



State of Rhode Island
Coastal Resources Management Council
Oliver H. Stedman Government Center
4808 Tower Hill Road, Suite 3
Wakefield, RI 02879-1900

(401) 783-3370
Fax (401) 783-2069

15-DAY PUBLIC NOTICE

File Number: 2025-04-077 Date: July 24, 2025

This office has under consideration the application of:

I-195 Redevelopment District Commission
Attn: Caroline Skuncik
225 Dyer Street, 4th Floor
Providence, RI 02908

for a State of Rhode Island Assent to construct and maintain: Site is located within the I-195 Redevelopment District and is identified as Parcel 2 at 421 South Main Street (Reference Master Plan, CRMC Assent 2013-10-012). The project is to construct two mixed use buildings consisting of 194 residential units and 8,240 square feet of retail space. The project will also include subsurface parking of approximately 24,100 square feet to support 60 vehicle spaces.

Project Location:	421 South Main Street (PARCEL 2)
City/Town:	Providence
Plat/Lot:	Plat 16, lot 671
Waterway:	Providence River

Plans of the proposed work can be requested at Cstaff1@crmc.ri.gov.

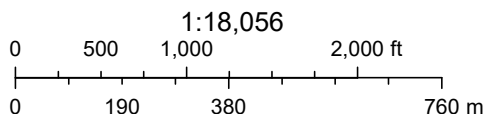
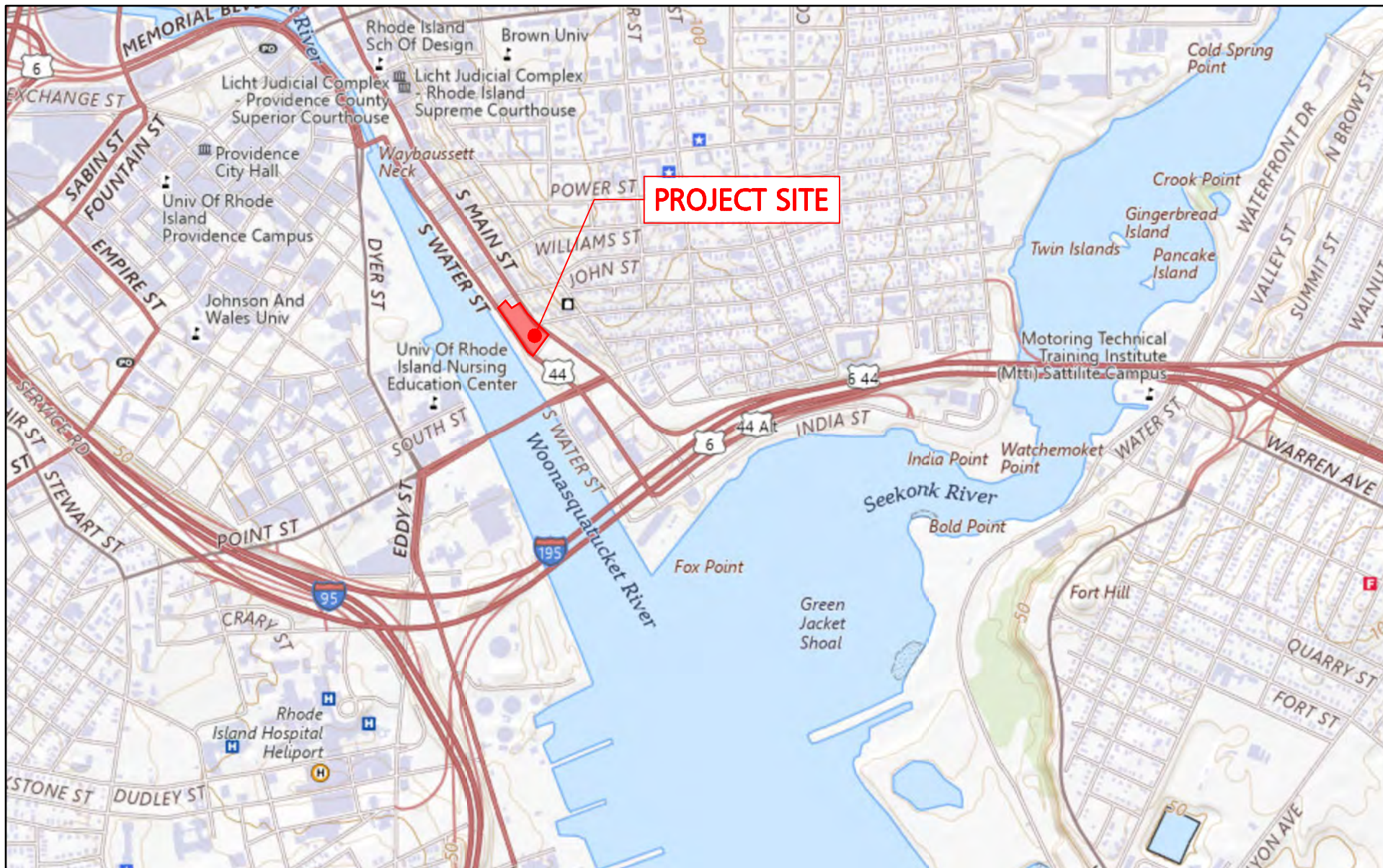
In accordance with the Administrative Procedures Act (Chapter 42-35 of the Rhode Island General Laws) you may request a hearing on this matter.

You are advised that if you have good reason to enter protests against the proposed work it is your privilege to do so. It is expected that objectors will review the application and plans thoroughly, visit site of proposed work if necessary, to familiarize themselves with the conditions and cite what law or laws, if any, would in their opinion be violated by the work proposed.

If you desire to protest, you must attend the scheduled hearing and give sworn testimony. A notice of the time and place of such hearing will be furnished you as soon as possible after receipt of your request for hearing. If you desire to request a hearing, to receive consideration, it should be in writing (**with your correct mailing address, e-mail address and valid contact number**) and be received at this office on or before **August 8, 2025**.

Please email your comments/hearing requests to: cstaff1@crmc.ri.gov; or mail via USPS to: Coastal Resources Management Council; O. S. Government Center, 4808 Tower Hill Road, Rm 116; Wakefield, RI 02879.

/lat



USGS The National Map: National Boundaries Dataset, 3DEP Elevation Program, Geographic Names Information System, National Hydrography

USGS
2021 USGS



PREPARED BY:

**ALLEN & MAJOR
ASSOCIATES, INC.**

www.allenmajor.com
400 HARVEY ROAD
MANCHESTER, NH 03103
TEL: (603) 627-5500 FAX: (603) 627-5501
WOBBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

PROJECT:
P2 RESIDENCES
I-195 REDEVELOPMENT DISTRICT
ASSESSORS MAP 16, LOT 671
421 SOUTH MAIN ST - PROVIDENCE, RI

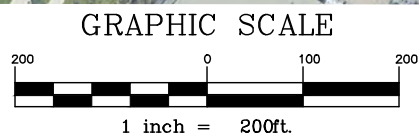
APPLICANT: URBANICA, INC. - 429 MELNEA CASS BLVD - BOSTON, MA 02119

THIS DRAWING HAS BEEN PREPARED IN ELECTRONIC FORMAT. CLIENT/CLIENT'S REPRESENTATIVE OR CONSULTANT MAY BE PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS ON MAGNETIC MEDIA FOR HIS/HER INFORMATION AND USE FOR SPECIFIC APPLICATION TO THIS PROJECT. DUE TO THE POTENTIAL THAT THE MAGNETIC INFORMATION MAY BE MODIFIED UNINTENTIONALLY OR OTHERWISE, ALLEN & MAJOR ASSOCIATES, INC. MAY REMOVE ALL INDICATION OF THE DOCUMENT'S AUTHORSHIP ON THE MAGNETIC MEDIA. PRINTED REPRESENTATIONS OF THE DRAWINGS AND SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF ALLEN & MAJOR ASSOCIATES, INC.'S WORK PRODUCT.

USGS MAP

PROJECT NO. 1898-12	DATE: 01-23-25
SCALE: AS SHOWN	SHEET REF: -
DESIGNED BY: MAM	CHECKED BY: MAM

FIGURE No.
EX-1



PREPARED BY:



ALLEN & MAJOR ASSOCIATES, INC.
 civil engineering ♦ land surveying
 environmental consulting ♦ landscape architecture
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 400 HARVEY ROAD
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 TEL: (603) 627-5500 FAX: (603) 627-5501
 WOBURN, MA ♦ LAKEVILLE, MA ♦ MANCHESTER, NH

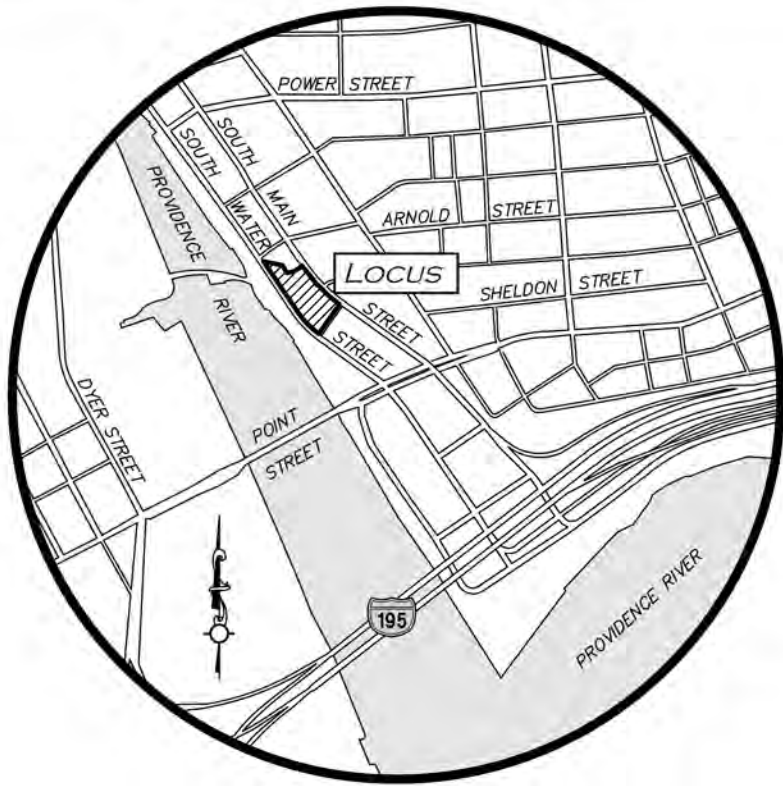
PROJECT: P2 RESIDENCES I-195 REDEVELOPMENT DISTRICT ASSESSORS MAP 16, LOT 671 421 SOUTH MAIN ST - PROVIDENCE, RI APPLICANT: URBANICA, INC. - 429 MELNEA CASS BLVD - BOSTON, MA 02119	AERIAL PHOTO	
	PROJECT NO. 1898-12	DATE: 01-23-25
	SCALE: 1"=200'	SHEET REF: -
	DESIGNED BY: MAM	CHECKED BY: MAM
THIS DRAWING HAS BEEN PREPARED IN ELECTRONIC FORMAT. CLIENT/CLIENT'S REPRESENTATIVE OR CONSULTANT MAY BE PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS ON MAGNETIC MEDIA FOR HIS/HER INFORMATION AND USE FOR SPECIFIC APPLICATION TO THIS PROJECT DUE TO THE POTENTIAL THAT THE MAGNETIC INFORMATION MAY BE MODIFIED UNINTENTIONALLY OR OTHERWISE, ALLEN & MAJOR ASSOCIATES, INC. MAY REMOVE ALL INDICATION OF THE DOCUMENT'S AUTHORSHIP ON THE MAGNETIC MEDIA. PRINTED REPRESENTATIONS OF THE DRAWINGS AND SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF ALLEN & MAJOR ASSOCIATES, INC.'S WORK PRODUCT.		

RECEIVED
 4/17/2025
 COASTAL RESOURCES MANAGEMENT COUNCIL

RECEIVED
4/17/2025
COASTAL RESOURCES
MANAGEMENT BOARD



Photo take April 1, 2025 at 5:42pm by Michael Malynowski of Allen & Major Associates, Inc.



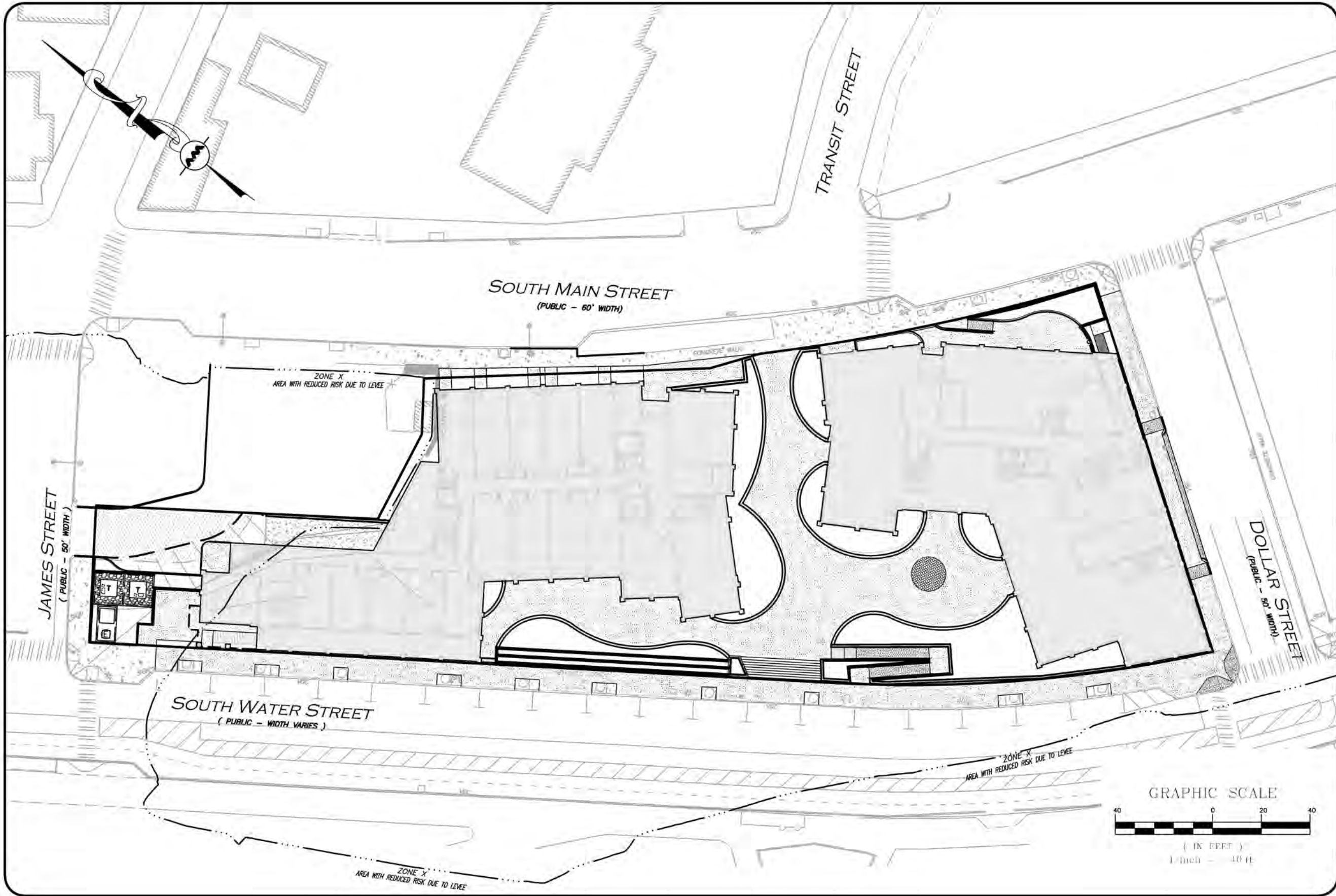
LOCUS MAP
SCALE: 1" = 1,000'

SITE REDEVELOPMENT PLAN SET FOR P2 RESIDENCES ASSESSORS MAP 16, LOT 671 421 SOUTH MAIN ST - PROVIDENCE, RI

APPLICANT/OWNER:
URBANICA, INC.
429 MELNEA CASS BLVD
BOSTON, MA 02119
617-654-8900

CIVIL ENGINEER & LANDSCAPE ARCHITECT:
ALLEN & MAJOR ASSOCIATES, INC.
100 COMMERCE WAY
WOBBURN, MA 01888-0118
(781) 935-6889

ARCHITECT
URBANICA DESIGN, LLC
429 MELNEA CASS BLVD
BOSTON, MA 02119
617-654-8900



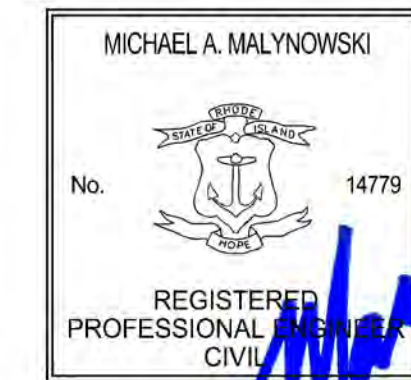
PLAN NOTES:

- EXISTING CONDITIONS ARE BASED UPON PLAN ENTITLED "ALTA/ACSM LAND TITLE SURVEY" AS PREPARED BY NATIONAL SURVEYORS-DEVELOPERS INC., WOODSOCKET, RI, DATED JUNE 2018. FILES PROVIDED BY I-195 REDEVELOPMENT COMMISSION FOR USE ON THIS PROJECT.
- THIS SITE LIES IN BOTH A ZONE X AREA OF MINIMAL FLOOD HAZARD AND ZONE X AREA OF REDUCED FLOOD RISK DUE TO LEVEE AS SHOWN ON THE FIRM MAP FOR THE CITY OF PROVIDENCE, RI MAP NUMBER 44007C0309K, MAP EFFECTIVE DATE OCTOBER 2, 2015.
- THE PARCEL IS ZONED C-2 BASED ON THE CITY OF PROVIDENCE ONLINE GIS.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK. THE CONTRACTOR SHALL ALSO CONTACT THE CITY DEPARTMENT OF PUBLIC WORKS AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF LOCAL UTILITIES.

LIST OF DRAWINGS

DRAWING TITLE	SHEET NO.	ISSUED	REVISION
EXISTING CONDITIONS PLAN	1	JUNE 2018	-
EROSION CONTROL & SITE PREP PLAN	C-101A	10-31-24	01-23-25
TEMPORARY STAGING AREA PLAN	C-101B	02-20-25	-
SOIL EROSION & SEDIMENT CONTROL NOTES	C-101C	10-31-24	01-23-25
SOIL EROSION & SEDIMENT CONTROL DETAIL	C-101D	10-31-24	01-23-25
LAYOUT & MATERIALS PLAN	C-102	10-31-24	01-23-25
GRADING & DRAINAGE PLAN	C-103	10-31-24	01-23-25
GRADING & DRAINAGE PLAN	C-103A	10-31-24	01-23-25
GRADING & DRAINAGE PLAN	C-103B	10-31-24	01-23-25
UTILITIES PLAN	C-104	10-31-24	01-23-25
DETAILS	C-501	10-31-24	01-23-25
DETAILS	C-502	10-31-24	01-23-25
DETAILS	C-503	10-31-24	01-23-25
DETAILS	C-504	10-31-24	01-23-25
DETAILS	C-505	10-31-24	01-23-25
DETAILS	C-506	10-31-24	01-23-25
LANDSCAPE PLAN	L-101	10-31-24	01-23-25
LANDSCAPE PLAN	L-102	10-31-24	01-23-25
LANDSCAPE NOTES & DETAILS	L-501	10-31-24	01-23-25
LANDSCAPE NOTES & DETAILS	L-502	10-31-24	01-23-25

ISSUED FOR REVIEW
PERMITTING SET
April 03, 2025



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

△	01-23-25	ISSUED FOR RIDEM PERMITTING
△	12-03-24	ISSUED FOR RIDEM PERMITTING
REV	DATE	DESCRIPTION

APPLICANT/OWNER:

URBANICA, INC.
429 MELNEA CASS BLVD
BOSTON, MA 02119

PROJECT:

P2 RESIDENCES
I-195 REDEVELOPMENT DISTRICT
ASSESSORS MAP 16, LOT 671
421 SOUTH MAIN ST - PROVIDENCE, RI

PROJECT NO. 1898-12 DATE: 10-31-24

SCALE: DWG.:C-1898-12_COVER

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBBURN MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896

WOBBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

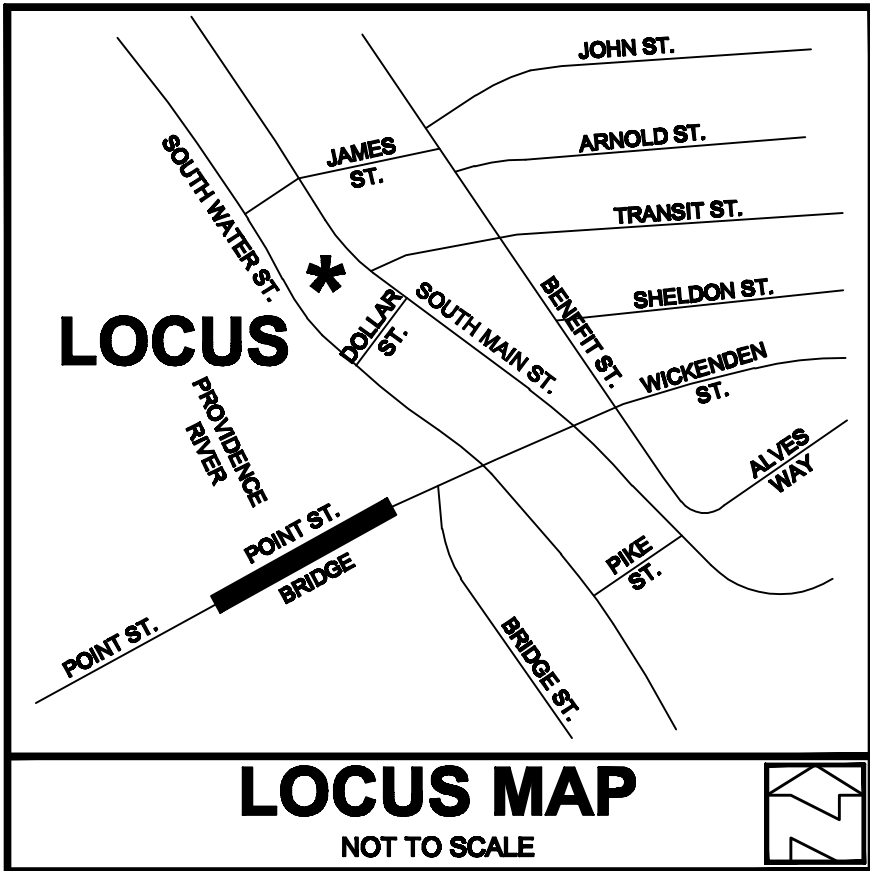
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DRAWING TITLE:	SHEET No.
COVER	C
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REQUIRED APPROVALS:			
PERMIT	AGENCY	APPROVED	EXPIRES
DESIGN/PRE-DEVELOPMENT			
FINAL PLAN APPROVAL	I-195 REDEVELOPMENT DISTRICT COMMISSION		
HISTORIC REVIEW - FINAL PLAN	RHODE ISLAND STATE HISTORIC PRESERVATION OFFICER		
DESIGN REVIEW FOR CITY ZONING JURISDICTION - FINAL PLAN	CITY OF PROVIDENCE - PLANNING DEPARTMENT		
CERTIFICATE OF DEVELOPMENT PLAN APPROVAL	I-195 REDEVELOPMENT DISTRICT COMMISSION		
ENVIRONMENTAL			
CRMC ASSENT AND COASTAL PERMITTING	COASTAL RESOURCE MANAGEMENT COUNCIL (CRMC)		
SITE REMEDIATION AND SOIL MANAGEMENT PERMIT	DEPARTMENT OF ENVIRONMENTAL MANAGEMENT (RIDEM)		
STORMWATER - WATER QUALITY AND RIPDES	RIDEM		
UTILITIES			
SEWER CONNECTIONS	NARRAGANSETT BAY COMMISSION		
WATER CONNECTIONS	CITY OF PROVIDENCE/PROVIDENCE WATER		



ISSUED FOR CRMC ASSENT: APRIL 3, 2025



LEGEND
NOT TO SCALE

TC	BOUNDARY
G	TELECOMMUNICATION LINE
D	DRAINAGE LINE
S	SEWER LINE
W	WATER LINE
E	ELECTRIC LINE
NE	ZONE BOUNDARIES
DMH	DRILL HOLE
RM	MONITORING WELL
WV	WATER VALVE
GV	GAS VALVE
SV	SEWER VALVE
UV	UNKNOWN VALVE
HY	HYDRANT
FB	FIRE BOX
EM	ELECTRIC MANHOLE
SM	SEWER MANHOLE
SB	SIGN
CB	CATCH BASIN / DROP INLET
DI	CATCH BASIN
PM	PARKING METER
CP	CROSSWALK POLE
UM	UNKNOWN MANHOLE
TM	TELEPHONE MANHOLE
DM	DRAIN MANHOLE
LP	LIGHT POLE
NF	NOW OR FORMERLY
VGC	VERTICAL GRANITE CURB

GENERAL NOTES:

1. THE LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND "DIG-SAFE" MUST BE NOTIFIED PRIOR TO COMMENCING ANY CONSTRUCTION OPERATIONS. RESTORATION AND REPAIR OF DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO ADDITIONAL COST TO THE OWNER. NO EXCAVATION SHALL COMMENCE UNTIL ALL INVOLVED UTILITY COMPANIES AND/OR TOWN WHOSE FACILITIES MIGHT BE AFFECTED BY ANY WORK TO BE PERFORMED BY THE CONTRACTOR ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCE.

2. THIS SITE LIES IN BOTH A ZONE X AREA OF MINIMAL FLOOD HAZARD AND ZONE X AREA OF REDUCED FLOOD RISK DUE TO LEVEE AS SHOWN ON THE FIRM MAP FOR THE CITY OF PROVIDENCE, RI MAP NUMBER 440070309K, MAP EFFECTIVE DATE OCTOBER 2, 2015.

3. KNOWN EASEMENTS OR RIGHTS OF WAY WITHIN OR ADJACENT TO THIS PARCEL ARE AS SHOWN.

4. HORIZONTAL DATUM IS BASED ON RHODE ISLAND STATE PLANE COORDINATES NAD 83 DATUM AND CONTOURS ARE BASED UPON THE NAVD88 VERTICAL DATUM.

REFERENCES:

1. PLANS ENTITLED "PLAT SHOWING LAND IN PROVIDENCE CONVEYED BY THE STATE OF RHODE ISLAND AND PROVIDENCE PLANTATIONS TO I-195 REDEVELOPMENT DISTRICT" FOR FISCAL YEAR 2013 BY BRYANT ASSOCIATES, INC., SHEETS 3-5 OF 26, PLAT NO. 2796.

2. PLANS ENTITLED "RHODE ISLAND DEPARTMENT OF TRANSPORTATION, IMPROVEMENTS TO INTERSTATE ROUTE 195, CONTRACT 15, VOLUME 1, PROVIDENCE, RHODE ISLAND, PLAN NO. 1 THROUGH PLAN NO. 7" BY CDR MAGUIRE.

3. PROVIDENCE SEWER PLAN FOR SOUTH WATER STREET, SECTION 17, DATED DECEMBER 2, 1997, PLAN NUMBER 181-89.

TO I-195 REDEVELOPMENT DISTRICT

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6A, 8, 9, 11, 13, 16, 18 & 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MAY 30 TO JUNE 11, 2018.

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATIONS FOR PROFESSIONAL LAND SURVEYORS NOVEMBER 25, 2015 AS FOLLOWS:

TYPE OF SURVEY: COMPREHENSIVE BOUNDARY SURVEY
MEASUREMENT SPECIFICATION: CLASS 1 STANDARD

PURPOSE OF SURVEY: ALTA/ACSM LAND TITLE SURVEY

BY: NORBERT A. THERIEN, PLS NO. 1739



DEED DESCRIPTION OF ASSESSORS MAP 16 LOT 659

Beginning at a point on the northwesterly line of Dollar Street said point being at the intersection made with the said northwesterly line of Dollar Street and the most southwesterly line of South Main Street. Said point and place of beginning being the most easterly corner of the parcel herein described.

Thence S 35° 19' 53" W following the said northwesterly line of Dollar Street a distance of 158.90 feet to the intersection made with the said northwesterly line of Dollar Street and the most northeasterly line of South Water Street.

Thence northwesterly and northerly following a curve to the right having a radius of 568.00 feet and following the said northeasterly line of South Water Street a distance of 156.20 feet to a point of tangency.

Thence N 33° 51' 49" W following the said northeasterly line of South Water Street a distance of 296.96 feet to land now or formerly owned by the State of Rhode Island.

Thence S 77° 20' 45" E following the said State of Rhode Island land a distance of 82.34 feet to land now or formerly owned by Dolphin House LTD.

Thence S 34° 14' 36" E running along said Dolphin House LTD land and other land owned by said Dolphin House LTD a distance of 45.90 feet to an angle in said boundary line.

Thence N 80° 29' 31" E running along said Dolphin House LTD land a distance of 39.29 feet to an angle in said boundary line.

Thence N 55° 04' 40" E running along said Dolphin House LTD land a distance of 22.91 feet to the said southwesterly line of South Main Street.

Thence S 39° 02' 00" E following the said southwesterly line of South Main Street a distance of 117.51 feet to an angle in said street line.

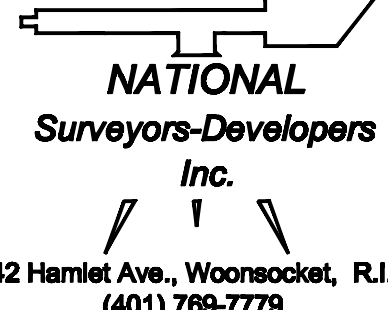
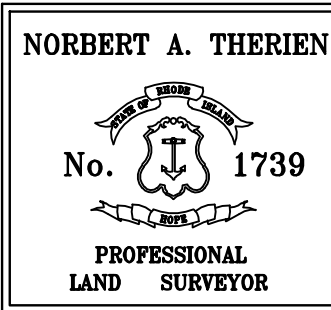
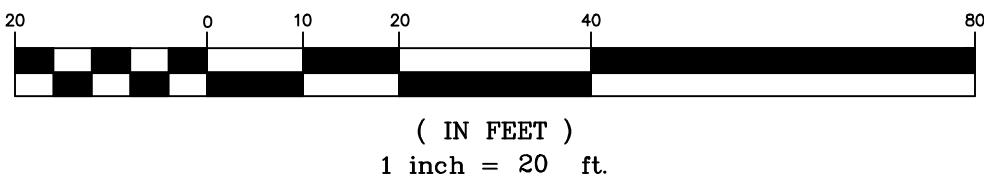
Thence S 53° 16' 17" E following the said southwesterly line of South Main Street a distance of 21.29 feet to an angle point in said street line.

Thence southeasterly and easterly following a curve to the left having a radius of 830.00 feet and following the said southwesterly line of South Main Street a distance of 141.20 feet to the point and place of beginning
CONTAINING:
46,907 SQUARE FEET
1.0768 ACRES

ZONING CRITERIA

ZONING DISTRICT	C-2
MINIMUM LOT AREA	NONE
MINIMUM LOT FRONTAGE	---
MINIMUM FRONT YARD SETBACK	0'-5'
MINIMUM SIDE YARD SETBACK	NONE
MINIMUM REAR YARD SETBACK	NONE
MAXIMUM BUILDING COVERAGE	NONE
MAXIMUM BUILDING HEIGHT	50'

GRAPHIC SCALE



I-195 REDEVELOPMENT DISTRICT
ASSESSOR'S MAP 16, LOT 659
421 SOUTH MAIN STREET
PROVIDENCE, RHODE ISLAND

ALTA/ACSM
LAND TITLE SURVEY

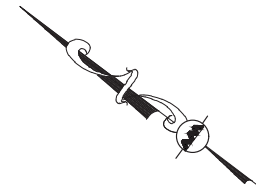
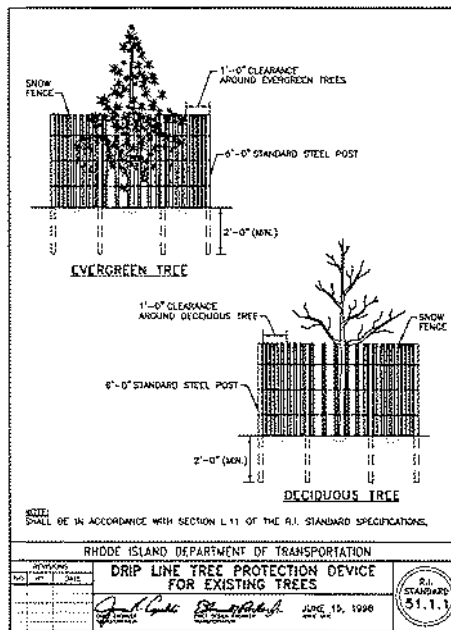
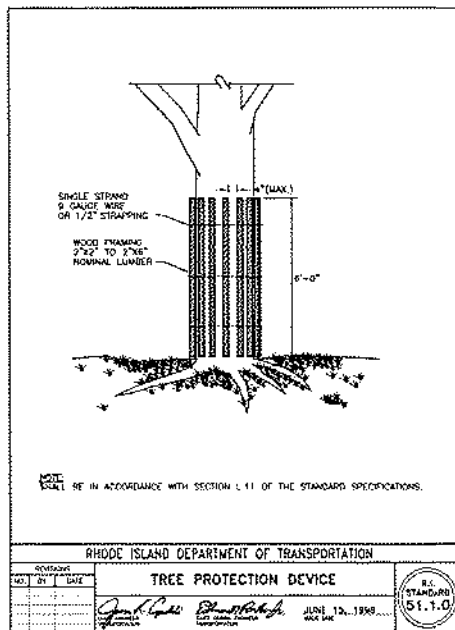
DRAWN BY: C.B.	CHECKED BY: N.A.T.	FIELD BY: M.A.,B.B.
JUNE 2018	JOB No. 2018-86	SHEET 1 OF 1

NO.	DATE	DESCRIPTION	BY

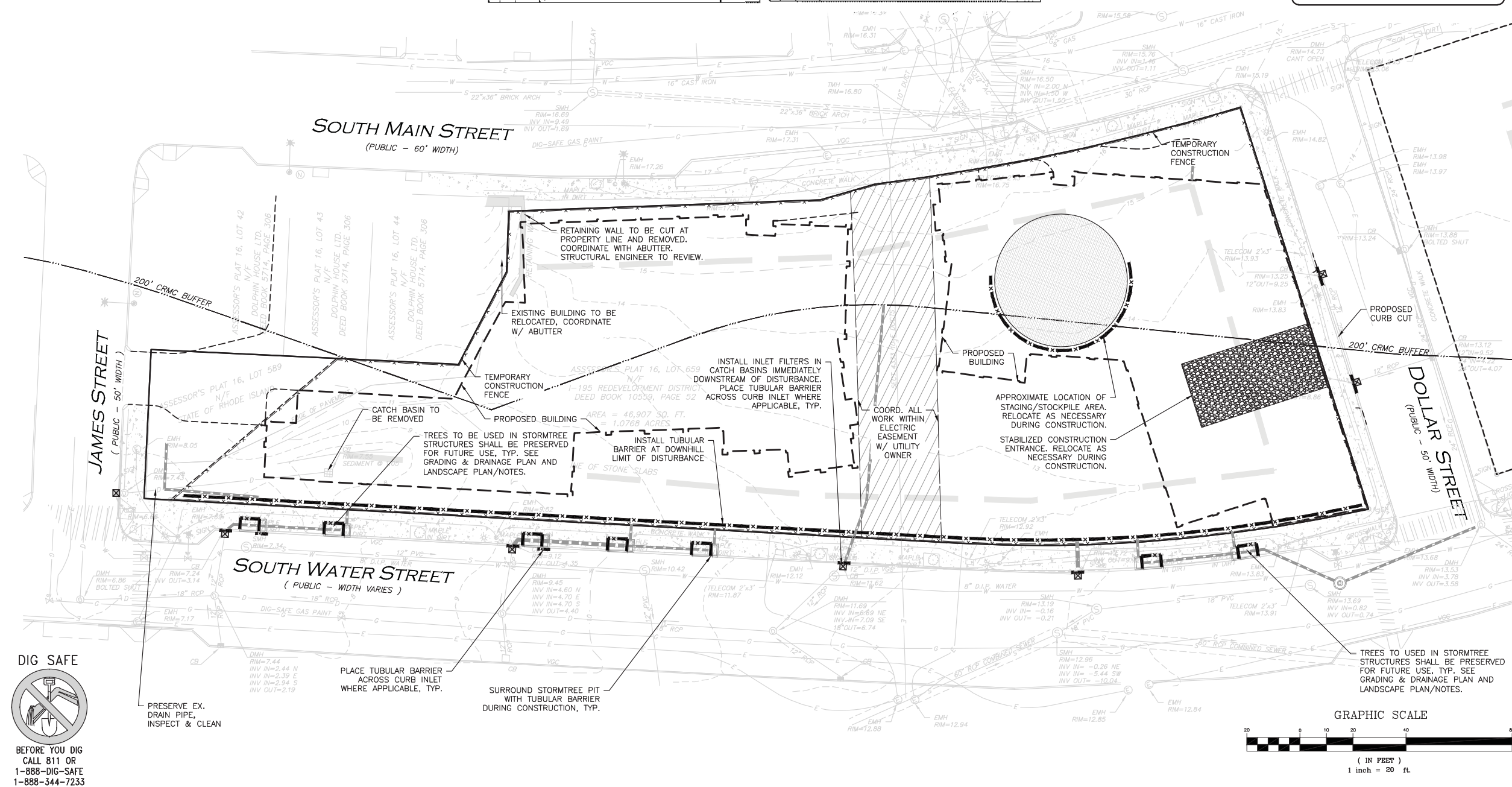


1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF COMPANIES AND WHEN AVAILABLE, POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT ANY TIME WHEN A PERMITTING AGENCY, "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
2. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE CONSTRUCTION. THE CONTRACTOR HAS RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. ALTHOUGH CERTAIN ITEMS HAVE BEEN NOTED ON THIS DRAWING FOR DEMOLITION, NO ATTEMPT HAS BEEN MADE TO LOCATE EACH AND EVERY ITEM THAT REQUIRES DEMOLITION FOR THE COMPLETION OF THE PROJECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL NECESSARY DEMOLITION WORK TO COMPLETE THE PROJECT. ALLEN & MAJOR ASSOCIATES, INC. HAS NO RESPONSIBILITY FOR THE LOCATION OF ITEMS NOT SHOWN ON THE SURVEY, OR SPECIFICALLY NOTED. THE DEMOLITION NOTES AND ARROWS ON THIS PLAN ARE TYPICAL AND DO NOT REFLECT QUANTITY.
4. WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION IN DETERMINING PERMISSIBLE TOLERANCES TO AVOID CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS OR CONDITIONS. THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR.
5. IF SOILS WHICH ARE SUSPECTED TO BE CONTAMINATED ARE ENCOUNTERED DURING CONSTRUCTION, THEN THE APPLICANT MUST CONTACT THE APPROPRIATE AGENCIES FOR REMEDIATION AND SUSTAINABLE MATERIALS MANAGEMENT.

6. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY ALLEN & MAJOR ASSOCIATES, DO NOT EXTEND TO OR INCLUDE SAFETY PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK, OR THE OWNER'S EMPLOYEES, CUSTOMERS, OR THE GENERAL PUBLIC. THE SEAL OF THE ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS OR METHODS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PROVIDE THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), STATE, AND LOCAL REGULATIONS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LOCATIONS, INCLUDING BUT NOT LIMITED TO, UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH THE RULES GOVERNING THE CONSTRUCTION OF SUCH WORKS AS APPROVED BY SUCH. ALL COSTS SHALL BE INCLUDED IN BASE BID.
8. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK. THE CONTRACTOR SHALL OBTAIN THE WRITTEN CONSENT OF THE DEPARTMENT OF PUBLIC WORKS AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXIST FIELD LOCATION OF LOCAL UTILITIES.
9. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. IT'S USE FOR ANY OTHER PURPOSE, INCLUDING BUT NOT LIMITED TO, REUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
10. THE DESIGN ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE IF HE INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE GUIDANCE OF THE DESIGN ENGINEER WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, OR CONFLICTS WHICH ARE DISCOVERED OR ALLEGED.



LIMIT OF DISTURBANCE	
PAVEMENT TO BE REMOVED	
TEMPORARY FENCE	
TUBULAR BARRIER	
EROSION CONTROL FABRIC	
CATCH BASIN FILTER	
STABILIZED ENTRANCE	
STOCKPILE/STAGING AREA	





Received
5/13/2025

**Coastal Resources
Management Council**

**ISSUED FOR REVIEW
PERMITTING SET
JANUARY 23, 2025**

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

	01-23-25	ISSUED FOR RIDEIM PERMITTING
	12-03-24	ISSUED FOR RIDEIM PERMITTING
REV	DATE	DESCRIPTION

APPLICANT\OWNER:

URBANICA, INC.
429 MELNEA CASS BLVD
BOSTON, MA 02119

PROJECT:

P2 RESIDENCES
I-195 REDEVELOPMENT DISTRICT
ASSESSORS MAP 16, LOT 671
421 SOUTH MAIN ST - PROVIDENCE, RI

PROJECT NO.	1898-12	DATE:	10-31-24
SCALE:	1" = 20'	DWG.:	C-1898-12_SITE-PREP
DESIGNED BY:	SM	CHECKED BY:	MAM

PREPARED BY:



**ALLEN & MAJOR
ASSOCIATES, INC.**
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBBURN MA 01801
TEL: (781) 935-6889
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WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

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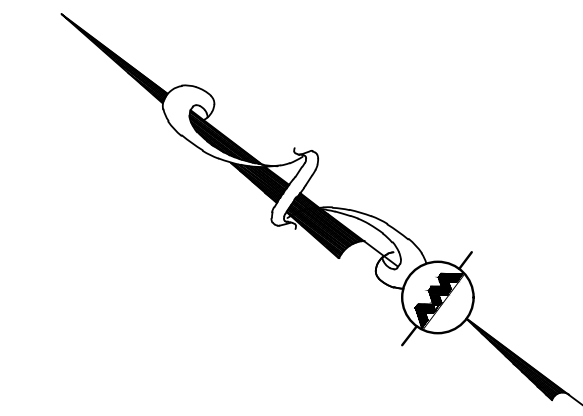
DRAWING TITLE: EROSION CONTROL & SITE PREP PLAN <i>Copyright © 2025 Allen & Major Associates, Inc.</i>	SHEET No. C-101A
	03 OF 19

GENERAL NOTES:

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
2. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. ALTHOUGH CERTAIN ITEMS HAVE BEEN NOTED ON THIS DRAWING FOR DEMOLITION, NO ATTEMPT HAS BEEN MADE TO DELINEATE EACH AND EVERY ITEM THAT REQUIRES DEMOLITION FOR THE COMPLETION OF THE PROJECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL NECESSARY DEMOLITION WORK TO COMPLETE THE PROJECT. ALLEN & MAJOR ASSOCIATES, INC. IS NOT RESPONSIBLE FOR SITE DEMOLITION ITEMS NOT SHOWN ON THE SURVEY, OR SPECIFICALLY NOTED. THE DEMOLITION NOTES AND ARROWS ON THIS PLAN ARE TYPICAL AND DO NOT REFLECT QUANTITY.
4. WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS OR CONDITIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR.
5. IF SOILS WHICH ARE SUSPECTED TO BE CONTAMINATED ARE ENCOUNTERED DURING CONSTRUCTION, THEN THE APPLICANT MUST CONTACT RIDEM OFFICE OF LAND REVITALIZATION AND SUSTAINABLE MATERIALS MANAGEMENT.
6. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY ALLEN & MAJOR ASSOCIATES DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK, OR THE OWNER'S EMPLOYEES, CUSTOMERS, OR THE GENERAL PUBLIC. THE SEAL OF THE ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PROVIDE THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), STATE, AND LOCAL REGULATIONS.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY'S GOVERNING AUTHORITY'S SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COSTS SHALL BE INCLUDED IN BASE BID.
8. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK. THE CONTRACTOR SHALL ALSO CONTACT THE CITY DEPARTMENT OF PUBLIC WORKS AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF LOCAL UTILITIES.
9. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. IT'S INTENDED USE IS TO PROVIDE INFORMATION, ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
10. THE DESIGN ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND/OR THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE GUIDANCE OF THE DESIGN ENGINEER WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE DISCOVERED OR ALLEGED.

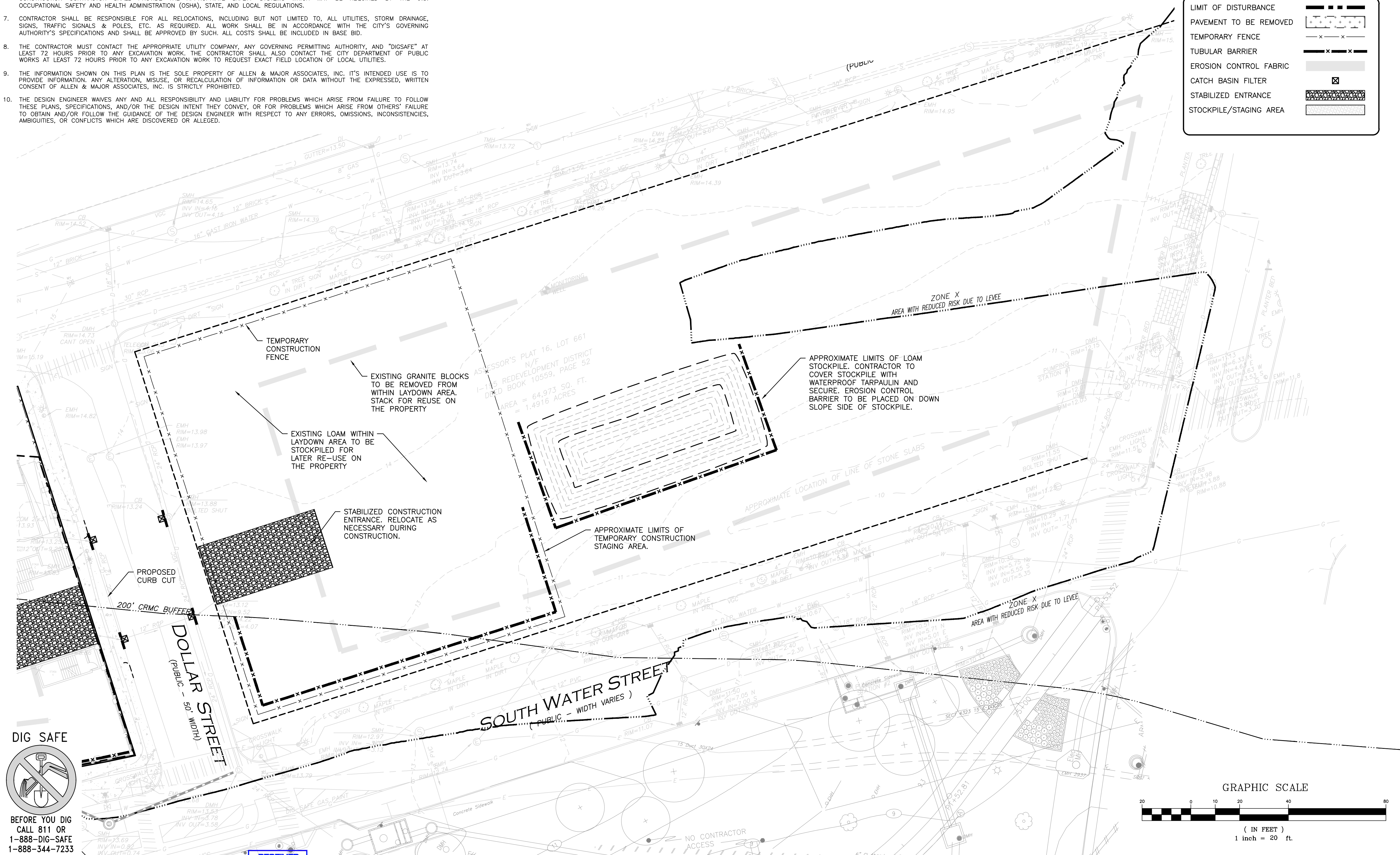
GENERAL SEQUENCE OF TEMPORARY STAGING AREA:

1. INSTALL STABILIZED CONSTRUCTION ENTRANCES.
2. PREPARE TEMPORARY PARKING AND STORAGE AREA. UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAY DOWN, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., DENOTE THEM ON THE SITE MAPS IMMEDIATELY AND NOTE ANY CHANGES IN THE LOCATIONS AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.
3. CONSTRUCT THE FILTER BARRIERS ON THE SITE AND AT THE PERIMETER PRIOR TO ALL EARTH-MOVING ACTIVITIES.
4. INSTALL INLET PROTECTION DEVICES IN/AROUND ALL EXISTING STORM DRAIN INLET STRUCTURES.
5. STRIP AND STOCKPILE LOAM WITHIN TEMPORARY STAGING AREA. COVER WITH WATERPROOF TARPULIN AS REQUIRED.
6. INSTALL TEMPORARY GRAVEL SURFACE FOR STAGING AREA.
7. ONCE TEMPORARY STAGING AREA IN NO LONGER NEEDED, REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES. (AFTER APPROVAL BY CIVIL ENGINEER).
8. SPREAD STOCKPILED LOAM AND APPLY SEED FOR TURF ESTABLISHMENT.

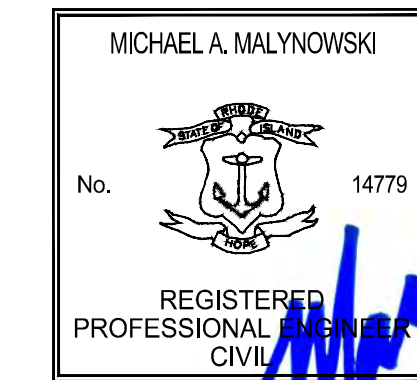


LEGEND

LIMIT OF DISTURBANCE	
PAVEMENT TO BE REMOVED	
TEMPORARY FENCE	
TUBULAR BARRIER	
EROSION CONTROL FABRIC	
CATCH BASIN FILTER	
STABILIZED ENTRANCE	
STOCKPILE/STAGING AREA	



ISSUED FOR REVIEW
PERMITTING SET
April 03, 2025



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DRAWING TITLE:	SHEET No.
TEMPORARY STAGING AREA PREP PLAN	C-101B
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GENERAL NOTES:

1. THERE ARE NO MINIMUM VEHICLE PARKING REQUIREMENTS IN THE I-195 REDEVELOPMENT DISTRICT. SEE ARCHITECTURAL PLANS FOR INFORMATION RELATING TO THE NUMBER AND LOCATION OF SUBSURFACE PARKING SPACES.
2. ANY DAMAGE TO PRIVATE OR PUBLIC PROPERTIES DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED AND RESTORED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
3. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
4. ALL PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED DURING CONSTRUCTION, ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED AND RESTORED BY A SURVEYOR REGISTERED IN THE STATE OF RHODE ISLAND AT THE CONTRACTOR'S EXPENSE.
5. THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION MEETING WITH THE CITY, THE APPROPRIATE UTILITY COMPANIES, THE OWNER AND OWNER'S REPRESENTATIVE. THE MEETING SHALL TAKE PLACE PRIOR TO THE START OF CONSTRUCTION AND THE CONTRACTOR MUST PROVIDE 48 HOURS NOTICE TO ALL ATTENDEES PRIOR TO THE START OF THE MEETING.
6. APPROPRIATE WARNING SIGNS, MARKERS, BARRICADES AND/OR FLAGMEN SHALL BE PROVIDED TO REGULATE TRAFFIC. CONSTRUCTION TRAFFIC CONTROL SHALL BE IMPLEMENTED PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE LOCAL AUTHORITY.
7. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ADDITIONAL BENCHMARK INFORMATION IF REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING BENCHMARKS. IF IT IS NECESSARY TO RELOCATE A BENCHMARK, IT SHALL BE RELOCATED BY A RHODE ISLAND PROFESSIONAL LAND SURVEYOR AND DONE SO AT THE CONTRACTOR'S EXPENSE.
8. ALL PERMITS AND APPROVALS NECESSARY FROM AGENCIES GOVERNING THE WORK SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORK.
9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY SITE WORK OR EARTHWORK OPERATIONS, SHALL BE MAINTAINED DURING CONSTRUCTION, AND SHALL REMAIN IN PLACE UNTIL ALL SITE WORK IS COMPLETE AND GROUND COVER IS ESTABLISHED. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DETERMINED NECESSARY BY ON SITE INSPECTIONS BY THE OWNER, THEIR REPRESENTATIVES, OR REGULATORY AGENCIES HAVING JURISDICTION AT NO ADDITIONAL COST TO THE OWNER.
10. CONSTRUCTION DURING WET WEATHER OR WINTER CONDITIONS IS TO BE ANTICIPATED AND PROVISIONS TO ADEQUATELY ADDRESS THESE CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
11. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS INCLUDING THE CITY, RIDOT, RIDEM, MUTCD, AND AASHTO. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY ALLEN & MAJOR ASSOCIATES DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK, OR THE OWNER'S EMPLOYEES, CUSTOMERS, OR THE GENERAL PUBLIC. THE SEAL OF THE ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PROVIDE THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), STATE, AND LOCAL REGULATIONS.
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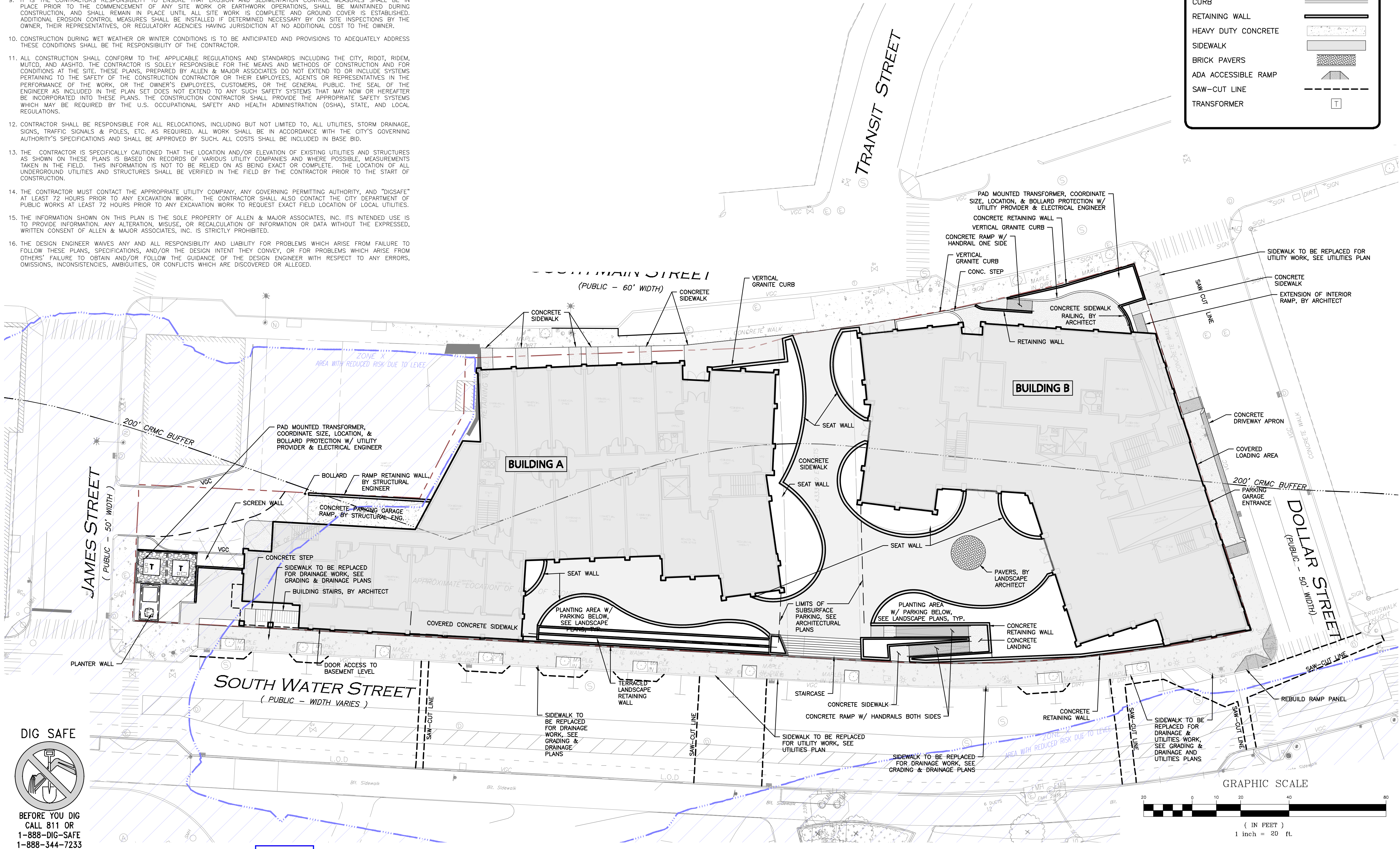
ZONING SUMMARY TABLE
I-195 REDEVELOPMENT - EAST SIDE DISTRICT - PARCEL 2

ITEM	REQUIRED	PROPOSED
MINIMUM BUILDING HEIGHT	2 STORIES	6 STORIES
MINIMUM GROUND FLOOR HEIGHT	18 FEET *	
MAXIMUM BUILDING HEIGHT	6 STORIES	6 STORIES
PRIMARY & SECONDARY STREET BUILD-TO-LINE	0-8 FEET	0 FEET
MINIMUM BUILD-TO-PERCENTAGE	80%	
INTERIOR SIDE BUILD-TO-LINE	NONE	0 FEET
REAR SETBACK	NONE	NONE

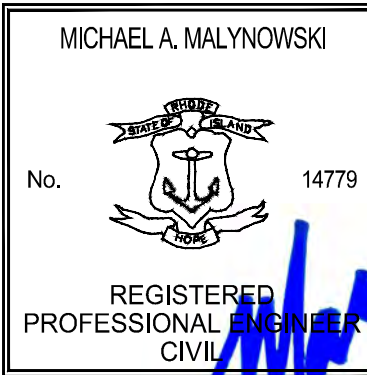
* FOR NON-RESIDENTIAL USES

LEGEND

BOLLARD	
BUILDING	
BUILDING ARCHITECTURE	
CURB	
RETAINING WALL	
HEAVY DUTY CONCRETE	
SIDEWALK	
BRICK PAVERS	
ADA ACCESSIBLE RAMP	
SAW-CUT LINE	
TRANSFORMER	



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DRAWING TITLE: SHEET NO.

LAYOUT & MATERIALS PLAN C-102

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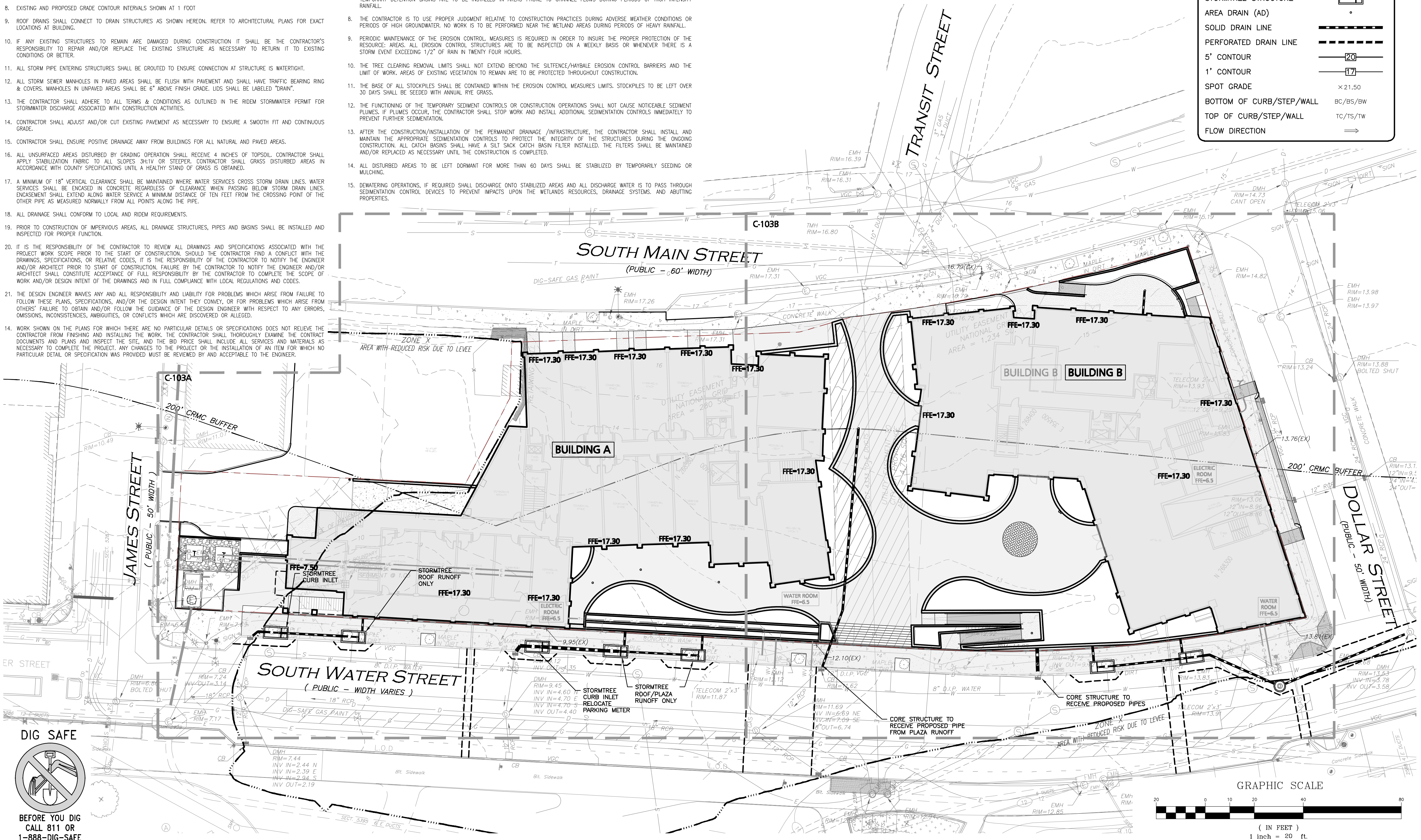
07 OF 21

GRADING & DRAINAGE NOTES:

- THE MOST CURRENT EDITION OF THE STATE OF RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND THE RHODE ISLAND STANDARD DETAILS ARE MADE A PART HEREOF AS FULLY AND COMPLETELY AS IF ATTACHED HERETO. THE CURRENT VERSION OF THE STANDARD SPECIFICATIONS MAY BE OBTAINED AT THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION, DIVISION OF PUBLIC WORKS. IN ADDITION, THE CITY OF PROVIDENCE STANDARD SPECIFICATIONS ARE MADE A PART HEREOF AS FULLY AND COMPLETELY AS IF ATTACHED HERETO.
- ALL REQUIRED SITE IMPROVEMENTS SHALL BE INSPECTED BY THE CITY ENGINEER TO ENSURE SATISFACTORY COMPLETION. IN NO CASE SHALL THE INSTALLATION OF ANY IMPROVEMENTS BE STARTED UNTIL PRIOR NOTIFICATION IS GIVEN TO THE CITY ENGINEER. AT LEAST A 48-HOUR NOTICE SHALL BE GIVEN TO THE CITY ENGINEER PRIOR TO ANY SUCH START OF CONSTRUCTION. A FINAL INSPECTION OF ALL SITE IMPROVEMENTS, UTILITIES AND GRADING WILL BE MADE TO DETERMINE WHETHER THE WORK IS SATISFACTORY AND IN SUBSTANTIAL AGREEMENT WITH THE APPROVED FINAL CONSTRUCTION DRAWING AND THE CITY SPECIFICATIONS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY ALLEN & MAJOR ASSOCIATES DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK, OR THE OWNER'S EMPLOYEES, CUSTOMERS, OR THE GENERAL PUBLIC. THE SEAL OF THE ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PROVIDE THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE BY THE US OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
- ALL ELEVATIONS REFER TO NAVD 88.
- PIPE DIMENSIONS ARE MEASURED FROM THE CENTER OF THE STRUCTURE.
- THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
- ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED. AT NO TIME SHALL CUT OR FILL SLOPES EXCEED 2:1.
- EXISTING AND PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT
- ROOF DRAINS SHALL CONNECT TO DRAIN STRUCTURES AS SHOWN HEREON. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AT BUILDING.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUDED TO ENSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
- ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "DRAIN".
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE RIDEM STORMWATER PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ENSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3:1V OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH COUNTY SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- A MINIMUM OF 18" VERTICAL CLEARANCE SHALL BE MAINTAINED WHERE WATER SERVICES CROSS STORM DRAIN LINES. WATER SERVICES SHALL BE ENCASED IN CONCRETE REGARDLESS OF CLEARANCE WHEN PASSING BELOW STORM DRAIN LINES. ENCASEMENT SHALL EXTEND ALONG WATER SERVICE A MINIMUM DISTANCE OF TEN FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
- ALL DRAINAGE SHALL CONFORM TO LOCAL AND RIDEM REQUIREMENTS.
- PRIOR TO CONSTRUCTION OF IMPERVIOUS AREAS, ALL DRAINAGE STRUCTURES, PIPES AND BASINS SHALL BE INSTALLED AND INSPECTED FOR PROPER FUNCTION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE START OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DRAWINGS, SPECIFICATIONS, OR RELATIVE CODES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT PRIOR TO START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AND/OR DESIGN INTENT OF THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
- THE DESIGN ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND/OR THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE GUIDANCE OF THE DESIGN ENGINEER WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE DISCOVERED OR ALLEGED.
- WORK SHOWN ON THE PLANS FOR WHICH THERE ARE NO PARTICULAR DETAILS OR SPECIFICATIONS DOES NOT RELIEVE THE CONTRACTOR FROM FINISHING AND INSTALLING THE WORK. THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE CONTRACT DOCUMENTS AND PLANS AND INSPECT THE SITE, AND THE BID PRICE SHALL INCLUDE ALL SERVICES AND MATERIALS AS NECESSARY TO COMPLETE THE PROJECT. ANY CHANGES TO THE PROJECT OR THE INSTALLATION OF AN ITEM FOR WHICH NO PARTICULAR DETAIL OR SPECIFICATION WAS PROVIDED MUST BE REVIEWED BY AND ACCEPTABLE TO THE ENGINEER.

EROSION CONTROL NOTES

- THE SEDIMENTATION AND EROSION CONTROLS DEPICTED SOIL EROSION AND SEDIMENTATION CONTROL (SESC) PLAN ARE THE MINIMUM REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER MAINTENANCE OF ALL EROSION CONTROLS AND SHALL INSTALL ADDITIONAL MITIGATION MEASURES AS MAY BE NECESSARY TO ENSURE PROTECTION OF ALL NATURAL RESOURCES.
- THE FOLLOWING DOCUMENTS ARE CONSIDERED PART OF THE PROJECT PLANS AND THE CONTRACTOR/OWNER MUST MAINTAIN THESE DOCUMENTS AS PART OF A FULL PLAN SET: SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC), SHEET C-001 & C-101. THE SESC CONTAINS THE FOLLOWING:
 - EROSION CONTROL MEASURES
 - SHORT TERM MAINTENANCE
 - ESTABLISHMENT OF VEGETATIVE COVER
 - CONSTRUCTION POLLUTION PREVENTION
 - SEQUENCE OF CONSTRUCTION
 - OPERATION AND MAINTENANCE PLAN (O&M)
 - LONG TERM MAINTENANCE
 - LONG TERM POLLUTION PREVENTION
- THE SITE IS NOT WITHIN A:
 - GROUNDWATER PROTECTION AREA (RIDEM)
 - GROUNDWATER PROTECTION OVERLAY DISTRICT (CITY)
- A PORTION OF THE SITE IS WITHIN NATURAL HERITAGE AREA D #52 (RIDEM)
- PRIOR TO THE START OF ANY CONSTRUCTION, ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS DEPICTED HEREON. THE CONTRACTOR SHALL MAINTAIN THESE MEASURES UNTIL ALL WORK IS COMPLETED AND ALL AREAS HAVE BEEN STABILIZED.
- AT NO TIME SHOULD HEAVY EQUIPMENT CROSS THE EROSION CONTROL BARRIERS OR OPERATE BEYOND THE LIMIT OF WORK DEPICTED HEREON. ALL FUELING OF CONSTRUCTION EQUIPMENT IS TO BE DONE IN THE UPLANDS OUTSIDE OF THE 100' BUFFER ZONE.
- TEMPORARY STABILIZATION OF DISTURBED AREAS IS TO LIMIT EROSION TOWARD THE WETLAND AREAS. ALL TRENCHES ARE TO BE FILLED ON A DAILY BASIS WITH SPECIAL CARE TAKEN TO AVOID ROUTING RAINFALL THROUGH GULLIES TOWARD THE WETLAND AREAS. TEMPORARY DETENTION BASINS ARE TO BE INSTALLED IN AREAS PRONE TO CHANNEL FLOWS DURING PERIODS OF HIGH INTENSITY RAINFALL.
- THE CONTRACTOR IS TO USE PROPER JUDGMENT RELATIVE TO CONSTRUCTION PRACTICES DURING ADVERSE WEATHER CONDITIONS OR PERIODS OF HIGH GROUNDWATER. NO WORK IS TO BE PERFORMED NEAR THE WETLAND AREAS DURING PERIODS OF HEAVY RAINFALL.
- PERIODIC MAINTENANCE OF THE EROSION CONTROL MEASURES IS REQUIRED IN ORDER TO INSURE THE PROPER PROTECTION OF THE RESOURCES. AREAS. ALL EROSION CONTROL STRUCTURES ARE TO BE INSPECTED ON A WEEKLY BASIS OR WHENEVER THERE IS A STORM EVENT EXCEEDING 1/2" OF RAIN IN TWENTY FOUR HOURS.
- THE TREE CLEARING REMOVAL LIMITS SHALL NOT EXTEND BEYOND THE SILTFENCE/HAYBALE EROSION CONTROL BARRIERS AND THE LIMIT OF WORK. AREAS OF EXISTING VEGETATION TO REMAIN ARE TO BE PROTECTED THROUGHOUT CONSTRUCTION.
- THE BASE OF ALL STOCKPILES SHALL BE CONTAINED WITHIN THE EROSION CONTROL MEASURES LIMITS. STOCKPILES TO BE LEFT OVER 30 DAYS SHALL BE SEED WITH ANNUAL RYE GRASS.
- THE FUNCTIONING OF THE TEMPORARY SEDIMENT CONTROLS OR CONSTRUCTION OPERATIONS SHALL NOT CAUSE NOTICEABLE SEDIMENT PLUMES. IF PLUMES OCCUR, THE CONTRACTOR SHALL STOP WORK AND INSTALL ADDITIONAL SEDIMENTATION CONTROLS IMMEDIATELY TO PREVENT FURTHER SEDIMENTATION.
- AFTER THE CONSTRUCTION/INSTALLATION OF THE PERMANENT DRAINAGE /INFRASTRUCTURE, THE CONTRACTOR SHALL INSTALL AND MAINTAIN THE APPROPRIATE SEDIMENTATION CONTROLS TO PROTECT THE INTEGRITY OF THE STRUCTURES DURING THE ONGOING CONSTRUCTION. ALL CATCH BASINS SHALL HAVE A SLIT SACK CATCH BASIN FILTER INSTALLED. THE FILTERS SHALL BE MAINTAINED AND/OR REPLACED AS NECESSARY UNTIL THE CONSTRUCTION IS COMPLETED.
- ALL DISTURBED AREAS TO BE LEFT DORMANT FOR MORE THAN 60 DAYS SHALL BE STABILIZED BY TEMPORARILY SEEDING OR MULCHING.
- DEWATERING OPERATIONS, IF REQUIRED SHALL DISCHARGE ONTO STABILIZED AREAS AND ALL DISCHARGE WATER IS TO PASS THROUGH SEDIMENTATION CONTROL DEVICES TO PREVENT IMPACTS UPON THE WETLANDS RESOURCES, DRAINAGE SYSTEMS, AND ADJUTING PROPERTIES.



LEGEND	
STORMTREE STRUCTURE	
AREA DRAIN (AD)	
SOLID DRAIN LINE	
PERFORATED DRAIN LINE	
5' CONTOUR	
1' CONTOUR	
SPOT GRADE	X 21.50
BOTTOM OF CURB/STEP/WALL	BC/BS/BW
TOP OF CURB/STEP/WALL	TC/TS/TW
FLOW DIRECTION	

ISSUED FOR REVIEW
PERMITTING SET
April 03, 2025



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

	01-23-25	ISSUED FOR RIDEM PERMITTING
	12-03-24	ISSUED FOR RIDEM PERMITTING
REV	DATE	DESCRIPTION

APPLICANT/OWNER:

URBANICA, INC.
429 MELNEA CASS BLVD
BOSTON, MA 02119

PROJECT:

P2 RESIDENCES
I-195 REDEVELOPMENT DISTRICT
ASSESSORS MAP 16, LOT 671
421 SOUTH MAIN ST - PROVIDENCE, RI

PROJECT NO. 1898-12 DATE: 10-31-24

SCALE: 1" = 20' DWG.: C-1898-12 GRADING & DRAINAGE

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
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TEL: (781) 935-6889
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DRAWING TITLE: SHEET NO.

GRADING & DRAINAGE PLAN C-103

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UTILITY NOTES:

- THE MOST CURRENT EDITION OF THE STATE OF RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND THE RHODE ISLAND STANDARD DETAILS ARE MADE A PART HEREOF AS FULLY AND COMPLETELY AS IF ATTACHED HERETO THE CURRENT VERSION OF THE STANDARD SPECIFICATIONS MAY BE OBTAINED AT THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION, DIVISION OF PUBLIC WORKS IN ADDITION, THE CITY OF PROVIDENCE STANDARD SPECIFICATIONS ARE MADE A PART HEREOF AS FULLY AND COMPLETELY AS IF ATTACHED HERETO
- THE CONTRACTOR SHALL REFER TO ARCHITECTS PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL ROOF DRAIN LATERALS AND UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRIC, TELEPHONE, AND GAS SERVICE. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND COORDINATE WITH THE PROPER AGENCY THE LOCATION AND SCHEDULING OF CONNECTIONS WITH THEIR FACILITIES.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION. THE ENGINEER WILL THEN PROVIDE RESOLUTION TO UTILITY CONFLICTS WITHOUT DELAY.
- THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS OF THE SITE. THESE PLANS PREPARED BY ALLEN & MAJOR ASSOCIATES, INC., DO NOT EXTEND TO, NOR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THE EMPLOYEES, AGENTS OF REPRESENTATIVES IN PERFORMANCE OF THE WORK. THE SEAL OF THE ARCHITECT OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS THAT MAY BE REQUIRED BY THE US OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
- PIPE DIMENSIONS ARE MEASURED FROM THE INSIDE FACE OF THE STRUCTURE.
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY.
- LOCATION OF PROPOSED ELECTRICAL/COMMUNICATION SERVICE IS SCHEMATIC IN NATURE AND FOR COORDINATION PURPOSES ONLY. SPECIFIC ALIGNMENTS ARE TO BE DESIGNED BY OTHERS AND REVIEWED BY THE UTILITY PROVIDING SERVICE. PROPOSED ELECTRICAL SERVICE TO BE BURED IN ACCORDANCE WITH THE CITY OF PROVIDENCE REGULATIONS AND ELECTRIC COMPANY.
- LOCATION OF PROPOSED GAS MAIN IS SCHEMATIC IN NATURE AND FOR COORDINATION PURPOSES ONLY. SPECIFIC ALIGNMENTS ARE TO BE DESIGNED BY OTHERS AND REVIEWED BY THE UTILITY PROVIDING SERVICE. THIS WORK TO BE INCLUDED AS PART OF BASE BID FOR SITE WORK.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE START OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DRAWINGS, SPECIFICATIONS, OR RELATIVE CODES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT PRIOR TO START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AND/OR DESIGN INTENT OF THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
- THE DESIGN ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND/OR THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE GUIDANCE OF THE DESIGN ENGINEER WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE DISCOVERED OR ALLEGED.
- WORK SHOWN ON THE PLANS FOR WHICH THERE ARE NO PARTICULAR DETAILS OR SPECIFICATIONS DOES NOT RELIEVE THE CONTRACTOR FROM FINISHING AND INSTALLING THE WORK. THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE CONTRACT DOCUMENTS AND PLANS AND INSPECT THE SITE, AND THE BID PRICE SHALL INCLUDE ALL SERVICES AND MATERIALS AS NECESSARY TO COMPLETE THE PROJECT. ANY CHANGES TO THE PROJECT OR THE INSTALLATION OF AN ITEM FOR WHICH NO PARTICULAR DETAIL OR SPECIFICATION WAS PROVIDED MUST BE REVIEWED BY AND ACCEPTABLE TO THE ENGINEER.
- CONTRACTOR SHALL RECORD AND PROVIDE AS-BUILT DRAWINGS IN ACCORDANCE WITH LOCAL UTILITY REQUIREMENTS FOR ALL NEW INFRASTRUCTURE AND PROVIDE THE CITY OF PROVIDENCE WITH AS-BUILTS OF THE STORMWATER MANAGEMENT SYSTEM, SEWER SYSTEM, AND WATER SYSTEM.
- MECHANICAL EQUIPMENT SUCH AS LOUVERS AND EXHAUST FANS ARE BY THE MECHANICAL ENGINEER AND ARE SHOWN HEREON FOR COORDINATION PURPOSES ONLY. CONTRACTOR SHALL REFER TO THE MECHANICAL PLANS FOR EXACT LOCATIONS AND SIZING.

RIDEM (OWR) SEWER/WATER LINE SEPARATION POLICY

A. LATERAL PLACEMENT OF SEWERS AND WATER LINES

SEWERS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER LINE. THE DISTANCE SHALL BE MEASURED EDGE-TO-EDGE. THERE IS NO MINIMUM VERTICAL SEPARATION REQUIRED PROVIDED THE 10 FOOT HORIZONTAL SEPARATION IS MAINTAINED. STRUCTURES, OTHER THAN PIPELINES OR CONDUITS, THROUGH WHICH SANITARY WASTEWATER FLOWS SUCH AS, BUT NOT LIMITED TO, MANHOLES, VALVE VAULTS, METER PITS AND PUMP STATION WET WELLS SHALL ALSO BE CONSTRUCTED AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER LINE, MEASURED EDGE-TO-EDGE.

IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10 FOOT HORIZONTAL SEPARATION, THE OWR MAY ALLOW DEVIATION ON A CASE-BY-CASE BASIS, IF SUPPORTED BY DATA FROM THE DESIGN ENGINEER. SUCH DEVIATION MAY ALLOW INSTALLATION OF THE SEWER PIPELINES AND/OR STRUCTURES CLOSER TO A WATER LINE, PROVIDED THAT:

- THE SEWER PIPELINE AND/OR STRUCTURES AND WATER LINE ARE LAID IN SEPARATE TRENCHES, OR
- THE SEWER PIPELINE AND/OR STRUCTURES AND WATER LINE MAY BE INSTALLED IN THE SAME TRENCH WITH THE WATER LINE PLACED ON A BENCH OF UNDISTURBED EARTH, AND
- IN EITHER CASE, THE CROWN OF THE SEWER PIPELINE SHALL BE AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER LINE.

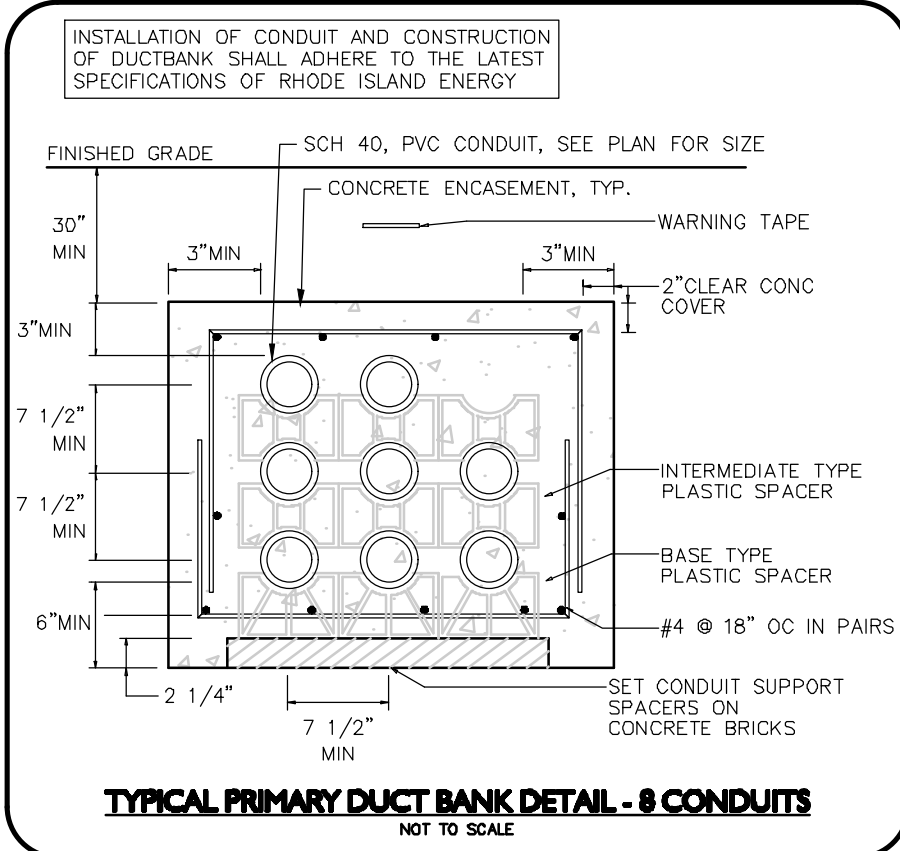
IN SITUATIONS WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION AS STIPULATED ABOVE, THE FOLLOWING PROTECTION SHALL BE PROVIDED:

- ENCASEMENT OF THE SEWER PIPELINE IN CONCRETE (MIN. 6 INCH THICKNESS) OR A CARRIER PIPE FOR AT LEAST 10 FEET EITHER SIDE OF THE AREA NOT COMPLYING WITH THE MINIMUM HORIZONTAL AND VERTICAL SEPARATION, OR
- THE DESIGN AND CONSTRUCTION OF THE SEWER PIPELINE MUST MEET THE REQUIREMENTS APPLICABLE TO WATER LINES (ANY AWWA-APPROVED MATERIAL FOR POTABLE WATER CONVEYANCE), AND PRESSURE TESTED IN ACCORDANCE WITH AWWA SPECIFICATIONS, OR
- IN INSTANCES OF CONFLICT WITH SANITARY WASTEWATER STRUCTURES MENTIONED ABOVE, RELOCATE THE WATER LINE TO ACHIEVE EITHER A 10 FOOT HORIZONTAL OR 18 INCH VERTICAL SEPARATION.

B. SEWERS CROSSING WATER LINES

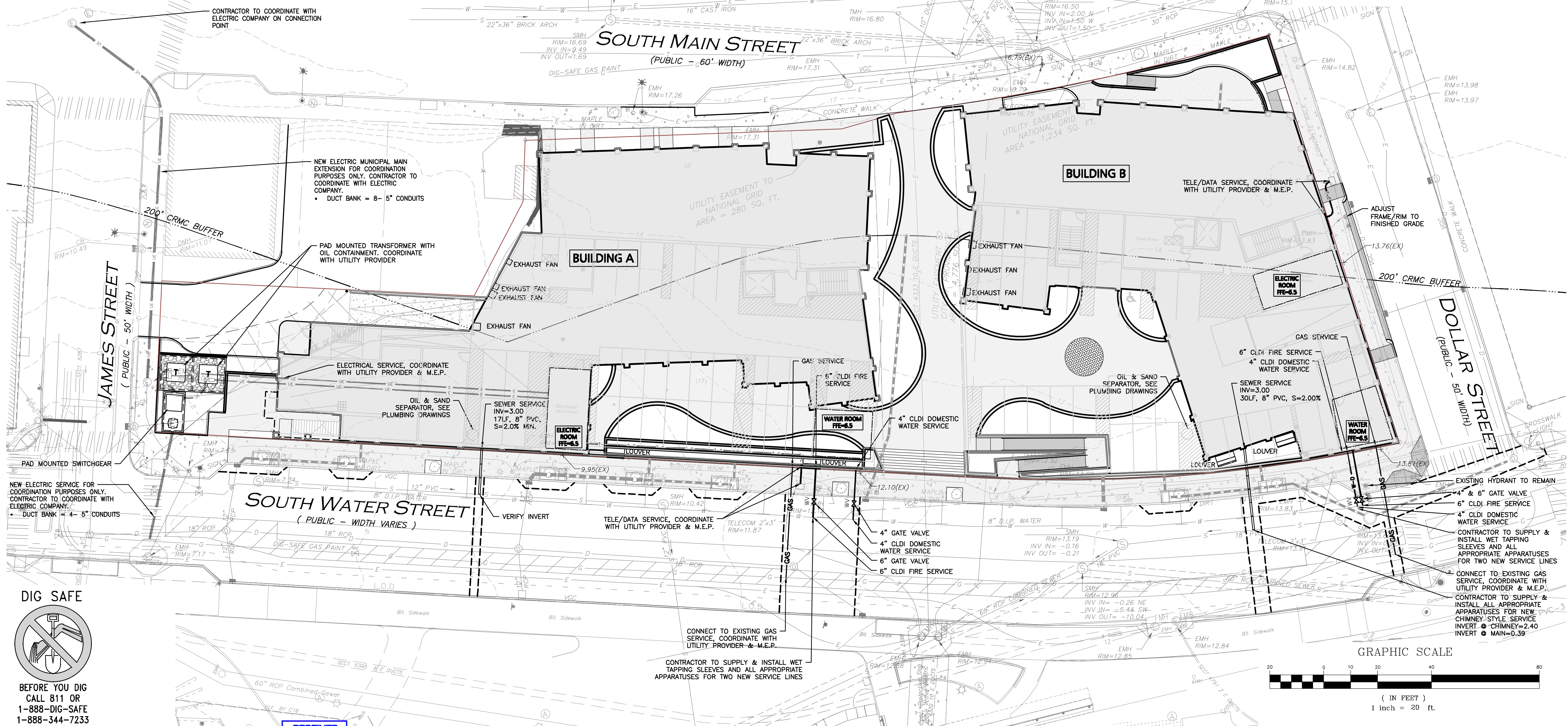
SEWERS CROSSING OVER WATER LINES SHOULD BE AVOIDED, BUT IF CONDITIONS WARRANT THIS SITUATION, THEN ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER TO MAINTAIN LINE AND GRADE. SEWERS CROSSING UNDER WATER LINES SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL SEPARATION OF 18 INCHES BETWEEN THE INVERT OF THE WATER LINE AND THE CROWN OF THE SEWER. RELOCATION OF AN EXISTING WATER LINE MAY BE NECESSARY TO ACHIEVE THIS VERTICAL SEPARATION. RELOCATED WATER LINES SHALL BE CONSTRUCTED OF AN AWWA-APPROVED MATERIAL FOR POTABLE WATER CONVEYANCE AND DESIGNED FOR THE REQUIRED WATER SERVICE PRESSURE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE CROSSING, MEASURED PERPENDICULAR TO THE SEWER. THE CROSSING SHALL BE ARRANGED SO THAT THE SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER LINE JOINTS. WHERE CONDITIONS PREVENT AN 18 INCH VERTICAL SEPARATION FROM BEING MAINTAINED, THE FOLLOWING METHODS SHALL BE SPECIFIED:

- THE DESIGN AND CONSTRUCTION OF THE SEWER MUST MEET THE REQUIREMENTS APPLICABLE TO WATER LINES (ANY AWWA-APPROVED MATERIAL FOR POTABLE WATER CONVEYANCE) FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE CROSSING, MEASURED PERPENDICULAR TO THE WATER LINE AND PRESSURE TESTED IN ACCORDANCE WITH AWWA SPECIFICATIONS, OR
- EITHER THE WATER LINE OR THE SEWER MAY BE ENCASED IN CONCRETE (MIN. 6 INCH THICKNESS) OR A CARRIER PIPE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE CROSSING, MEASURED PERPENDICULAR TO THE WATER LINE. THE CARRIER PIPE SHALL BE DESIGNED AND CONSTRUCTED OF MATERIALS WHICH ARE SATISFACTORY TO THE OWR, OR
- ANY OTHER METHODS, IF SUPPORTED BY DATA FROM THE DESIGN ENGINEER, WHICH ENSURE ADEQUATE WATER TIGHTNESS AND ARE SATISFACTORY TO THE OWR.

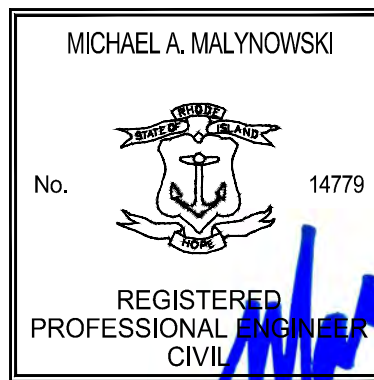


LEGEND

- SEWER MANHOLE
- SEWER CLEANOUT
- SEWER VENT
- SEWER LINE
- CONCRETE PIPE ENCASEMENT
- WATER (FIRE SERVICE)
- WATER (DOMESTIC SERVICE)
- WATER VALVE
- WATER LINE REDUCER
- GAS LINE
- ELECTRICAL CONDUIT
- TELE/CABLE CONDUIT



ISSUED FOR REVIEW
PERMITTING SET
April 03, 2025



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

01-23-25	ISSUED FOR RIDEM PERMITTING
12-03-24	ISSUED FOR RIDEM PERMITTING

REV DATE DESCRIPTION

APPLICANT/OWNER:

URBANICA, INC.
429 MELNEA CASS BLVD
BOSTON, MA 02119

PROJECT:
P2 RESIDENCES
I-195 REDEVELOPMENT DISTRICT
ASSESSORS MAP 16, LOT 671
421 SOUTH MAIN ST - PROVIDENCE, RI

PROJECT NO. 1898-12 DATE: 10-31-24

SCALE: 1" = 20' DWG.: C-1898-12 UTILITIES

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 3
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DRAWING TITLE: UTILITIES PLAN SHEET NO. C-104

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LEGEND

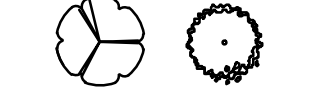
DECIDUOUS TREE



EVERGREEN TREE



FLOWERING TREE



SHRUBS



PERENNIALS/GROUNDCOVER



NOTES:

1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR IT'S REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
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ZONE X
AREA WITH REDUCED RISK DUE TO LEVEE

BUILDING A

ELECTRIC ROOM
FFE=6.5

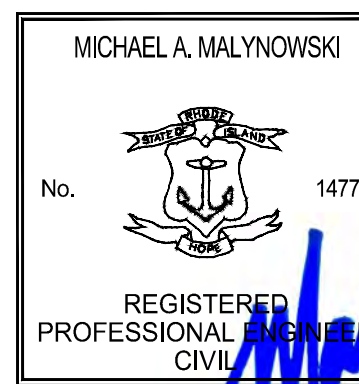
DIG SAFE



BEFORE YOU DIG
CALL 811 OR
1-888-DIG-SAFE
1-888-344-7233

ISSUED FOR REVIEW
PERMITTING SET

April 03, 2025

PROFESSIONAL LANDSCAPE ARCHITECT FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
2	01-23-25	ISSUED FOR RIDEM PERMITTING
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ASSESSORS MAP 16, LOT 671
421 SOUTH MAIN ST - PROVIDENCE, RI

PROJECT NO. 1898-12 DATE: 10-31-24

SCALE: 1" = 10' DWG.: L-1898-12 LANDSCAPE

DESIGNED BY: JBT CHECKED BY: MAM

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 3
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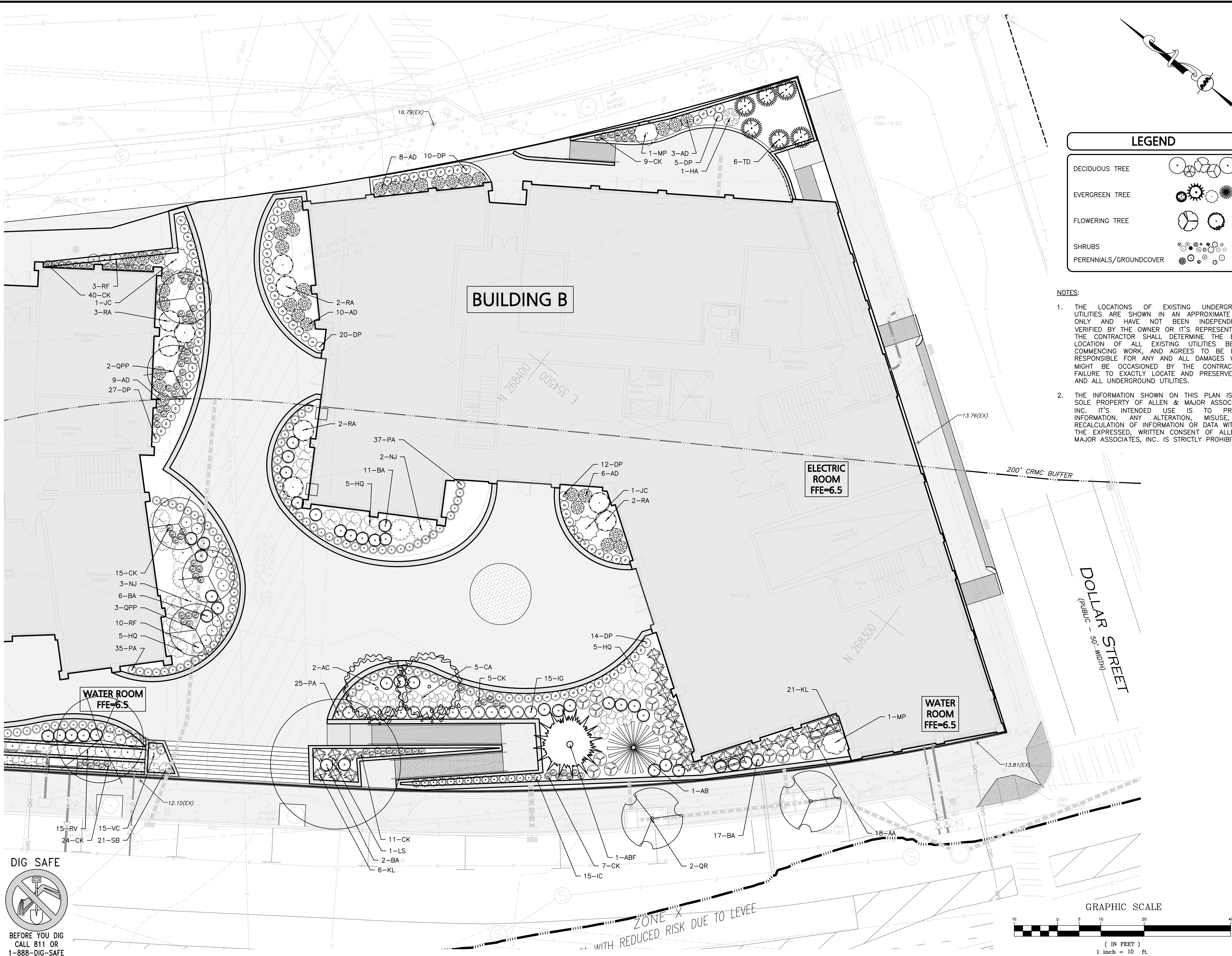
LANDSCAPE PLAN

SHEET NO.

L-101

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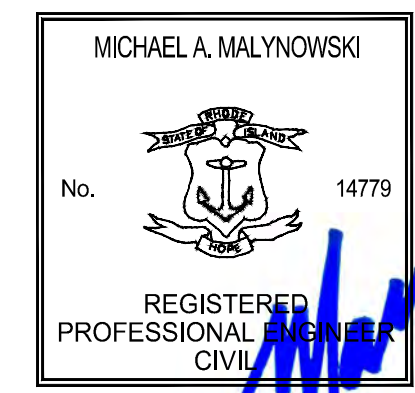


LEGEND

- DECIDUOUS TREE
- EVERGREEN TREE
- FLOWERING TREE
- SHRUBS
- PERENNIALS/GROUNDCOVER

- NOTES:
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ISSUED FOR REVIEW
PERMITTING SET
April 03, 2025



PROFESSIONAL LANDSCAPE ARCHITECT FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
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I-195 REDEVELOPMENT DISTRICT
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421 SOUTH MAIN ST - PROVIDENCE, RI

PROJECT NO.	1898-12	DATE:	10-31-24
SCALE:	1" = 10'	DWG.:L-1898-12_LANDSCAPE	
DESIGNED BY:	JBT	CHECKED BY:	MAM

PREPARED BY:

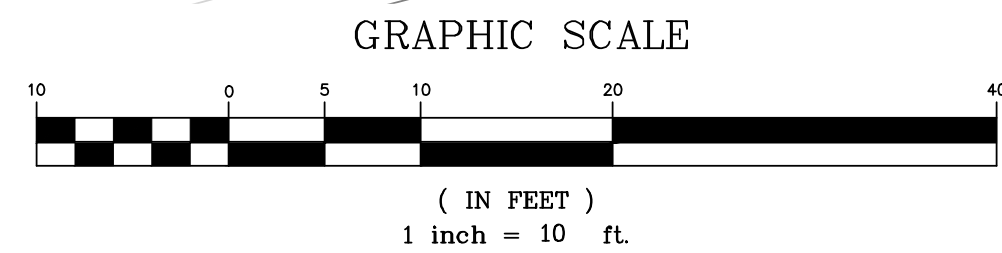
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DRAWING TITLE:	SHEET No.
LANDSCAPE PLAN	L-102
	19 OF 21

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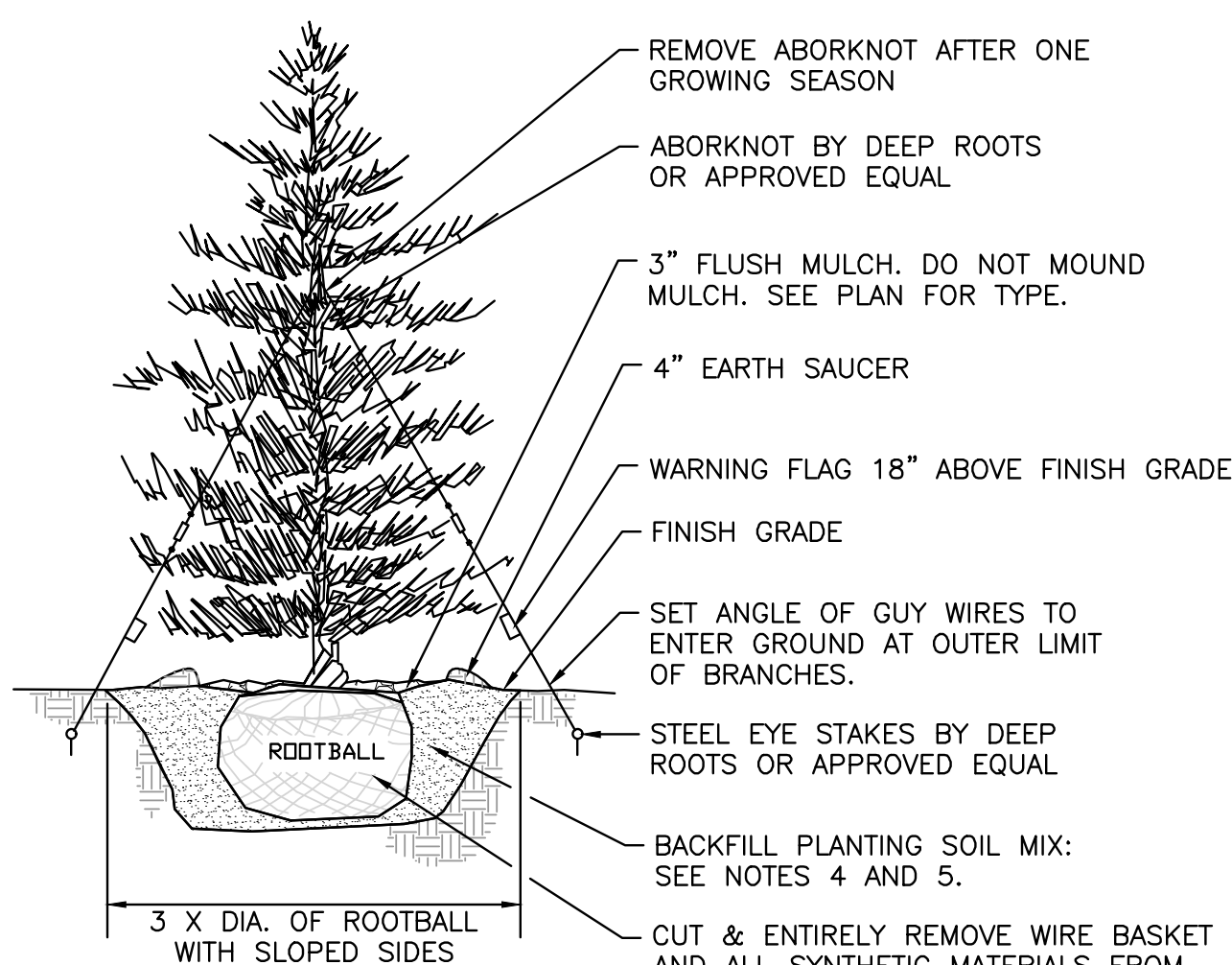
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CITY OF PROVIDENCE, RI ZONING SUMMARY - LANDSCAPE
GENERAL COMMERCIAL (C-2) ZONING DISTRICT

REGULATION	ITEM	REQUIRED / ALLOWED	PROPOSED
SECTION 23 1/2-41(A)	THE TOTAL CALIPER OF ALL TREES PLANTED IN THE COURSE OF RESTORATION SHALL IN NO EVENT BE LESS THAN THE TOTAL CALIPER OF ALL TREES REMOVED. REPLACEMENT SHALL BE MADE WITH TWO AND ONE-HALF (2½) TO SIX-INCH CALIPER TREES AND/OR AS DIRECTED BY THE CITY FORESTER.	TOTAL CALIPER OF ALL TREES REMOVED = XX".	REPLACEMENT CALIPER = XX"
SECTION 1502-C	C. MINIMUM PLANTING SIZES 1. SHADE TREES SHALL HAVE A MINIMUM TRUNK SIZE OF TWO INCHES IN TREE CALIPER AT PLANTING. 2. EVERGREENS TREES SHALL HAVE A MINIMUM HEIGHT OF SIX FEET AT PLANTING. 3. SINGLE STEM ORNAMENTAL TREES SHALL HAVE A MINIMUM TRUNK SIZE OF TWO INCHES IN TREE CALIPER AT PLANTING. MULTIPLE STEM ORNAMENTAL TREES SHALL HAVE A MINIMUM HEIGHT OF EIGHT FEET AT PLANTING. 4. LARGE DECIDUOUS AND EVERGREEN SHRUBS SHALL HAVE MINIMUM HEIGHT OF THREE FEET AT INSTALLATION. SMALL DECIDUOUS AND EVERGREEN SHRUBS SHALL HAVE A MINIMUM HEIGHT OF 18 INCHES AT INSTALLATION. LARGE SHRUBS ARE THOSE SHRUBS THAT REACH FIVE OR MORE FEET IN HEIGHT AT MATURITY. SMALL SHRUBS ARE THOSE SHRUBS THAT MAY GROW UP TO FIVE FEET IN HEIGHT IF LEFT UNMAINTAINED, BUT ARE GENERALLY MAINTAINED AT HEIGHTS OF 18 TO 30 INCHES.	SHADE TREES = 2" CAL. EVERGREEN TREES = 6' HT. SINGLE STEM ORNAMENTAL TREES = 2" CAL. MULTI-STEM ORNAMENTAL TREES = 8' HT. LARGE SHRUBS = 3' HT. SMALL SHRUBS = 18" HT.	SEE PLANTING SCHEDULE
SECTION 1503-C.1	C. REQUIRED TREE CANOPY 1. REQUIRED TREE CANOPY PERCENTAGE SUFFICIENT TREES SHALL BE RETAINED AND/OR PLANTED ON A LOT SO THAT THE SQUARE FOOTAGE OF VEGETATIVE CANOPY OF SUCH TREES, WHEN MATURE, EQUALS A CERTAIN PERCENTAGE OF THE SQUARE FOOTAGE OF THE LOT. THIS REQUIRED PERCENTAGE IS ESTABLISHED BY DISTRICT AS FOLLOWS: D. ALL OTHER DISTRICTS: 15% OF THE SQUARE FOOTAGE OF THE LOT	TREE CANOPY = 15% OF TOTAL LOT.	SEE CALCULATION BELOW.
SECTION 1503-C.2	2. CALCULATION OF TREE CANOPY COVERAGE THE TOTAL CANOPY COVERAGE FOR A LOT IS THE SUM OF THE CANOPY, AT MATURITY, OF THE INDIVIDUAL TREES LOCATED ON THE LOT. THE SQUARE FOOTAGE OF CANOPY COVER VARIES ACCORDING TO TREE SPECIES. THE CITY FORESTER MAINTAINS A LIST OF TREES SPECIES AND THE EXPECTED SIZE OF THE CANOPY FOR EACH SPECIES, AT MATURITY, WHEN PLANTED. TREES ARE CLASSIFIED AS SMALL, MEDIUM, OR LARGE AND THE CANOPY COVERAGE CREDIT FOR EACH CLASSIFICATION IS AS FOLLOWS: A. LARGE: 1,000SF B. MEDIUM: 700SF C. SMALL: 300SF	A. LARGE: 1,000SF X XX TREES B. MEDIUM: 700SF X XX TREES C. SMALL: 300SF X XX TREES	TOTAL SF OF CANOPY / LOT SF =
SECTION 1503-C.4	4. STREET TREE ACCOMMODATION EXISTING OR PLANNED STREET TREES LOCATED IN THE PUBLIC RIGHT-OF-WAY DIRECTLY ADJACENT TO THE LOT LINE MAY BE COUNTED TOWARD THE CANOPY COVERAGE FOR THE LOT.		
SECTION 1503-C.6	6. OFF-SITE PLANTING PERMISSION WHERE EXISTING CONDITIONS OR OTHER PROVISIONS OF THIS ORDINANCE MAKE IT IMPRACTICABLE TO MEET THE CANOPY COVERAGE REQUIREMENT ON OR ADJACENT TO THE SITE, THE APPLICANT SHALL PLANT SUFFICIENT TREES TO MAKE UP THE SHORTFALL IN PUBLIC RIGHTS-OF-WAY WITHIN ONE-QUARTER MILE OF THE LOT, WITH THE LOCATION TO BE DETERMINED BY THE CITY FORESTER.		

ZONING SUMMARY
NOT TO SCALE

4



NOTES

- TREES SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE AS IT BORE TO NURSERY OR FIELD GRADE. ROOT FLARE SHALL BE 2" ABOVE FINISH GRADE. REMOVE SOIL FROM TRUNK FLARE OF TREE TO DETERMINE ACTUAL TOP OF ROOTBALL AREA.
- ATTACH GUY WIRES AT 2/3 HEIGHT OF TREE.
- BACKFILL WITH PLANTING MIX. PLANT MIX TO BE: 50% NATIVE TOPSOIL, 20% BLENDED AND GROUND COMPOST (LEAVES & ORGANIC MATERIAL, NO ASH OR TOXIC MATERIALS) 20% PEAT MOSS, 10% SAND.
- ADD MYCORRHIZA SOIL ADDITIVES AND SLOW RELEASE FERTILIZER WHEN PLANT HOLES ARE 50% FILLED AND WATER THOROUGHLY AT COMPLETION.

EVERGREEN TREE
NOT TO SCALE

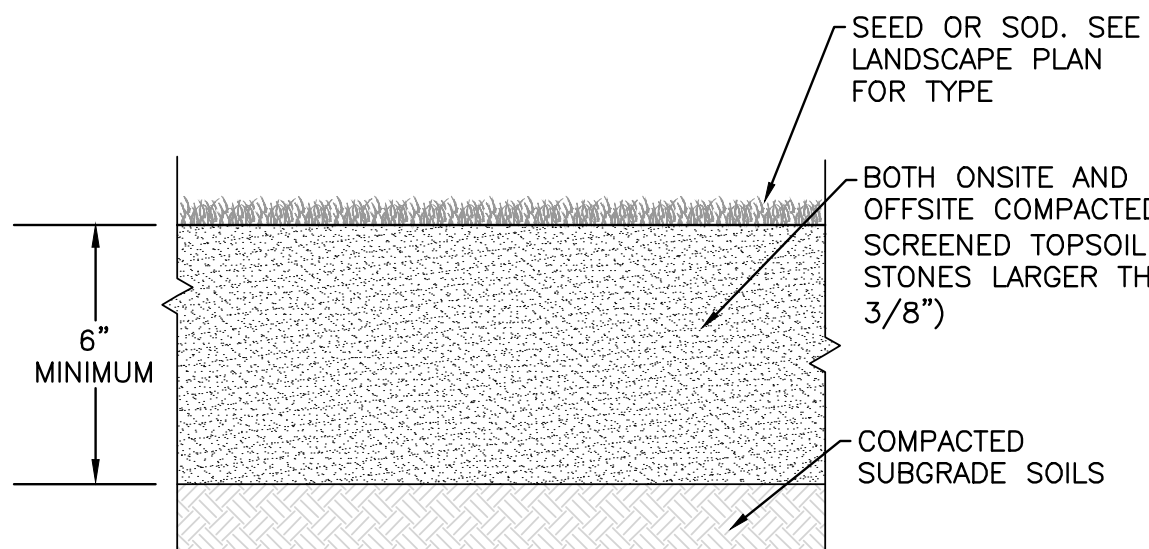
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PLANTING SCHEDULE - TREES, SHRUBS, PERENNIALS, & GRASSES

KEY	QTY	BOTANICAL NAME		COMMON NAME	SIZE	SPACING	COMMENTS
DECIDUOUS SHADE AND FLOWERING TREES							
*	LS	1	LIQUIDAMBAR STYRACIFLUA	SWEETGUM	2" CAL.	AS SHOWN	B&B
*	QP	2	QUERCUS PALUSTRIS	PIN OAK	2" CAL.	AS SHOWN	B&B
*	QPP	5	QUERCUS PALUSTRIS 'GREEN PILLAR'	GREEN PILLAR OAK	2" CAL.	AS SHOWN	B&B
*	QR	8	QUERCUS RUBRA	RED OAK	2" CAL.	AS SHOWN	B&B
*	UA	3	ULMUS AMERICANA 'PRINCETON'	PRINCETON AMERICAN ELM	2" CAL.	3' O.C.	B&B
ORNAMENTAL TREES							
*	AC	2	AMELANCHIER X 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	8' HT.	AS SHOWN	B&B
*	CV	1	CRATAEGUS VIRIDIS 'WINTER KING'	WINTER KING HAWTHORN	2" CAL.	AS SHOWN	B&B
EVERGREEN TREES							
*	AB	1	ABIES BALSAMEA	BALSAM FIR	6' HT.	10' O.C.	B&B
*	ABF	1	ABIES FRASERI	FRASER FIR	6' HT.	10' O.C.	B&B
*	JC	3	JUNIPERUS CHINENESIS 'WINTER KING'	KETLEER UPRIGHT JUNIPER	6' HT.	AS SHOWN	B&B
*	TD	13	THUJA OCCIDENTALIS 'DEGROOT'S SPIRE'	DEGROOT'S SPIRE AMERICAN ARBORVITAE	6' HT.	5' O.C.	B&B
SHRUBS							
*	AA	18	ARONIA ARBUTIFOLIA 'BRILLIANTISSIMA'	RED CHOKEBERRY	3' HT.	36" O.C.	POT
*	NJ	7	CEANOTHUS AMERICANUS	NEW JERSEY TEA	3' HT.	5' O.C.	POT
*	CA	8	CLETHRA ALNIFOLIA	SUMMERSWEET	3' HT.	48" O.C.	POT
*	CS	4	CORNUS SERICEA 'FARROW'	REDTWIG DOGWOOD	3' HT.	36" O.C.	POT
*	HA	9	HYDRANGEA ARBORESCENS	INVINCIBELLE SPIRIT SMOOTH HYDRANGEA	3' HT.	48" O.C.	POT
*	HQ	16	HYDRANGEA QUERCIFOLIA 'ALICE'	OAKLEAF HYDRANGEA	3' HT.	5' O.C.	POT
	IC	37	ILEX CRENATA 'SKY PENCIL'	SKY PENCIL HOLLY	3' HT.	24" O.C.	POT
*	IG	27	ILEX GLABRA 'DENSEA'	INKBERRY	3' HT.	36" O.C.	POT
*	KL	27	KALMIA LATIFOLIA 'RASPBERRY GLOW'	RASPBERRY GLOW MOUNTAIN LAUREL	3' HT.	36" O.C.	POT
*	MP	2	MORELLA PENSYLVANICA	BAYBERRY	3' HT.	6' O.C.	POT
	RA	9	RHODODENDRON X AGLO	AGLO RHODODENDRON	3' HT.	5' O.C.	POT
*	RV	15	ROSA VIRGINIANA	VIRGINIA ROSE	3' HT.	48" O.C.	POT
	SB	21	SPIRAEA X BUMALDA 'ANTHONY WATERER'	ANTHONY WATERER SPIRAEA	3' HT.	36" O.C.	POT
	VC	15	VIBURNUM CARLESII 'COMPACTUM'	KOREAN SPICE VIBURNUM	3' HT.	36" O.C.	POT
PERENNIALS/GRASSES							
*	AD	43	ASTER DIVARICATUS	WHITE WOODLAND ASTER	#1	36" O.C.	POT
*	BA	49	BAPTISIA AUSTRALIS	BLUE FALSE INDIGO	#1	48" O.C.	POT
	CK	133	CALAMAGROSTIS 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	#2	18" O.C.	POT
*	DP	98	DENNSTAEDTIA PUNCTILOBULA	HAY-SCENTED FERN	#1	24" O.C.	POT
	PA	150	PENNISETUM ALOPECUROIDES 'HADELN'	DWARF FOUNTAIN GRASS	#2	24" O.C.	POT
*	RF	26	RUDBECKIA FULGIDA	BLACK EYED SUSAN	#1	30" O.C.	POT
*	DENOTES NATIVE SPECIES OR NATIVE CULTIVAR						

PLANTING SCHEDULE
NOT TO SCALE

3

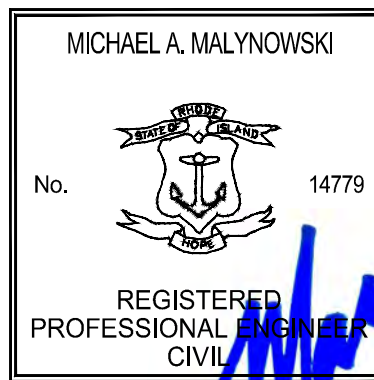


TEXTURE CLASS	% OF TOTAL WEIGHT
SAND	45% - 65%
SILT	15% - 35%
CLAY	5% - 20%
SIEVE	% PASSING
3/8"	100
NO. 4	85-100
NO. 40	60-85
NO. 100	38-60
NO. 200	28-40

TOPSOIL FOR LAWN, TREES, SHRUBS, & PERENNIALS
NOT TO SCALE

1

ISSUED FOR REVIEW
PERMITTING SET
April 03, 2025



PROFESSIONAL LANDSCAPE ARCHITECT FOR
ALLEN & MAJOR ASSOCIATES, INC.

2	01-23-25	ISSUED FOR RIDEM PERMITTING
1	12-03-24	ISSUED FOR RIDEM PERMITTING
REV	DATE	DESCRIPTION

APPLICANT/OWNER:

URBANICA, INC.
429 MELNEA CASS BLVD
BOSTON, MA 02119

PROJECT:

P2 RESIDENCES
I-195 REDEVELOPMENT DISTRICT
ASSESSORS MAP 16, LOT 671
421 SOUTH MAIN ST - PROVIDENCE, RI

PROJECT NO.	1898-12	DATE:	10-31-24
SCALE:	AS SHOWN	DWG.: I-1898-12_LANDSCAPE	
DESIGNED BY:	JBT	CHECKED BY:	MAM

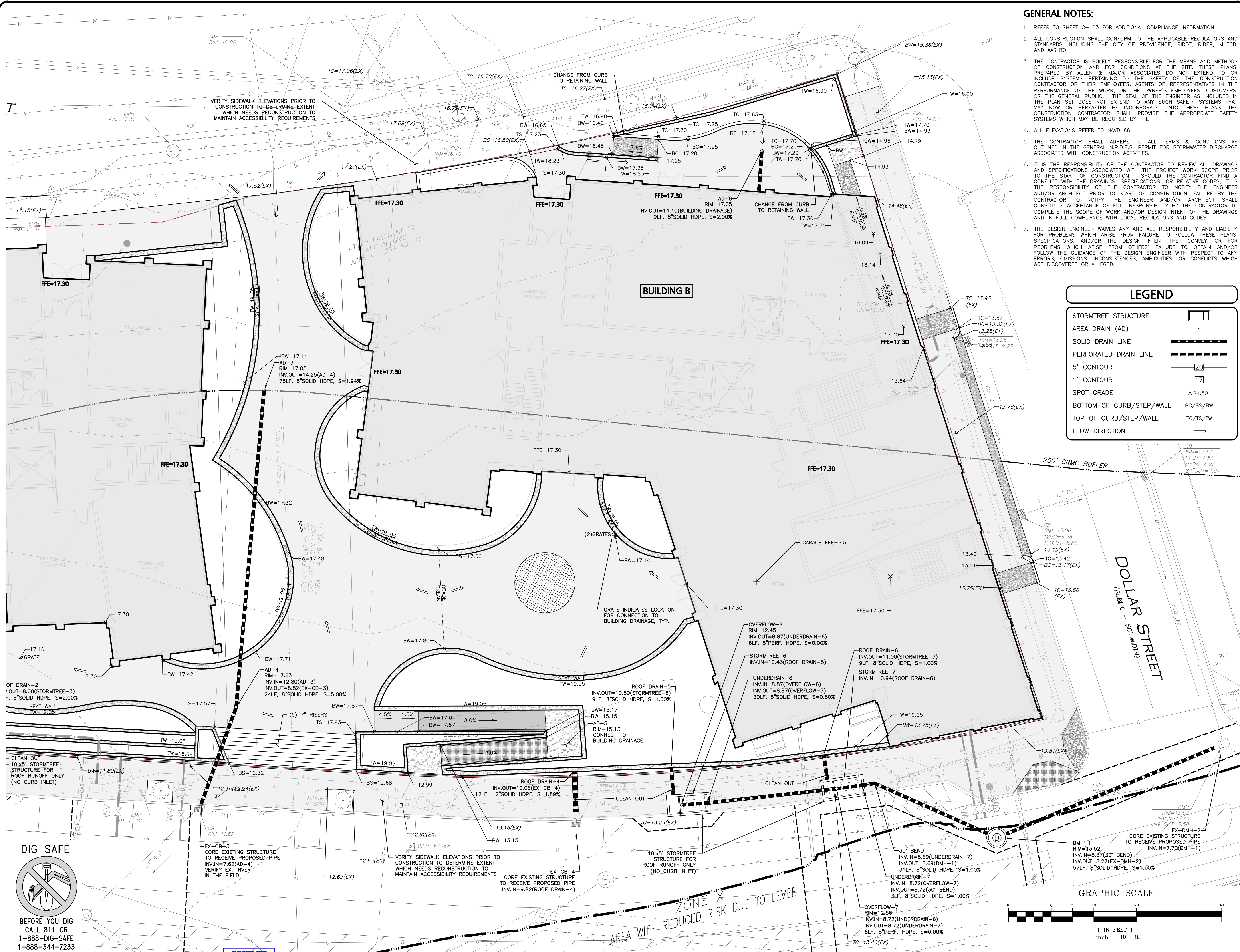
PREPARED BY:

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environmental consulting • landscape architecture
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DRAWING TITLE:	SHEET NO.
LANDSCAPE NOTES & DETAILS	L-501
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R:\PROJECTS\1898-12\CIVIL\DRAWINGS\CURRENT\C-1898-12_GRADING & DRAINAGE.DWG



GENERAL NOTES:

- REFER TO SHEET C-103 FOR ADDITIONAL COMPLIANCE INFORMATION.
- ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS INCLUDING THE CITY OF PROVIDENCE, RIDOT, RIDEP, MUTCD, AND AASHTO.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY ALLEN & MAJOR ASSOCIATES DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK, OR THE OWNER'S EMPLOYEES, CUSTOMERS, OR THE GENERAL PUBLIC. THE SEAL OF THE ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PROVIDE THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE.
- ALL ELEVATIONS REFER TO NAVD 88.
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE START OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DRAWINGS, SPECIFICATIONS, OR RELATIVE CODES, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT PRIOR TO START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE ENGINEER AND/OR ARCHITECT SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AND/OR DESIGN INTENT OF THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
- THE DESIGN ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND/OR THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE GUIDANCE OF THE DESIGN ENGINEER WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE DISCOVERED OR ALLEGED.



LEGEND

STORMTREE STRUCTURE	
AREA DRAIN (AD)	
SOLID DRAIN LINE	
PERFORATED DRAIN LINE	
5' CONTOUR	
1' CONTOUR	
SPOT GRADE	
BOTTOM OF CURB/STEP/WALL	BC/BS/BW
TOP OF CURB/STEP/WALL	TC/TS/TW
FLOW DIRECTION	

ISSUED FOR REVIEW
PERMITTING SET
April 03, 2025



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

	01-23-25	ISSUED FOR RIDEM PERMITTING
	12-03-24	ISSUED FOR RIDEM PERMITTING
REV	DATE	DESCRIPTION

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I-195 REDEVELOPMENT DISTRICT
ASSESSORS MAP 16, LOT 671
421 SOUTH MAIN ST - PROVIDENCE, RI

PROJECT NO. 1898-12 DATE: 10-31-24

SCALE: 1" = 10' DWG.: C1898-12 GRADING & DRAINAGE

DESIGNED BY: SM CHECKED BY: MAM

PREPARED BY:

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environmental consulting • landscape architecture
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DRAWING TITLE: **GRADING & DRAINAGE PLAN**

SHEET No. **C-103B**

10 OF 21