF EROSION CONTROL DEVICES AND MATERIALS DEMAND REQUIRED BY THE CEOR TO MEET THE OBJECTIVES OF THE RISSCO HANDBOOK, BUT IS CONSIDERED A GUIDE ONLY. ADDITIONAL MEASURES/ALTERNATE CONFIGURATIONS MAY BE REQUIRED IN ORDER TO MEET THE RISSCO HANDBOOK BASED ON FACTORS INCLUDING (BUT NOT LIMITED TO) SITE PARAMETERS, WEATHER, INSPECTIONS AND UNIQUE FEATURES. THE SESC WILL CONTINUE TO EVOLVE THROUGHOUT CONSTRUCTION/PHASES. PURSUANT TO NOTE I ABOVE, SESC REMAINS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE SITE IS FULLY STABILIZED AND/OR SESC RESPONSIBILITIES ARE ASSUMED BY THE OWNER IN WRITING.
3. FOR SEQUENCE OF CONSTRUCTION, PROJECT PHASING AND CONSTRUCTION PHASING SEE SESC PLAN.
4. CONTRACTOR MAY MODIFY SEQUENCE OF CONSTRUCTION WITH APPROVAL FROM THE CEOR AND OWNER.
5. IF CONCRETE TRUCKS ARE WASHED OUT ON SITE, ALL WASHOUT MUST BE PERFORMED IN THE DESIGNATED CONCRETE WASHOUT AREA.

SOIL EROSION AND SEDIMENT CONTROL PHASING NOTES:

1. OVERALL SITE CONSTRUCTION PHASING TO BE BASED PER POND CLOSING/SEDIMENT TRAP/BASIN CONTRIBUTING CATCHMENT, UNLESS OTHERWISE APPROVED IN WRITING BY THE CEOR.
2. SEDIMENT EROSION CONTROL PHASING MUST MINIMIZE DISTURBANCE TO THE MAXIMUM EXTENT PRACTICABLE.
3. ANY AREAS THAT ARE CLEARED AND GRUBBED THAT ARE EITHER A) NOT TRIBUTARY TO A SEDIMENT TRAP OR BASIN, OR B) ARE NOT INTENDED FOR IMMEDIATE DEMOLITION/ EARTHWORKING, MUST BE STABILIZED IMMEDIATELY INCLUDING (BUT NOT LIMITED TO) SLOPE INTERRUPTORS, HYDRON BONDED FIBRE MATRIX (BFM), EROSION CONTROL MULCH (ECM), OR FLEXIBLE GROWTH MEDIUM (FGM) BEST SUITED TO THE INSITU SOIL PARAMETERS AS ASSESSED BY THE GEOTECHNICAL ENGINEER.

DEMOLITION NOTES:

1. CONTRACTOR MUST NOTIFY "DIG SAFE" AT 811 (OR 1-888-344-7233) A MINIMUM OF 72 HOURS BEFORE EXCAVATING.
2. CONTRACTOR MUST OBTAIN ALL FEDERAL, STATE, AND MUNICIPAL APPROVALS PRIOR TO THE START OF CONSTRUCTION.
3. CONTRACTOR MUST OBTAIN EXCAVATION PERMIT FROM THE NORTH KINGSTOWN ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTING THE CONNECTION TO THE EXISTING STREET.
4. CONTRACTOR MUST PERFORM DAILY SWEEPING AT CONSTRUCTION ENTRANCES DURING DEMOLITION AND CONSTRUCTION TO MINIMIZE SEDIMENTS ON EXTERNAL STREETS.
5. ANY EXISTING BUILDING(S) AND PROPERTY PROPOSED TO REMAIN THAT ARE DAMAGED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
6. CONTRACTOR IS RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (RSD) ALL MATERIALS INDICATED ON THE PLANS UNLESS SPECIFIED OTHERWISE HEREIN. RSD MATERIALS INCLUDE BUT ARE NOT LIMITED TO PAVEMENT, GRAVEL, CATCH BASINS, MANHOLES, GRATES/FRAMES/COVERS, AND ANY EXCESS SOIL THAT IS NOT INCORPORATED INTO THE WORK.
7. IN ADDITION TO THOSE AREAS SPECIFICALLY DESIGNATED ON THE PLANS, ALL DISTURBED AREAS INCLUDING THE CONTRACTOR'S STOCKPILE AND STAGING AREAS WITHIN THE LIMIT OF WORK MUST BE RESTORED TO MATCH THE DESIGN PLANS.
8. CONTRACTOR MUST DOCUMENT LOCATION OF ALL SUBSURFACE UTILITIES REMAINING IN PLACE AFTER DEMOLITION (ACTIVE AND INACTIVE/ABANDONED). LOCATION MUST BE DOCUMENTED BY FIELD SURVEY OR SWING TIES. COPIES OF LOCATION DOCUMENTATION MUST BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF DEMOLITION AND PRIOR TO START OF NEW CONSTRUCTION. A MARKER MUST BE INSTALLED TO FINISH GRAOUND AT ALL INSTALLED CAPS/PLUGS. THE MARKER CAN BE A POST IN CONSTRUCTION AREAS OR PAINTED ON A PERMANENT SURFACE.
9. ACTIVE UTILITY LINES AND STRUCTURES NOT SPECIFICALLY NOTED ON PLANS, BUT WHICH ARE ENCOUNTERED TO BE IN CONFLICT WITH THE PROPOSED WORK, MUST BE EXTENDED, PROTECTED, OR REWORKED BY THE CONTRACTOR AS DIRECTED OR REQUIRED BY THE UTILITY ENTITY OR OWNER UNLESS OTHERWISE NOTED.
10. CONTRACTOR MUST COORDINATE THE CUTTING AND CAPPING OF ALL UTILITIES WITH THE OWNER, THE MUNICIPAL, AND ALL APPLICABLE UTILITY ENTITY JURISDICTION.
11. INACTIVE SUBSURFACE UTILITIES NOT IN CONFLICT WITH THE PROPOSED WORK AREA MAY BE ABANDONED IN PLACE WITH WRITTEN PERMISSION FROM THE OWNER.

TRAFFIC NOTES:

1. ALL TRAFFIC CONTROL MUST CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) CURRENT EDITION.
2. DURING CONSTRUCTION, TRAFFIC CONES MUST BE USED FOR SEPARATION OF ACTIVE TRAFFIC FROM WORK ZONE PER MUTCD REQUIREMENTS.
3. DURING CONSTRUCTION FLAGGERS MUST BE EMPLOYED TO ENSURE SAFETY FOR INTERACTION OF CONSTRUCTION VEHICLES AND ACTIVE TRAFFIC.
4. ALL SIGNS, FLAGGERS, TRAFFIC CONTROL DEVICES, AND TEMPORARY TRAFFIC ZONE ACTIVITIES MUST MEET THE REQUIREMENTS OF THE MUTCD LATEST EDITION AND SUBSEQUENT ADDENDA.
5. TEMPORARY CONSTRUCTION SIGNS MUST BE MOUNTED ON RIDOT APPROVED SUPPORTS AND MUST BE REMOVED OR COVERED WHEN NOT APPLICABLE.

AS-BUILT NOTES:

ALL COMPONENTS OF THE DRAINAGE, SEWER, AND WATER SYSTEMS MUST BE FIELD LOCATED PRIOR TO COVERING. NOTIFY SURVEYOR A MINIMUM OF SEVENTY-TWO (72) HOURS IN ADVANCE OF NEED FOR FIELD LOCATION OF IMPROVEMENTS. SURVEYOR MUST PROVIDE OWNER AND CONTRACTOR WITH WRITTEN NOTICE OF COMPLETION OF FIELD WORK PRIOR TO CONTRACTOR COVERING IMPROVEMENTS. OWNER/DIPRETE ENGINEERING WILL NOT ACCEPT FIELD MEASUREMENTS FROM THE SITE CONTRACTOR.

RIDOT NOTES:

1. ALL WORK TO BE DONE WITHIN THE STATE RIGHT OF WAY MUST CONFORM TO RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AMENDED MARCH 2018 WITH ALL REVISIONS AND ADDENDA. STANDARD DETAILS FOR THIS WORK ARE RHODE ISLAND STANDARD DETAILS DATED JUNE 2, 2018 WITH ALL REVISIONS.
2. CONTRACTOR MUST OBTAIN A UTILITY CONNECTION PERMIT FOR WORK WITHIN THE STATE RIGHT-OF-WAY (ROW) PRIOR TO CONSTRUCTION. THE PHYSICAL ALTERATION PERMIT (PAP) IS NOT A SUBSTITUTE FOR THE UTILITY PERMIT AND THE PAP DOES NOT CONSTITUTE AN APPROVAL OF ANY UTILITY WORK.
3. ALL TRAFFIC CONTROL MUST CONFORM TO THE MUTCD, LATEST EDITION, WITH ALL REVISIONS.
4. NO LANE OR SHOULDER CLOSURES ARE ALLOWED TO BE PERFORMED WITHIN THE STATE ROW DURING PEAK TRAFFIC HOURS.
5. SEWER AND WATER CONNECTIONS WITHIN THE STATE ROW WILL REQUIRE A SEPARATE RIDOT UTILITY PERMIT, WHICH CONTRACTOR MUST OBTAIN BEFORE CONSTRUCTION.
6. THE DRAINAGE SYSTEM IS DESIGNED TO DECREASE BOTH STORMWATER RUNOFF RATE, AND STORMWATER RUNOFF VOLUME TO THE STATE ROW FROM THE PROJECT SITE TO THE POST-DEVELOPMENT. THERE SHALL BE NO INCREASE IN RUNOFF TO THE STATE ROW FROM THE PROPOSED DEVELOPMENT.
7. WORK WITHIN THE STATE'S ROW WILL CONFORM TO PROPOSED PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG). WORK ONSITE WILL CONFORM TO AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG) UNLESS THE WORK IS ON STATE OWNED LAND.
8. AS-BUILTS ARE REQUIRED FOR ALL DRAINAGE CONNECTIONS WITHIN THE STATE ROW. AS-BUILTS MUST BE PROVIDED TO THE RIDOT STORMWATER OFFICE AND INCLUDE INVERTS, MATERIALS, AND PIPE SIZES.

LAYOUT AND MATERIALS:

1. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
2. CURBING MUST BE AS LABELED ON THE PLANS.
3. SIDEWALK MUST BE CONCRETE OR AS LABELED ON THE PLANS.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MEET ALL SIGNAGE AND PAVEMENT MARKING REQUIREMENTS OF THE MUTCD AND AUTHORITIES HAVING JURISDICTION, REGARDLESS OF ITEMS SHOWN (OR NOT SHOWN) ON THIS PLAN SET. THIS INCLUDES (BUT MAY NOT BE LIMITED TO) SIGN TYPE, NUMBER OF SIGNS, POLE/MOUNTING TYPE, PAVEMENT MARKING LOCATIONS/TYPE/WIDTH, MATERIALS, INSTALLATION METHODS, AND ANY ADDITIONAL SIGNS AND/OR MARKINGS THAT MAY BE REQUIRED. THE CONTRACTOR OR MUST NOTIFY THE CEOR OF ANY DISCREPANCIES OR DISCREPANCIES PRIOR TO ORDERING OR INSTALLING SIGNAGE/PAVEMENT MARKINGS.
5. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR MUST REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
6. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS PERTAINING TO THE BUILDINGS, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
7. THE HOUSES SHOWN ARE SCHEMATIC ONLY AND WILL BE DESIGNED PRIOR TO BUILDING PERMIT APPLICATIONS.
8. CONTROL POINTS, PROPOSED BOUNDS, AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION MUST BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
9. CONTRACTOR MUST NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS AND DATA FILES THAT ARE OBTAINED FROM THE CEOR. CONTRACTOR MUST VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE STAMPED PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
10. INFRARED TREATMENT OF PAVEMENT IS REQUIRED AT ALL CURB CUTS, AT ANY DISTURBED PAVEMENT ON ROADWAYS, AND WHERE ANY NEW PAVEMENT MEETS EXISTING PAVEMENT.
11. ALL EXISTING PAVEMENT MARKING REMOVED AS INCIDENTAL DURING CONSTRUCTION MUST BE REPLACED IN-KIND FOLLOWING COMPLETION OF CONSTRUCTION UNLESS OTHERWISE NOTED.
12. NEW PAVEMENT MARKING MUST BE FAST DRYING TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M248 TYPE F. PAINT MUST BE APPLIED AS SPECIFIED BY THE MANUFACTURER. OR PAVEMENT MARKINGS TO BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION



GRADING, DRAINAGE, AND UTILITY NOTES:

1. CONSTRUCTION TO COMMENCE WINTER 2024 OR UPON RECEIPT OF ALL NECESSARY APPROVALS.
2. THE CONTRACTOR MUST COORDINATE WITH ALL OF THE APPROPRIATE UTILITY COMPANIES FOR AGREEMENTS TO SERVICE THE PROPOSED DEVELOPMENT. THIS MUST BE DONE PRIOR TO CONSTRUCTION. NO REPRESENTATIONS ARE MADE BY DIPRETE ENGINEERING THAT UTILITY SERVICE IS AVAILABLE.
3. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING FINISH GRADING AND DRAINAGE AROUND THE BUILDINGS TO ENSURE SURFACE WATER AND/OR GROUNDWATER IS DIRECTED AWAY FROM THE STRUCTURES.
4. PRIOR TO START OF CONSTRUCTION, CONTRACTOR MUST VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES. CONTRACTOR MUST NOTIFY THE CEOR OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
5. ALL PROPOSED UNDERGROUND UTILITIES SERVING THE SITE AND BUILDINGS MUST BE COORDINATED WITH OWNER, ARCHITECT, AND ENGINEER PRIOR TO INSTALLATION.
6. ALL RETAINING WALLS AND STEEP SLOPES ARE SUBJECT TO FINAL STRUCTURAL DESIGN. DIPRETE ENGINEERING IS NOT PROVIDING THE STRUCTURAL DESIGN OF THESE ITEMS. ALL WALLS AND STEEP SLOPES MUST BE DESIGNED AND BUILT UNDER THE DIRECTION OF A RHODE ISLAND LICENSED PROFESSIONAL ENGINEER SUITABLY QUALIFIED IN GEOTECHNICAL ENGINEERING AND CERTIFIED TO THE OWNER PRIOR TO THE COMPLETION OF THE PROJECT. SHOP DRAWINGS MUST BE SUBMITTED PRIOR TO CONSTRUCTION. FINAL STRUCTURAL DESIGN MUST INCORPORATE THE INTENT OF THE GRADING SHOWN ON THESE PLANS AND ALL WORK MUST BE WITHIN THE LIMIT OF DISTURBANCE SHOWN ON THE PLANS.
7. ALL CUT AND FILL WORK MUST BE DONE UNDER THE DIRECTION OF A PROFESSIONAL GEOTECHNICAL ENGINEER, WITH TESTING AND CERTIFICATION PROVIDED TO THE OWNER AT THE COMPLETION OF THE PROJECT. DIPRETE ENGINEERING IS NOT PROVIDING THE FILL SPECIFICATION, GEOTECHNICAL ENGINEERING, STRUCTURAL ENGINEERING SERVICES, OR SUPERVISION AS PART OF THESE DRAWINGS.
8. MATERIAL STOCKPILES MUST NOT BE LOCATED IN THE RIGHT-OF-WAY, AND TRENCHES MUST NOT BE LEFT OPEN OVERNIGHT.
9. ALL LOAM IN DISTURBED AREAS MUST BE STOCKPILED FOR FUTURE USE. ALL STOCKPILED LOAM MUST BE REUSED ONSITE.
10. ALL EXCESS SOIL, TREES, ROCKS, Boulders, AND OTHER REFUSE, MUST BE DISCARDED OFF SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS. STUMPS MUST BE GROUND ON SITE OR REMOVED.
11. THE SITE WILL HAVE 6" CONCRETE CURBING. SITE GRADING/CONTOURS SHOWN ON THE PLANS DO NOT NECESSARILY REFLECT THE APPROPRIATE BERM/CURBING REVEAL. CONTRACTOR MUST INSTALL CURBING WITH APPROPRIATE REVEAL UNLESS OTHERWISE NOTED.
12. NO STUMP DUMPS ARE ALLOWED ON SITE.
13. ALL DRAINAGE OUTFALLS ARE DESIGNED TO BE INSTALLED AT EXISTING GROUND ELEVATION. CONTRACTOR MUST IMMEDIATELY NOTIFY THE CEOR OF ANY DISCREPANCIES WHERE EXISTING GROUND IS HIGHER THAN OUTFALL DESIGN ELEVATION. ANY RESOLUTION OF DISCREPANCIES BY THE CONTRACTOR, UNLESS AUTHORIZED IN WRITING IN ADVANCE BY THE OWNER AND THE CEOR, IS DONE AT THE CONTRACTOR'S RISK.
14. CONTRACTOR MUST PROVIDE SUE CUTTING AND FULL DEPTH PAVEMENT RESTORATION IN AREAS WHERE PAVEMENT AND/OR SIDEWALK IS REMOVED FOR UTILITY INSTALLATION.
15. ALL RESIDENTIAL BUILDING SLABS (BASEMENT AND/OR SLAB ON GRADE), REGARDLESS OF FINISH FLOOR ELEVATIONS SHOWN ON PLANS, MUST HAVE A MINIMUM OF 12" OF SEPARATION TO THE SEASONAL HIGH GROUNDWATER TABLE.
16. CONTRACTOR MUST HOLD/SUPPORT/RESTORE ALL EXISTING UTILITY COMPONENTS INCLUDING (BUT NOT LIMITED TO) POLES, STAFF ARMS AND ABOVEGROUND OBJECTS AS NECESSARY DURING THE PROPOSED WORKS AND ACCESS COVERS. CONTRACTOR MUST COORDINATE SAID WORKS WITH ALL ASSOCIATED UTILITY OWNERS ACCORDINGLY. ANY EXISTING ITEMS DAMAGED OR REMOVED AS INCIDENTAL DURING UTILITY CONNECTION/ELECTRICAL INSTALLATION INCLUDING (BUT NOT LIMITED TO) CURB IN THE ROW MUST BE REPLACED IN KIND FOLLOWING COMPLETION OF WORKS.

DRAINAGE

DRAINAGE CONNECTIONS FROM ALL YARD DRAINS (YD), AREA DRAINS (AD), TRENCH DRAINS (TD), FRENCH DRAINS (FD), WALL DRAINS (WD), ROOF DRAINS (RD) AND DOWNSPOUTS (DS) ARE SHOWN FOR SCHEMATIC PURPOSES ONLY. THE LEVEL OF DETAIL SHOWN DOES NOT INCLUDE ALL JOINTS THAT MAY BE REQUIRED FOR CONSTRUCTION. ALL FITTINGS AND PIPE SLOPES THAT THE INTO MAIN TRUNK LINE MUST BE FIELD FIT BY CONTRACTOR.

SANITARY SEWER

ALL SANITARY SEWER PIPING MUST BE SDR35 UNLESS NOTED OTHERWISE ON THE PLANS OR IN THE SPECIFICATIONS. ALL SEWER IMPROVEMENTS MUST COMPLY WITH THE NORTH KINGSTOWN WASTEWATER DEPARTMENT RULES AND REGULATIONS AND ANY APPLICABLE AUTHORITY HAVING JURISDICTION, INCLUDING (BUT NOT LIMITED TO) MATERIALS, DIMENSIONS AND ACCESS COVERS. CONTRACTOR MUST SUBMIT SHOP DRAWINGS FOR APPROVAL BY ENGINEER OF RECORD PRIOR TO CONSTRUCTION. ALL FITTINGS, STRUCTURE SEALS AND CONNECTIONS MUST BE WATERTIGHT.

WATER

ALL WATER MAINS MUST BE CEMENT LINER DUCTILE IRON PIPE (CLDIP). ALL WATER MAIN IMPROVEMENTS MUST COMPLY WITH NORTH KINGSTOWN WATER DEPARTMENT REGULATIONS AND ANY APPLICABLE AUTHORITY HAVING JURISDICTION, INCLUDING (BUT NOT LIMITED TO) MATERIALS, DIMENSIONS AND ACCESS COVERS. CONTRACTOR TO PROVIDE SHOP DRAWINGS AND SUBMITTALS TO THE ENGINEER OF RECORD FOR APPROVAL FOR ALL WATER IMPROVEMENTS AND APPURTENANCES INCLUDING (BUT NOT LIMITED TO) PIPES, VALVES, FITTINGS, HEAT ENCLOSURES, AND BACKFLOW PREVENTERS. ALL COMPONENTS OF THE WATER SYSTEM MUST BE ABSULT PER NORTH KINGSTOWN WATER DEPARTMENT REQUIREMENTS. THE WATER SYSTEM MUST BE INSPECTED BY NORTH KINGSTOWN WATER DEPARTMENT. CONTRACTOR MUST COORDINATE ALL IMPROVEMENTS WITH NORTH KINGSTOWN WATER DEPARTMENT TO ENSURE INSPECTOR IS ON SITE.

IN THE CASE OF ANY NEW HYDRANT INSTALLED IN OR NEXT TO AN EXISTING SIDEWALK, THE CONTRACTOR MUST INCREASE THE WIDTH OF THE SIDEWALK, AS NECESSARY, TO MAINTAIN A MINIMUM OF 3'-0" CLEAR WIDTH FROM THE OUTERMOST COMPONENTS OF THE HYDRANT TO THE EDGE OF THE SIDEWALK. THE 3'-0" SIDEWALK WIDTH IS REQUIRED ONLY ON ONE SIDE OF THE HYDRANT TO PROVIDE A CLEAR PATH ON THE SIDEWALK.

ELECTRIC/TELECOM/GAS

PROPOSED GAS, ELECTRIC, CABLE AND DATA UTILITIES ARE SHOWN SCHEMATICALLY AND ARE PROPOSED TO BE UNDERGROUND. OWNER AND CONTRACTOR MUST COORDINATE FINAL DESIGN WITH APPROPRIATE UTILITY COMPANIES. ALL WORK MUST BE IN ACCORDANCE WITH EACH UTILITY COMPANY'S STANDARDS AND DETAILS AS WELL AS LOCAL AND FEDERAL REGULATIONS. THIS INCLUDES BUT IS NOT LIMITED TO POLES, TRANSFORMERS, PULL BOXES, CONCRETE PADS, CONCRETE ENCASEMENTS AND CONDUITS. CONNECTING POINTS FOR ELECTRIC AND TELECOM UTILITIES, AT THE EXISTING INFRASTRUCTURE, ARE CURRENTLY SHOWN AS UNDERGROUND UTILITIES. THESE UTILITIES MAY BE UNDERGROUND OR OVERHEAD AND MUST BE COORDINATED WITH RI ENERGY PRIOR TO CONSTRUCTION.

SITE LIGHTING

SITE LIGHTING (TEMPORARY AND PERMANENT) MUST BE DIRECTED AWAY FROM AND SHIELDED FROM ENVIRONMENTALLY SENSITIVE AREAS AND ABUTTING LANDS. EXACT LOCATIONS OF LIGHT POLES MUST BE COORDINATED WITH THE APPROPRIATE UTILITIES, AND MUST BE LOCATED WITHIN THE STREET RIGHT-OF-WAY. FINAL LIGHTING AND CONDUIT LOCATIONS BY OTHERS.

AMERICANS WITH DISABILITIES ACT (ADA) NOTES:

1. ALL IMPROVEMENTS MUST COMPLY WITH THE "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES" (ADAAG) BY THE US DEPARTMENT OF JUSTICE (CURRENT EDITION).
2. MAXIMUM RUNNING SLOPE ALONG ALL ACCESSIBLE PATHS OF TRAVEL MUST BE 4.5% (0.045 FT/FT), AND MAXIMUM CROSS SLOPE ACROSS ALL ACCESSIBLE PATHS OF TRAVEL MUST BE 1.5% (0.015 FT/FT).
3. ADA PARKING SPACES AND LOADING AREAS: THE STEEPEST SLOPE OF THE SPACE, MEASURED IN ANY DIRECTION (INCLUDING DIAGONALLY), MUST BE LESS THAN OR EQUAL TO 2% (0.02 FT/FT). THE CEOR GENERALLY RECOMMENDS A MAXIMUM OF 1.4% (0.014 FT/FT) BE USED FOR BOTH RUNNING AND CROSS SLOPES IN ORDER TO COMPLY.
4. A MINIMUM 5'X5' LANDING MUST BE PROVIDED IN FRONT OF ALL PUBLICLY ACCESSIBLE BUILDING ENTRANCES/ EGRESSES. THE STEEPEST SLOPE OF THE LANDING, MEASURED IN ANY DIRECTION (INCLUDING DIAGONAL), MUST BE LESS THAN OR EQUAL TO 2% (0.02 FT/FT). THE CEOR GENERALLY RECOMMENDS A MAXIMUM OF 1.4% (0.014 FT/FT) BE USED FOR BOTH RUNNING AND CROSS SLOPES IN ORDER TO COMPLY.
5. FOR EVERY 6' (OR FRACTION OF 6') ADA PARKING SPACES, AT LEAST ONE MUST BE A VAN PARKING SPACE. FOR EXAMPLE, IF 7 ADA PARKING SPACES ARE REQUIRED, A MINIMUM OF 2 MUST BE VAN SPACES.
6. NOTWITHSTANDING THE NOTES LISTED ABOVE, TOWN OR STATE-SPECIFIC STANDARDS MAY BE MORE STRINGENT AND OVERRULE. IT IS THE RESPONSIBILITY OF THE USER OF THIS PLAN SET TO MAINTAIN COMPLIANCE WITH THE CONTROLLING STANDARD.
7. NOTE THAT THE GRADING/PLAN VIEWS AND DETAILS CONTAINED WITHIN THIS PLAN SET MAY NOT SHOW THE DETAIL NECESSARY TO CONSTRUCT WALKWAYS, RAMPS AND SPACES TO COMPLY WITH THE ABOVE REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE LEVEL OF CARE NECESSARY TO BE CERTAIN THAT THE CONSTRUCTED PRODUCT MEETS ADA/CONTROLLING STANDARDS. IN THE EVENT OF ANY NONCOMPLIANCE, THE CONTRACTOR MUST NOTIFY THE CEOR BEFORE CONSTRUCTION FOR ADVICE IN FINDING A RESOLUTION.

ABBREVIATIONS LEGEND

ADA	AMERICANS WITH DISABILITY ACT	N/F	NOW OR FORMERLY
AHJ	AUTHORITY HAVING JURISDICTION	OHW	OVERHEAD WIRE
AP	ASSESSOR'S PLAT	PE	POLYETHYLENE
ARCH	ARCHITECT	ℙ	PROPERTY LINE
BC	BOTTOM OF CURB	PR	PROPOSED
BT	BOTTOM OF TESTHOLE	PVC	POLYVINYL CHLORIDE
BIT	BITUMINOUS (BERM)	R	RADIUS
BIO	BIORETENTION	RSD	REMOVE AND DISPOSE
BS	BASEMENT SLAB ELEVATION	RCP	REINFORCED CONCRETE PIPE
BW	FINISHED GRADE AT BOTTOM OF WALL	RHB	RHODE ISLAND
CB	CATCH BASIN	RL	ROOF LEADER
(C)	CALCULATED	ROW	RIGHT-OF-WAY
CL	CENTERLINE	S	SLOPE
CHORD	CHORD ANGLE	SD	SUBDRAIN
CEOR	CIVIL ENGINEER OF RECORD. DIPRETE ENGINEERING UNLESS DESIGNATED OTHERWISE BY OWNER	SED	SEDIMENT FOREBAY
CLDIP	CONCRETE LINED DUCTILE IRON PIPE	SF	SQUARE FOOT
CO	CLEAN OUT	SFL	STATE FREEWAY LINE
CONC	CONCRETE	SFM	SEWER FORCE MAIN
(D)	DEED	SG	SLAB ON GRADE ELEVATION
DCB	DOUBLE CATCH BASIN	SHL	STATE HIGHWAY LINE
DI	DROP INLET	SMH	SEWER MANHOLE
DMH	DRAINAGE MANHOLE	SNDF	SAND FILTER
DP	DETENTION POND	SS	SIDE SLOPE
ELEV	ELEVATION	STA	STATION
EOP	EDGE OF PAVEMENT	TC	TOP OF CURB
ESC	EROSION AND SEDIMENT CONTROL	TD	TRENCH DRAIN
EX	EXISTING	TF	TOP OF FOUNDATION
FES	FLARED END SECTION	TRANS	TRANSITION
FFE	FINISH FLOOR ELEVATION	TW	TOP OF WALL (FINISHED GRADE AT TOP OF WALL)
GS	GARAGE SLAB ELEVATION	TP	TYPICAL
GWT	GROUND WATER TABLE	UDS	UNDERGROUND
HW	HEADWALL	UIS	UNDERGROUND
HC	HIGH CAPACITY CATCH BASIN GRATE	UIS	INFILTRATION SYSTEM
HOPE	HIGH DENSITY POLYETHYLENE	UP	UTILITY POLE
ID	INLINE DRAIN	WQ	WALKOUT ELEVATION
INV	INVERT	WQ	WATER QUALITY
IP	INFILTRATION POND		
LARCH	LANDSCAPE ARCHITECT		
LF	LINEAR FEET		
LOD	LIMIT OF DISTURBANCE		
LP	LIGHT POLE		
(M)	MEASURED		
MEP	MECHANICAL/ELECTRICAL/ PLUMBING ENGINEER		

SITE CALLOUTS LEGEND

NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS

7.1.3	RIDOT STD PRECAST CONCRETE WHEELCHAIR RAMP TRANSITION CURB
20.3.0	RIDOT STD PAVEMENT MARKINGS - CROSSWALKS AND STOP LINES
27.1.0	REGULATORY SIGNS
43.1.0	RIDOT STD CEMENT CONCRETE SIDEWALK
43.3.0	RIDOT STD WHEELCHAIR RAMP
43.3.1	RIDOT STD WHEELCHAIR RAMP FOR LIMITED RIGHT-OF-WAY AREAS
43.4.0	RIDOT STD DRIVEWAY DEVELOPMENT FOR 3'-0" TRANSITION CURB
43.4.1	RIDOT STD DRIVEWAY DEVELOPMENT FOR 6'-0" TRANSITION CURB
43.5.0	RIDOT STD CEMENT CONCRETE DRIVEWAYS
48.1.0	RIDOT STD DETECTABLE WARNING SYSTEM
LW4.5	4" WHITE MARKINGS 2' ON CENTER AT 45°
LW	4" WHITE MARKINGS
I2W	STOP LINE (REFERENCE MUTCD SECTION 3B.16)
ADAS	ADA SPACE PAVEMENT MARKINGS MUST COMPLY WITH ALL ADA AND MUTCD REGULATIONS AND REQUIREMENTS.
ADAR	ADA CURB RAMP MUST COMPLY WITH ALL ADA REGULATIONS AND REQUIREMENTS.
ADAV	VAN ADA SPACE PAVEMENT MARKINGS MUST COMPLY WITH ALL ADA AND MUTCD REGULATIONS AND REQUIREMENTS.
CWK	CROSSWALK PAVEMENT MARKINGS. SOLID 2" WHITE LINES SPACED 4' OC (REFERENCE MUTCD SECTION 3B.18)

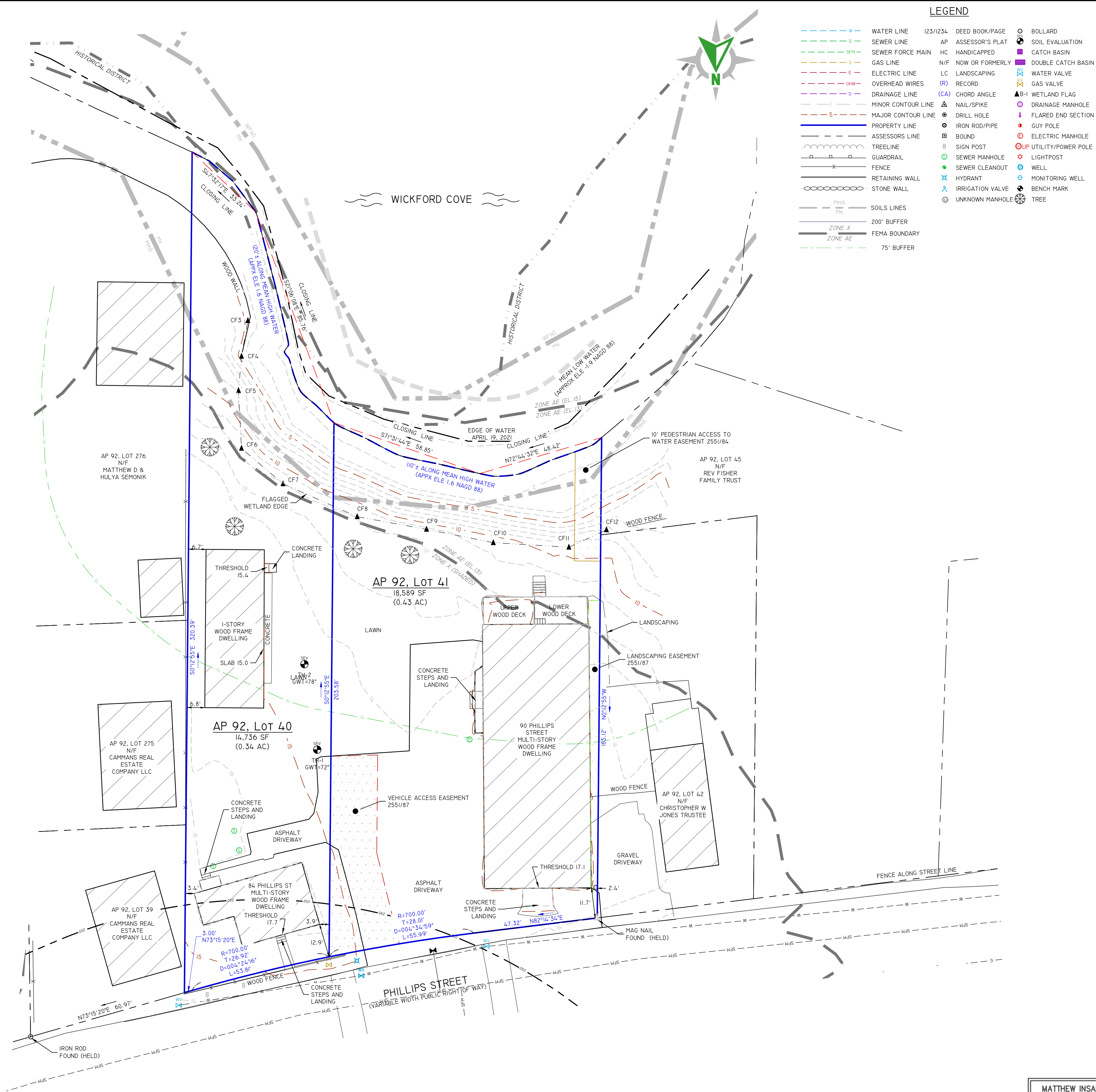
REDEVELOPMENT NOTES:

1. ALL EXISTING MANHOLE COVERS, GRATES, VALVE BOXES, SHUT-OFFS, AND HAND HOLES, TO REMAIN WITHIN THE LIMIT OF WORK MUST BE RESET TO FINISHED GRADE.
2. THE CONTRACTOR MUST PROTECT AND MAINTAIN ALL BUILDINGS TO REMAIN AND ALL ACTIVE UTILITIES THAT SERVICE THE BUILDINGS TO REMAIN. REFER TO ARCHITECTURAL PLANS FOR BUILDING DEMOLITION INFORMATION.
3. ALL UTILITY STRUCTURES INDICATED TO BE ABANDONED MUST BE CUT TO FOUR FEET BELOW FINISH GRADE ELEVATION. INLETS AND OUTLETS PLUGGED WITH MORTAR, AND SEALED WITH CONCRETE, UNLESS OTHERWISE NOTED.
4. WHEN ABANDONING INACTIVE UTILITY PIPES NEAR THE PROPERTY LINE, THE CONTRACTOR MUST CAP OR PLUG IN PLACE IN PLACE. WHEN REMOVING AND DISPOSING OF A PORTION OF EXISTING PIPE, THE CONTRACTOR MUST CAP OR PLUG BOTH ENDS REMAINING IN PLACE.
5. CONTRACTOR MUST DOCUMENT LOCATION OF ALL SUBSURFACE UTILITIES REMAINING IN PLACE AFTER DEMOLITION (ACTIVE AND INACTIVE/ABANDONED). LOCATION CAN BE DOCUMENTED BY FIELD SURVEY OR SWING TIES. COPIES OF LOCATION DOCUMENTATION MUST BE PROVIDED TO THE OWNER, WHERE POSSIBLE.
6. NO GUARANTEE IS MADE THAT THE EXISTING UTILITY SERVICE CONNECTION(S) ARE SUITABLE FOR REUSE. EXISTING UTILITY SERVICE CONNECTIONS WERE NOT FIELD VERIFIED FOR SIZE, MATERIAL, EXACT LOCATION, OR INSPECTED FOR SUITABILITY FOR REUSE. CONTRACTOR MUST EVALUATE THE SIZE, MATERIAL, LOCATION, AND SUITABILITY FOR REUSE, AND IMMEDIATELY PROVIDE WRITTEN DOCUMENTATION OF CONDITIONS TO THE OWNER/DIPRETE ENGINEERING.

EXISTING LEGEND

(AS SHOWN ON PRO

Z:\BIRMINGHAM\PROJECTS\041-14003-NORTH-KINGSTOWN-SUBURBAN-DEVELOPMENT\DRAWINGS\041-14003-NORTH-KINGSTOWN-SUBURBAN-DEVELOPMENT\THEATRE.DWG PLOTTED: 10/17/2024



GENERAL NOTES

- THE PARCELS ARE FOUND ON ASSESSOR'S PLAT 92, LOTS 40 & 41 IN THE TOWN OF NORTH KINGSTOWN WASHINGTON COUNTY, RHODE ISLAND.
- THE OWNER OF LOT 41 PER DEED BOOK 2729, PAGE 28 IS OLDE THEATRE LLC.
- THE OWNER OF LOT 40 PER DEED BOOK 3223, PAGE 223 IS ALBERT C. SCARTABELLO, JR
- THIS SITE IS LOCATED IN FEMA FLOOD ZONE X AND AE (ELV 13). REFERENCE FEMA FLOOD INSURANCE RATE MAP 44090C004J, MAP REVISED OCTOBER 16, 2013. THIS DESIGNATION MAY CHANGE BASED UPON REVIEW BY A FLOOD ZONE SPECIALIST OR BY THE RESULTS OF A COMPREHENSIVE FLOOD STUDY.
- THE PARCEL IS ZONED WICKFORD VILLAGE CENTER BASED ON THE NORTH OF NORTH KINGSTOWN GIS MAP. ANY OVERLAY DISTRICTS, SPECIAL PERMITS OR VARIANCES SPECIFIC TO THIS SITE ARE NOT TAKEN INTO CONSIDERATION. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
- FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING ON MAY 21, 2021. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THAT DATE.
- ELEVATIONS SHOWN HEREON, IN U.S. SURVEY FEET, ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS DETERMINED BY DIPRETE ENGINEERING USING REAL TIME KINEMATIC G.P.S. OBSERVATIONS.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR ANY UNKNOWN OR UNRECORDED EASEMENTS, DEEDS OR CLAIMS THAT A TITLE REPORT WOULD DISCLOSE.
- A CLOSING LINE IS AN ARBITRARY SURVEY LINE USED FOR COMPUTATIONAL PURPOSES ONLY AND IS NOT TO BE MISINTERPRETED AS A PROPERTY LINE.

PLAN REFERENCES:

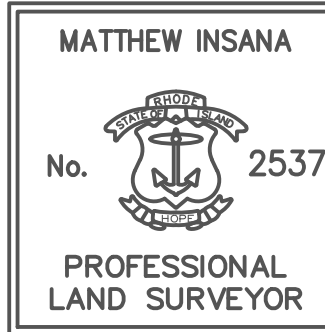
- "COTTAGES ON THE COVE, CONDOMINIUM PLAN ASSESSORS PLAT 92, LOT 39 NORTH KINGSTOWN RHODE ISLAND" PLAN BY ALPHA ASSOCIATES, LTD DATED APRIL 2016. PLAT BOOK 3001 HANGING FILE 250

SURVEYOR'S CERTIFICATE

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

- COMPREHENSIVE BOUNDARY SURVEY CLASS 1
- TOPOGRAPHIC SURVEY CLASS T-2

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: PERIMETER RETRACEMENT WITH TOPOGRAPHY FOR SITE ENGINEERING AND PERMITTING.



MATTHEW INSANA, RIPLS #2504, COA #LS.000A160 04/16/2024

EXISTING CONDITIONS PLAN

OLDE THEATRE CONDOMINIUMS ON WICKFORD COVE
ASSESSOR'S PLAT 92 LOTS 40 & 41
NORTH KINGSTOWN, RHODE ISLAND
APPLICANT:
WICKFORD OLDE THEATRE LLC
2 CHARLES STREET, BLDG C3-1
PROVIDENCE, RHODE ISLAND 02904

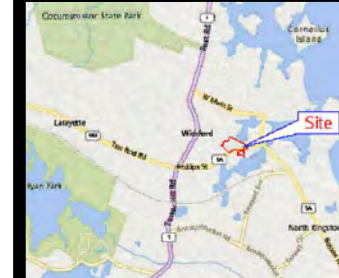
MOLLY R. TITUS



OWNER:
ALBERT SCARTABELLO
OLDE THEATRE LLC
55 WHITTIER ROAD
JAMESTOWN, RI 02835

ZONING DISTRICT:
WICKFORD VILLAGE CENTER (WVC)

AREAS:
AP 92 LOT 40: 16,736 SF (0.338 AC)
AP 92 LOT 41: 18,589 SF (0.427 AC)

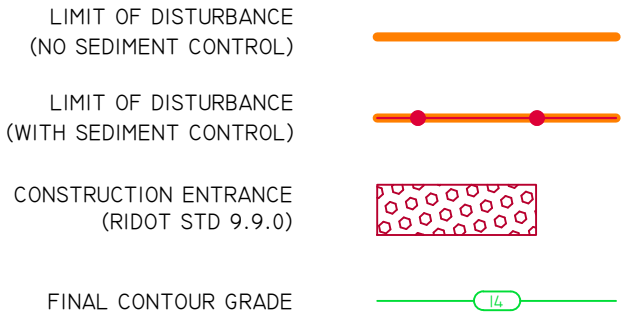


LOCATION MAP N.T.S.

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS IT IS FIRST REVIEWED AND APPROVED BY THE ENGINEERING DEPARTMENT. THIS PLAN SET IS THE PROPERTY OF DIPRETE ENGINEERING. DIPRETE ENGINEERING ONLY WARRANTS THAT THIS PLAN SET WAS PREPARED BY A PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING DOES NOT WARRANT THAT THIS PLAN SET IS ACCURATE OR COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEASUREMENTS AND CALCULATIONS SHOWN ON THIS PLAN. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE MEASUREMENTS AND CALCULATIONS SHOWN ON THIS PLAN. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE MEASUREMENTS AND CALCULATIONS SHOWN ON THIS PLAN. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE MEASUREMENTS AND CALCULATIONS SHOWN ON THIS PLAN.

NO.	DATE	DESCRIPTION	BY:	DATE
1	10-03-2024	CHECK, ASSENT, SUBMISSION	N.M.P.	
2			B.T.	
			DESIGN BY: J.A.R.	

SOIL EROSION CONTROL LEGEND



Maintenance: Short Term

- THE STONE STABILIZATION PADS AT THE SITE ENTRANCE SHALL BE MAINTAINED BY THE CONTRACTOR. THE MAINTENANCE SHALL INCLUDE TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND OR AS DIRECTED BY THE ENGINEER. ALL SEDIMENTS SPILLED, DROPPED, WASHED, OR TRACKED ON THE PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
- ALL SILT FENCE, TEMPORARY TREATMENTS (STRAW, ETC.), AND TEMPORARY PROTECTION SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION. SILT FENCE SHALL BE INSPECTED BY THE CONTRACTOR WITHIN 24 HOURS AFTER EACH STORM EVENT OR EVERY 7 DAYS, WHICHEVER COMES FIRST, FOR UNDERMINING AND DETERIORATION. A STORM EVENT SHALL BE DEFINED AS 0.25 INCHES OF RAIN WITHIN A 24-HOUR PERIOD. THE SILT FENCE SHALL BE REPAIRED OR REPLACED AS WARRANTED. THE CONTRACTOR SHALL CLEAN THE ACCUMULATED SEDIMENT IF HALF OF THE ORIGINAL HEIGHT OF THE SILT FENCE BECOMES FILLED IN WITH SEDIMENT. THE SILT FENCE SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED. FOLLOWING CONFIRMATION FROM THE PROJECT ENGINEER THAT AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER HAS BEEN ESTABLISHED, THE HAY BALES/SILT FENCE SHALL BE REMOVED.
- SPILLS AND LEAKS SHALL BE AVOIDED THROUGH FREQUENT INSPECTION OF EQUIPMENT AND MATERIAL STORAGE AREAS. HEAVY EQUIPMENT AND OTHER VEHICLES SHALL BE ROUTINELY INSPECTED FOR LEAKS AND REPAIRED AS NECESSARY. MATERIAL STORAGE AREAS SHALL BE ROUTINELY INSPECTED FOR LEAKY CONTAINERS, OPEN CONTAINERS, OR IMPROPER STORAGE TECHNIQUES THAT MAY LEAD TO SPILLS OR LEAKS. APPROPRIATE CLEANUP PROCEDURES AND SUPPLIES SHALL BE AVAILABLE ON-SITE AND SHOULD BE CLEARLY MARKED SO THAT ALL PERSONNEL CAN LOCATE AND ACCESS THESE SUPPLIES QUICKLY. SPILLS SHALL BE CLEANED UP IMMEDIATELY AND FOLLOWING PROPER RESPONSE PROCEDURES AND IN ACCORDANCE WITH ANY APPLICABLE REGULATORY REQUIREMENTS. AT NO TIME SHALL SPILLS BE CLEANED AND FLUSHED DOWN STORM DRAINS OR IN TO ANY ENVIRONMENTALLY SENSITIVE AREA (I.E. STREAM, POND, WETLAND).
- VEHICLE MAINTENANCE, FUELING AND WASHING SHALL OCCUR OFF-SITE, OR IN DESIGNATED AREAS DEPICTED ON THE APPROVED PLANS OR APPROVED BY THE SITE OWNER. MAINTENANCE OR WASHING AREAS SHALL NOT BE WITHIN 50 FEET OF ANY STORM DRAIN SYSTEM. MAINTENANCE AREAS SHALL BE CLEARLY DESIGNATED, AND BEMS, SANDBAGS, OR OTHER BARRIERS SHALL BE USED AROUND THE PERIMETER OF THE MAINTENANCE AREA TO PREVENT STORMWATER CONTAMINATION. CONSTRUCTION VEHICLES SHALL BE INSPECTED FREQUENTLY FOR LEAKS. REPAIRS SHALL TAKE PLACE IMMEDIATELY. DISPOSAL OF ALL USED OIL, ANTIFREEZE, SOLVENTS AND OTHER AUTOMOTIVE-RELATED CHEMICALS SHALL BE ACCORDING TO APPLICABLE REGULATIONS; AT NO TIME SHALL ANY MATERIAL BE WASHED DOWN ANY STORM DRAIN OR IN TO ANY ENVIRONMENTALLY SENSITIVE AREA.
- THE DEWATERING OF CONTAMINATED NON-STORMWATER CANNOT BE DISCHARGED WITHOUT OBTAINING A RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT RIDGES DISCHARGE PERMIT TO DO SO. IF DEWATERING OF CONTAMINATED WATER IS ANTICIPATED AT THE SITE, APPROPRIATE PERMITS MUST BE OBTAINED IN ADVANCE.
- THE CONTRACTOR SHALL MAINTAIN ALL TOPSOIL STOCKPILES AND SEDIMENT BARRIERS THROUGHOUT CONSTRUCTION. EXTREME CARE SHALL BE TAKEN TO ENSURE THAT SEDIMENTS DO NOT SPILL OVER THE SEDIMENT BARRIER. HAY BALES OR SILT FENCE SHALL BE STAKED AROUND THE STOCKPILES.
- ALL DISTURBED SLOPES EITHER NEWLY CREATED OR CURRENTLY EXPOSED SHALL BE SEEDED, PROTECTED, AND MAINTAINED BY THE CONTRACTOR FOLLOWING FINAL GRADING AND CONSTRUCTION. THE CONTRACTOR SHALL CHECK ALL SEEDED AREAS REGULARLY TO SEE THAT A GOOD STAND OF VEGETATION IS MAINTAINED. THE CONTRACTOR MUST REPAIR OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE YEAR AND SHALL DO SO AT NO ADDITIONAL EXPENSE TO THE OWNER.
- VEHICLE MAINTENANCE AND WASHING SHALL OCCUR OFF-SITE, OR IN DESIGNATED AREAS DEPICTED ON THE APPROVED PLANS OR APPROVED OF BY THE SITE OWNER.
- DUST CONTROL PROCEDURES AND PRACTICES SHALL BE USED TO SUPPRESS DUST ON THE CONSTRUCTION SITE DURING THE CONSTRUCTION PROCESS, AS APPLICABLE. DUST CONTROL MEASURES OUTLINED IN THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK (AS AMENDED) OR THE RI DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (AS AMENDED) SHALL BE FOLLOWED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION, MAINTENANCE AND REPAIR TO ALL DRAINAGE STRUCTURES AND RELATED APPURTENANCES ON SITE DURING CONSTRUCTION AND IMMEDIATELY FOLLOWING CONSTRUCTION FOR A MAXIMUM OF ONE YEAR, OR UNTIL ACCEPTANCE BY THE ENGINEER AND THE OWNER. THE OWNER IS RESPONSIBLE FOR INSPECTIONS AND MAINTENANCE THEREAFTER.
- DURING THE FIRST SIX (6) MONTHS OF OPERATIONS, INSPECTIONS SHALL BE ACCOMPLISHED IN EACH DRAINAGE BMP AFTER EVERY RAINFALL EVENT, TO CHECK FOR CLOGGING OR, CONVERSELY, TOO RAPID A STORMWATER RELEASE. FOLLOWING THE SIX (6) MONTHS, INSPECTIONS SHALL BE CONDUCTED, AT A MINIMUM, ANNUALLY.
- IF STANDING WATER IS OBSERVED WITHIN THE BMPs FOR MORE THAN THREE (3) DAYS AFTER A RAINFALL, THEN FAILURE OF THE SYSTEM MAY HAVE OCCURRED AND SHALL BE ADDRESSED THROUGH REPAIR OR REPLACEMENT.
- THE CONSTRUCTION SUPERINTENDENT SHALL HAVE OVERALL RESPONSIBILITY FOR THE MAINTENANCE PROGRAM DURING THE CONSTRUCTION PHASE AND FOR A PERIOD OF ONE YEAR AFTER CONSTRUCTION. THE SUPERINTENDENT SHALL SEE THAT THE APPROPRIATE WORKERS ARE AWARE OF THE PROVISIONS OF THE PLAN.
- AFTER ACCEPTANCE OF THE SITE BY THE OWNER, THE OWNER SHALL HAVE OVERALL RESPONSIBILITY FOR IMPLEMENTING THE MAINTENANCE PROGRAM FOR THE STORMWATER MANAGEMENT PLAN.

Non-Structural Measures

- CONSTRUCTION TRAFFIC SHALL BE LIMITED TO THE ACCESS ROAD, UTILITY EASEMENTS AND AREAS TO BE GRADED.
- TOPSOIL SHALL BE STRIPPED FROM AREAS TO BE GRADED AND STOCKPILED FOR LATER USE. STOCKPILE LOCATION SHALL BE SUBJECT TO APPROVAL BY THE PROJECT ENGINEER. A SEDIMENT BARRIER SHALL SURROUND ALL TOPSOIL STOCKPILES.
- ALL TYPES OF WASTE GENERATED AT THE SITE SHALL BE DISPOSED OF IN A MANNER CONSISTENT WITH STATE LAW REGULATIONS. CONSTRUCTION DEBRIS SHALL BE DISPOSED OF DAILY TO AVOID EXPOSURE TO PRECIPITATION.
- THE CONSTRUCTION SUPERINTENDENT SHALL HAVE OVERALL RESPONSIBILITY FOR PLAN IMPLEMENTATION OF NON-STRUCTURAL MEASURES AND FOR SEEING THAT THE APPROPRIATE WORKERS ARE AWARE OF THE PROVISIONS OF THE PLAN.
- REFERENCE THE "RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY THE USDA SOIL CONSERVATION SERVICE, ISSUED 1989 (REVISED 2014, UPDATED 2016) AS A GUIDE.

Structural Measures

- A STONE STABILIZATION PAD MUST BE LOCATED AT THE SITE ENTRANCE TO REDUCE THE TRACKING OR FLOWING OF SEDIMENT ONTO THE PUBLIC RIGHT OF WAY.
- SILT FENCE SHALL BE INSTALLED DOWNSTREAM OUTSIDE THE LIMITS OF ANY PROPOSED CONSTRUCTION AS SHOWN ON THE SITE PLANS AND PRIOR TO THE COMMENCEMENT OF THE PROPOSED ALTERATION.
- THE CONSTRUCTION SUPERINTENDENT SHALL HAVE THE OVERALL RESPONSIBILITY FOR STRUCTURAL MEASURE IMPLEMENTATION AND FOR SEEING THAT THE APPROPRIATE WORKERS ARE AWARE OF THE PROVISIONS OF THE PLAN.
- CONTRACTOR TO PROTECT POST DEVELOPMENT BMPs FROM RUNOFF UNTIL ALL TRIBUTARY AREAS ARE FULLY STABILIZED.
- INFILTRATION BMPs SHALL BE STAKED PRIOR TO CONSTRUCTION. NO CONSTRUCTION OR EQUIPMENT IS ALLOWED WITHIN LIMITS OF INFILTRATION BMP. INFILTRATION BMPs CAN BE BROUGHT ONLINE ONCE ALL TRIBUTARY AREAS ARE FULLY STABILIZED.
- REFERENCE THE "RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY THE USDA SOIL CONSERVATION SERVICE, ISSUED 1989 (REVISED 2014, UPDATED 2016) AS A GUIDE.

Establishment Of Vegetative Cover

- SLOPES SHALL NOT BE LEFT UNATTENDED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME SUCH AS THE INACTIVE WINTER SEASON. THE CONTRACTOR SHALL INITIATE APPROPRIATE VEGETATIVE PRACTICES ON ALL DISTURBED AREAS AS SOON AS POSSIBLE BUT NOT MORE THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT AREA HAS TEMPORARILY OR PERMANENTLY CEASED, UNLESS THE ACTIVITY IS TO RESUME WITHIN TWENTY-ONE (21) DAYS.
- ALL DISTURBED SLOPES EITHER NEWLY CREATED OR CURRENTLY EXPOSED SHALL BE SEEDED OR PROTECTED.
- THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS AND SHALL CONFORM WITH RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, N.20.
- THE TEMPORARY SEEDING DESIGN MIX SHALL BE COMPRISED OF THE FOLLOWING:

TYPE	% BY WEIGHT
ANNUAL RYEGRASS	40
PERENNIAL RYEGRASS	60
- THE NEW ENGLAND EROSION CONTROL/RESTORATION SEED MIX SHALL BE COMPRISED OF THE FOLLOWING:

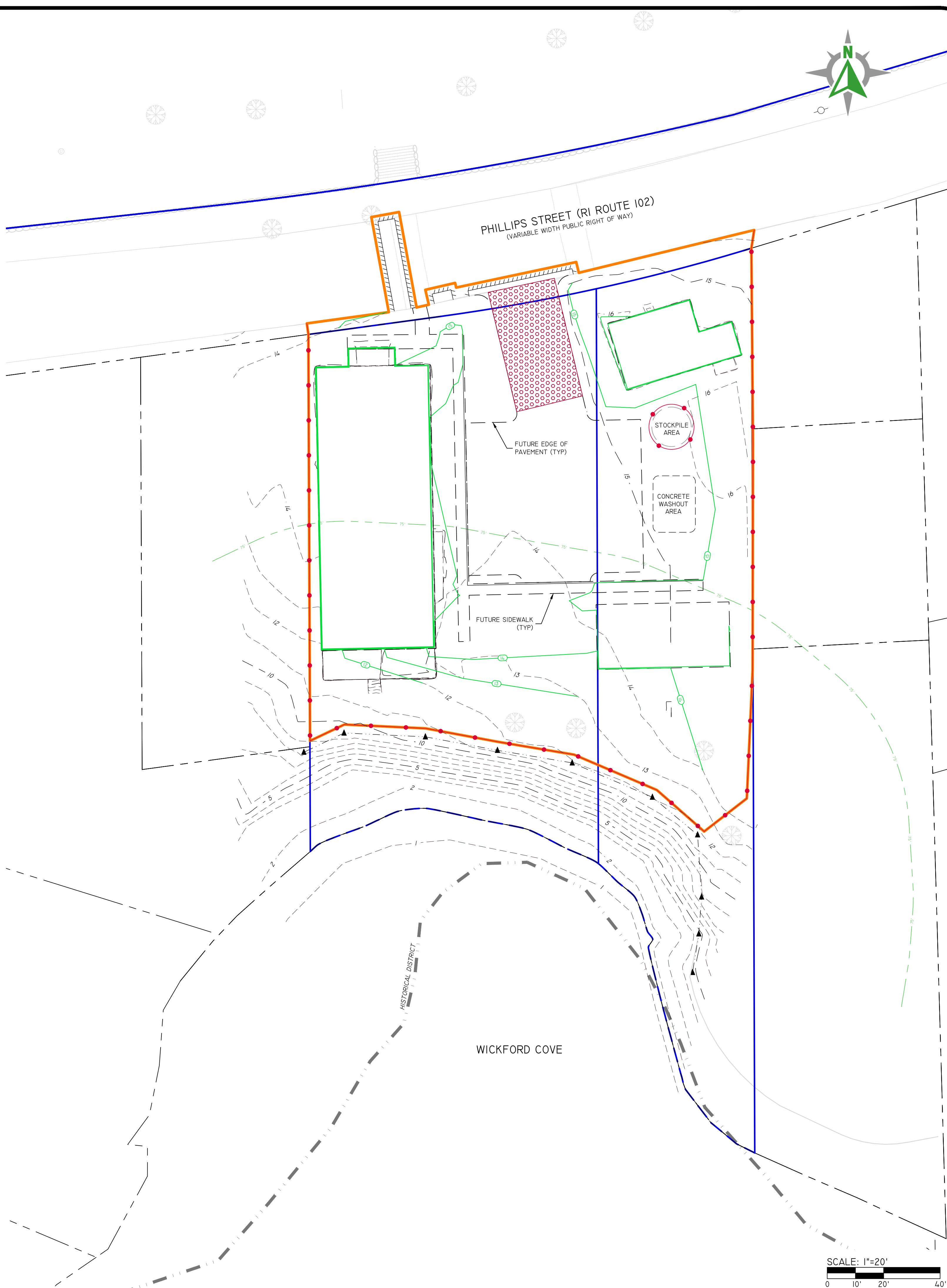
TYPE	% BY WEIGHT
UPLAND BENTGRASS	1.0
CREeping BENTGRASS	1.0
BIG BLUESTEM	8.0
NEW ENGLAND ASTER	1.0
FOX SEDGE	8.0
VIRGINIA WILD RYE	28.0
BONSET	8.0
GRASS LEAVED GOLDENROD	1.0
CREeping RED FESCUE	24.0
SOFT RUSH	0.5
SENSITIVE FERN	1.0
SWITCH GRASS	8.0
LITTLE BLUESTEM	15.0
GREEN BULLRUSH	1.0
WOOL GRASS	0.5
BLUE VERVAIN	1.0
- THE GENERAL PURPOSE SEED MIX SHALL BE URI #2 AND COMPRISED OF THE FOLLOWING:

TYPE	% BY WEIGHT
CREeping RED FESCUE	40
IMPROVED PERENNIAL RYE GRASS	20
IMPROVED KENTUCKY BLUEGRASS	30
KENTUCKY BLUEGRASS	10

- EARLY SPRING OR LATE SUMMER SEEDING IS RECOMMENDED. SEEDING SCHEDULE MUST CONFORM WITH RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, L.02.03.1 SEEDING DATES. PERMANENT SEEDING SHALL BE DURING APRIL 1 TO MAY 31 OR AUGUST 15 TO OCTOBER 15. TEMPORARY SEEDING MAY BE DONE ANYTIME BETWEEN MARCH 15 AND NOVEMBER 15 WITH THE APPROVAL OF THE ENGINEER OF RECORD. FERTILIZE AS REQUIRED BY SOIL TESTING TO COMPLY OR UPGRADE EXISTING CONDITIONS. THE SEED MIX SHALL BE INOCULATED WITHIN 24 HOURS AND BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULUMS FOR EACH VARIETY.
- TEMPORARY TREATMENTS SHALL CONSIST OF HAY, STRAW, OR FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR FIBER LINING. TEMPORARY HAY MULCH TO BE TACKED IN PLACE WITH NYLON MESH NETTING. SIDE SLOPES OF BASINS SHALL BE TREATED WITH NORTH AMERICAN GREEN EROSION CONTROL BLANKETS S150 OR APPROVED EQUAL. THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER. HAY OR STRAW APPLICATIONS SHALL BE IN THE AMOUNT OF 2 TONS/ACRE.
 - ALL HAY BALES OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
 - ALL FILL SHALL BE THOROUGHLY COMPACTED UPON PLACEMENT IN STRICT CONFORMANCE WITH RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION 202.
 - STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS. THEY SHALL HAVE SIDE SLOPES NO GREATER THAN 2:1 AND SHALL BE TEMPORARILY SEEDED AND/OR STABILIZED.
 - ALL AREAS PROPOSED TO BE VEGETATED THAT ARE DISTURBED BY CONSTRUCTION SHALL BE STABILIZED WITH PERMANENT SEEDING IMMEDIATELY FOLLOWING FINISH GRADING. PERMANENTLY SEEDED AREAS SHALL BE PROTECTED DURING ESTABLISHMENT WITH MULCH. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STANDARD IS MAINTAINED. WELL ESTABLISHED VEGETATION SHALL BE MAINTAINED. BARE OR ERODED AREAS SHALL BE IMMEDIATELY REPAIRED AND RESEDED BY THE CONTRACTOR. ACTIVITIES SHALL BE CONFINED TO WITHIN THE LIMIT OF WORK AS SHOWN ON THE PLANS.
 - MAXIMUM PERMANENT GRADED SLOPE WITHIN THE SITE IS TO BE 3:1 UNLESS NOTED OTHERWISE.
 - THE CONSTRUCTION SUPERINTENDENT SHALL HAVE OVERALL RESPONSIBILITY FOR PLAN IMPLEMENTATION AND FOR SEEING THAT THE APPROPRIATE WORKERS ARE AWARE OF THE PROVISIONS OF THE PLAN. THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE YEAR AND SHALL DO SO AT NO ADDITIONAL EXPENSE TO THE OWNER.
 - REFERENCE THE "RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL HANDBOOK" PREPARED BY THE USDA SOIL CONSERVATION SERVICE 1989 AS A GUIDE.

SEQUENCE OF CONSTRUCTION AND STAGING OF LAND DISTURBING ACTIVITIES

- CONTRACTOR IS RESPONSIBLE FOR SOIL EROSION AND SEDIMENT CONTROL (SESC) ONSITE. SEQUENCE OF CONSTRUCTION PROVIDED MAY BE MODIFIED AS FIELD CONDITIONS WARRANT WITH PRIOR APPROVAL FROM THE TOWN OF WARREN OR THEIR REPRESENTATIVE.
- CONSTRUCTION TO BEGIN THE IN FALL 2024 OR UPON RECEIPT OF ALL NECESSARY APPROVALS.
- SURVEY AND STAKE THE WATER LINES, SEWER LINES AND LIMIT OF SEDIMENTATION BARRIERS/LIMIT OF DISTURBANCE.
- PLACE SEDIMENTATION BARRIERS (STRAW OR SILT FENCE) AS SHOWN ON THE PLANS AND STAKED OUT IN THE FIELD. IN NO CASE IS THE LIMIT OF WORK TO EXTEND BEYOND THE SEDIMENTATION BARRIERS.
- BEGIN CLEARING AND GRUBBING IN AREA OF THE BUILDINGS, DRIVEWAYS AND OTHER AREAS AS INDICATED ON THE PLANS. TOPSOIL IS TO BE STRIPPED AND STOCKPILED IN APPROVED LOCATIONS. TOPSOIL STOCKPILES ARE TO BE PROTECTED BY A ROW OF SEDIMENTATION BARRIERS AND COVERED OR TEMPORARILY SEEDED.
- INSTALL TEMPORARY SEDIMENTATION CONTROL MEASURES AND DEVICES AS WARRANTED. ALL TEMPORARY CONTROL DEVICES SHALL BE INSTALLED PER THE RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL HANDBOOK.
- EXCAVATE AND GRADE THE PROPOSED BUILDINGS AND DRIVEWAYS.
- INSTALL WATER, SEWER, ELECTRIC, TELEPHONE, CABLE, AND GAS IN ACCORDANCE WITH THE APPROVED FINAL CONSTRUCTION PLANS. SEED THE DISTURBED AREAS OUTSIDE OF THE PAVING LIMITS.
- PLACE COMPACTED GRAVEL FOUNDATION AND ROUGH GRADE THE DRIVEWAYS IN ACCORDANCE WITH THE SITE PLANS.
- BEGIN CONSTRUCTION OF THE BUILDING FOUNDATIONS AND STRUCTURES.
- INSTALL PERMEABLE PAVEMENT UNDERGROUND SYSTEMS PER SITE PLANS.
- PLACE PERMEABLE PAVEMENT PER SITE PLANS.
- EXCAVATE AND INSTALL STONE DRY WELLS PER SITE PLANS.
- FINISH PERMANENT STABILIZATION.
- SWEEP THE DRIVEWAYS TO REMOVE ALL SEDIMENTS.
- REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES FOLLOWING VEGETATIVE ESTABLISHMENT OF ALL DISTURBED AREAS.
- PRIOR TO ACTIVATION OF ALL UTILITIES (WATER AND SEWER), UTILITY COMPANY AND TOWN OF WARREN ENGINEER TO BE NOTIFIED 48 HOURS IN ADVANCE TO SCHEDULE FINAL INSPECTION.



DiPrete Engineering



Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-464-6006 www.diprete-eng.com

Boston • Providence • Newport

MOLLY R. TITUS

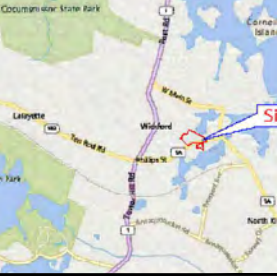


REGISTERED
PROFESSIONAL ENGINEER
CIVIL

OWNER:
ALBERT SCATTABELLO
OLDE THEATRE LLC
50 WHITTIER ROAD
WICKFORD, RI 02895

ZONING DISTRICT:
WICKFORD VILLAGE CENTER (WVC)

AREAS:
AP 92 LOT 40- 16,736 SF (0.338 AC)
AP 92 LOT 41- 18,589 SF (0.427 AC)



LOCATION MAP N.T.S.

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS IT IS ISSUED FOR CONSTRUCTION AND STAMPED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.
DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE ENGINEERING PROJECT. DIPRETE ENGINEERING IS NOT A PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY.
THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, TECHNIQUES, AND SEQUENCES OF CONSTRUCTION. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR CONFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND FOR DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES.

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SOIL EROSION & SEDIMENT CONTROL PLAN
OLDE THEATRE CONDOMINIUMS ON WICKFORD COVE
ASSESSOR'S PLAT 92 LOTS 40 & 41
NORTH KINGSTOWN, RHODE ISLAND

APPLICANT:
WICKFORD OLDE THEATRE LLC
2 CHARLES STREET, BLDG C3-1
PROVIDENCE, RHODE ISLAND 02904

DESIGN BY: J.A.R.

SHEET 5 OF 8

Z:\DESHAN\PROJECTS\0942-003 NORTH KINGSTOWN SCHOOL SURVEYS\AUTOCAD DRAWINGS\0942-003-PLAN-THEATRE.DWG PLOTTED: 10/2/2024



DEVELOPMENT DATA:

TOTAL SITE AREA:	0.765 ACRES
TOTAL NUMBER OF BUILDINGS:	3
TOTAL NUMBER OF UNITS:	18
LAND UNSUITABLE:	5,567 SF (0.128 ACRES)
DENSITY CALCULATION:	27,758 / 18 UNITS = 1,542 SF/UNIT

DIMENSIONAL REGULATIONS:

THEATRE

CURRENT ZONING:	WVC REQUIRED	EXISTING	PROVIDED
MINIMUM LOT AREA:	4,500 SF		33,325 SF
MINIMUM FRONTAGE AND LOT WIDTH:	40'		162'
MINIMUM FRONT AND CORNER SIDE YARD:	20'	7.1'	7.1'
MINIMUM SIDE YARD:	10' (0' IF ATTACHED)	2.4'	2.4'
MINIMUM REAR YARD:	30'	62.8'	56.9'
MAXIMUM STRUCTURE HEIGHT:	35' (3 STORIES)	SEE BELOW*	SEE BELOW*
SETBACK FROM RESIDENTIAL DISTRICT:	50'	2.4'	2.4'
MAXIMUM GROUND FLOOR AREA:	7,000 SF	4,064 SF	4,064 SF
GROSS BUILDING SQUARE FOOTAGE:		8,150 SF	15,816 SF
BUILDING WIDTH (2.5X BUILDING HEIGHT):	113.5' MAX	41'	41'
BUILDING DEPTH (3.5X BUILDING HEIGHT):	158.9' MAX	101'	106.6'

*EXISTING ROOF PEAK ELEVATION = BUILDING HEIGHT AT REAR DECK = EX GRADE AT REAR DECK
59.58' = 47.94' + 11.64'

*MAXIMUM STRUCTURE HEIGHT EXISTING:
EXISTING ROOF PEAK ELEVATION - AVERAGE GRADE = EXISTING BUILDING HEIGHT
59.58' - 14.09' = 45.49'

*MAXIMUM STRUCTURE HEIGHT PROPOSED:
EXISTING ROOF PEAK ELEVATION + 3.2' - PROPOSED AVERAGE GRADE = PROPOSED BUILDING HEIGHT
59.58' + 3.2' - 14.39' = 48.39'

COLONIAL

CURRENT ZONING:	WVC REQUIRED	EXISTING	PROVIDED
MINIMUM LOT AREA:	4,500 SF		33,325 SF
MINIMUM FRONTAGE AND LOT WIDTH:	40'		162'
MINIMUM FRONT AND CORNER SIDE YARD:	20'	11.4'	11.4'
MINIMUM SIDE YARD:	10' (0' IF ATTACHED)	3.4'	3.4'
MINIMUM REAR YARD:	30'	159.4'	135.7'
MAXIMUM STRUCTURE HEIGHT:	35' (3 STORIES)	22'	22'
SETBACK FROM RESIDENTIAL DISTRICT:	50'	3.4'	3.4'
MAXIMUM GROUND FLOOR AREA:	7,000 SF	900 SF	1,363 SF
GROSS BUILDING SQUARE FOOTAGE:			2,326 SF
BUILDING WIDTH (2.5X BUILDING HEIGHT):	55' MAX	42.6'	42.6'
BUILDING DEPTH (3.5X BUILDING HEIGHT):	77' MAX	24.5'	24.5'

GARAGE

CURRENT ZONING:	WVC REQUIRED	EXISTING	PROVIDED
MINIMUM LOT AREA:	4,500 SF		33,325 SF
MINIMUM FRONTAGE AND LOT WIDTH:	40'		162'
MINIMUM FRONT AND CORNER SIDE YARD:	20'	97.9'	109.6'
MINIMUM SIDE YARD:	10' (0' IF ATTACHED)	6.8'	8'
MINIMUM REAR YARD:	30'	55.1'	62.1'
MAXIMUM STRUCTURE HEIGHT:	35' (3 STORIES)	15'	30'
SETBACK FROM RESIDENTIAL DISTRICT:	50'	6.8'	8'
MAXIMUM GROUND FLOOR AREA:	7,000 SF	1,370 SF	1,370 SF
GROSS BUILDING SQUARE FOOTAGE:			2,500 SF
BUILDING WIDTH (2.5X BUILDING HEIGHT):	37.5' MAX	24.5'	47'
BUILDING DEPTH (3.5X BUILDING HEIGHT):	52.5' MAX	42.6'	23'

PARKING REGULATIONS:

PARKING USE:
PARKING REQUIREMENT:
RESIDENTIAL - MULTIFAMILY
1 SPACE PER 1 BEDROOM/EFFICIENCY
2 SPACES PER 2 BEDROOM
1 SPACE PER ACCESSORY UNIT

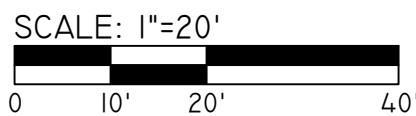
1 BEDROOM UNITS: 5
2 BEDROOM UNITS: 13
PARKING CALCULATION: 5 + (13*2)
5 + 26 = 31 SPACES

REQUIRED PARKING SPACES:
PARKING SPACES ON PROPERTY PROVIDED:
PARKING SPACES FROM SCHOOL PROVIDED:
TOTAL PARKING SPACES PROVIDED:

ADA PARKING REQUIRED: 2 SPACES
ADA PARKING PROVIDED: 2 SPACES

GENERAL NOTES:

- THE SITE IS PROPOSED TO BE BUILT IN ONE PHASE AND UNITS ARE PROPOSED TO BE ONE AND TWO BEDROOMS.
COLONIAL: 2, 2 BEDROOM UNITS
GARAGE: 2, 2 BEDROOM UNITS
THEATRE: 9, 2 BEDROOM UNITS
5, 1 BEDROOM UNITS
TOTAL: 18 UNITS
- THE DRAINAGE SYSTEM WILL MEET THE TOWN OF NORTH KINGSTOWN SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WITH THE USE OF PERMEABLE PAVEMENT. THE STORMWATER MANAGEMENT SYSTEM WILL MEET THE RIDEM BEST MANAGEMENT PRACTICES.
- DETAILED SOIL EROSION AND SEDIMENT CONTROL MEASURES TO BE INCORPORATED AT THE PRELIMINARY DESIGN STAGE AND WILL CONFORM TO RIDEM BEST MANAGEMENT PRACTICES.
- THE SITE IS TO BE SERVICED BY PUBLIC WATER AND PUBLIC SEWER.



SITE LAYOUT PLAN

OLDE THEATRE CONDOMINIUMS ON WICKFORD COVE
ASSESSOR'S PLAT 92 LOTS 40 & 41
NORTH KINGSTOWN, RHODE ISLAND

APPLICANT:
WICKFORD OLDE THEATRE LLC
2 CHARLES STREET, BLDG C3-1
PROVIDENCE, RHODE ISLAND 02904

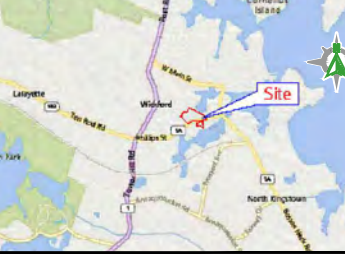
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OWNER:
ALBERT SCARBATIELLO
OLDE THEATRE LLC
50 WHITTIER ROAD
NORTH KINGSTOWN, RI 02835

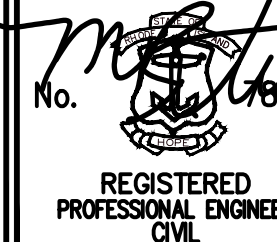
ZONING DISTRICT:
WICKFORD VILLAGE CENTER (WVC)

AREAS:
AP 92 LOT 40- 16,736 SF (0.338 AC)
AP 92 LOT 41- 18,589 SF (0.427 AC)



LOCATION MAP N.T.S.

MOLLY R. TITUS



REGISTERED
PROFESSIONAL ENGINEER
CIVIL

Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-464-6006 www.diprete-eng.com

APPLICANT:
WICKFORD OLDE THEATRE LLC

ASSESSOR'S PLAT 92 LOTS 40 & 41

NORTH KINGSTOWN, RHODE ISLAND

2 CHARLES STREET, BLDG C3-1

PROVIDENCE, RHODE ISLAND 02904

DESIGN BY: J.A.R.

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