



State of Rhode Island
Coastal Resources Management Council
Oliver H. Stedman Government Center
4808 Tower Hill Road, Suite 3
Wakefield, RI 02879-1900

(401) 783-3370
Fax (401) 783-2069

PUBLIC NOTICE

File Number: 2025-02-022 Date: March 5, 2025

This office has under consideration the application of:

SW 45 LLC
20 Newman Avenue; Suite 1005
Rumford, RI 02916

for a State of Rhode Island Assent to:

Expand the Marina Perimeter Limit of the Newport Yachting Center from 3.44 acres to 3.89 acres (13% expansion) and replace & reconfigure floating docks. (No increase in vessel count.)

| | |
|-------------------|---------------------|
| Project Location: | 20 Commercial Wharf |
| City/Town: | Newport |
| Plat/Lot: | 27 / 46 |
| Waterway: | Newport Harbor |

Plans of the proposed work can be requested at Cstaff1@crmc.ri.gov.

In accordance with the Administrative Procedures Act (Chapter 42-35 of the Rhode Island General Laws) you may request a hearing on this matter.

You are advised that if you have good reason to enter protests against the proposed work it is your privilege to do so. It is expected that objectors will review the application and plans thoroughly, visit site of proposed work if necessary, to familiarize themselves with the conditions and cite what law or laws, if any, would in their opinion be violated by the work proposed.

If you desire to protest, you must attend the scheduled hearing and give sworn testimony. A notice of the time and place of such hearing will be furnished you as soon as possible after receipt of your request for hearing. If you desire to request a hearing, to receive consideration, it should be in writing (**with your correct mailing address, e-mail address and valid contact number**) and be received at this office on or before **April 5, 2025**.

Please email your comments/hearing requests to: cstaff1@crmc.ri.gov; or mail via USPS to: Coastal Resources Management Council; O. S. Government Center, 4808 Tower Hill Road, Rm 116; Wakefield, RI 02879.

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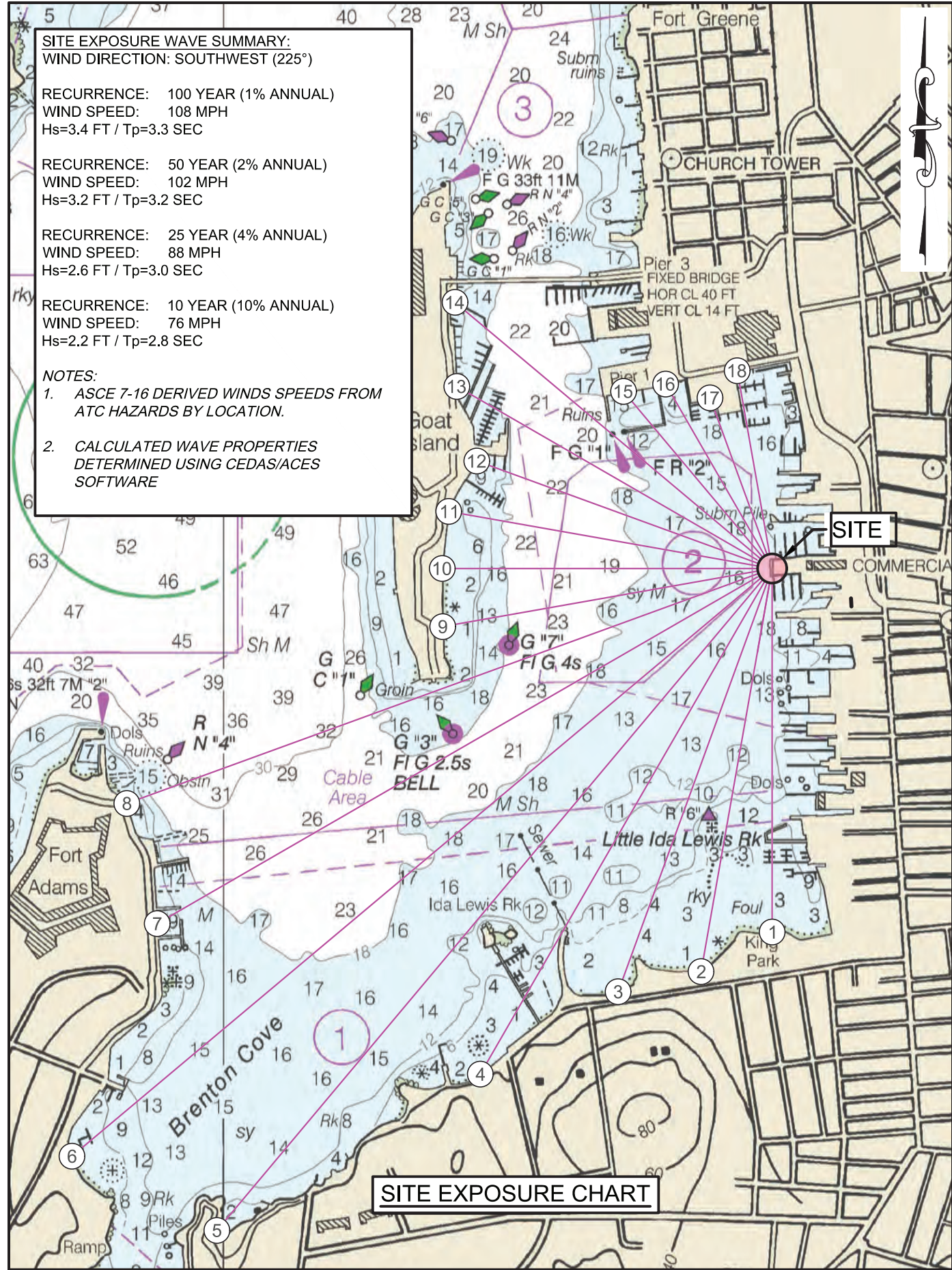


TABLE 1: SITE EXPOSURE

| | ANGLE | FETCH | | | ANGLE | FETCH | |
|---|-------|-------|-------|----|-------|-------|-------|
| | | FEET | MILES | | | FEET | MILES |
| 1 | 180 | 2772 | 0.5 | 10 | 270 | 2516 | 0.5 |
| 2 | 190 | 3121 | 0.6 | 11 | 280 | 2505 | 0.5 |
| 3 | 200 | 3434 | 0.7 | 12 | 290 | 2396 | 0.5 |
| 4 | 210 | 4452 | 0.8 | 13 | 300 | 2776 | 0.5 |
| 5 | 220 | 6588 | 1.2 | 14 | 310 | 3157 | 0.6 |
| 6 | 230 | 6971 | 1.3 | 15 | 320 | 1763 | 0.3 |
| 7 | 240 | 5415 | 1.0 | 16 | 330 | 1624 | 0.3 |
| 8 | 250 | 5237 | 1.0 | 17 | 340 | 1385 | 0.3 |
| 9 | 260 | 2551 | 0.5 | 18 | 350 | 1531 | 0.3 |

TABLE 2: TIDAL AND STORM SURGE BENCHMARKS IN FEET

| BENCHMARK | ELEVATION (MLLWD) |
|---|-------------------|
| FEMA BASE FLOOD ELEVATION (BFE) | +15.0 |
| FEMA 1% RECURRENCE (100YR) SWL | +12.5 |
| FEMA 2% RECURRENCE (50YR) SWL | +10.3 |
| FEMA 10% RECURRENCE (10YR) SWL | +7.3 |
| HIGH TIDE LINE (HTL) | +5.0 |
| MEAN HIGHER HIGH WATER (MHHW) | +3.8 |
| MEAN HIGH WATER (MHW) | +3.6 |
| NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88) | +2.0 |
| MEAN LOW WATER (MLW) | +0.1 |
| MEAN LOWER LOW WATER (MLLW) | 0.0 |

SITE EXPOSURE REFERENCES:

1. THE NAVIGATION CHART PRESENTED HEREIN WAS OBTAINED FROM NOAA CHART #13221 FOR THE NARRAGANSETT BAY. SOUNDINGS INCLUDED ON THE CHART REFER TO MEAN LOWER LOW WATER (MLLW) DATUM.
2. THE STORM SURGE STILLWATER LEVEL (SWL) ELEVATIONS WERE OBTAINED FROM TRANSECT #40 FROM THE FLOOD INSURANCE STUDY (FIS) FOR NEWPORT COUNTY, RHODE ISLAND [STUDY #44005CV000C] PREPARED BY FEMA DATED 7/6/2021. SWL ELEVATIONS DO NOT INCLUDE WAVE ACTION.
3. THE BASE FLOOD ELEVATION (INCLUDING STORM SURGE AND ASSOCIATED WAVE ACTION) WAS OBTAINED FROM THE FLOOD INSURANCE RATE MAP (FIRM) #44005C0177J FOR NEWPORT COUNTY, RHODE ISLAND PREPARED BY FEMA DATED 9/4/2013. THE ELEVATION OF THE BASE FLOOD ELEVATION WAS CONVERTED FROM NAVD88 TO MLW.
4. TIDAL ELEVATIONS WERE OBTAINED FROM NOAA VDATUM ONLINE TOOL USING LAT/LONG COORDINATES IN THE VICINITY OF THE PROJECT AREA.



HARBOR ENGINEERING, LLC

26 BOSWORTH STREET
BARRINGTON, RI 02806
(401) 829-4870
harboreng.com

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| 1 | MINOR (TEXT) EDITS | 2/19/2025 | AJK |
| No. | Revision | Date | App. |



Client/Owner:
SW 46 LLC
NEWPORT YACHTING CENTER
20 COMMERCIAL WHARF; NEWPORT, RI 02840
A.P. 27 LOT #046

Issued for:
**REGULATORY REVIEW
MARINA EXPANSION
NOT FOR CONSTRUCTION**

Drawing Title:
VICINITY CHART
WITH SITE EXPOSURE SUMMARY
(FETCHES, POTENTIAL WAVE ACTION,
TIDES & COASTAL FLOODING)



Date: 1/9/2025
Scale: 1"=1,000'
Designed By: JKP
Drawn by: JKP
Checked by: AJK
Project Number:
2023-17
Sheet 1 of 7
Drawing Number:
R-1

GENERAL NOTES:

1. DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, SHALL REMAIN THE PROPERTY OF HARBOR ENGINEERING, LLC. DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR IN PART, FOR OTHER PROJECTS OR PURPOSES OR BY ANY OTHER PARTIES THAN THOSE AUTHORIZED BY CONTRACT WITHOUT THE SPECIFIC WRITTEN AUTHORIZATION OF HARBOR ENGINEERING, LLC. THE USE OF THIS DOCUMENT IS CONTINGENT UPON PAYMENT TO HARBOR ENGINEERING, LLC. FOR SERVICES RENDERED. NON-PAYMENT SHALL GIVE HARBOR ENGINEERING, LLC. THE AUTHORITY TO BAR DOCUMENT USE BY ANY AND ALL PARTIES.
2. ALL WORK SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS AS SHOWN IN THESE PLANS AND SPECIFICATIONS. THE RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (BLUE BOOK) AND THE RHODE ISLAND STANDARD DETAILS SHOULD BE CONSULTED IF ADDITIONAL AND/OR SUPPLEMENTAL INFORMATION IS REQUIRED.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BRINGING ALL ELEMENTS OF THE PROJECT IN CONFORMANCE WITH THESE PLANS AND SPECIFICATIONS. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THAT THE CONDITIONS SHOWN HEREIN ARE AS THEY APPEAR ON-SITE AND NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES IN DIMENSIONS AND/OR SITE CONDITIONS. THE CONTRACTOR SHALL NOT BEGIN ORDERING MATERIALS, FABRICATION OR INSTALLATION FOR ANY SUCH AFFECTED AREA UNTIL THE DISCREPANCY HAS BEEN RESOLVED BY THE CONTRACTOR AND APPROVED BY THE ENGINEER. IF ANY MODIFICATIONS ARE REQUIRED IN ANY ELEMENT, THE CONTRACTOR SHALL SUBMIT PROPOSED CHANGES IN WRITING TO THE ENGINEER FOR REVIEW.
4. ALL WORK SHALL COMPLY WITH FEDERAL, STATE, AND LOCAL LAWS AND STATUTES AND THE REQUIREMENTS AND CONDITIONS OF ALL REGULATORY PERMITS ISSUED FOR THE WORK. CONTRACTOR SHALL BE FAMILIAR WITH THE RI COASTAL RESOURCES MANAGEMENT PROGRAM (RICRMP) AND MAINTAIN COPIES OF FEDERAL, STATE AND LOCAL REGULATORY PERMITS ON SITE THROUGHOUT CONSTRUCTION.
5. ALL SAFETY REGULATIONS ARE TO BE STRICTLY FOLLOWED. METHODS OF CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR. ALL WORK SHALL CONFORM TO THE LATEST EDITION OF THE OSHA CODE, THE RHODE ISLAND STATE BUILDING CODE, AND THE REFERENCED STANDARDS INCLUDED THEREIN THAT ARE APPLICABLE TO THIS PROJECT.
6. THESE DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE PROJECT REGULATORY PERMITS AND ALL CONDITIONS OF THOSE PERMITS. THE CONTRACTOR IS ADVISED THAT THE REGULATORY PERMITS FOR THIS PROJECT MAY CONTAIN ADDITIONAL REQUIREMENTS THAT, AFTER ANY ADDENDUM, SUPERSEDE THE DRAWING NOTES. THE CONTRACTOR IS FURTHER ADVISED THAT IN THE CASE OF ANY DISCREPANCIES WITHIN THE CONTRACT DOCUMENTS FOUND BEFORE CONSTRUCTION, THE FINAL DECISION AS TO WHAT INFORMATION TAKES PRECEDENCE WILL BE MADE BY THE ENGINEER OF RECORD ON THE BASIS OF THAT INTENT.
7. ALL COMPONENTS SHALL BE INSTALLED PER EACH MANUFACTURER'S SPECIFICATIONS AND/OR STANDARD INDUSTRY PRACTICE AS APPLICABLE.
8. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PRESERVE THE SURVEY BENCHMARKS ESTABLISHED ON SITE. ANY ADDITIONAL SURVEY WORK REQUIRED WILL BE AT THE EXPENSE OF THE CONTRACTOR.
9. ALL MATERIAL STORAGE SHALL BE DONE VIA BARGE OR ON SITE WITH PRIOR WRITTEN APPROVAL.
10. THE CONTRACTOR SHALL MAINTAIN AT ALL TIMES A SET OF RECORD DRAWINGS AND SPECIFICATIONS DURING THE PROGRESSION OF THE PROJECT. RECORD DRAWINGS SHALL BE UPDATED ON A DAILY BASIS AND SHALL BE SUBMITTED TO THE ENGINEER AT THE COMPLETION OF CONSTRUCTION.
11. DAMAGE TO ANY PROPERTY, PRIVATE OR OF PUBLIC TRUST, OCCURRING DURING THE CONSTRUCTION BY THE CONTRACTOR, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER AT THE EXPENSE OF THE CONTRACTOR.

SITE PLAN NOTES:

1. LANDSIDE SITE INFORMATION WAS OBTAINED FROM THE TOPOGRAPHIC SURVEY PERFORMED BY SOUTH COUNTY SURVEY COMPANY TITLED "EXISTING CONDITIONS SITE PLAN COMMERCIAL WHARF, AMERICA'S CUP AVE., SAYER'S WHARF & SCOTT'S WHARF" ISSUED FEBRUARY 21, 2024. LINEWORK IS BASED ON THE CONDITIONS OF THE SITE AT THE TIME THE FIELDWORK WAS PERFORMED UP TO JANUARY 22, 2024.
2. LINEWORK ASSOCIATED WITH NEIGHBORING FACILITIES INCLUDING BANNISTER'S WHARF AND PERRY MILL WHARF WAS DIGITIZED FROM AERIAL PHOTOGRAPHY OBTAINED FROM RIGIS. THE IMAGERY WAS PART OF A STATEWIDE DIGITAL TRUE COLOR GEOREFERENCED SERIES OF AERIAL PHOTOGRAPHS OF RHODE ISLAND COLLECTED IN MARCH OF 2024 AND PUBLISHED MAY 24, 2024. IMAGERY WAS IMPORTED BASED ON NAD83 COORDINATE SYSTEM AND HAS A 3-IN PIXEL

- RESOLUTION BUT WAS NOT TRADITIONALLY ORTHORECTIFIED. RESULTING LINEWORK ASSOCIATED WITH NEIGHBORING FACILITIES SHOULD BE CONSIDERED APPROXIMATE.
3. (APPROXIMATE) PROPERTY BOUNDARY LINES SHOWN WERE TAKEN FROM "ALTA/ACSM LAND TITLE SURVEY FOR NEWPORT REALTY, INC. PLAT 27 LOTS 268, 283, 2, 281, 46, 248, 78, 77 & 244 NEWPORT HARBOR CENTER AMERICAN'S CUP AVENUE NEWPORT R.I. 02841..." BY BARKER LAND SURVEYING, INC. NOVEMBER 4, 2014, AND ARE NOT THE PRODUCT OF A BOUNDARY SURVEY/OPINION BY SOUTH COUNTY SURVEY COMPANY, LLC, AND SHOULD BE CONSIDERED APPROXIMATE.
4. MARINA PERIMETER LIMIT LINES SHOWN WERE TAKEN FROM "MARINA PLAN ASSESSOR'S PLAT 27 LOTS 2, 46, 77, 78, 244, 268, 281 AND 283 SITUATED IN NEWPORT, RHODE ISLAND PREPARED FOR NEWPORT REALTY, INC." BY JOHN P. CAITO CORPORATION ISSUED 9/19/2001.
5. THE HARBOR LIMIT WAS ESTABLISHED USING COORDINATES OBTAINED FROM US ARMY CORPS OF ENGINEERS ASSOCIATED WITH THE FORMER FEDERAL ANCHORAGE. THE BOUNDARIES OF THE ABANDONED FEDERAL PROJECT WERE OBTAINED FROM THE PLAN TITLED, "NEWPORT HARBOR RHODE ISLAND CONDITION SURVEY" PRODUCED BY DEPARTMENT OF THE ARMY NEW ENGLAND DIVISION CORPS OF ENGINEERS WALTHAM, MASS. DATED SEPTEMBER 1993. COORDINATES WERE CONVERTED FROM NAD 27 TO NAD 83 USING CORPSCON SOFTWARE.
6. THE BOUNDARY FOR THE CITY'S 'MAIN HARBOR' MOORING AREA WAS ESTABLISHED FROM GPS COORDINATES OBTAINED FROM THE CITY OF NEWPORT'S "COMPREHENSIVE HARBOR MANAGEMENT PLAN" UPDATED NOVEMBER 13, 2010. COORDINATES WERE CONVERTED FROM GPS TO STATE PLANE COORDINATES (NAD83) USING CORPSCON SOFTWARE.

HYDROGRAPHIC SURVEY NOTES:

1. THE BATHYMETRY (INCLUDING HYDROGRAPHIC CONTOURS, SOUNDINGS AND/OR SURFACE IMAGERY) PRESENTED HEREIN REPRESENTS THE RESULTS OF A MULTI-BEAM HYDROGRAPHIC SURVEY PERFORMED BY STEELE ASSOCIATES MARINE CONSULTANTS, LLC. ON NOVEMBER 20, 2023 AND CAN ONLY BE CONSIDERED TO INDICATE THE GENERAL CONDITIONS EXISTING AT THAT TIME.
2. HYDROGRAPHIC CONTOURS REPRESENT DEPTHS IN FEET BELOW MEAN LOWER LOW WATER DATUM (MLLWD). ALL HYDROGRAPHIC CONTOURS AND/OR SOUNDINGS ARE NEGATIVE UNLESS DENOTED WITH A PLUS (+).
3. FOR ADDITIONAL INFORMATION, REFER TO ORIGINAL PLAN PREPARED BY STEEL ASSOCIATES MARINE CONSULTANTS, LLC TITLED, "EXISTING CONDITIONS MULTIBEAM BATHYMETRIC SURVEY NEWPORT YACHTING CENTER NEWPORT, RI" DATED NOVEMBER 20, 2023.

| TIDAL DATUM TABLE (NOT TO SCALE) | | |
|---|-------|--------|
| | MLLW | NAVD88 |
| MEAN HIGHER HIGH WATER (MHHW) | +3.8' | +1.8' |
| MEAN HIGH WATER (MHW) | +3.6' | +1.6' |
| NORTH AMERICAN VERTICAL DATUM+1988 (NAVD88) | +2.0' | 0.0' |
| MEAN LOW WATER (MLW) | +0.1' | -1.9' |
| MEAN LOWER LOW WATER (MLLW) | 0.0 | -2.0' |



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harboreng.com

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| 1 | MINOR (TEXT) EDITS | 2/19/2025 | AJK |
| No. | Revision | Date | App. |

Client/Owner:

SW 46 LLC
NEWPORT YACHTING CENTER
20 COMMERCIAL WHARF; NEWPORT, RI 02840
A.P. 27 LOT #046

Issued for:

REGULATORY REVIEW
MARINA EXPANSION
NOT FOR CONSTRUCTION

Drawing Title:

NOTES



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| Date: | 1/9/2025 |
| Scale: | |
| Designed By: | AJK |
| Drawn by: | AJK |
| Checked by: | |
| Project Number: | 2023-17 |
| Sheet | 2 of 7 |
| Drawing Number: | R-2 |

DEMOLITION NOTES:

1. UNLESS STATED OTHERWISE, ALL DEMOLISHED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE COMPLETELY REMOVED FROM THE JOB SITE AND DISPOSED OF IN A SAFE AND LEGAL MANNER.
2. THE CONTRACTOR SHALL MAKE AVAILABLE TO THE ENGINEER A DETAILED DISPOSAL PLAN THAT INCLUDES THE NAME, ADDRESS, AND TELEPHONE NUMBER OF THE DISPOSAL SITE; AND A SIGNED MANIFEST AND DISPOSAL TICKET(S) THAT SUBSTANTIATE APPROVED DISPOSAL OF MATERIAL REMOVED FROM SITE.

PILES

1. REFER TO GEOTECHNICAL BORINGS PERFORMED BY HARDIMAN COMPANY (W-1 THROUGH W-7) FOR ADDITIONAL INFORMATION REGARDING AREA SOILS.
2. THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY SHOULD FIELD CONDITIONS DIFFER FROM THE PILE AND GEOTECHNICAL PROFILE PROVIDED.
3. ALL PILING SHALL BE OF A GRADE STEEL AT OR GREATER THAN WHAT IS NOTED ON THE PILE PLAN AND PILE DETAIL. THE CONTRACTOR SHALL SUBMIT CERTIFICATES SUBSTANTIATING CONFORMANCE WITH MATERIAL & COATING SPECIFICATIONS PRIOR TO INSTALLATION.
4. IF SPLICES ARE NECESSARY, THE CONTRACTOR SHALL SUBMIT SPLICE DETAILS AND CALCULATIONS SIGNED AND SEALED BY THE CONTRACTOR'S ENGINEER FOR APPROVAL. NO SPLICES ARE PERMITTED BELOW ELEVATION -5.0 MLLWD.
5. FIELD WELDING OF SPLICES SHALL NOT BE PERMITTED.

STEEL COATING

1. EPOXY COATING FOR STEEL PILING AND CHANNEL SHALL BE BLACK COAL TAR EPOXY SPECIFICALLY INTENDED FOR THE PURPOSE OF MARINE APPLICATION AND SHALL BE A SELF-CURING TWO-COMPONENT EPOXY. THE STEEL SHALL BE PREPARED AND COATING APPLIED IN TWO COATS AS PER THE MANUFACTURER'S RECOMMENDATIONS. FINAL COATING THICKNESS SHALL BE 16 MILS DRY FILM THICKNESS (DFT) MINIMUM.
2. THE FINISHED COATING SHALL BE SMOOTH, GLOSSY, AND FREE OF SHARP PROTUBERANCES THAT WILL SCRAPE OFF DURING DRIVING, AND SHALL BE FREE OF PINHOLES. MINOR SAGS, DIMPLING OR CURTAINING THAT DO NOT EXCEED 2% OF THE ENTIRE SURFACE OF A PILE WILL BE ALLOWED PROVIDED THEY DO NOT PRESENT SHARP EDGES. PROTUBERANCES AND SHARP EDGES SHALL BE CUT OFF CAREFULLY WITH A SHARP WOOD CHISEL LAID FLAT AGAINST THE SURFACE. THE ZONES FROM WHICH EXCESS HAS BEEN REMOVED SHALL BE WIRE BRUSHED LIGHTLY, WIPED WITH METHYL ISOBUTYL KEROSENE (MIBK), AND RECOATED TO A SMOOTH SURFACE.
3. COATED MATERIAL SHALL BE HANDLED CAREFULLY WITH SLINGS THAT WILL NOT MAR THE COATING. ALL AREAS MARRED IN HANDLING, SHIPPING, ERECTING, WELDING, OR PILE DRIVING SHALL BE RECOATED BY THE CONTRACTOR AS SOON AS THEY ARE DISCOVERED. AREAS THAT ARE RECOATED/TOUCHED-UP, SHOULD BE DONE SO USING THE SAME PAINT WITH SURFACE PREPARATION AND REAPPLICATION PER THE PAINT MANUFACTURER'S SPECIFICATIONS.

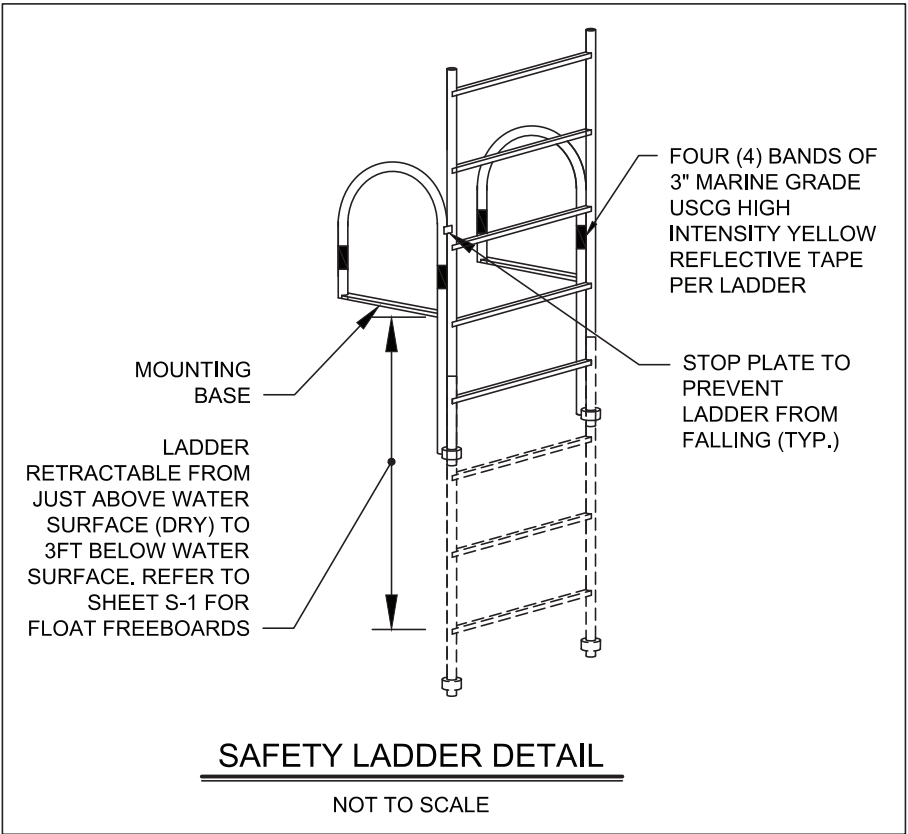
PILE DRIVING

1. THE CONTRACTOR SHALL USE MAINTAINED EQUIPMENT ADEQUATE IN SIZE, CAPACITY AND NUMBERS NEEDED TO ACCOMPLISH THE WORK.
2. IT WILL BE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE SURVEY SUPPORT NEEDED TO ESTABLISH HORIZONTAL CONTROL AND ELEVATION BENCHMARKS TO ENSURE FLOAT PLACEMENT AND THE ELEVATION OF PILE CUTOFFS ARE CONSISTENT WITH PROJECT PLANS, NOTES AND SPECIFICATIONS.
3. PRIOR TO ANY PILE DRIVING, A 20-MINUTE "SOFT START" IS REQUIRED TO ALLOW ANY FEDERALLY-LISTED FISHES OR SEA TURTLES THAT MAY BE PRESENT TO LEAVE THE PROJECT VICINITY BEFORE SOUND PRESSURE INCREASES.
4. THE CONTRACTOR SHALL KEEP AN ACCURATE SET OF PILE INSTALLATION/DRIVING LOGS. ALL PILES BEING INSTALLED SHALL BE CLEARLY MARKED IN 1 FOOT INCREMENTS PRIOR TO INSTALLATION TO SUPPORT MONITORING/RECORDING EFFORTS. ALL LOGS SHALL BE CERTIFIED BY THE CONTRACTOR AND SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO PAYMENT. PILE LOGS SHALL INCLUDE:

- 4.1. **STEEL PILES:** PILE ID, LOCATION, DEPTH TO MUDLINE (INCLUDING DATE & TIME RECORDED), TOTAL EMBEDMENT AND LENGTH OF ROCK SOCKET.
5. STEEL PILES SHALL BE DRIVEN OPEN-ENDED.
6. THE CONTRACTOR SHALL ACCOMPLISH MINIMUM PILE EMBEDMENTS NOTED FOR ALL PILES AS PER PLANS, DETAILS AND SECTIONS HEREIN. WHERE ROCK IS ENCOUNTERED, PILES SHALL BE SOCKETED INTO INTO COMPETENT ROCK/MUDSTONE AS INDICATED IN SHEET 7.
7. ALL PILE SPLICE LOCATIONS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL.
8. CRATERS DUE TO PILE DRIVING AND DRILLING SHALL BE BACKFILLED WITH STONE DUST OR OTHER APPROVED MEDIUM UNTIL FLUSH WITH THE SURROUNDING MUDLINE. PROOF OF SUCCESSFUL MATERIAL PLACEMENT SHALL BE SUBMITTED TO THE ENGINEER.

SAFETY LADDER NOTES:

1. SAFETY LADDERS TO BE INSTALLED ON NEW FLOATING DOCKS CONSISTENT WITH CITY OF NEWPORT ORDINANCE 12.28.090 WITH LADDERS INSTALLED EVERY ONE HUNDRED (100) FEET OF PIER, DOCK, WHARF OR FLOATING DOCK OR WITHIN EACH "U" CONFIGURATION (BETWEEN FINGER FLOATS. REFER TO SAFETY LADDER DETAIL FOR ADDITIONAL INFORMATION.
2. SAFETY LADDERS SHALL HAVE A MINIMUM CAPACITY OF 300 POUNDS. LADDERS SHALL EXTEND A MINIMUM OF THREE FEET BELOW THE WATER AND INCLUDE HANDRAILS EXTENDING THREE FEET ABOVE THE TOP OF DOCK.
3. SAFETY LADDERS SHALL BE INSTALLED PER THE INSTRUCTIONS OF THE LADDER MANUFACTURER AND DOCK MANUFACTURER. HARDWARE TO ACCOUNT FOR DISSIMILAR METALS TO AVOID CORROSION.
4. SECTIONS OF FENDER TO BE REMOVED IN THE VICINITY OF WHERE SAFETY LADDERS ARE TO BE INSTALLED. ANCHOR BOLTS FOR TIMBER FENDERING TO BE SET ON EITHER SIDE OF EACH LADDER TO ALLOW FOR SECTIONS OF FENDER TO BE REMOVED WITHOUT AFFECTING THE INTEGRITY OF THE FENDER SYSTEM.



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| 1 | MINOR (TEXT) EDITS | 2/19/2025 | AJK |
| No. | Revision | Date | App. |

Client/Owner:

SW 46 LLC

NEWPORT YACHTING CENTER
20 COMMERCIAL WHARF; NEWPORT, RI 02840
A.P. 27 LOT #046

Issued for:

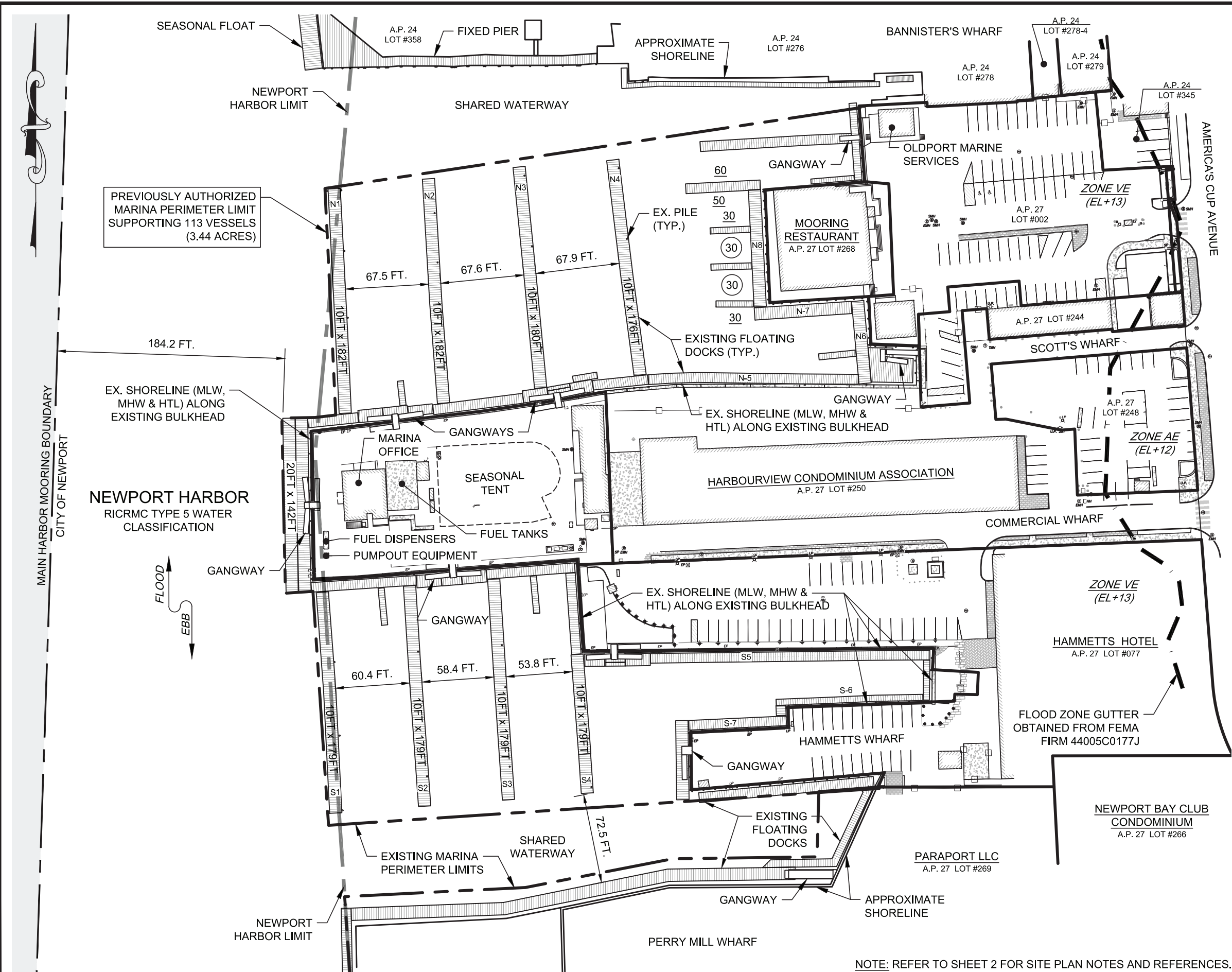
**REGULATORY REVIEW
MARINA EXPANSION
NOT FOR CONSTRUCTION**

Drawing Title:

NOTES



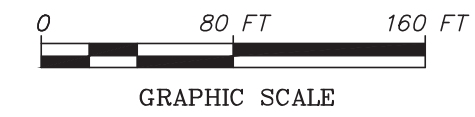
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Scale:
Designed By: AJK
Drawn by: AJK
Checked by:
Project Number: 2023-17
Sheet 3 of 7
Drawing Number: R-3



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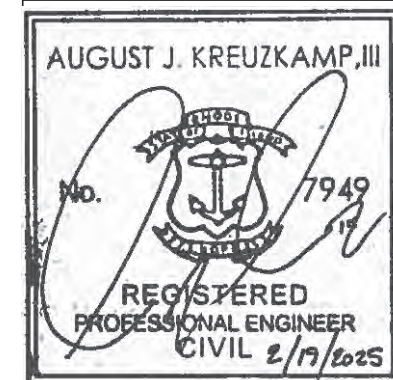
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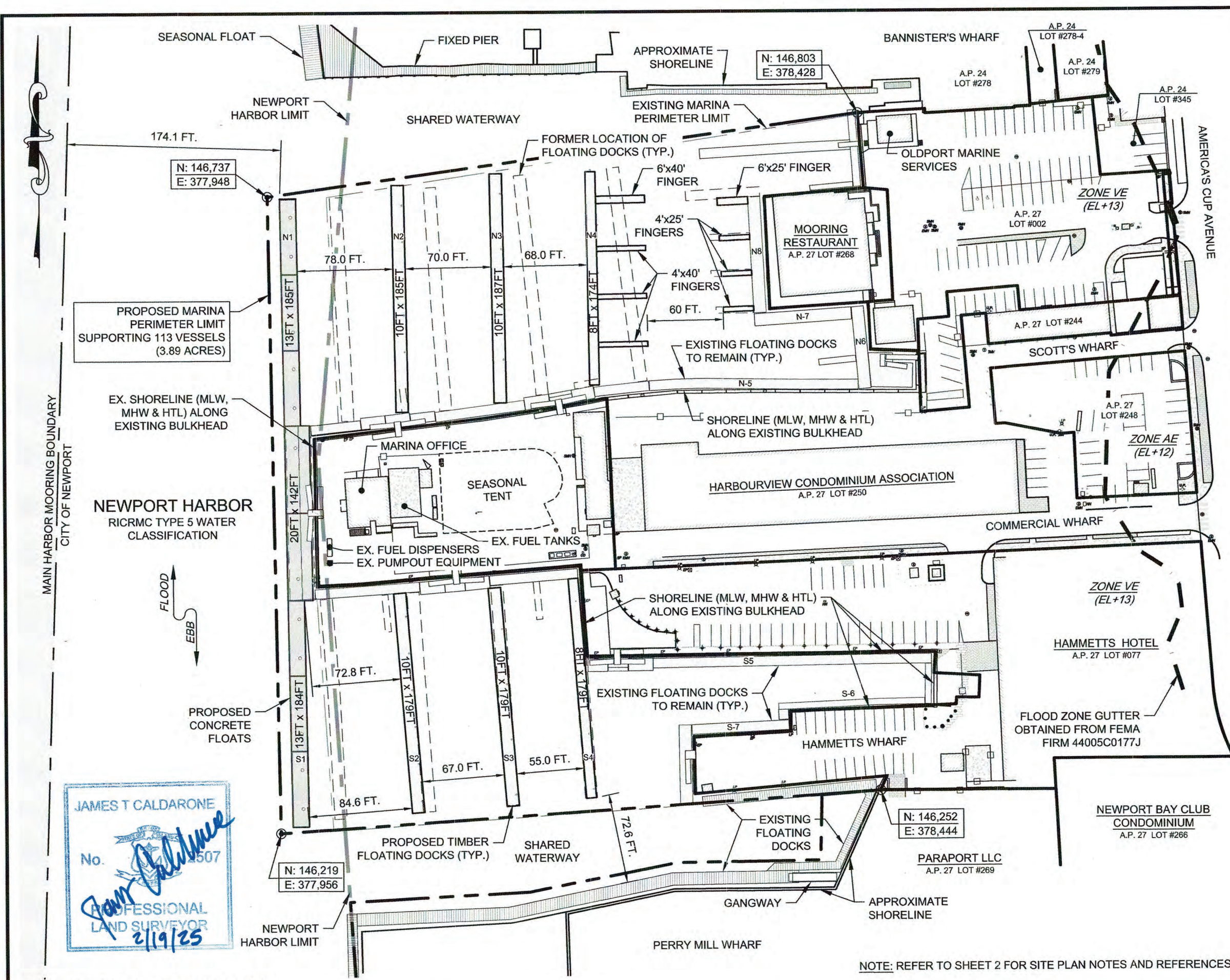
Issued for:
**REGULATORY REVIEW
MARINA EXPANSION
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Drawing Title:
EXISTING SITE PLAN



| | |
|-----------------|----------|
| Date: | 1/9/2025 |
| Scale: | 1"=80' |
| Designed By: | AJK |
| Drawn by: | AJK |
| Checked by: | |
| Project Number: | 2023-17 |
| Sheet | 4 of 7 |
| Drawing Number: | R-4 |

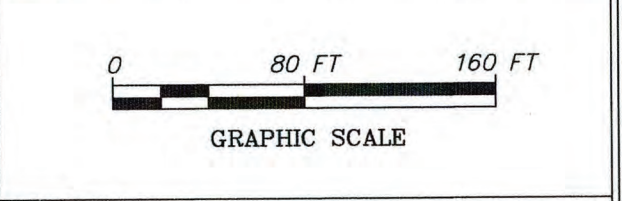
NOTE: REFER TO SHEET 2 FOR SITE PLAN NOTES AND REFERENCES.





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harboreng.com

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| No. | Revision | Date | App. |



Client/Owner:
SW 46 LLC
NEWPORT YACHTING CENTER
20 COMMERCIAL WHARF, NEWPORT, RI 02840
A.P. 27 LOT #046

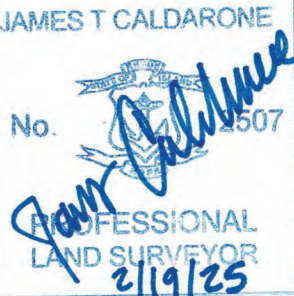
Issued for:
**REGULATORY REVIEW
MARINA EXPANSION
NOT FOR CONSTRUCTION**

Drawing Title:
PROPOSED SITE PLAN



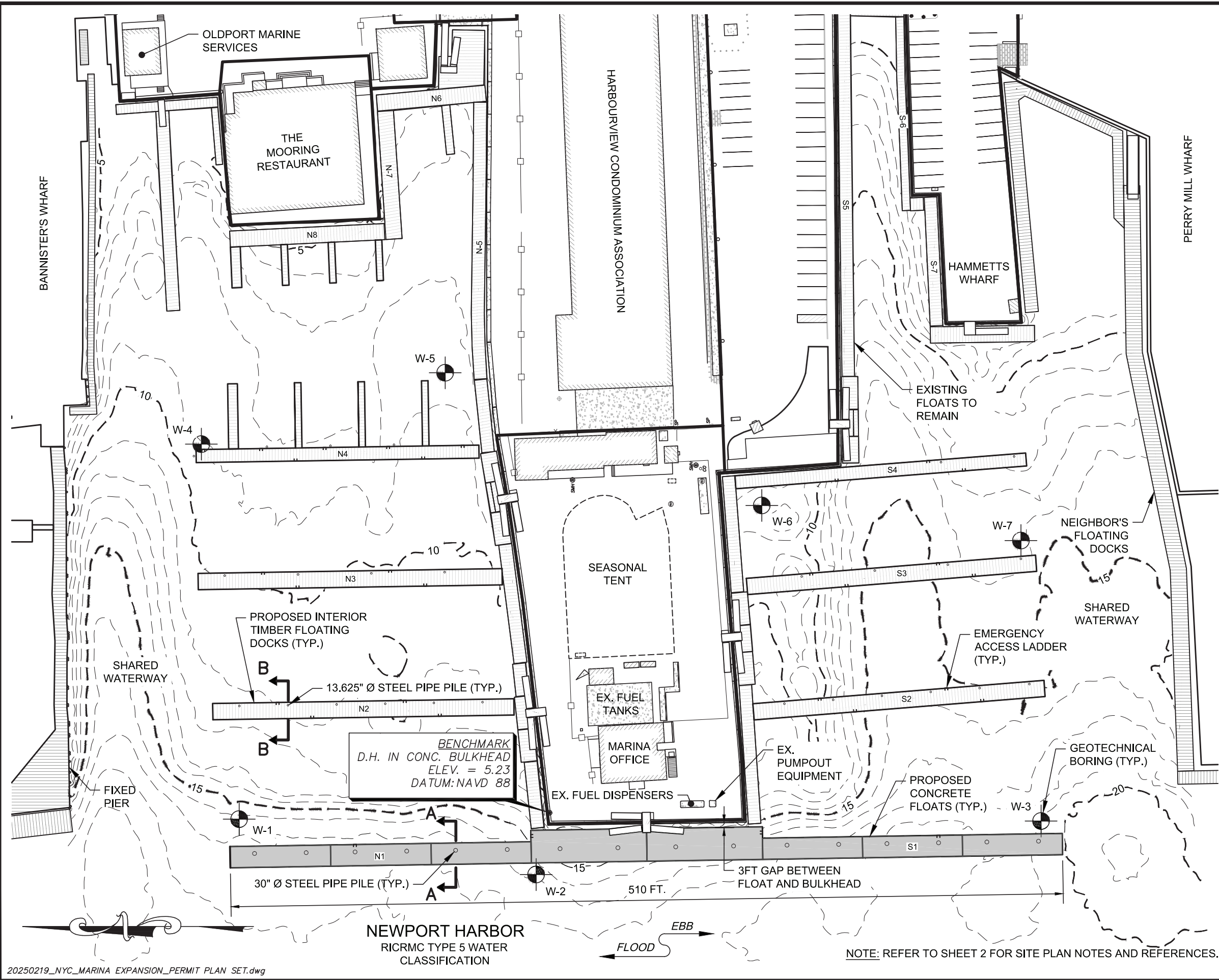
AUGUST J. KREUZKAMP, III
No. 7949
REGISTERED
PROFESSIONAL ENGINEER
CIVIL 2/19/2025

| | |
|-----------------|----------|
| Date: | 1/9/2025 |
| Scale: | 1"=80' |
| Designed By: | AJK |
| Drawn by: | AJK |
| Checked by: | |
| Project Number: | 2023-17 |
| Sheet | 5 of 7 |
| Drawing Number: | R-5 |



JAMES T. CALDARONE
No. 1507
PROFESSIONAL
LAND SURVEYOR
2/19/25

NOTE: REFER TO SHEET 2 FOR SITE PLAN NOTES AND REFERENCES.



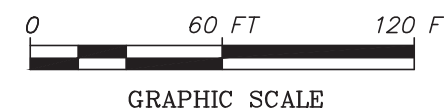
20250219_NYC_MARINA_EXPANSION_PERMIT PLAN SET.dwg



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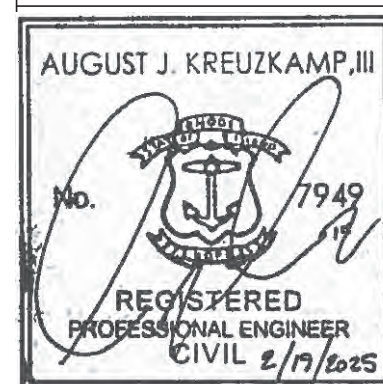
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| 1 | MINOR (TEXT) EDITS | 2/19/2025 | AJK |
| No. | Revision | Date | App. |



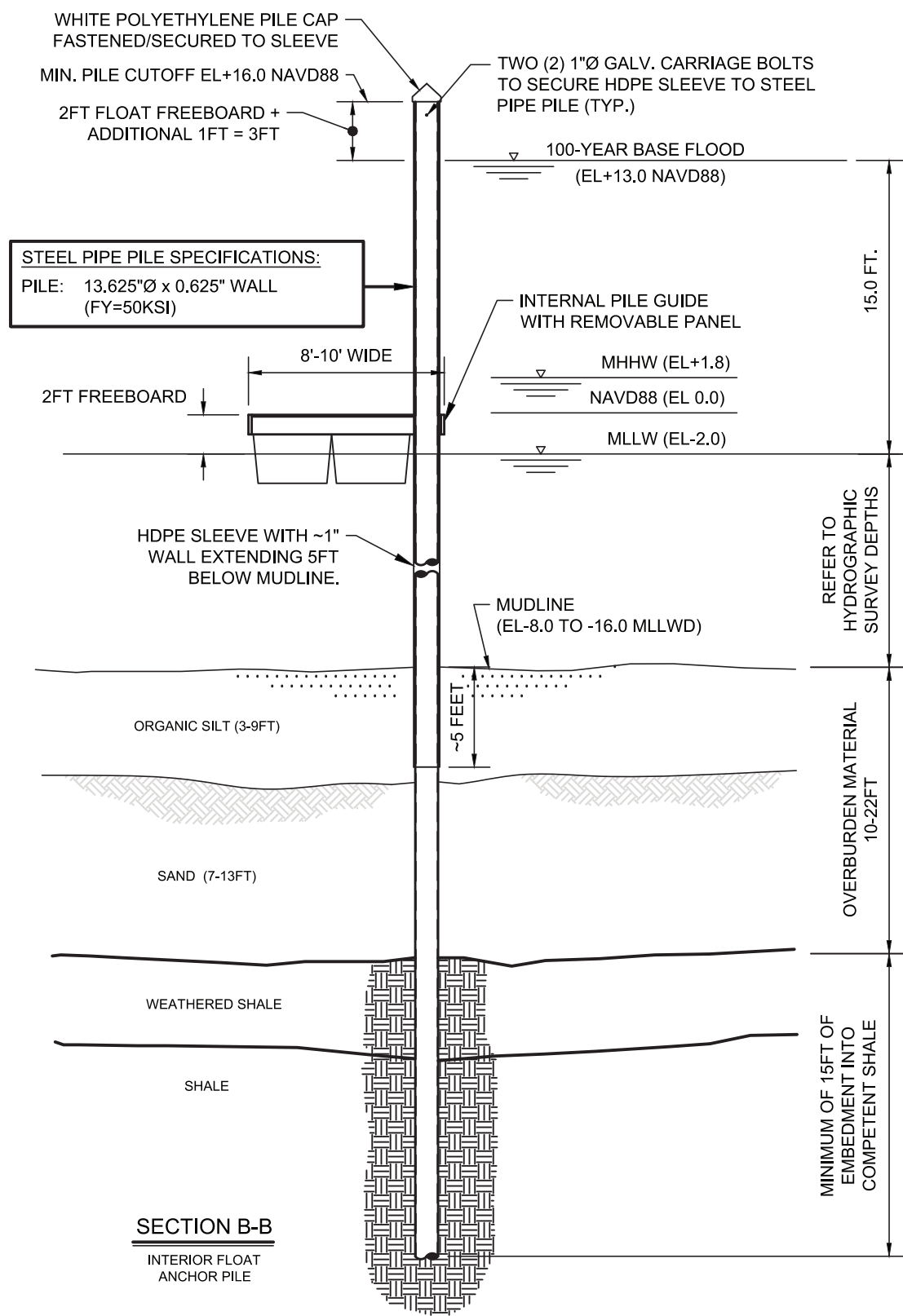
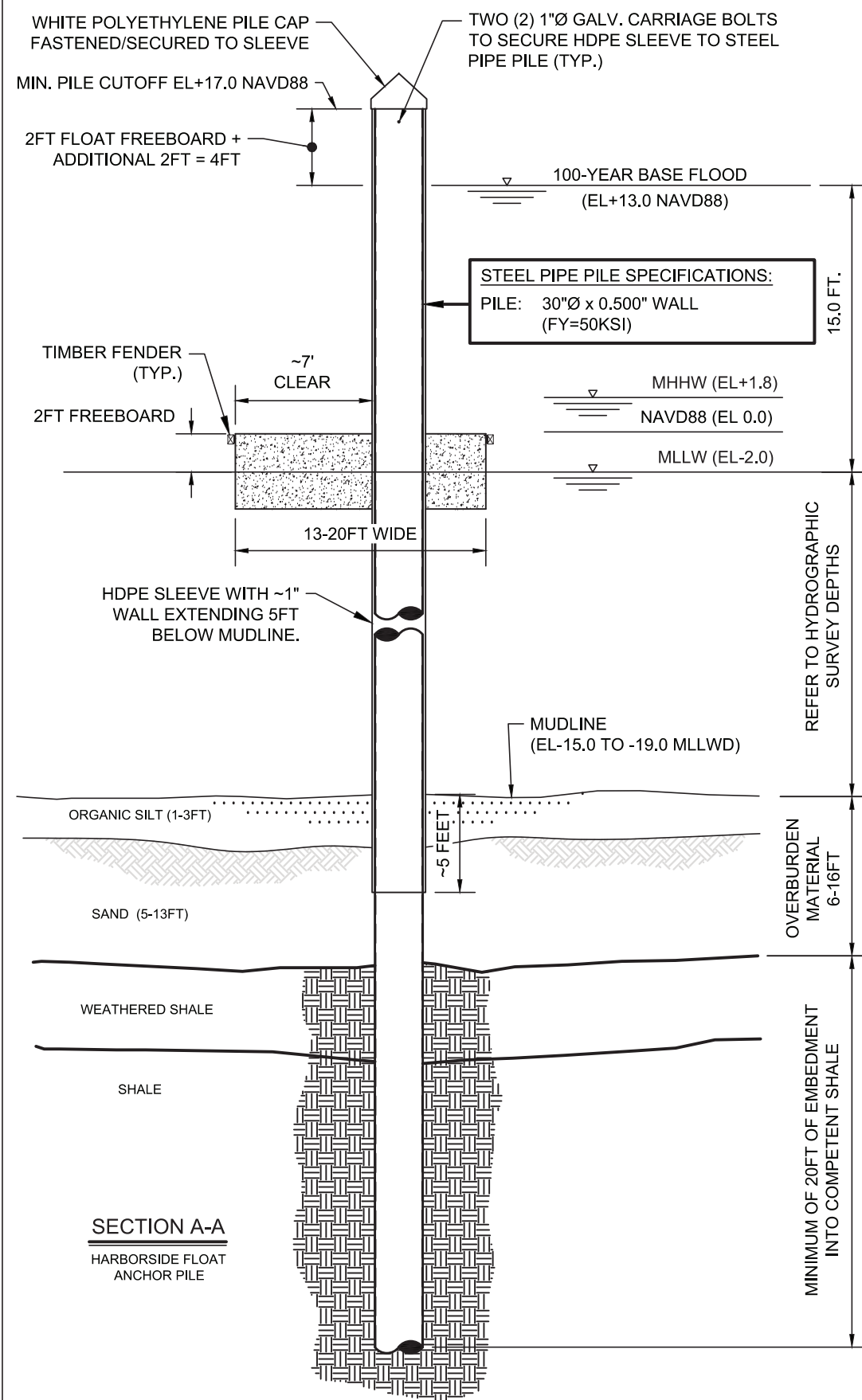
Client/Owner:
SW 46 LLC
NEWPORT YACHTING CENTER
20 COMMERCIAL WHARF; NEWPORT, RI 02840
A.P. 27 LOT #046

Issued for:
**REGULATORY REVIEW
MARINA EXPANSION
NOT FOR CONSTRUCTION**

Drawing Title:
**PROPOSED SITE PLAN
FLOAT CONFIGURATION & PILE DESIGN
INCLUDING
LOCAL BATHYMETRY (MLLW)**



Date: 1/9/2025
Scale: 1"=60'
Designed By: AJK
Drawn by: AJK
Checked by:
Project Number: 2023-17
Sheet 6 of 7
Drawing Number: R-6



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| 1 | MINOR (TEXT) EDITS | 2/19/2025 | AJK |
| No. | Revision | Date | App. |

Client/Owner:

SW 46 LLC

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A.P. 27 LOT #046

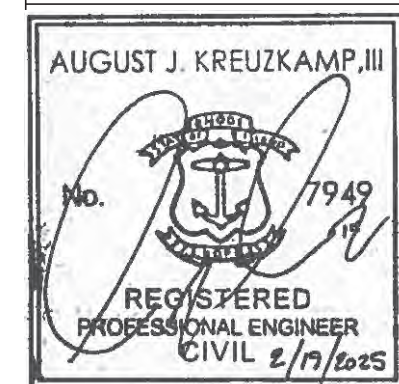
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REGULATORY REVIEW
MARINA EXPANSION
NOT FOR CONSTRUCTION

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| Drawing Title: | |
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SECTIONS A-A & B-B

FLOAT ANCHOR PILE DETAILS



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| Date: | 1/9/2025 |
| Scale: | NOT TO SCALE |

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| Designed By: | AJK |
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| Drawn by: | AJK |
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| Checked by: |
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Project Number:

2023-17

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Sheet 7 of 7

Drawing Number:

R-7