

State of Rhode Island and Providence Plantations Coastal Resources Management Council Oliver H. Stedman Government Center 4808 Tower Hill Road, Suite 3 Wakefield, RI 02879-1900

(401) 783-3370 Fax (401) 783-2069

APPLICATION FOR STATE ASSENT

Project Location No. Street City/Town Town of Narragansett Plat: B Let (2) 6	C USE ONLY)						
No. Street City/Town 2022-02 Owner's Name Town of Narragansett							
Owner's Name I own of Narragansett	-065						
Cowner's Name Lot(s):6							
25 Fifth Avenue Narragansett 02882 Owner's Cor Mailing Address Number: 401.							
Address City/Town, State Zip Code Email Address	; mkershaw@narragansettri.gov						
Contractor RI Reg. # N/A Address Email address Tel. No. N/A							
Frank Karpowicz Designer Architects 26 South County Commons Way, Address Unit A5, Wakefield, RI 02879 Tel. No. 401.							
Name of Waterway Atlantic Ocean Estimated Projection	· · · · · · · · · · · · · · · · · · ·						
Provide Below a Description of Work As Proposed (required). Application 1	Fee:						
Have you or any previous owner filed an application for and/or received an assent for any (If so please provide the file and/or assent numbers): 2019-12-030; 2019-02-027; 2017-02-038; Comple	activity on this property? te List Attached						
Is this site within a designated historic district? O YES							
	ONO						
Is this site within a designated historic district? Is this application being submitted in response to a coastal violation? If YES, you must indicate NOV or C&D Number: Name/mailing addresses of adjacent property owners whose property adjoins the project site. Accurate mailing addresses will insure proper notification. Applicant must initial to certify accuracy of adjacent property owners and accuracy of mailing addresses. 111 Boston Neck Road, Owned by The Dunes Club, Mailing Address: P.O. Box 749, Narragansett RI 02882 STORMTOOLS (http://www.beachsamp.org/resources/stormtools/) is a planning tool to help applicants evaluate the impacts of sea level rise and storm surge on their projects. The Council encourages applicants to use STORMTOOLS to help them understand the risk that may be present at their site and make appropriate adjustments to the project design. NOTE: The applicant acknowledges by evidence of their signature that they have reviewed the Rhode Island Coastal Resources Management Program, and have, where possible, adhered to the policies and standards of the program. Where variances or special exceptions are requested by the applicant, while be prepared to meet and present testimony on the criteria and burdens of proof for each of these relief provisions. The applicantal also acknowledges by evidence of their signature that to the best of their knowledge the information contained in the application is true and valid. If the information provided to the CRMC for this review is inaccurate or did not reveal all necessary information or data, then the permit granted under this application may be found to be null and void. Applicant requires that as a condition to the granting of this assent, members of the CRMC or its staff shall have access to the application is property to make on-site inspections to insure compliance with the assent. This application is made under outh and subject to the penalties o							
If YES, you must indicate NOV or C&D Number: Name/mailing addresses of adjacent property owners whose property adjoins the project site insure proper notification. Applicant must initial to certify accuracy of adjacent property owners and accuracy 111 Boston Neck Road, Owned by The Dunes Club, Mailing Address: P.O. Box 749, Narraganson STORMTOOLS (http://www.beachsamp.org/resources/stormtools/) is a planning tool to help applie of sea level rise and storm surge on their projects. The Council encourages applicants to use STUNDE: The applicant acknowledges by evidence of their signature that they have reviewed the Rhode Island Coastal Resources Management Program, and and standards of the program. Where variances or special exceptions are requested by the applicant, the applicant will be prepared to meet and present testing each of these relief provisions. The applicant also acknowledges by evidence of their signature that to the best of their knowledge the information contained information provided to the CRMC for this review is inaccurate or did not reveal all necessary information or data, then the permit granted under this applicant requires that as a condition to the granting of this assent, members of the CRMC or its staff shall have access to the applicant's property to make on the assent. This application is made under oath and subject to the penalties of perjury.	Accurate mailing addresses will by of mailing addresses. Pett RI 02882 Cants evaluate the impacts TORMTOOLS to help them project design. Lave, where possible, adhered to the policies nony on the criteria and burdens of proof for in the application is true and valid. If the dication may be found to be null and void. In-site inspections to insure compliance with						

RECEIVED

3/2/2023

COASTAL RESOURCES MANAGEMENT COUNCIL

TOWN OF NARRAGANSETT ENGINEERING DEPARTMENT 25 FIFTH AVENUE NARRAGANSETT, RL 02882

COPY TO:

TO:	NARRAGANSETT, RI 02882 (401) 789-1044 FAX (401) 782-0669 Coastal Resource Management C 4808 Tower Hill Road; Suite 3 Wakefield, RI 02879	council -	-	DATE: ATTENTION RE: Narraganset 79 Boston N	CRMC Assent Apt Beach Clubhous	pplication	
WE ARE SE the following	NDING YOU [] Attached [] Und items:	er separate o	cover via				
[] Shop Dr	awings [] Prints		[] Plans		[]Samples		
[] Specifica	tions [] Change	Order	[] Copy (of Letter			
[]							
COPIES	DATE	NO.		DE	ESCRIPTION		
4	February 7, 2023		Assent App	olication			
44	January 18, 2023		Tax Asses	sor's Proof of	Ownership		
4	January 31, 2023		Assent App	Application Narrative			
4	January 17, 2023		Building Of	Official's Letter of Permit Certification			
4	January 11, 2023			with Locus Map			
Architectural Plan Set (1 Full Size, 4 Reduced) THESE ARE TRANSMITTED AS CHECKED BELOW: [X] FOR APPROVAL [] APPROVED AS SUBMITTED [] FOR YOUR USE [] AS REQUESTED [] APPROVED AS NOTED [] FOR REVIEW [] RETURNED FOR CORRECTIONS [] RESUBMIT COPIES FOR APPROVAL [] SUBMIT COPIES FOR APPROVAL [] RETURN CORRECTED PRINTS [] REMARKS: Please let me know if you need any additional information or material. Joseph M. Amatore							
Project Engineer (401)782-0636 jamatore@narragansettri.gov							

SIGNED:

COASTAL RESOURCES MANAGEMENT COUNCIL

[X] LETTER OF TRANSMITTAL

[] FAX COVER SHEET

STATEMENT OF DISCLOSURE AND APPLICANT AGREEMENT AS TO FEES

The fees which must be submitted to the Coastal Resources Management Council are based upon representations made to the Coastal Resources Management Council by the applicant. If after submission of this fee the Coastal Resources Management Council determines that an error has been made either in the applicant's submission or in determining the fee to be paid, the applicant understands that additional fees may be assessed by the Coastal Resources Management Council. These fees must be paid prior to the issuance of any assent by the Coastal Resources Management Council.

The applicant understands the above conditions and agrees to comply with them.

M.K. Keishaw —	2/7/2023
M. K. Kusha w — Owner Signature	Date
Michelle Kershaw, Parks and Recreations Director, 25 Fifth Av	venue, Narragansett RI 02882
Print Name and Mailing Address	





TOWN OF NARRAGANSETT

Town Hall • 25 Fifth Avenue • Narragansett, RI 02882-3699 Tel. (401)-782-0616 TDD (401)-782-0610 Fax (401)-788-2555

Office of the Tax Assessor

January 18, 2023

Coastal Resources Management Council Oliver Stedman Government Center 4800 Tower Hill Road Wakefield, RI 02879

Dear Sir/Madam:

According to our records, this is to verify that the Town of Narragansett is the owner of Assessor's Map B Lot 6 located at 79 Boston Neck Road in the Town of Narragansett.

Sincerely,

Erica Brooks

Tax Assessor Clerk



TO:

Coastal Resources Management Council 4808 Tower Hill Road Suite 3

Wakefield, RI 02879 Phone: (401) 783-3370



Location: 79 BOSTON NECK ROAD Address: 79 BOSTON NECK ROAD To Construct: ROOF OVER A PORTION OF THE EXISTING DECK I hereby certify that I have reviewed foundation plan(s). plan(s) for entire structure site plans Titled: \(\) \(\	
Address: 79 BOSTON NECK ROAD Plat No. B Lot No. C To Construct: ROOF OVER A PORTION OF THE EXISTING DECK I hereby certify that I have reviewed foundation plan(s) plan(s) for entire structure site plans Titled: NORTH BEACH CUBHOUSE - FRANK KAPPOWICZ ARCHIT Date of Plan (last revision): 11-4-2022 and find that the issuance of a local building permit is not required as in accordance with Section Rhode Island State Building Code. and find that the issuance of a local building permit is required. I hereby certify that this permit once the applicant demonstrates that the proposed construction/activity fully conforms to requirements of the RISBC. and find that a Septic System Suitability Determination (SSD) must be obtained from Environmental Management. and find that a Septic System Suitability Determination (SSD) need not be obtained from Environmental Management. and find that said plans conform with all elements of the zoning ordinance, and that if said plan board approval, that the applicant has secured such approval and that the requisite appeal period no appeal filed or appeal is final. The Zoning Board approval shall expire on	
I hereby certify that I have reviewed foundation plan(s) plan(s) for entire structure site plans Titled:\nd{Titled:\nd{Titled:} \nd{Titled:} \	
I hereby certify that I have reviewed foundation plan(s). plan(s) for entire structure site plans Titled: NORTH BEACH CWBHOUSE - FRANK KAPPOWICZ ARCHIT Date of Plan (last revision): 1 - 4 - 2022 and find that the issuance of a local building permit is not required as in accordance with Secti. Rhode Island State Building Code. and find that the issuance of a local building permit is required. I hereby certify that this permit once the applicant demonstrates that the proposed construction/activity fully conforms to requirements of the RISBC. and find that a Septic System Suitability Determination (SSD) must be obtained from Environmental Management. and find that a Septic System Suitability Determination (SSD) need not be obtained from Environmental Management. and find that said plans conform with all elements of the zoning ordinance, and that if said plan board approval, that the applicant has secured such approval and that the requisite appeal period no appeal filed or appeal is final. The Zoning Board approval shaft expire on	
plan(s) for entire structure site plans Titled: NORTH BEACH CLUBHOUSE - FRANK KAPPOWICZ ARCHIT Date of Plan (last revision): 11-4-2022 and find that the issuance of a local building permit is not required as in accordance with Section Rhode Island State Building Code. and find that the issuance of a local building permit is required. I hereby certify that this permit once the applicant demonstrates that the proposed construction/activity fully conforms to requirements of the RISBC. and find that a Septic System Suitability Determination (SSD) must be obtained from Environmental Management. and find that a Septic System Suitability Determination (SSD) need not be obtained from Environmental Management. and find that said plans conform with all elements of the zoning ordinance, and that if said plan board approval, that the applicant has secured such approval and that the requisite appeal period no appeal filed or appeal is final. The Zoning Board approval shall expire on	
and find that the issuance of a local building permit is not required as in accordance with Section Rhode Island State Building Code. and find that the issuance of a local building permit is required. I hereby certify that this permit once the applicant demonstrates that the proposed construction/activity fully conforms to requirements of the RISBC. and find that a Septic System Suitability Determination (SSD) must be obtained from Environmental Management. and find that a Septic System Suitability Determination (SSD) need not be obtained from Environmental Management. and find that said plans conform with all elements of the zoning ordinance, and that if said plan board approval, that the applicant has secured such approval and that the requisite appeal period no appeal filed or appeal is final. The Zoning Board approval shall expire on	ITECTS
Rhode Island State Building Code. and find that the issuance of a local building permit is required. I hereby certify that this permit once the applicant demonstrates that the proposed construction/activity fully conforms to requirements of the RISBC. and find that a Septic System Suitability Determination (SSD) must be obtained from Environmental Management. and find that a Septic System Suitability Determination (SSD) need not be obtained from Environmental Management. and find that said plans conform with all elements of the zoning ordinance, and that if said plan board approval, that the applicant has secured such approval and that the requisite appeal period no appeal filed or appeal is final. The Zoning Board approval shall expire on	
once the applicant demonstrates that the proposed construction/activity fully conforms to requirements of the RISBC. and find that a Septic System Suitability Determination (SSD) must be obtained from Environmental Management. and find that a Septic System Suitability Determination (SSD) need not be obtained from Environmental Management. and find that said plans conform with all elements of the zoning ordinance, and that if said plan board approval, that the applicant has secured such approval and that the requisite appeal period no appeal filed or appeal is final. The Zoning Board approval shall expire on	tion of the
Environmental Management. and find that a Septic System Suitability Determination (SSD) need not be obtained from Environmental Management. and find that said plans conform with all elements of the zoning ordinance, and that if said plan board approval, that the applicant has secured such approval and that the requisite appeal period no appeal filed or appeal is final. The Zoning Board approval shall expire on	
Environmental Management. and find that said plans conform with all elements of the zoning ordinance, and that if said plan board approval, that the applicant has secured such approval and that the requisite appeal period no appeal filed or appeal is final. The Zoning Board approval shall expire on	n the RI Dept. of
board approval, that the applicant has secured such approval and that the requisite appeal period no appeal filed or appeal is final. The Zoning Board approval shall expire on	the RI Dept. of
1/Min Atmonto 1-17-2023	
Building Official's Signature Date	3
and find that said plans conform with all elements of the zoning ordinance, and that if said plans board approval, that the applicant has secured such approval and that the requisite appeal period no appeal filed or appeal is final. Lambda	d has passed with

rev. 5/11/2001

TOWN OF NARRAGANSETT Town Hall • 25 Fifth Avenue • Narragansett, RI 02882 Tel. (401) 789-1044 TDD (401) 782-0610 Fax (401) 783-9637



ENGINEERING DEPARTMENT Tel. No. (401) 782-0640

January 31, 2022

Narrative CRMC Assent Application Narragansett North Beach Clubhouse

Description of existing facility: Town of Narragansett's North Beach Clubhouse building located at 79 Boston Neck Road (Assessor's Plat B, Lot 6), is a timber framed structure elevated on wood pilings and original constructed in 1970. It has undergone renovations in 1989 to improve accessibility from the exterior via ramp and reconfiguration of the interior layout to improve functionality. The deck area was expanded to what it is today in 2002 (File# 2002-05-038) to enable hosting of community events such as RI Philharmonic Orchestra and better accommodate private rental and public functions. The facility is service by a connection to the Town of Narragansett sewer system and water is provided by Veolia Water with both services being upgraded in 2013 (File #2013-04-056)

<u>Public use and benefit of the facility</u>: The North Beach Clubhouse hosts a variety of public events including the Rhode Island Philharmonic Orchestra and a Monday Night concert series through the summer months that are free admission and open to the public. The Town hosts a movie night on the beach at the adjacent North Beach Cabanas and the Clubhouse deck hosts local venders on those nights. The Narragansett Lions Club uses the clubhouse to host free dinner on Thanksgiving and Christmas day as well as the "Pier Plunge" on New Year's Day. The facility is also a popular venue for intimate weddings, bridal showers, rehearsal dinners, job fairs, craft fairs, High School graduations, military graduations, yoga on the deck, corporate functions, holiday parties, fundraisers, and private receptions year-round.

Description of proposed work: The proposed work consists of constructing a wood framed roof employing a prefabricated truss system over a portion of the existing wood deck on the easterly side of the clubhouse building. The proposed roof dimensions will be 36' x 36' as shown on the attached plan. The Proposed area will remain open on the south and east sides while being adjacent to the existing exterior walls of the clubhouse on the west and north sides of the addition. No earth disturbances are being proposed and no new pilings are required to support the additional structure. All construction will be limited to the deck area aside from accessing the substructure to make structural attachment to existing beams. Access to the deck for construction materials, tools, and contractor will be via existing concrete sidewalk on the south side of the building and access to the substructure will be via access panels in the existing skirting. The proposed roof will integrate into the existing ridge line of the roof and continue the design aesthetic of the original architecture. The proposed work will consist of a roof only to provide weather protection for events on the existing deck and be confined to the existing footprint.



Description of equipment to be used, construction methods, access routes: Standard construction equipment typical of wood carpentry construction will be utilized, including power hand tools. The proposed work will be constructed by hand by a carpentry crew numbering 3 or 4 carpenters. No heavy equipment is anticipated to be used other than a motorized lift to deliver roofing materials to the work area. Access to the work area for equipment, personnel, and materials will be via the existing concrete walkway. If hoisting is required for the placement of prefabricated trusses, the lift would remain in the parking lot on the west side of the building.





1

Applications Found

ile No	Town	First Name	Last Name	Location	Plat	Lot	Decision Date	
019-12-030	Narragansett	Town of Narragansett		79 Boston Neck Road	В	6	Dec 30, 2019	Details
2019-02-027	Narragansett	Town of Narragansett		79 Boston Neck Road	В	6	Feb 26, 2019	Details
2017-02-038	Narragansett	Town of Narragansett		79 Boston Neck Road	В	6	Feb 21, 2017	Details
2016-08-074	Narragansett	Town of Narragansett		79 Boston Neck Road (Town Beach)	В	6	Aug 24, 2016	Details
2015-03-055	Narragansett	Town of Narragansett		79 Boston Neck Road	В	6	Mar 24, 2015	Details
2015-02-053	Narragansett	Town of Narragansett		79 Boston Neck Road	В	6	Feb 20, 2015	Details
2014-12-054	Narragansett	Town of Narragansett		79 Boston Neck Road	В	6	Jan 09, 2015	Details
2014-04-043	Narragansett	Town of Narragansett		79 Boston Neck Road	В	6	Apr 29, 2014	Details
2013-04-056	Narragansett	Town of Narragansett		79 Boston Neck Road	В	6	Apr 11, 2013	Details
2012-12-041	Narragansett	Town of Narragansett		39 & 79 Boston Neck Road	BIC	6 459-A	Feb 06, 2013	Details
2012-11-039	Narragansett	Town of Narragansett		79 Boston Neck Road	В	6	Nov 02, 2012	Details
2012-03-083	Narragansett	Town of Narragansett		79 Boston Neck Road	В	6	Mar 28, 2012	Details
2012-01-045	Narragansett	Town of Narragansett		79 Boston Neck Road	В	6	Feb 08, 2012	Details
2011-09-139	Narragansett	Town of Narragansett		79 Boston Neck Road	В	6	Nov 15, 2011	Details
2011-04-082	Narragansett	Town of Narragansett		79 Boston Neck Road	В	6	Apr 21, 2011	Details
2011-04-037	Narragansett	Town of Narragansett		79 Boston Neck Road	В	6	Apr 11, 2011	Details
2011-03-120	Narragansett	Town of Narragansett		79 Boston Neck Road	В	6	Apr 04, 2011	Details
2011-02-039	Narragansett	Town of Narragansett		79 Boston Neck Road	В	6	Feb 17, 2011	Details
2010-06-120	Narragansett	Town of Narragansett		79 Boston Neck Road	В	6		Details
2002-05-038	Narragansett	Town of Narragansett		79 Boston Neck Road	В	6	May 15, 2002	Details
1994-03-054	Narragansett	Town of Narragansett		79 Boston Neck Road	В	6	Jun 30, 1994	Details

Page 1 of 1 (records 21 of 21)





Narragansett Beach Clubhouse 79 Boston Neck Road

Project Area Photo #1





Narragansett Beach Clubhouse 79 Boston Neck Road Project Area Photo #2



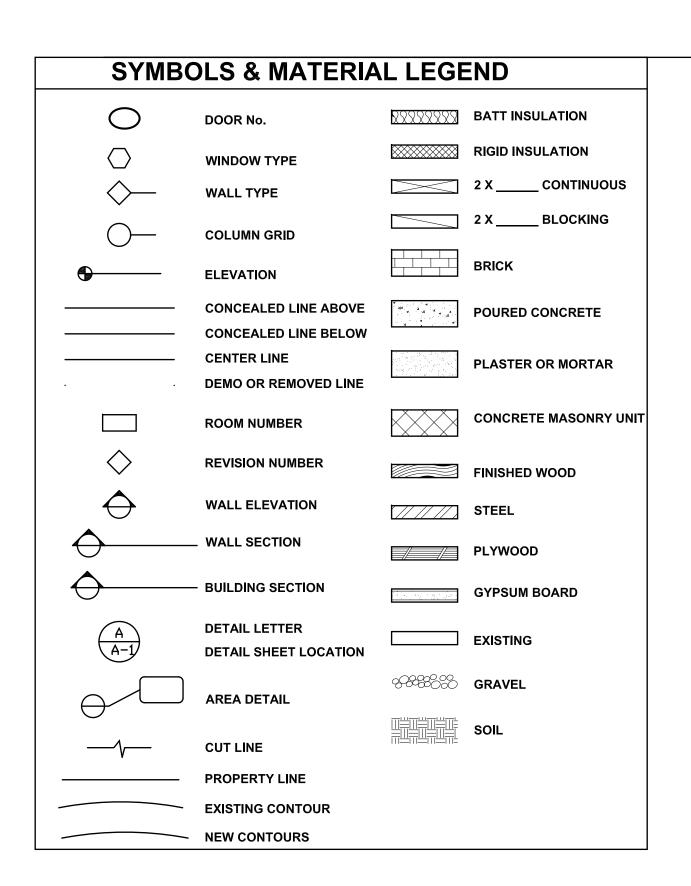


Narragansett Beach Clubhouse 79 Boston Neck Road Coastal Feature Photo #1



NORTH BEACH CLUBHOUSE PORCH ROOF ADDITION

79 BOSTON NECK RD. NARRAGANSETT, RI



GENERAL NOTES:

1. By executing the Contract, the Contractor represents that he visited the site, familiarized himself with the local conditions, codes and owner requirements under which the work will be performed, and correlated his observations with the requirements of the Contract Documents. This shall be done prior to bid.

2. The intent of the Contract Documents is to include all items necessary for the proper execution and completion of the work. The Contract Documents are complimentary, and what is required by any one shall be as binding as if required by all. Work not covered in the Contract Documents will not be required unless it is consistent therewith and is reasonably inferable therefrom as being necessary to produce the intended results. Words and abbreviations that have well known technical or trade meanings are used in the Contract Documents in accordance with such recognized meanings.

3. The drawings and specifications are intended to be fully explanatory and supplementary. However, should anything be shown, indicated or specified on one and not the other, it shall be done.

4. Should either the drawings and the specifications, or any particular specification, and the General Conditions contradict each other in any point, or require clarification, the Contractor must call the same to the attention of the architect, and his decision shall be obtained prior to the submission of bids.

5. Prospective Contractors and subcontractors shall secure all data at the site of the proposed construction, such as grades, access, storage, location of public services and other information which will have a bearing on making their proposals or on the execution of the work if awarded the Contract, and no allowance will be made for the failure of the Contractor to obtain such on-site information prior to bidding.

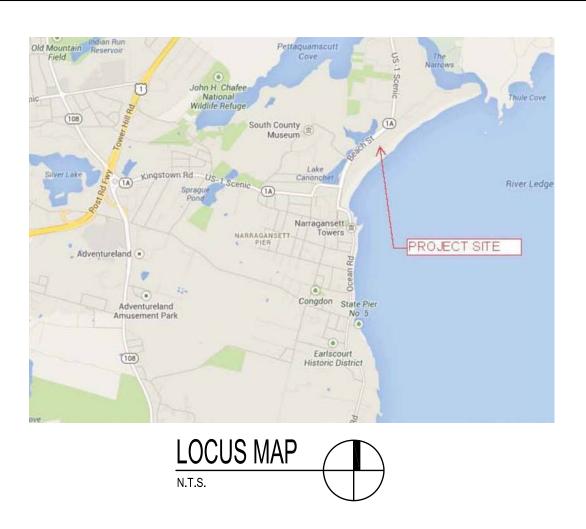
6. Should any error or inconsistency appear in the drawings or specifications, the Contractor, before proceeding with the work, must clearly bring the same to the attention of the Architect for proper adjustment and in no case proceed with the work neither in uncertainty nor with insufficient drawings.

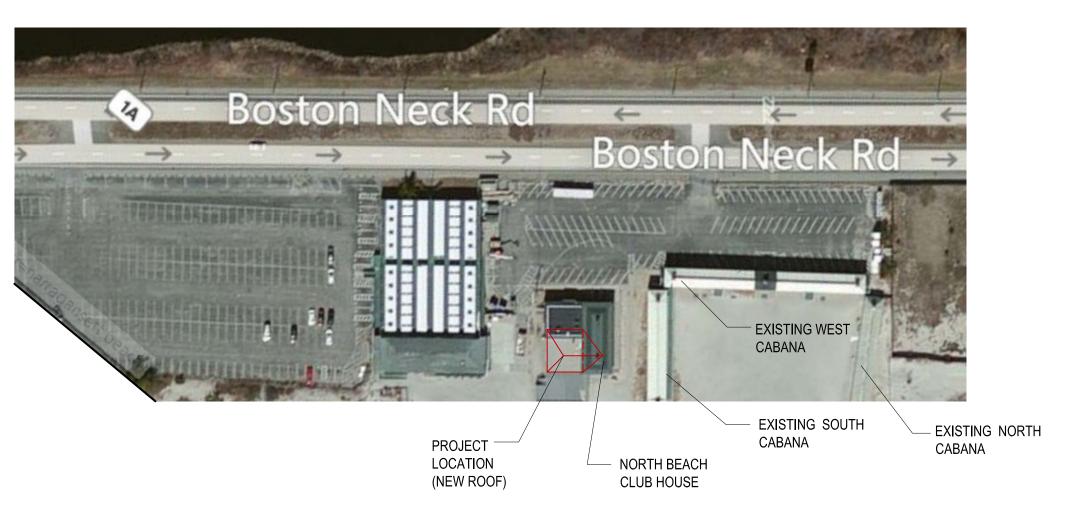
7. The contractor and each subcontractor shall be responsible for the verification of all measurements at and in the proposed construction building or site or surroundings. No charge or compensation shall be allowed due to differences between actual dimensions and dimensions indicated on the drawings. Any such discrepancy in dimensions that may be found shall be submitted to the Owner and Architect for their consideration before the Contractor proceeds with the work in the affected area.

8. Contractors shall follow sizes in the specifications of figures on drawings in preference to scale measurements and follow detail drawings in preference to general drawings, and follow actual field conditions.

9. Where it is obvious that a drawing illustrates only part of a given work or a number of items, the remainder shall be deemed

10. The Architect does not warrantee or guarantees that the area of work is free of hazardous material. Should hazardous material be encountered, the contractor shall take appropriate action as determined by the State of Rhode Island.







DRAWING LIST

A0.0 TITLE SHEET / SITE PLAN

AD1.0 EXISTING/DEMOLITION FLOOR PLAN

AD2.1 EXISTING ELEVATIONS

A1.1 FIRST FLOOR PLAN A1.2 ROOF PLAN

REFLECTED CEILING PLAN

EXTERIOR ELEVATIONS BUILDING SECTIONS

A3.2 SECTIONS AND DETAILS

GROUND FLOOR PLAN AND FOUNDATION DIAGRAM

S1.1 ROOF FRAMING PLAN

S2.1 STRUCTURAL SECTIONS & DETAILS

FRANK KARPOWICZ ARCHITECTS 26 SOUTH COUNTY COMMONS WAY WAKEFIELD, RI 02879 TEL. (401) 782-4604

TRINITY ENGINEERING GROUP CHERRY LANE PROFESSIONAL CENTER 55 CHERRY LANE WAKEFIELD, RI 02879 TEL.: (401) 284 - 4171

PROJECT NOTES: Type of Construction: Type 5B, Wood Frame, unprotected. Occupancy: A-3 (ASSEMBLY), COMMUNITY HALL New Roof Footprint area = 1,260 sf. Wind Design Speed Zone: 120 MPH

SCOPE OF WORK:

Construct A NEW PORCH ROOF EXTENSION OVER EXISTING CLUB HOUSE DECK. The new structures shall be built on existing wood piles and timber structure and connected to existing Club House Porch Roof. Electrical work includes porch ceiling lighting, three exterior outlets and security lighting and cameras - No Fire Alarm required.

NOTES TO BIDDERS:

Refer to accompanying town of Narragansett's "Bid Instructions and Procedures" for Allowances.

ALTERNATE NO:1

REMOVE ENTIRE ASPHALT ROOF SHINGLE ROOFING AND REPLACE WITH NEW.REFER TO DRAWING A1.2

FKA

FRANK KARPOWICZ ARCHITECTS INC

26 South County Commons Way, Unit A5 401 783.1245 fax

	6 — ⁹	팋
	SEIVED 2023	MENT COUNCIL
	RECEIVED 3/2/2023 COASTAL RESOURCES	MANAGEMENT COUNCIL
	RECEIVED 3/2/2023 COASTAL RESQUECES	MANAGEMENT COUNCIL
	RECEIVED 3/2/2023 COASTAL RESOURCES	MANAGEMENT COUNCIL
	RECEIVED 3/2/2023 COASTAL RESOURCES	MANAGEMENT COUNCIL
DOODESS	RECEIVED 3/2/2023 COASTAL RESOURCES	MANAGEMENT COUNCIL
ROGRESS o. Issue	RECEIVED 3/2/2023 COASTAL RESQUECES	2- 27 -2023 Date
NOR	JB HC	Date EACH OUSE
NOR	JB HC CH R	Date EACH OUSE
NOR CLU POR AI	JB HC CH R	EACH OUSE LOOF ON

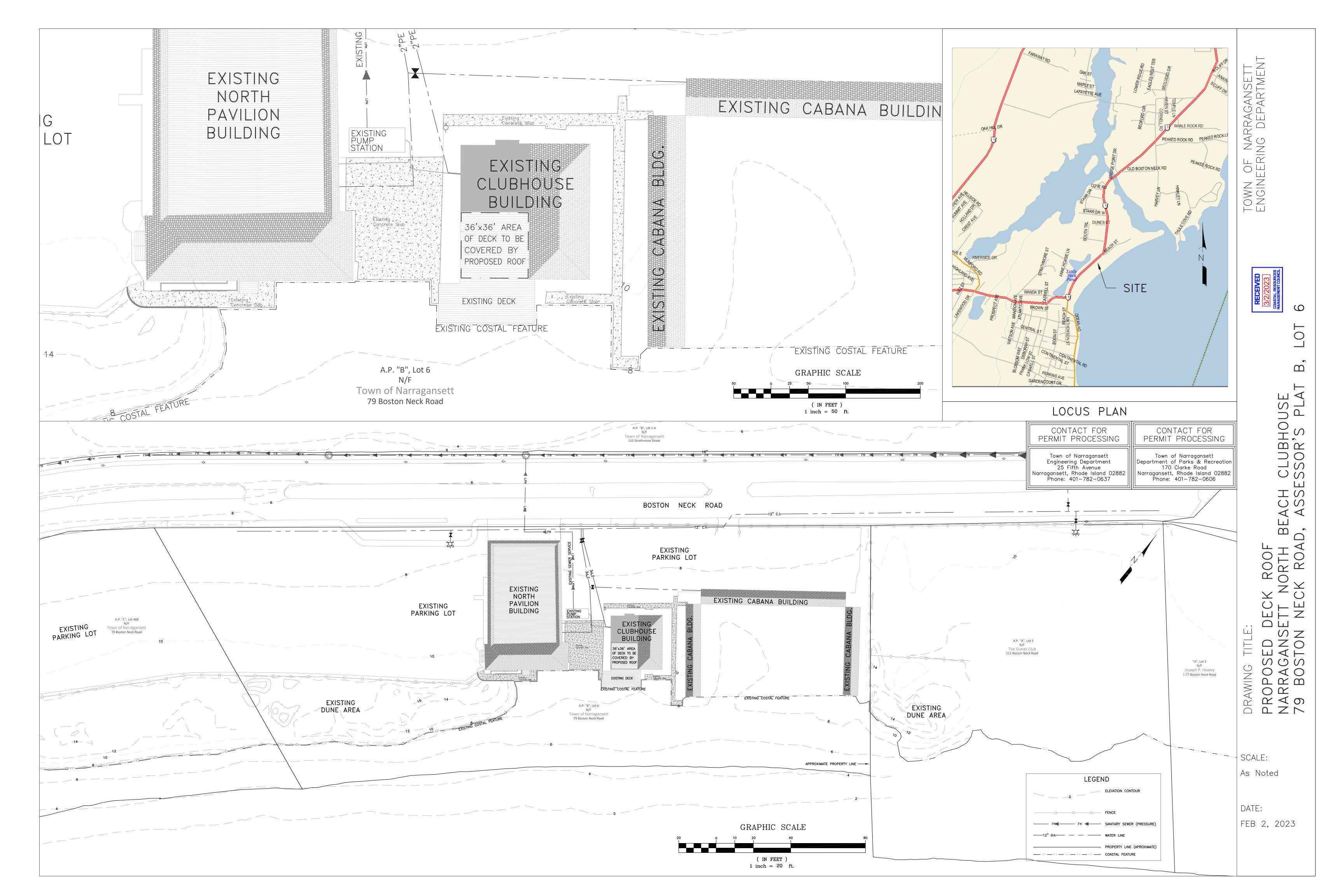
Date

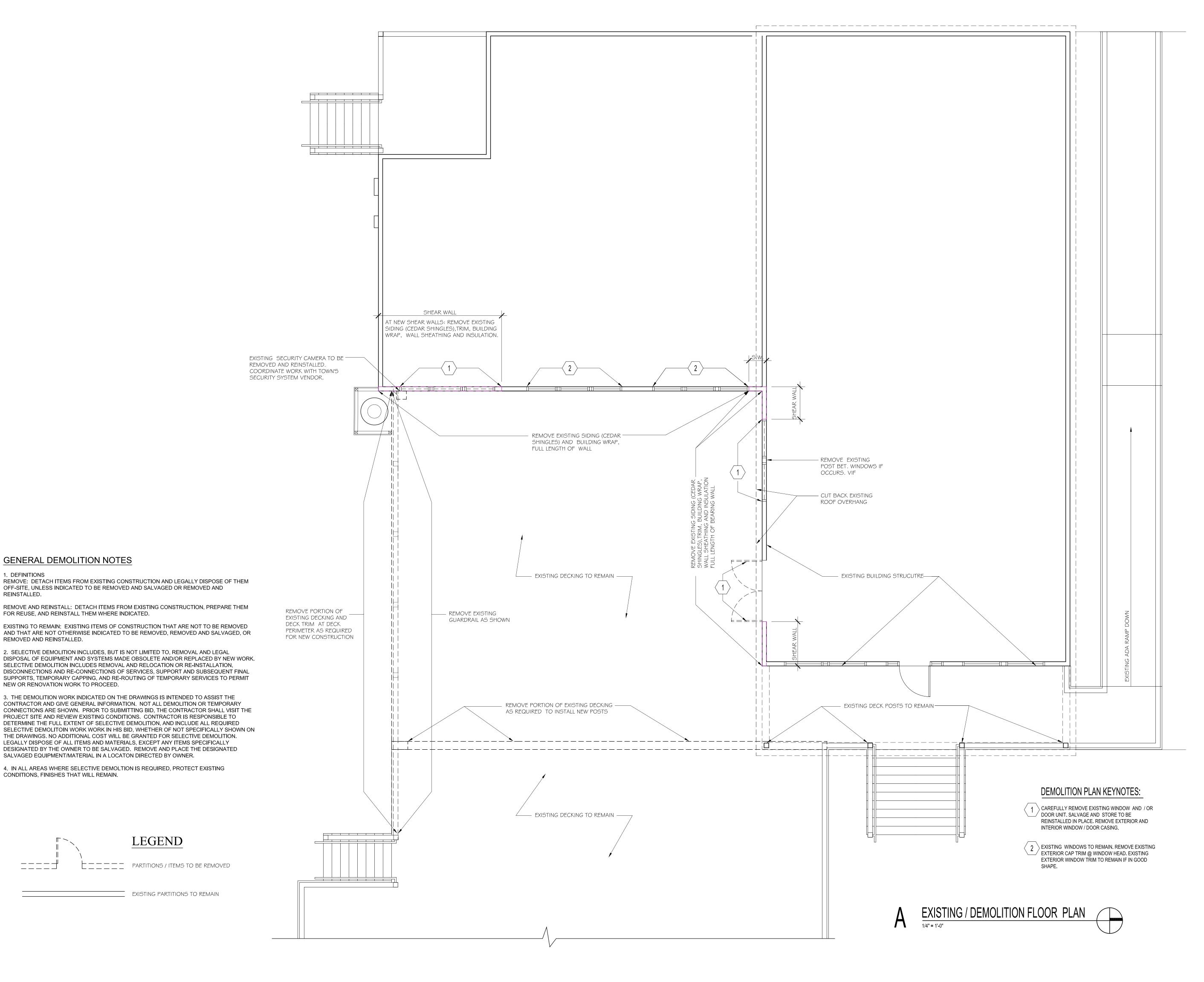
Project No. 22141

Drawn By: ZC/ EWW 2 - 27-2023

TITLE PAGE /

SITE PLAN





GENERAL DEMOLITION NOTES

FOR REUSE, AND REINSTALL THEM WHERE INDICATED.

SALVAGED EQUIPMENT/MATERIAL IN A LOCATON DIRECTED BY OWNER.

LEGEND

REINSTALLED.

REMOVED AND REINSTALLED.

NEW OR RENOVATION WORK TO PROCEED.

CONDITIONS, FINISHES THAT WILL REMAIN.

FKA

FRANK KARPOWICZ ARCHITECTS INC.

26 South County Commons Way, Unit A5 Wakefield, RI 02879 401 782.4604

401 783.1245 fax

PROGRESS 2- 27 -2023 No. Issue Date NORTH BEACH

CLUB HOUSE

PORCH ROOF

ADDITION

79 BOSTON NECK RD

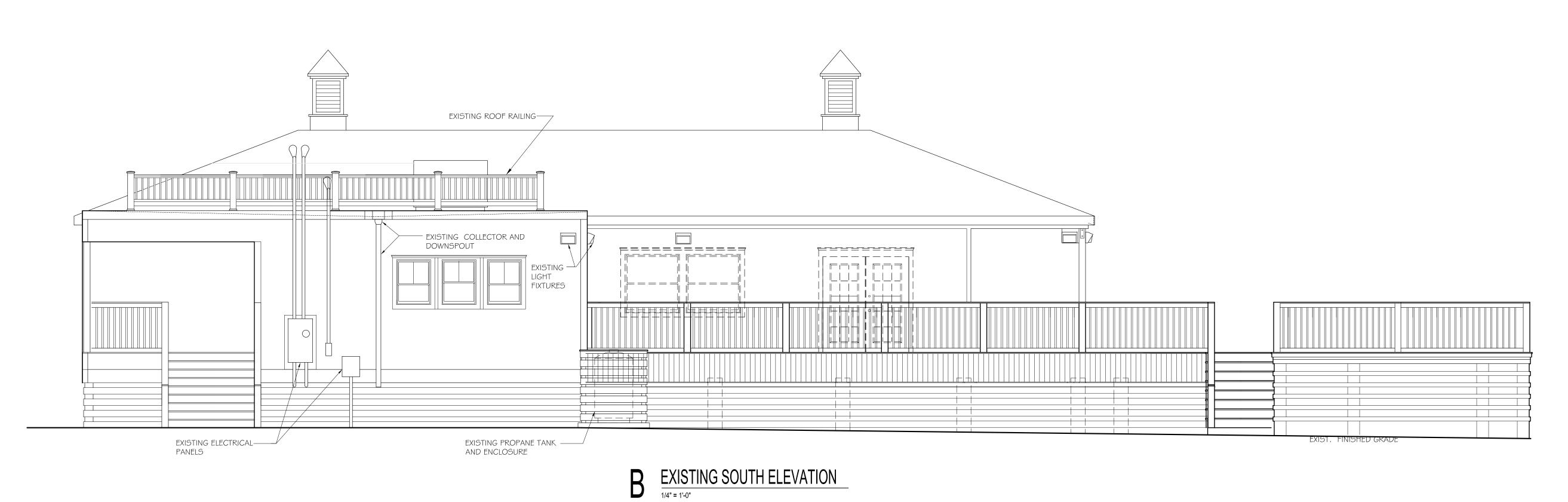
NARRAGANSETT, RI

EXISTING/ **DEMOLITION** FLOOR PLAN

Project No. 22141

Drawn By: ZC/ EWW 2 - 27-2023





FKA

FRANK KARPOWICZ ARCHITECTS INC.

26 South County Commons Way, Unit A5 Wakefield, RI 02879 401 782.4604 401 783.1245 fax

PROGRESS 2-27-2023
No. Issue Date

NORTH BEACH
CLUB HOUSE
PORCH ROOF

ADDITION

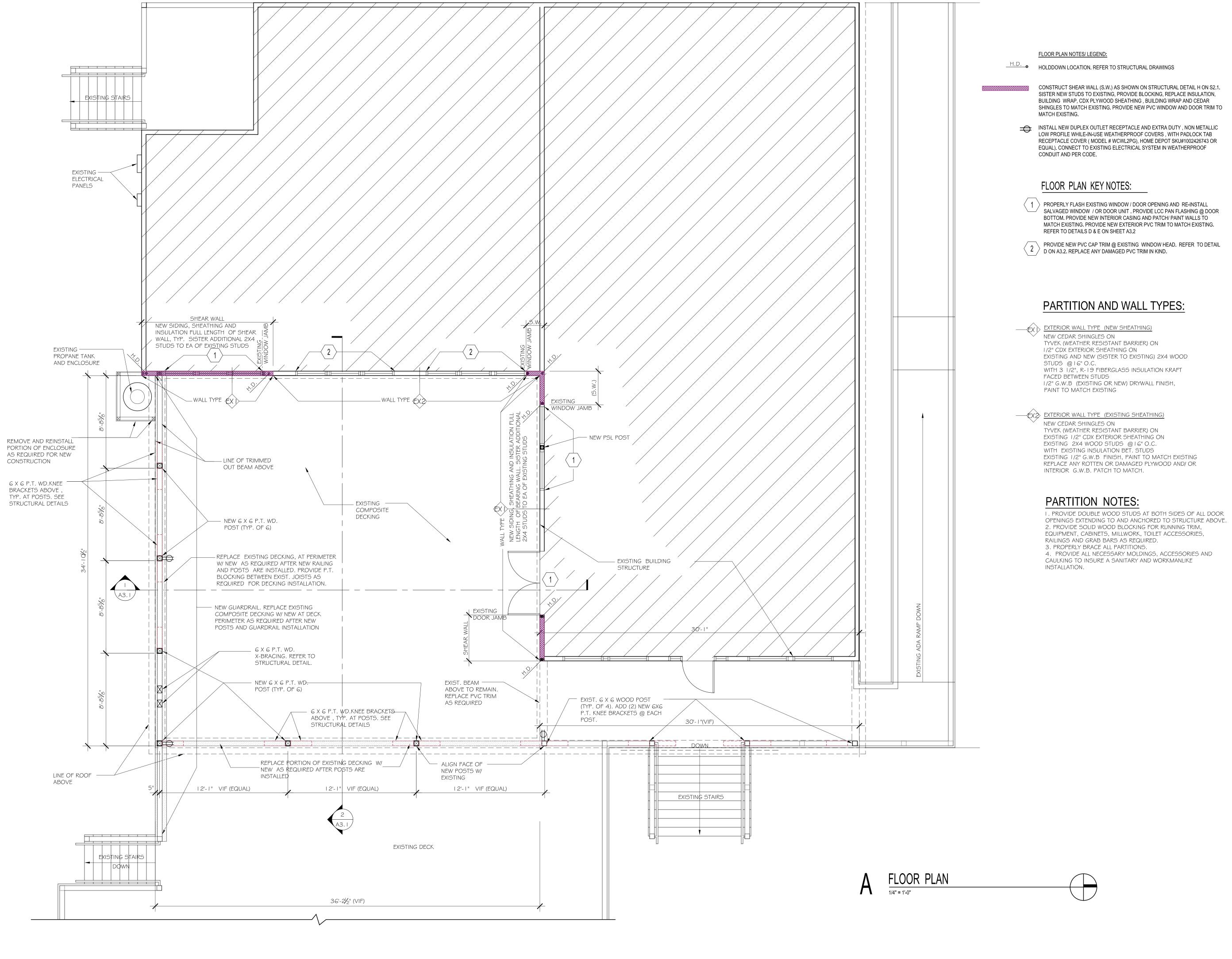
79 BOSTON NECK RD NARRAGANSETT, RI

EXISTING ELEVATION

Project No. 22141

Drawn By: ZC/ EWW

Date: 2 - 27-2023



FKA

FRANK KARPOWICZ ARCHITECTS INC.

401 783.1245 fax

26 South County Commons Way, Unit A5 Wakefield, RI 02879 401 782.4604

RECEIVED
3/2/2023
DASTAL RESOURCES
ANAGEMENT COUNCIL

PROGRESS 2- 27 -2023

No. Issue Date

NORTH BEACH

CLUB HOUSE PORCH ROOF ADDITION

79 BOSTON NECK RD NARRAGANSETT, RI

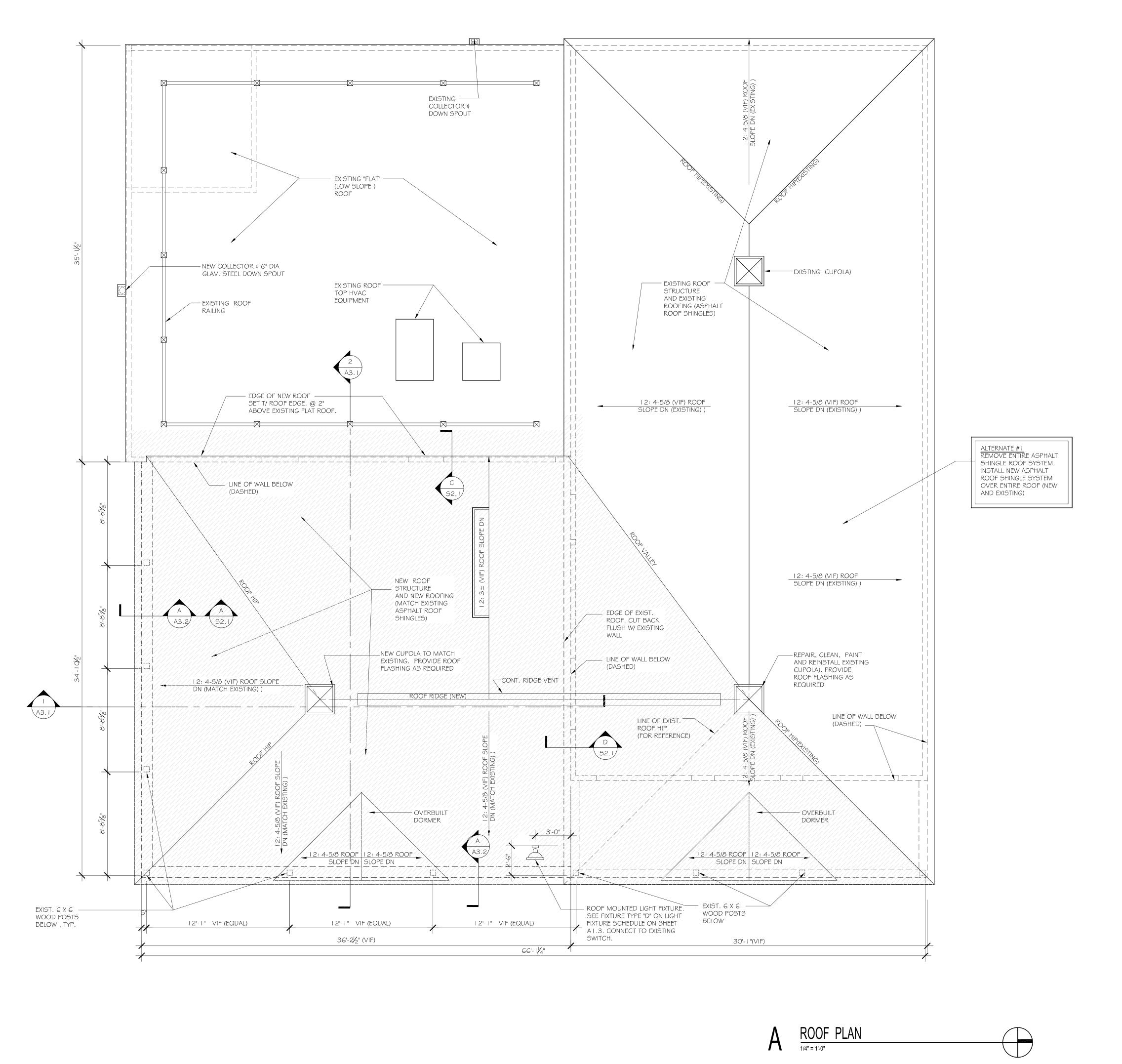
FLOOR PLAN

Project No. 22141 Drawn By:

ZC/ EWW

2 - 27-2023

A1.1





FRANK KARPOWICZ ARCHITECTS INC.

26 South County Commons Way, Unit A5 Wakefield, RI 02879 401 782.4604 401 783.1245 fax

RECEIVED 3/2/2023

PROGRESS 2- 27 -2023
No. Issue Date

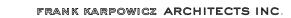
NORTH BEACH CLUB HOUSE PORCH ROOF ADDITION

79 BOSTON NECK RD NARRAGANSETT, RI

ROOF PLAN

Project No. 22141 Drawn By: ZC/ EWW

Date: 2 - 27-2023 __ A1.2



26 South County Commons Way, Unit A5 Wakefield, RI 02879 401 782.4604 401 783.1245 fax



PROGRESS 2- 27 -2023 No. Issue Date

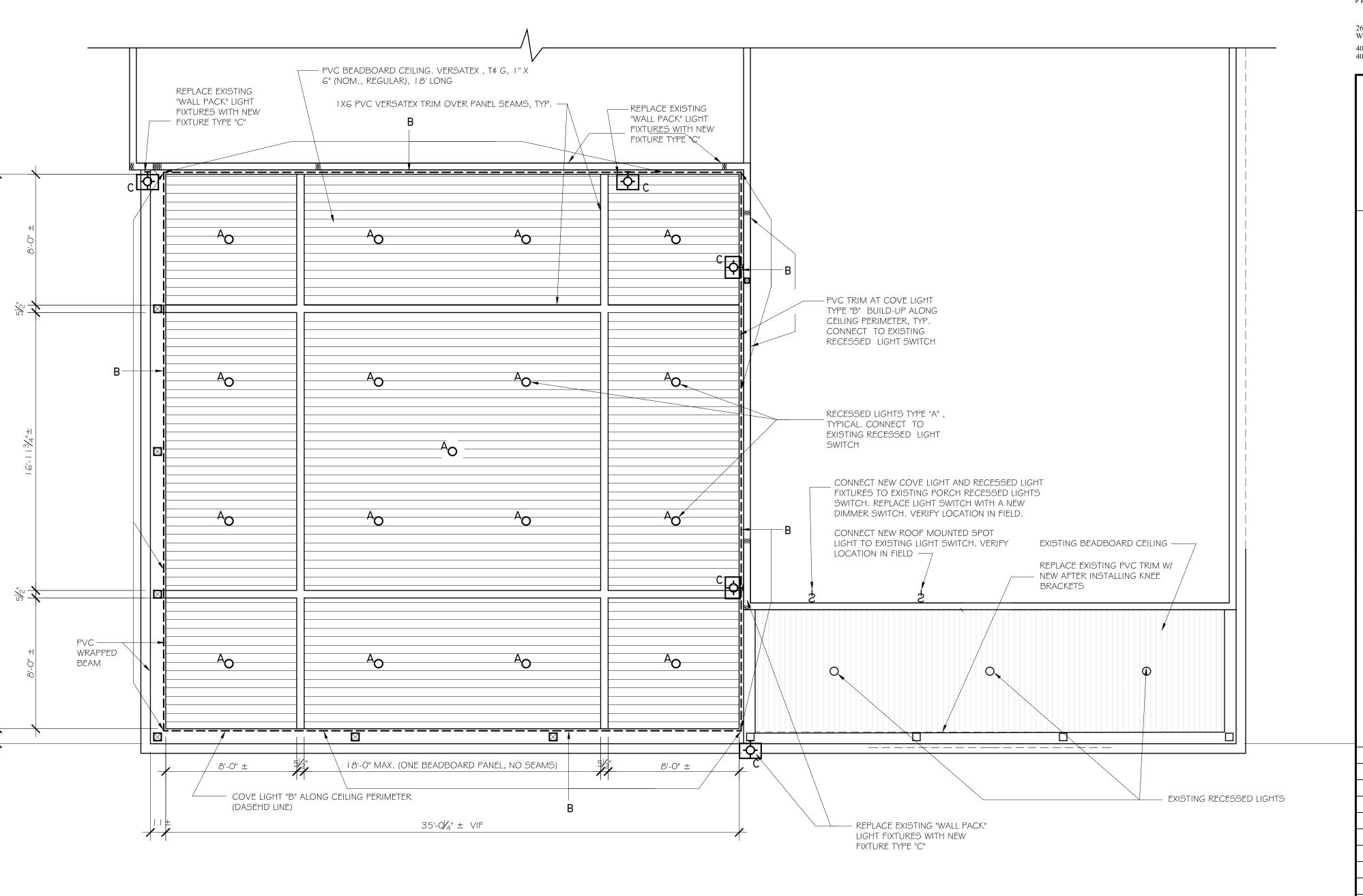
NORTH BEACH **CLUB HOUSE** PORCH ROOF **ADDITION**

79 BOSTON NECK RD NARRAGANSETT, RI

> REFLECTED CEILING PLAN

Project No. 22141

Drawn By: ZC/ EWW Date: 2 - 27-2023



REFLECTED CEILING PLAN 1/4" = 1'-0"

ELECTRICAL NOTES:

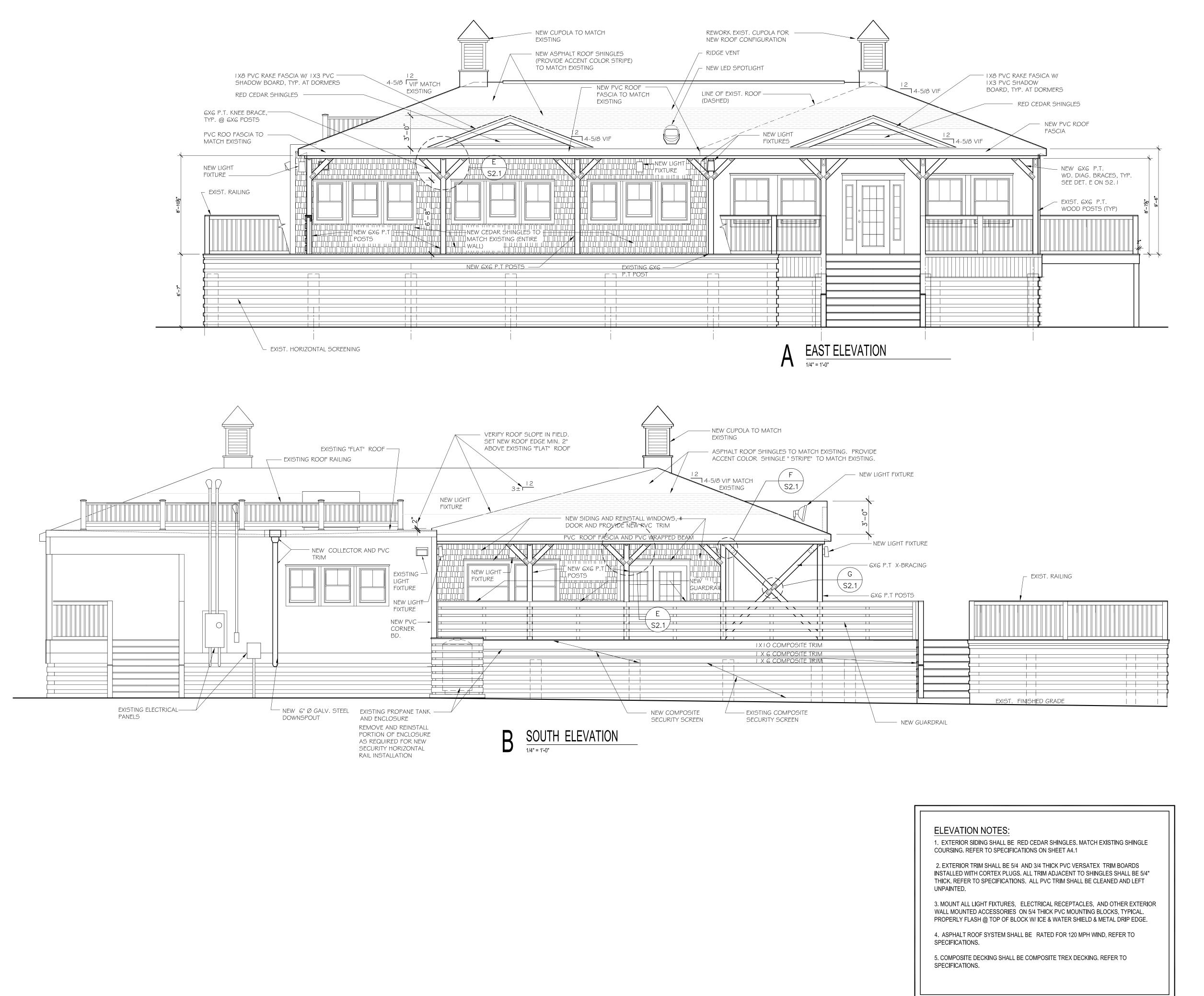
I. LIGHTING PLAN IS DIAGRAMMATIC AND FOR REFERENCE ONLY.

ELECTRICAL WORK SHALL BE DESIGN BUILD DELIVERY METHOD BY THE INSTALLING CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE CODES.

2. ELECTRICIAN TO CONFIRM ALL WIRING AND DIMMING COMPATIBILITY. REPLACE EXISTING SWITCHES WITH DIMMING TYPE IF EXISTING SWITCHES ARE NOT DIMMING.

	LIGHT	FIXTURE SCHEDULE		
SYMBOL	DESCRIPTION	MANUFACTURER AND PRODUCT NUMBER	LAMP TYPE	REMARKS
A	4" Ø RECESSED CAN	ELEMENT RGR4-CC-WH	14W, LED 2700K	FURNISHED & INSTALLED BY CONTRACTOR
В	COVE LIGHT	WALA-SW, Q-CAP FLEXIBLE FIXTURES- MICRO 5 SERIES WALA-SW-PPS2-WET-27-VHO-ENC-TL-S1/P1-CON6/CON6 LENGTH CONFIRM ALL RUN LENGTH AND CONNECTIONS PRIOR TO ORDERING	LED	FURNISHED & INSTALLED BY CONTRACTOR
С	WALL PACK	LEDALUX LXT2-WPC-50-U-30K-BZ-	LED	FURNISHED & INSTALLED BY CONTRACTOR
D	SECURITY SPOT LIGHT ROOF MOUNTED	TGS NEPTUNE FFL-E-100W-22-NF-U-D-TM - BLACK	LED	FURNISHED & INSTALLED BY CONTRACTOR

	LIGHT FI			
SYMBOL	DESCRIPTION	MANUFACTURER AND PRODUCT NUMBER	LAMP TYPE	REMARKS
А	4" Ø RECESSED CAN	ELEMENT RGR4-CC-WH	14W, LED 2700K	FURNISHED & INSTALLED BY CONTRACTOR
В	COVE LIGHT	WALA-SW, Q-CAP FLEXIBLE FIXTURES- MICRO 5 SERIES WALA-SW-PPS2-WET-27-VHO-ENC-TL-S1/P1-CON6/CON6 LENGTH CONFIRM ALL RUN LENGTH AND CONNECTIONS PRIOR TO ORDERING	LED	FURNISHED & INSTALLED BY CONTRACTOR
С	WALL PACK	LEDALUX LXT2-WPC-50-U-30K-BZ-	LED	FURNISHED & INSTALLED BY CONTRACTOR
D	SECURITY SPOT LIGHT ROOF MOUNTED	TGS NEPTUNE FFL-E-100W-22-NF-U-D-TM - BLACK	LED	FURNISHED & INSTALLED BY CONTRACTOR





FRANK KARPOWICZ ARCHITECTS INC.

26 South County Commons Way, Unit A5 Wakefield, RI 02879

401 783.1245 fax

RECEIVED
3/2/2023
CDASTAL RESOURCES
MANAGEMENT COLNCIL

PROGRESS 2- 27 -2023

No. Issue Date

NORTH BEACH CLUB HOUSE PORCH ROOF ADDITION

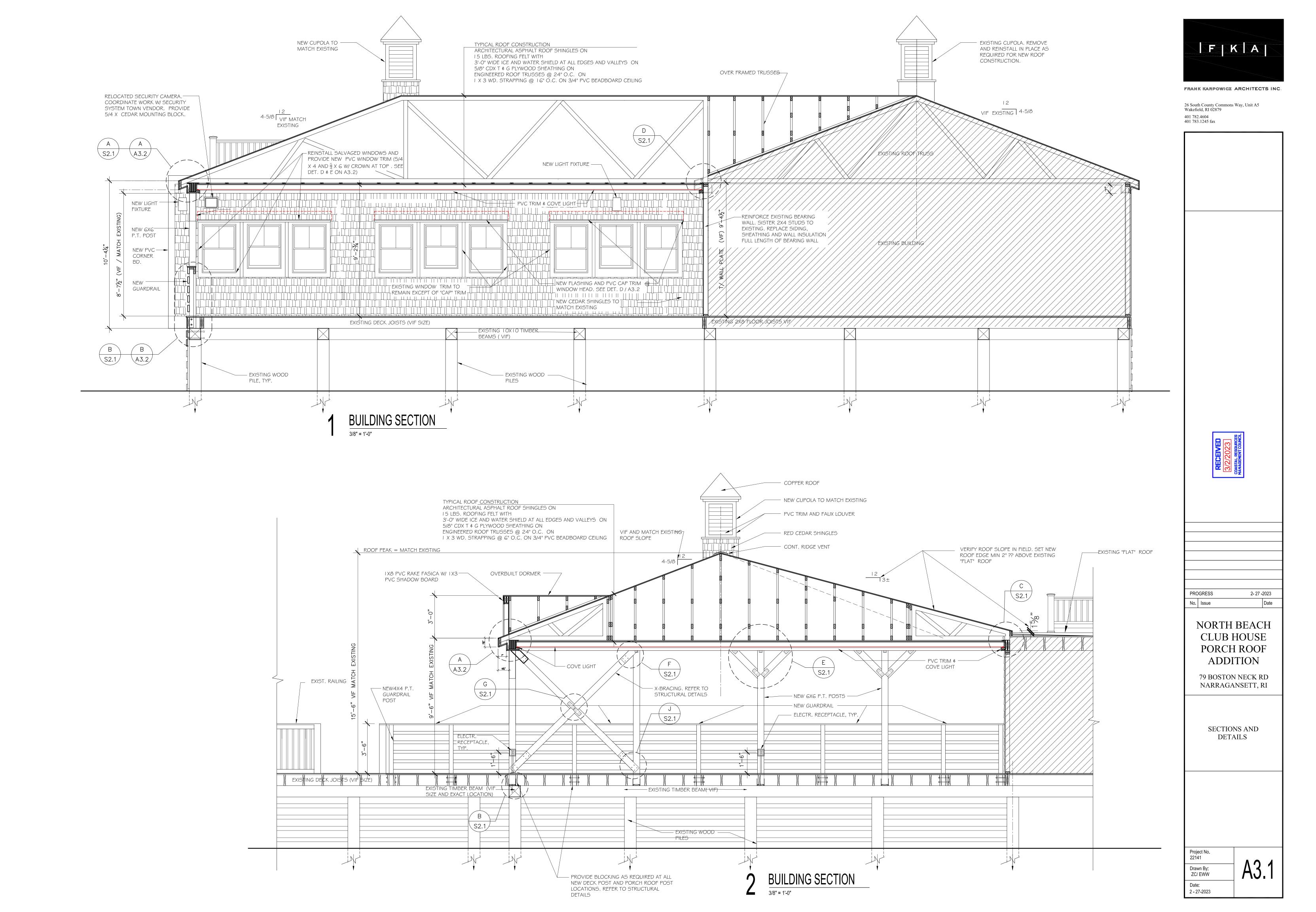
79 BOSTON NECK RD NARRAGANSETT, RI

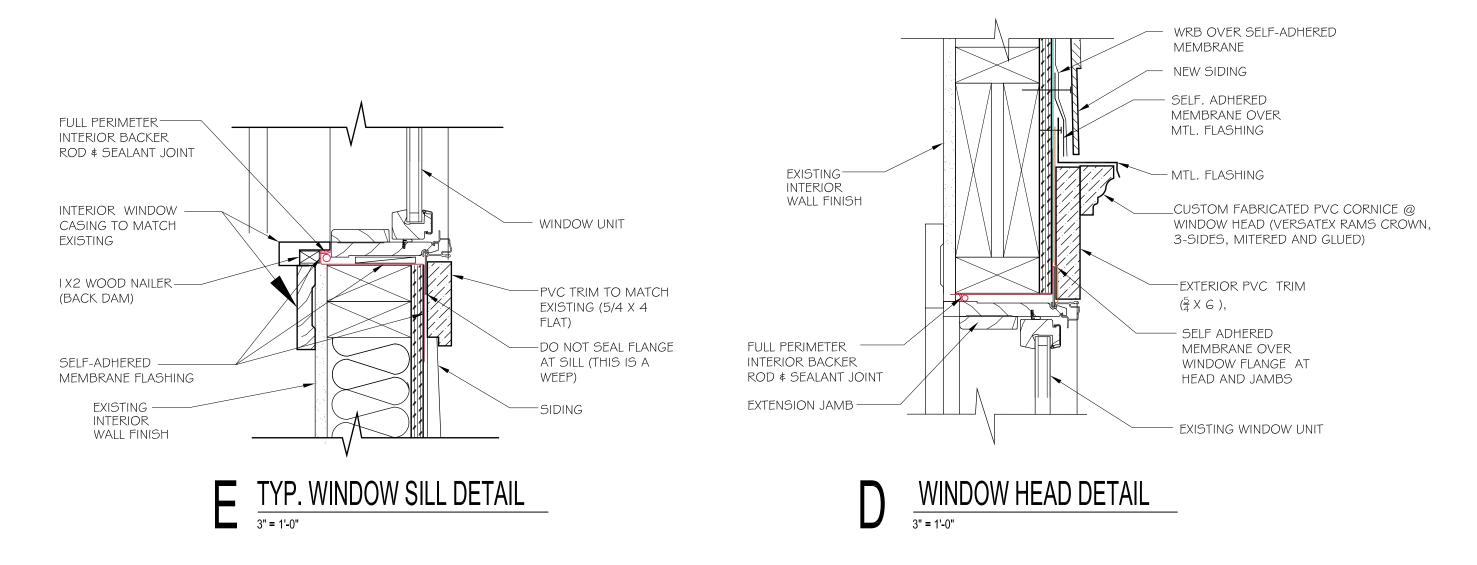
SECTION AND ELEVATION

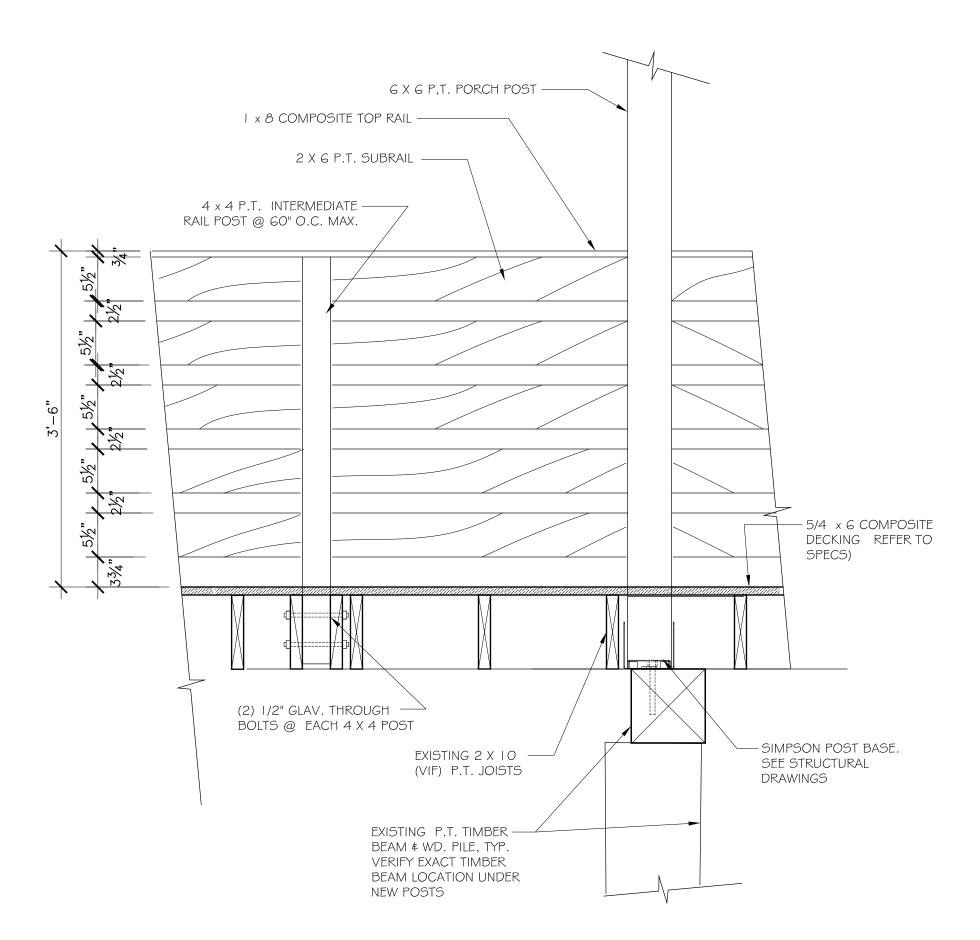
Project No. 22141

Drawn By: ZC/ EWW

Date: 2 - 27-2023

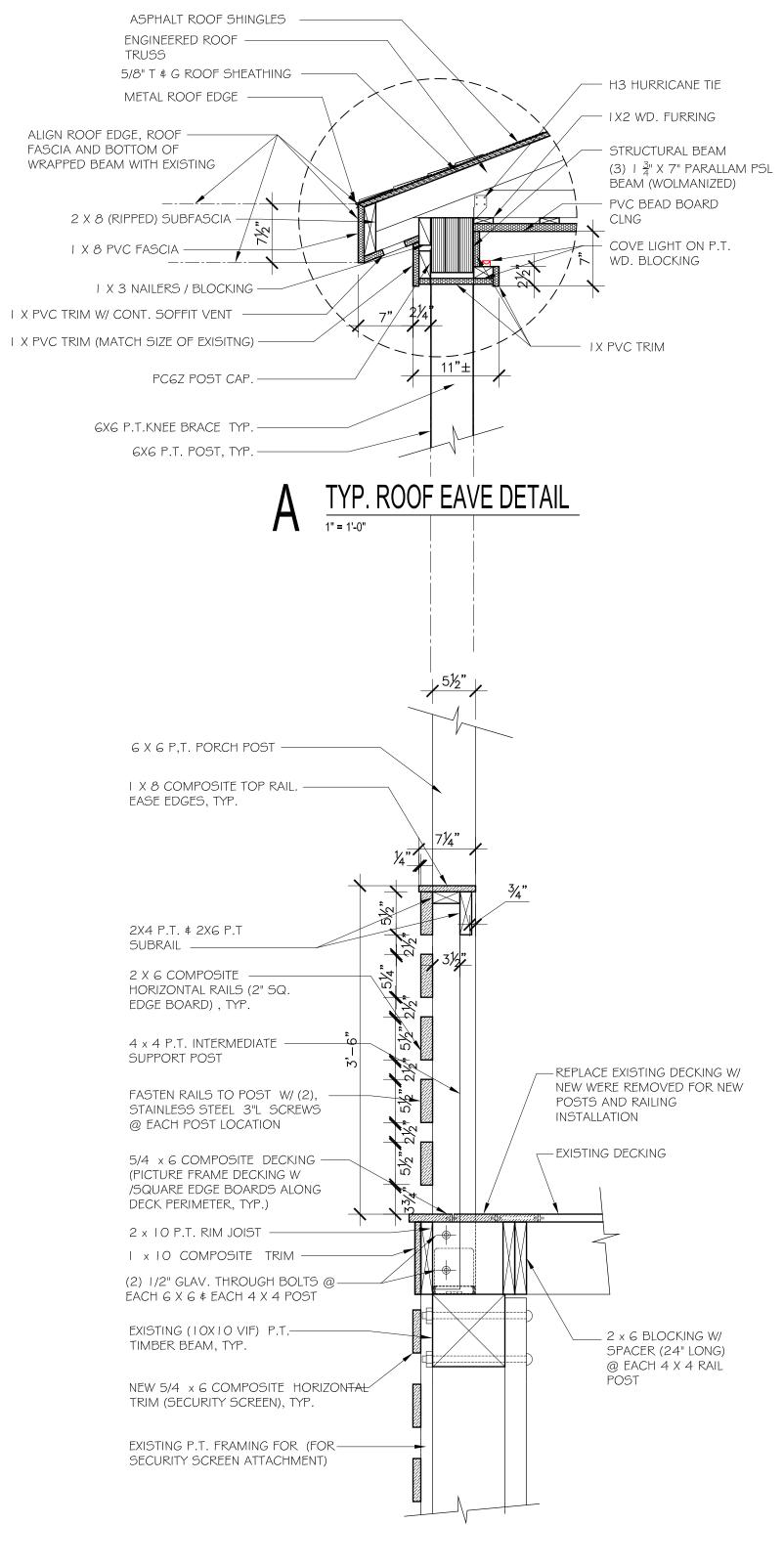






C NEW GUARDRAIL DETAIL

1" = 1'-0"





REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION AND DETAILS



FRANK KARPOWICZ ARCHITECTS INC.

26 South County Commons Way, Unit A5 Wakefield, RI 02879 401 782.4604 401 783.1245 fax

RECEIVED 3/2/2023 COASTAL RESOURCES ANAGEMENT COUNCIL
PROGRESS 2- 27 -2023 No. Issue Date
NORTH BEACH CLUB HOUSE PORCH ROOF ADDITION 79 BOSTON NECK RD NARRAGANSETT, RI
SECTIONS AND DETAILS

Project No. 22141

Drawn By: ZC/ EWW

2 - 27-2023

DIVISION 01 00 00 - GENERAL REQUIREMENTS

DIVISION 01

01 00 00 - GENERAL REQUIREMENTS

- 1 PROJECT COORDINATION
- A. Coordinate scheduling, submittals, and Work of various sections of specifications to ensure efficient and orderly sequence of installation of interdependent construction elements.
- B. Coordinate space requirements and installation work indicated diagrammatically on Drawings.
- Follow routing shown, as closely as practicable. C. In finished areas, conceal pipes, ducts, and wiring within construction.
- 2 SUBMITTAL PROCEDURES
- A. Submittal form to identify Project, Contractor, subcontractor or supplier; and pertinent Contract
- Document references. B. Apply Contractor's stamp, signed or initialed, certifying that review, verification of Products required, field dimensions, adjacent construction Work, and coordination of information is in
- accordance with requirements of the Work and Contract Documents. C. Identify variations from Contract Documents and Product or system limitations which may be
- detrimental to successful performance of completed Work.
- D. Revise and resubmit submittals as required; identify changes made since previous submittal. 3 PROPOSED PRODUCTS LIST
- A. Prior to start of Work, submit list of major Products proposed for use, with name of
- manufacturer, trade name, and model number of each product. 4 PRODUCT DATA
- A. Product Data:
- 1. Submitted to Architect/Engineer for review for limited purpose of checking for conformance with information given and design concept expressed in Contract Documents.
- 2. After review, provide copies and distribute in accordance with SUBMITTAL PROCEDURES article and for record documents purposes as specified.
- B. Submit number of copies which Contractor requires, plus three (3) copies which will be retained by Architect/Engineer for distribution to owner and/or design team.
- C. Mark each copy to identify applicable products, models, options, and other data. Supplement manufacturer's standard data to provide information unique to this project.
- 5 SHOP DRAWINGS
- A. Shop Drawings:
- 1. Submitted to Architect/Engineer for review for limited purpose of checking for conformance with information given and design concept expressed in Contract Documents.
- 2. After review, provide copies and distribute in accordance with SUBMITTAL PROCEDURES article and for record documents purposes as specified.
- B. When required by individual specification sections, provide shop drawings signed and sealed by professional engineer responsible for designing components shown on shop drawings.
- 1. Include signed and sealed calculations to support design.
- 2. Submit drawings and calculations in form suitable for submission to and approval by authorities having jurisdiction.
- 3. Make revisions and provide additional information when required by authorities having jurisdiction.
- C. Submit in Portable Document Format (PDF).
- 6 SAMPLES
- A. Samples for Review:
- 1. Submitted to Architect/Engineer for review for limited purpose of checking for conformance with information given and design concept expressed in Contract Documents.
- 2. After review, provide copies and distribute in accordance with SUBMITTAL PROCEDURES article and for record documents purposes as specified.
- B. Samples For Selection:
- 1. Submitted to Architect/Engineer for aesthetic, color, or finish selection.
- 2. Submit samples of finishes from full range of manufacturer's standard colors, textures, and patterns for Architect/Engineer selection.
- 3. After review, provide copies and distribute in accordance with SUBMITTAL PROCEDURES
- article and for record documents purposes as specified. C. Submit samples to illustrate functional and aesthetic characteristics of Product.
- D. Submit samples of finishes from full range of manufacturer's standard colors, textures, and
- patterns for Architect/Engineer's selection.
- 7 MANUFACTURER'S INSTRUCTIONS
- A. When required, submit manufacturer printed instructions for delivery, storage, assembly, installation, adjusting, and finishing, in quantities specified for Product Data.
- 8 MANUFACTURER'S CERTIFICATES
- A. When required, submit certifications by manufacturer to Architect/Engineer, in quantities
- B. Indicate material or Product conforms to or exceeds specified requirements. Submit supporting
- reference data, affidavits, and certifications as appropriate. 9 QUALITY CONTROL
- A. Monitor quality control over suppliers, manufacturers, Products, services, site conditions, and
- workmanship, to produce Work of specified quality.
- B. Comply with manufacturer's instructions. C. Comply with specified standards as minimum quality for the Work except when more stringent tolerances, codes, or specified requirements indicate higher standards or more precise
- 10 TOLERANCES A. Monitor fabrication and installation tolerance control of installed Products over suppliers, manufacturers, Products, site conditions, and workmanship, to produce acceptable Work. Do not
- permit tolerances to accumulate. B. Comply fully with manufacturer's tolerances.
- 11 REFERENCES
- A. Conform to reference standards by date of issue current as of date of Contract Documents.
- B. When specified reference standard conflict with Contract Documents, request clarification from Architect/Engineer before proceeding.
- 12 FIELD ENGINEERING
- A. Employ a Land Surveyor to locate reference datum and protect survey control and reference
- B. Establish elevations, lines, and levels and certify elevations and locations of the Work conform
- C. Verify field measurements are as indicated on shop drawings or as instructed by manufacturer.
- 13 SUBMITTALS
- Submittals shall include, but are not limited to the following: rebar, timber, lumber, trusses, connectors, siding, roofing, finishes, railings, doors, hardware, trim and specialties.
- **DIVISION 02 EXISTING CONDITIONS**
- **REFER TO DRAWINGS & VISIT SITE**
- DIVISION 03 CONCRETE Refer to structural drawings.
- Shop drawings showing reinforcing details, including steel sizes, spacing and placement shall be submitted by the contractor for approval prior to fabrication.

DIVISION 06 - WOOD, PLASTICS AND COMPOSITES

06 10 00 ROUGH CARPENTRY - REFER TO SPECIFICATIONS ON STRUCTURAL DRAWINGS 06 20 00 FINISH CARPENTRY

0615 00 Composite Decking, and Accessories

- 1. Composite decking, framing and railing shall be Trex Select, color: Winchester Grey or equal. Install according to manufacturer's instructions using stainless steel fasteners.
- a. 1 x 6 decking shall be 1" grooved edge board (actual dimension 0.875" x 5.5 . Install deck boards using Trex HIDEWAY Hidden Fastening System or equal using with stainless steel T10 #8 x 2" Star
- At edge board, provide Square Edge Board installed with stainless steel trim screws with factory painted head to match decking color.
- Picture frame all Decking with 1" square edge board along deck perimeter.

b. 1 x 8 (Guardrail top rail) shall be Fascia profiles, actual dimension 0.75" x 7.25"

a. 2 x 6 shall be Trex Select, 2" Square Edge Board (actual dimension 2 x : 1.3" x 5.5"), 2 x 4 called on drawings shall be ripped from 2 x 6 members.

06 60 00 PLASTIC SIMULATED WOOD TRIM FABRICATIONS

PART 1 GENERAL

- 1.1 Section includes: Free-foam cellular PVC trim boards for: corner boards, soffits, fascia, frieze boards, water tables, architectural millwork. door trim, window trim, porch ceilings, column wraps.
- 1.2 Warranty: Provide manufacturer's 30 year transferable warranty against defects in manufacturing that causes the products to rot, corrode, delaminate, or excessively swell from moisture.

PART 2 PRODUCTS

- 2.1 MANUFACTURER: Versatex
- 2.2 Materials: PVC: free foam cellular PVC material with a small-cell microstructure and density of .55 grams/cm³.

2.3 Simulated wood trim

- A. PVC trimboard: Versatex or Azek trimboard with sealed edge, sizes and thickness as called for on the drawings, smooth finish
- B. PVC cornerboard: Versatex corners: folded 90 degree one piece assembly produced with a smooth finish, size 4 inches, 5/4 thickness, smooth finish

PVC bead board: Versatex Beadboard: T and G and Centerbead sheets, size: 1X6 (regular), (actual size 3/4 inch by 5 1/2 inch)

2.4 ACCESSORIES

- - Initial fastening: Use 12 gauge stainless steel fasteners designed for wood trim and siding. Fastener should have sufficient flexural and tensile strength to resist bending.
 - 2. Use fasteners with thin shanks, blunt points, and full round heads that are long enough to penetrate the substrate a

 - 3. Do not use staples, small brads and wire nails, avoid using fine threaded wood screws and ring-shank fasteners. 4. Use standard nail guns with a pressure setting between 70 psi and 100 psi. The recommended pressure depends on the type of gun, type of nail, ambient temperature, and the substrate. Care should be taken not to overdrive the nail
 - 5. Pre-drilling is not typically required unless large fasteners are used or the product is installed during temperatures
 - 6. Use two fasteners for every framing member for trimboard applications. Sheet and trimboards 8 inches and wider require additional fasteners
 - 7. Install fasteners no more than 2 inches from the end of each board.
 - 8. Avoid fastening simulated wood trim over hollow or uneven areas. Fasten onto flat, solid substrates 9. Final fastening: Cortex Hidden Fastening System (fasteners and plugs) . Install according to manufacturer's
- instructions and best practices for installing PVC trim.
 - ADHESIVES: FINISHING SYSTEM.
 - 1. All bonded surfaces must be smooth, clean, and in complete contact with each other for best results 2. Adhere simulated wood trim to itself with pvc cement or cellular pvc adhesives to prevent joint separation. Acceptable
 - adhesives are pvc trim welder, ips weld-on 705 (white), and zevo pvc trim adhesive. 3. PVCcements cure quickly (3-5 minutes or less), and have a limited working time.
 - 4. Scarf cut joints are recommended where applicable.
 - 5. Bonded joints should be secured with fasteners and fastened with two rows on each side of the joint.
- 6. When bonding simulated wood trim to other substrates, consult the adhesive manufacturer to determine suitability. Nail hole filler: Two part epoxy filler for PVC: PVC Trimwelder "Nail Stick" or equal.
- Sealants: use urethane, polyurethane, polymer blends or acrylic based sealants that do not contain silicone as specified in section 07 91 16 - joint gaskets.

PART 3 EXECUTION

- 3.1 Preparation: Clean surfaces thoroughly prior to installation. prepare surfaces using the methods recommended by the manufacturer for achieving the best result for the substrate under the project conditions.
- A. Install in accordance with manufacturer's instructions.
- B. Cutting: simulated wood trim can be cut using standard woodworking saws. conventional carbide-tipped blades designed for cutting wood are preferred. avoid using fine-tooth metal-cutting blades.
- rough-cut edges are typically caused by excessive friction, poor board support, or worn or improper tooling.
- C. Drilling: simulated wood trim can be drilled using standard woodworking drill bits. do not use drill bits made for rigid pvc.
- D. Edge finishing: traditional sanding, grinding or filing tools used for woodworking are preferred. E. Nail location:
 - 1. For trimboard applications use two fasteners per framing member.
- 2. Use additional fasteners are required for trimboard 8 inches and wider.
- Install fasteners a maximum of 2 inches from the end of each board.
- F. Expansion and contraction: simulated wood trim expands and contracts with changes in temperature. properly fastening along the entire length is required to minimize expansion and contraction.

G. Cleaning: Clean simulated wood trim with mild detergent and water. Products with pumice, such as soft scrub, may be applied with a nylon brush. For more stubborn stains use a mild household cleaner and degreaser like clorox cleanup, clorox outdoors,

1. Allow 3/16 inch space per 18-foot run of trim for expansion and contraction.

denatured alcohol, bleach, Mr. Clean MagicEeraser or Corte clean with nylon brush.

- 2. Bond joints between pieces of simulated wood trim to eliminate separation. Allow expansion and contraction space at the ends of long runs.

DIVISION 07 - THERMAL AND MOISTURE PROTECTION

SECTION 07 27 00 SIDING AND AIR BARRIER

PRODUCTS

- 1. Wood Shingles shall be Western Red Cedar, 18" Kiln Dried, R&R, pre-dipped (in superdeck duckback, cedartone) as manufactured by G & R and distributed by Liberty Cedar, West Kingstown RI or equal. Install according to manufacturer's instructions over Benjamin Obdyke's Hydrogap Drainable Housewrap. Match
- coursing exposure of the existing building. 3. Trim - refer to division 06 and drawings.
- 4. Flashing 16 oz., minimum Lead Coated Copper (LCC) at locations and profiles shown on drawings. Lap seams 6" minimum and seal with silicone sealant.

07 31 13 ASPHALT SHINGLE ROOFING SYSTEM

PART 1 GENERAL

- 1.1 Submittals: Submit roofing samples
- 1.2 Environmental requirements: take special care when applying winterguard waterproofing shingle underlayment and shingles when ambient or wind chill temperature is below 45 degrees f (7 degrees c). tack winterguard in place if it does not adhere immediately to the deck.
- 1.4 Warranty: furnish shingle manufacturer's warranty for asphalt fiber glass shingles: certainteed landmark pro ar, 50-year warranty term for a commercial building.

PART 2 PRODUCTS

2.1 Manufacturer

A. Provide products manufactured by Certainteed Corporation, Architectural Support group, PO box 860, Valley Forge, PA 19482. tel: (800) 233-8990, fax: (610) 341-7940.

2.2 Asphalt Fiber Glass Shingles

A. Certainteed Landmark PRO AR or Equal to match existing.

UL certification of ASTM D3462; conforms to ASTMd3018 type I - self-sealing; ASTM d3161-03b, class "F" wind resistance (regional); ASTM d3161-99a wind resistance; ul997 wind resistance; ul 2390/ASTM d6381 class "h" and ASTM d7158 class "h" wind resistance; ul 790 class a fire resistance; glass fiber mat base, ceramically colored/uv resistant mineral surface granules across entire face of shingle; two-piece laminated shingle; algae resistant.

1. Weight: 250 pounds per square (100 square feet) (11.7-12.0 kg/sq m).

COIOr: MATCH EXISTING. PROVIDE ACCENT COLOR TO MATCH EXISTING, SUBMIT SAMPLE BEFORE ORDERING.

2.3 SHEET MATERIALS

- A. Eaves protection: Certainteed "winterguard"; astm d 1970 sheet barrier of self-adhering rubberized asphalt membrane shingle underlayment having internal reinforcement, and "split" back plastic release film; provide material with warranty equal in duration to that of shingles being applied,
- B. Underlayment: Certainteed Diamonddeck Synthetic Roof Underlayment, designed for use on roof decks as a water-resistant layer beneath roofing shingles.
- C. Waterproofing Underlayment; Certainteed "Winterguard"; ASTMd 1970 sheet barrier of self-adhering rubberized asphalt membrane shingle underlayment having internal reinforcement, and "split" back plastic release film; use in 'low-slope' areas (below 4:12, but no less than 2:12); Provide material with warranty equal in duration to that of shingles being applied.
- D. Certainteed winterguard HT

2.4 FLASHING MATERIALS

- A. Sheet flashing; ASTM A 361/a 361m; 26 gage (0,45 mm) steel with minimum G115/z350 galvanized coating.
- B. Sheet flashing: ASTM B 209; 0.025 in (0.63 mm) thick aluminum, mill finish.

2.5 ACCESSORIES

- A. Ridge vent: Refer to drawings.
- B. Nails: standard round wire type roofing nails, corrosion resistant; stainless steel, 3/8 inch (9.5 mm) head diameter; minimum 11 or 12 gage (2.5 mm) shank diameter; shank to be of sufficient length to penetrate through roof sheathing or 3/4 inch (19 mm) into solid wood, plywood, or non-veneer wood decking.
- B. Asphalt roofing cement: ASTM D 4586, type I or II.

2.6 FLASHING FABRICATION

- A. Form flashing to profiles indicated on drawings, and to protect roofing materials from physical damage and shed water. B. Form sections square and accurate to profile, in maximum possible lengths, free from distortion or defects detrimental to appearance

PART 3 EXECUTION

3.1 EXAMINATION

- A. Verify existing site conditions. B. Verify that roof penetrations and plumbing stacks are in place and flashed to deck surface.
- C. Verify deck surfaces are dry and free of ridges, warps, or voids.

3.2 ROOF DECK PREPARATION

- A. Follow shingle manufacturer's recommendations for acceptable roof deck materials B. Broom clean deck surfaces under eave protection and underlayment prior to their application.
- 3.3 INSTALLATION EAVE ICE DAM PROTECTION

- A. Place eave edge and gable edge metal flashing tight with fascia boards. weather-lap joints 2 inches (50 mm). Secure flange with nails spaced 8 inches (200 mm) on center. Install eave ice dam protection first, Wrap down fascia and then install eave and gable edge
- B. Apply certainteed "winterguard" waterproofing shingle underlayment as eave protection in accordance with manufacturer's instructions.
- C. Extend eave protection membrane minimum 24 inches (610 mm) up slope beyond interior face of exterior wall.

and edges weather-lapped per application instructions. Stagger end-laps each consecutive layer. nail in place.

- 3.4 INSTALLATION PROTECTIVE UNDERLAYMENT A. Roof slope between 2:12 and 4:12: apply one layer of "winterguard" over all areas not protected by winterguard at eaves, with ends
- B. Roof slope 4:12 or greater: Install one layer synthetic underlayment perpendicular to slope of roof and lap minimum 4 inches (100 mm)
- C. Weather-lap and seal watertight with asphalt roofing cement items projecting through or mounted on roof. Avoid contact of solvent-based cements with winterquard.
- A. For "closed-cut and "open" valleys first place one ply of winterguard, minimum 36 inches (910 mm) wide, centered over valleys. Lap joints minimum 6 inches (152 mm). Follow instructions of shingle and waterproofing membrane manufacturer.

3.6 INSTALLATION - METAL FLASHING

3.5 INSTALLATION - VALLEY PROTECTION

over eave protection.

- A. Weather-lap joints minimum 2 inches (50 mm).
- B. Seal work projecting through or mounted on roofing with asphalt roofing cement and make weather-tight.

3.7 INSTALLATION - Install shingles in accordance with manufacturer's instructions for product type and application specified, protect finished work and do not permit traffic over finished roof surface.

DIVISION 09 00 00 Finishes FKA FIRST-LINE LOW-VOC PRODUCTS FOR ALL SYSTEMS BY BENJAMIN MOORE OR SHERWIN WILLIAMS

1. EXTERIOR PAINT SYSTEMS:

(2 coats over factory primer)

2" wide 30# felt backing.

field. Seal all cut edges with clear polyurethane.

INCLUDING SILT FENCE AND PROTECTION OF SENSITIVE AREAS.

2. INTERIOR WALL FINISH:

3. Finished wood:

DIVISION 31 - EARTHWORK

1. Fiberglass doors and door frames: HP29 Benjamin Moore Ultra Spec hHP DTM acrylic semi-gloss

2. Exposed metal pipes conduits: HP29 Benjamin Moore Ultra Spec HP DDTM acrylic semi-gloss enamel,

1. PVC (Versatex) panels - 4' x 10' x $\frac{1}{2}$ " Install with Cortex screws. Fastening pattern is 16 inches on center

2. MDO - provide $\frac{1}{2}$ " thick MDO. panels, one or two working faces as manufactured by Olympic Panel

at edges and field. Where installed in shower area, at all joints including corners, provide continuous

Products or equal: Sign grade, prefinished UV with satin gloss and 2 year warranty meeting Product

Standard PS1-07. Install with Fastenmaster "trim Top" finish screw, white color with head flush with

finished face of panel - NOT RECESSED/SET. Fastening pattern is 16 inches on center at edges and

a. Provide Mahogany wood for benches, shelves and where called for on the drawings. Mahogany

b. Provide 1 x 3 Douglas Fir 4S4 vertical grain Clear boards at Cabana Ceilings. Refer to drawings for

GENERAL: PROVIDE ALL WORK RELATED TO COMPLIANCE WITH CRMC'S ASSENT FOR THIS PROJECT

spacing. Install with 15 ga, 2-1/2" stainless steel finish nail, minimum 2 per truss.

shall be sanded, with exposed edges eased, and treated with two coats of clear coat polyurethane

enamel, (2 coats over factory primer). Paint all six door surfaces.

FRANK KARPOWICZ ARCHITECTS INC.

26 South County Commons Way, Unit A5 Wakefield, RI 02879 401 782.4604

401 783.1245 fax

No. Issue

PROGRESS 2- 27 -2023

Date

PORCH ROOF ADDITION

79 BOSTON NECK RD

NARRAGANSETT, RI

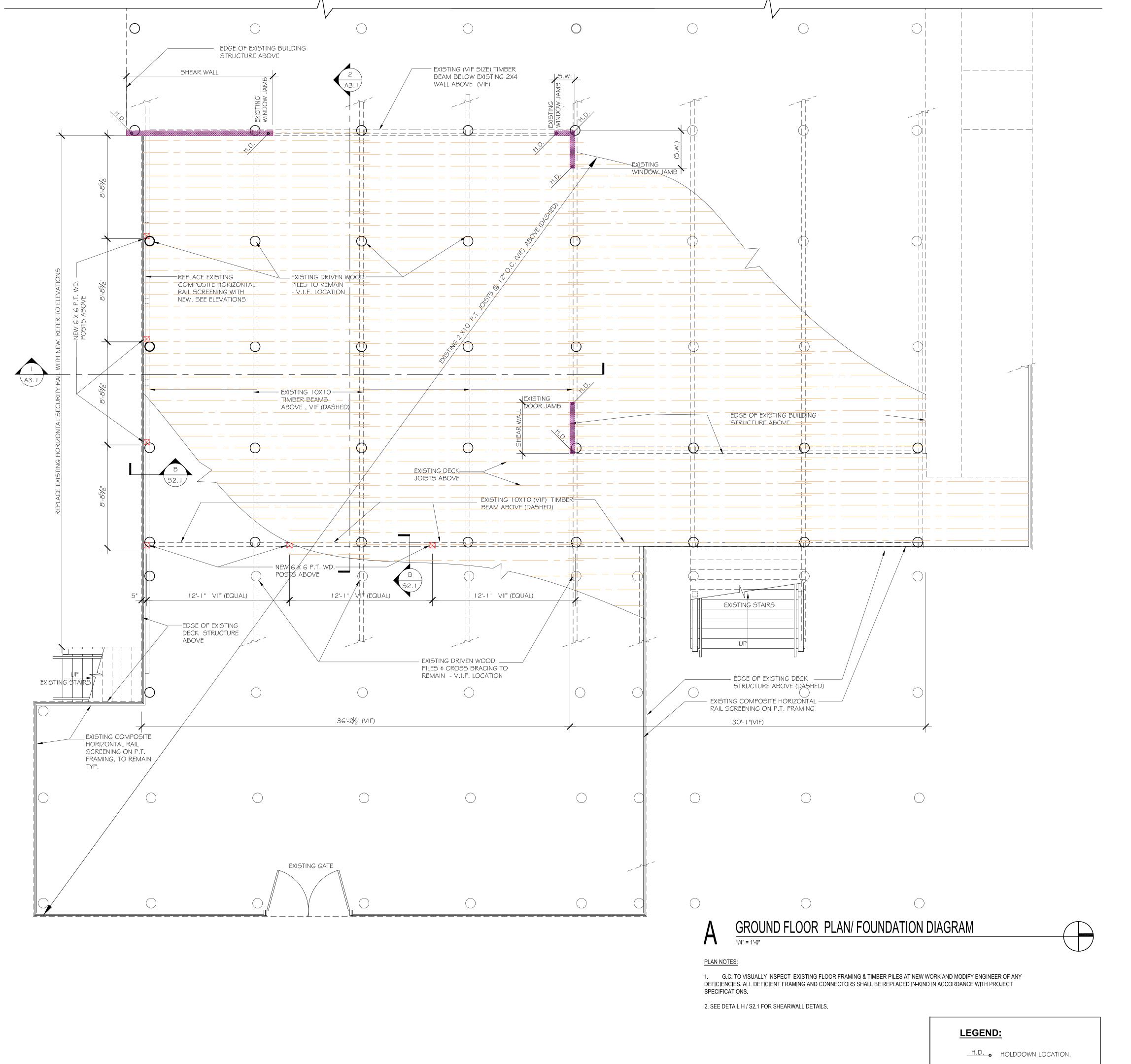
NORTH BEACH

CLUB HOUSE

SPECIFICATIONS

22141 Drawn By:

ZC/ EWW 2 - 27-2023





Frank Karpowicz Architects Inc.

26 South County Commons Way, Unit A5 Wakefield, RI 02879 401 782.4604 401 783.1245 fax

PROGRESS 2- 27 -2023 Date No. Issue

> NORTH BEACH CLUB HOUSE PORCH ROOF **ADDITION**

79 BOSTON NECK RD NARRAGANSETT, RI

GROUND FLOOR PLAN

Project No. 22141 Drawn By: ZC/ EWW

SHEAR WALL (S.W.)

Date: 2 - 27-2023

CODE INFORMATION AND DESIGN LOADS (EXCEPT AS NOTED):

BUILDING CODE: RHODE ISLAND STATE BLDG CODE, (IBC 2018) NARRAGANSETT, RI

FLOOR LIVE LOADS: FIRST FLOOR: 60 PSF

SNOW AND ROOF LOADS/FACTORS:

MIN. ROOF LIVE LOAD: 20 PSF

GROUND SNOW LOAD (Pg): 30 PSF

SLOPED SNOW LOAD (Pf): 30 PSF

UNBALANCED SNOW LOAD

LEEWARD ROOF: 45 PSF

WINDWARD ROOF 15 PSF

SNOW LOAD IMPORTANCE FACTOR (Is): 1.0

SNOW EXPOSURE FACTOR (Ce): 1.0

THERMAL FACTOR (Ct): 1.0

SAFE SOIL BEARING CAPACITY: 15 TON TIMBER PILES

ANALYSIS PROCEDURE: EQUIV. LATERAL FORCE PROCEDURE LAT. FORCE RESISTING SYSTEM: EXTERIOR WOOD STUD SHEAR WALLS AND BRACED FRAMES

IND FACTORS:

BASIC WIND SPEED (Vult): 138 MPH RISK CATEGORY II EXPOSURE 'D'

WIND IMPORTANCE FACTOR (Iw): 1.0
(INTERNAL AND EXTERNAL PRESSURES T.B.D. BY TRUSS DESIGNER)

GENERAL NOTES - STRUCTURAL LUMBER, ENGINEERED LUMBER

1. ALL MATERIAL AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "TIMBER CONSTRUCTION STANDARDS" OF THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION AND THE "NATIONAL DESIGN SPECIFICATION FOR STRESS-GRADE LUMBER AND ITS FASTENINGS" OF THE NATIONAL FOREST PRODUCTS ASSOCIATION. FASTENER SIZE AND TYPE SHALL COMPLY WITH APPROVED FASTENERS PER FASTENING SCHEDULE OF THE RHODE ISLAND STATE BUILDING CODE.

2. THE MINIMUM GRADES AND DESIGN VALUES REQUIRED FOR STRUCTURAL LUMBER SHALL BE:

STUDS, HEADERS & MISC FRAMING: #2 P.T. SOUTHERN PINE, FB=1100 PSI FC=1450 PSI, E=1,300,000 PSI,

3. ALL MULTIPLE MEMBER BEAMS AND HEADERS SHALL BE SUPPORTED ON NOT LESS THAN AN EQUAL NUMBER OF STUDS AT EACH END, UNLESS NOTED OTHERWISE.

4. WOOD COLUMNS MADE WITH THREE OR MORE WOOD STUDS SHALL BE NAILED TOGETHER WITH 16D NAILS, NAIL SPACING SHALL BE IN 2 ROWS, SPACED 8" O.C. FROM BOTH SIDES STAGGERED 4" APART.

5. UNLESS OTHERWISE NOTED, ALL EXTERIOR OPENINGS SHALL HAVE NOT LESS THAN TWO JACK STUD AND TWO FULL HEIGHT STUDS AT EACH SIDE OF THE OPENING.

6. ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED WITH PRESERVATIVE.

7. EXTERIOR WALL SHEATHING SHALL BE 15/32" EXTERIOR PLYWOOD OR OSB SHEATHING FASTENED PER PER DETAILS ON DWG S2.1) ALL WALL HORIZONTAL PANEL EDGES WITHIN 48" OF BUILDING CORNERS AND AT SHEAR WALLS MUST BE BLOCKED AND NAILED.

8. ROOF SHEATHING SHALL BE MINIMUM 5/8" APA RATED EXPOSURE 1 OR EXTERIOR GRADE. SHEATHING SHALL BE FASTENED NOT MORE THAN 6" O.C. ON ALL SUPPORTED PANEL EDGES. NAILS SHALL BE SPACED 4" O.C. IN AREAS WITHIN 48" OF RIDGES, HIPS, RAKES, AND EAVES.

9. LVL BEAMS SHALL BE WOLMANIZED PARALLAM PSL 2.0E BY TRUSSJOIST-MACMILLAN WITH THE FOLLOWING MINIMUM PROPERTIES: Fb = 2900 PSI, Fc = 750 PSI Fc(PARALLEL) = 2900 PSI, Fv = 290 PSI, E = 2,000,000 PSI

10. LVL'S AND PSL'S SHALL BE FREE OF FINGER JOINTS, SCARF JOINTS OR MECHANICAL CONNECTIONS FOR THE FULL LENGTH OF THE MEMBER AND ALL ADHESIVES USED SHALL BE WATERPROOF, MEETING THE REQUIREMENTS OF ASTM

11. ALL SIMPSON CONNECTORS (HANGERS, STRAPS, UPLIFT CONNECTORS, POST CAPS, ECT.) SHALL BE A316 STAINLESS STEEL OR CLASS C HD. GALV. ASTM A153, CORROSION RESISTANCE.

12. ALL FASTENERS IN CONTACT WITH PRESSURE-TREATED LUMBER SHALL BE CERTIFIED FOR USE WITH THE PRESERVATIVE TREATMENT USED.

13. ALL FASTENERS EXPOSED TO MOISTURE, EXPECTED CONDENSATION, PRESSURE TREATED LUMBER, AND/OR THE WEATHER SHALL BE MADE FROM NON-CORROSIVE MATERIALS OR COATED WITH AN APPROVED ANTI-CORROSIVE COATING CERTIFIED AND APPROVED FOR USE WITH THE MATERIALS TO BE FASTENED.

WOOD TRUSS NOTES:

1. WOOD TRUSSES SHALL BE DESIGNED PER THE "DESIGN SPECIFICATION FOR METAL PLATE CONNECTED WOOD TRUSSES", PUBLISHED BY THE TRUSS PLATE INSTITUTE.

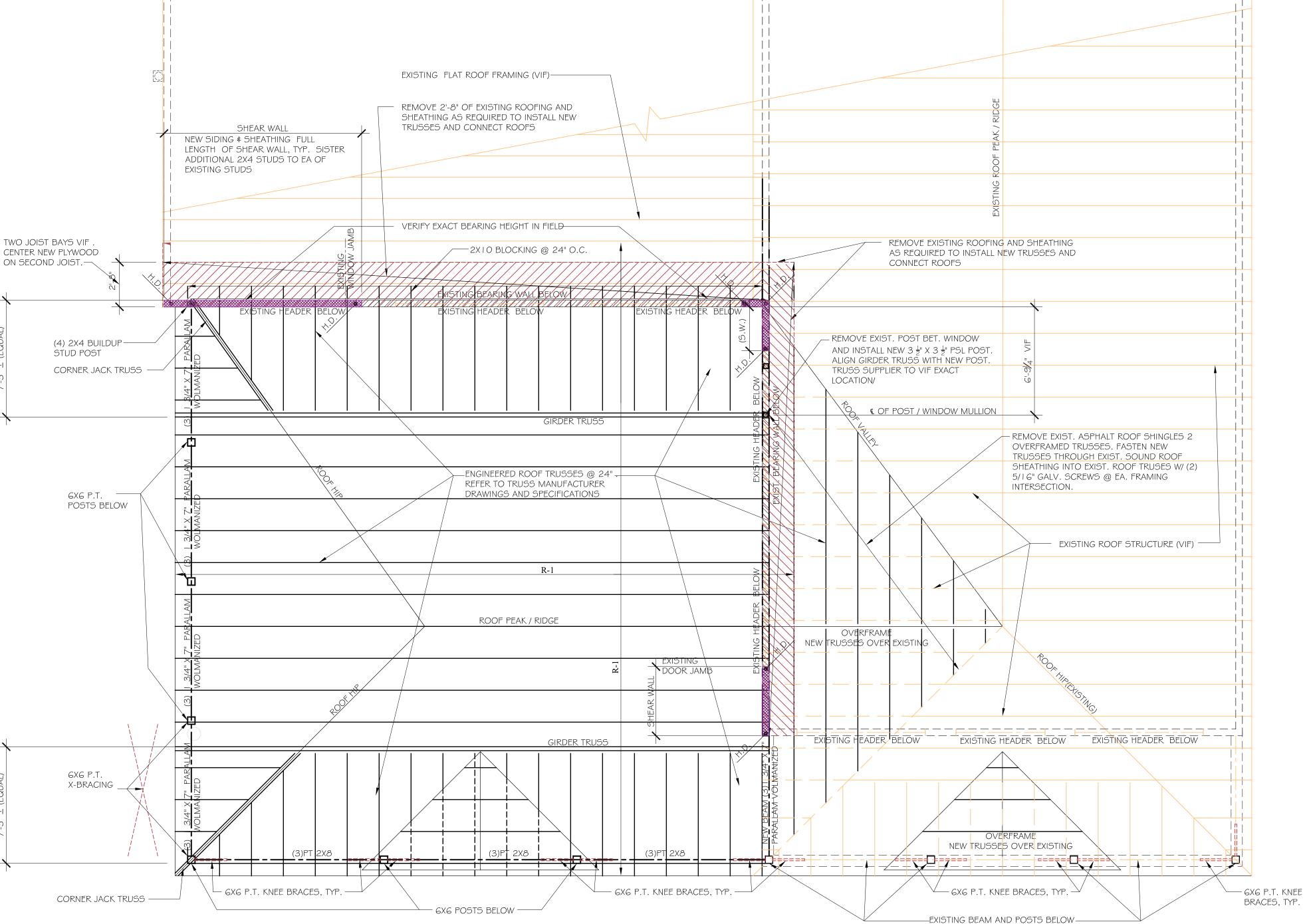
2. WOOD TRUSS FABRICATOR SHALL SUBMIT TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION, ELECTRONIC SHOP DRAWINGS BEARING SEAL AND SIGNATURE OF THE DESIGN PROFESSIONAL ENGINEER, REGISTERED IN THE STATE OF RHODE ISLAND. SHOP DRAWINGS SHALL INCLUDE BUT ARE NOT LIMITED TO: TRUSS LAYOUT PLAN; TRUSS DETAIL SHEETS SHOWING CONFIGURATION, DIMENSIONS, LOADS, MEMBER SIZES AND GRADES, MEMBER FORCES, CONNECTION PLATE SIZES, TEMPORARY AND PERMANENT BRACING REQUIRED; TRUSS CONNECTION HANGERS FOR FLUSH FRAMING.

3. WOOD TRUSS ERECTOR SHALL BE RESPONSIBLE FOR DESIGN AND INSTALLATION OF ALL PERMANENT AND TEMPORARY ERECTION BRACING.

4. TRUSS MFR. SHALL COORD. ALL LOADS THAT ARE TO BE SUPPORTED FROM ROOF TRUSSES WITH RESPECTIVE TRADES.

5. ALL ROOF TRUSSES AND OVERHANGING WOOD MEMBERS SHALL BE HELD DOWN WITH HURRICANE ANCHORS PER TRUSS MANUFACTURERS REQUIREMENTS.

6. ALL TRUSS TOOTHPLATE CONNECTOR PLATES SHALL BE STAINLESS STEEL (MITEK MT20SS PLATES),





ROOF FRAMING PLAN NOTES:

- 1. TRUSS BEARING (TOP OF DBL 2x PLATE) ELEVATION = 9'-8" ABOVE TOP OF EXISTING DECK. (MATCH EXIST. CONDITIONS, V.I.F.)
- 2. TRUSS LAYOUT SHOWN FOR SCHEMATIC PURPOSES ONLY. SEE ARCHITECTURAL TRUSS PROFILES FOR GEOMETRY.
- 3. TRUSS DESIGNER TO ACCOUNT FOR LOADS FROM OTHER TRADES IN THE TRUSS DESIGN.
- 4. R-1 DENOTES ¾" EXTERIOR GRADE APA RATED PLYWOOD SHEATHING. SEE STRUCTURAL NOTES FOR FASTENING REQUIREMENTS. PROVIDE H-CLIPS @ ALL UNSUPPORTED PANEL EDGES.
- 5. HD DENOTES SIMPSON MSTC40 HOLDDOWN AT E.O. SHEAR WALL (SEE TYP. DETAILS,ON DWG. S1.0.
- 6. COORDINATE ALL DIMENSIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINS AND FIELD CONDITIONS.
- 7. SEE THIS SHEET FOR DESIGN LOADS AND GENERAL STRUCTURAL NOTES
- 8. SEE DETAIL H ON S2.1T FOR SHEARWALL FRAMING DETAILS AND SECTIONS. AS SHOWN ON STRUCTURAL DETAIL H ON S2.1. SISTER NEW STUDS TO EXISTING, PROVIDE BLOCKING, REPLACE INSULATION, CDX PLYWOOD SHEATHING, BUILDING WRAP AND CEDAR SHINGLES TO MATCH EXISTING. PROVIDE NEW PVC WINDOW AND DOOR TRIM TO MATCH EXISTING.
- 9. ALL EXPOSED HARDWARE AND FASTENERS SHALL BE ASTM A153 CLASS " C" GALVANIZED SIMPSON CONNECTORS. ALL HARDWARE SHALL BE INSPECTED SEASONALLY BY TOWN AND CORRODED HARDWARE TO BE REPLACED.
- 10. ALL FRAMING NOT SPECIFICALLY DETAILED SHALL BE INSTALLED IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE SBC-1 RI STATE BUILDING CODE.

ROOF FRAMING NOTE:

1. ROOF FRAMING PLAN IS DIAGRAMMATIC. REFER TO TRUSS MANUFACTURER'S ENGINEERED DRAWINGS AND SPECIFICATIONS FOR FINAL TRUSS PLACEMENT PLAN.

LEGEND:

H.D. HOLDDOWN LOCATION.

SHEAR WALL (S.W.)



FRANK KARPOWICZ ARCHITECTS INC.

26 South County Commons Way, Unit A5 Wakefield, RI 02879 401 782.4604 401 783.1245 fax

RECEIVED
3/2/2023
COASTAL RESOURCES
MANAGEMENT COUNCIL

No. Issue Date

NORTH BEACH

CLUB HOUSE

2-27-2023

PROGRESS

ADDITION

79 BOSTON NECK RD
NARRAGANSETT, RI

PORCH ROOF

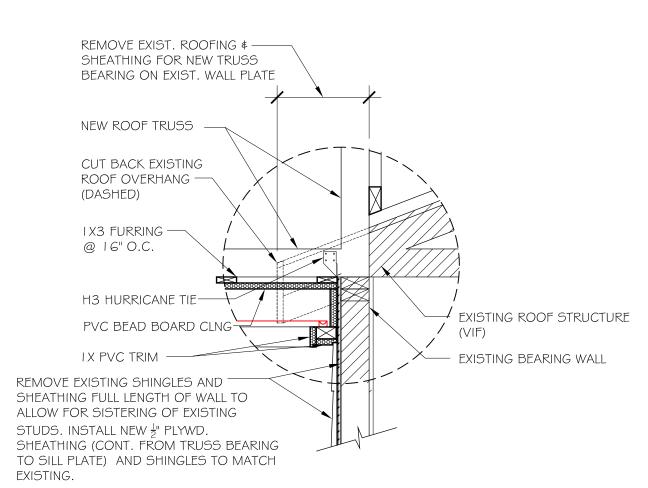
ROOF FRAMING PLAN DIAGRAM

Project No. 22141

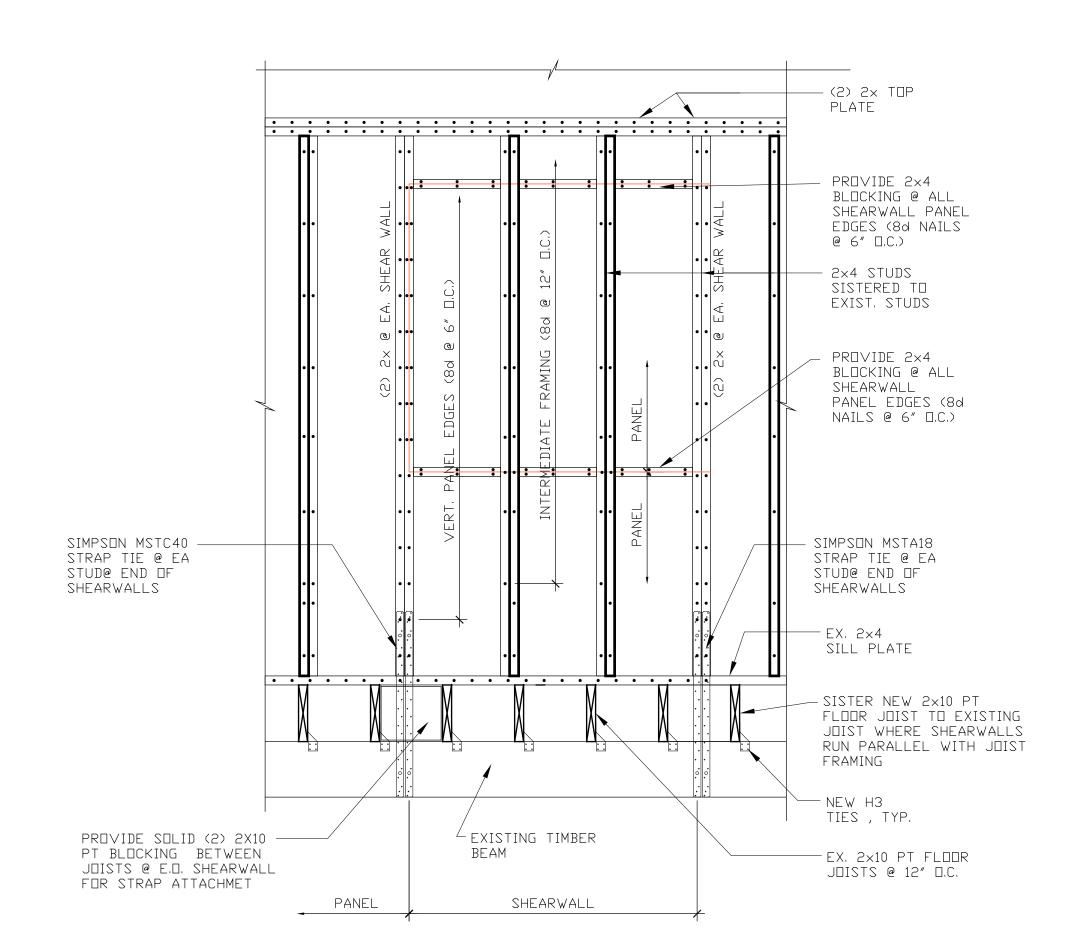
Drawn By: ZC/ EWW

2 - 27-2023

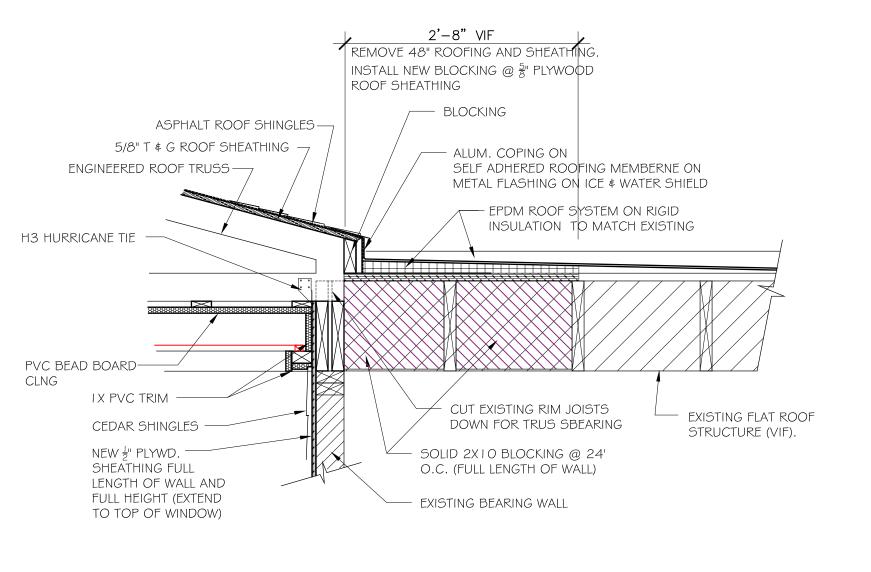
S1.1



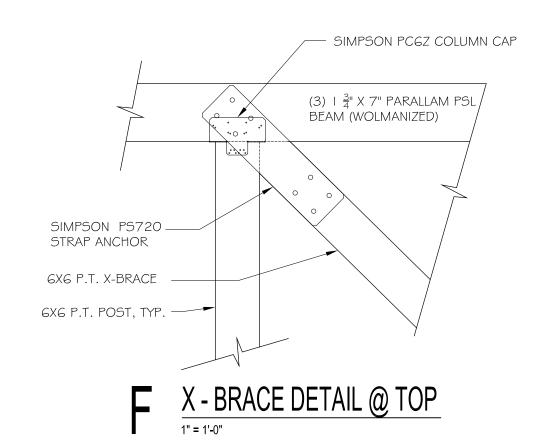
TRUSS BEARING DETAIL

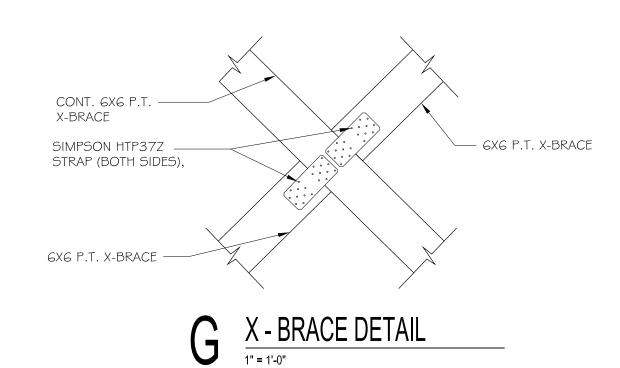


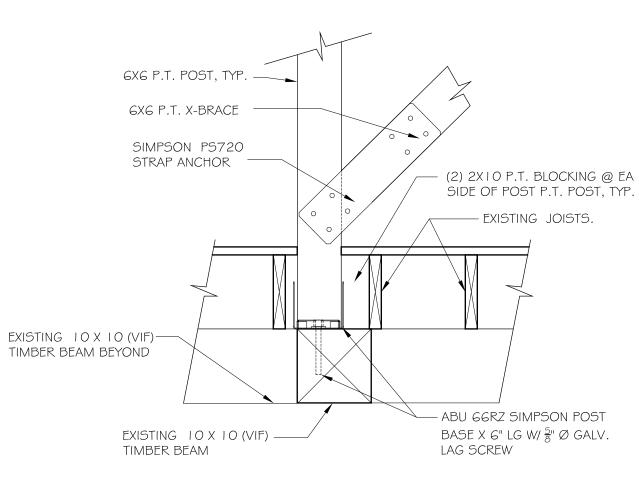
SHEAR WALL HOLDDOWN NAILING ELEVATION 1/2" PLYWOOD 3/4" = 1'-20"



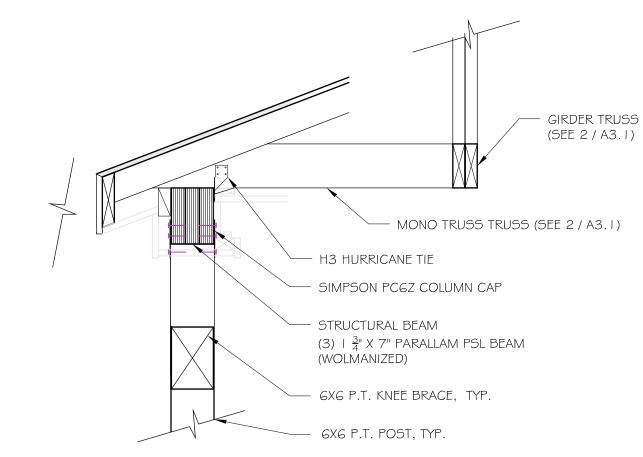
TRUSS BEARING & ROOF EDGE DETAIL 1" = 1'-0"



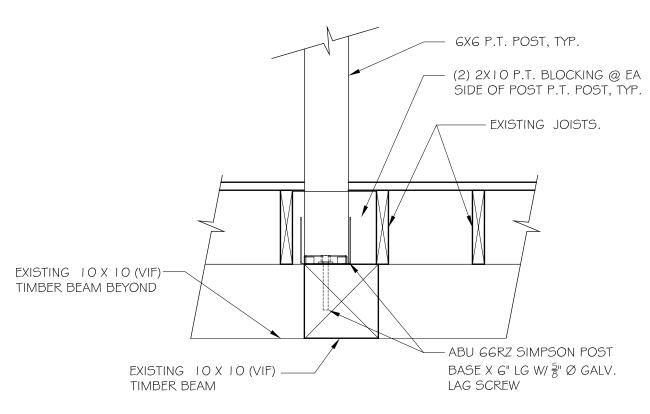




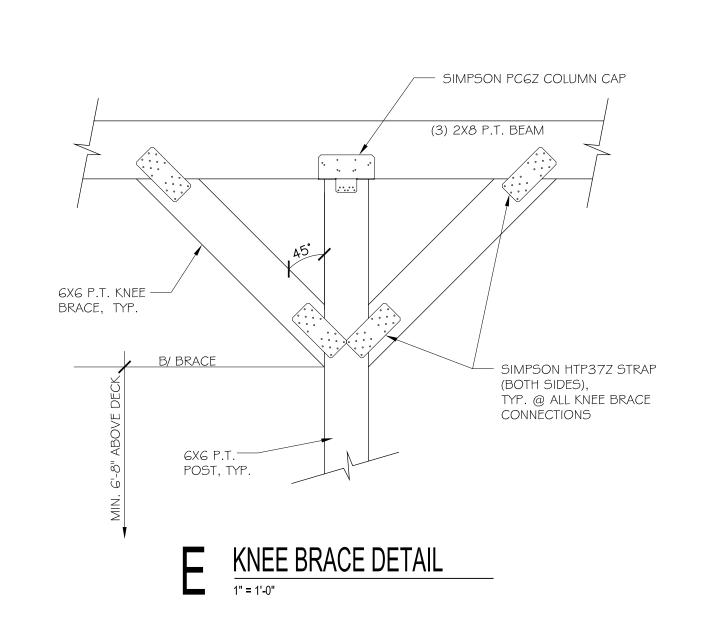
J X - BRACE DETAIL @ BOTTOM



A TRUSS BEARING DETAIL



B POST BEARING DETAIL





FRANK KARPOWICZ ARCHITECTS INC.

26 South County Commons Way, Unit A5 Wakefield, RI 02879 401 782.4604 401 783.1245 fax

RECEIVED

3/2/2023

COASTAL RESOURCES

MANAGEMENT COUNCIL

PROGRESS 2- 27 -2023

No. Issue Date

NORTH BEACH
CLUB HOUSE
PORCH ROOF

79 BOSTON NECK RD NARRAGANSETT, RI

ADDITION

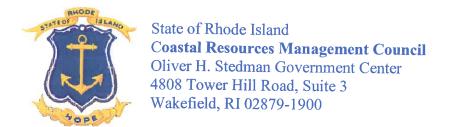
STRUCTURAL SECTIONS AND DETAILS

Project No. 22141

Project No. 22141

Drawn By: ZC/ EWW

Date: 2 - 27-2023



(401) 783-3370 Fax (401) 783-3767

CRMC NOTICE OF DEFICIENT APPLICATION

Date: February 28th 2022

Owner:

Town of Narragansett

Location:

79 Boston Neck Road

Town: Narragansett

App #: 2022-02-065

Town of Narragansett 25 Fifth Avenue Narragansett, RI 02882

Proposed Project: Construct 36' X 36' Roof over existing deck

Dear Applicant,

We wish to thank you for your recent submittal to the Coastal Resources Management Council application process. However, a preliminary review of your application indicates that it is deficient and processing cannot be initiated as submitted. On this basis, your application fee is being returned to you. Due to the cost of postage, your application materials will not be returned. These materials will be held for thirty (30) days during which time they may be picked up by you or your authorized agent at our Wakefield office. If they are not picked up within this time frame, they will be disposed of.

In order to process your application, you must retrieve your application to replace the information submitted with the newly requested information along with the appropriate application fee. All checks must have a current date. No checks back-dated more than 6 months will be accepted.

Please Note: Additional information regarding this notice may be obtained from the CRMC Administrative staff, or the undersigned. All correspondence regarding this deficiency letter (including phone calls) must reference the CRMC File No., the owner's name, location, town and date of this letter, as noted above. Please refer to CRMC web site at www.crmc.ri.gov to review applicable rules and regulations.

Sincerely,

Odetta Morris

Odetta Morris **CRMC** Permit Staff

CRMC Notice of Deficient Application	Date:	February 28th 2022				
Page 2 of 3	Owner:	Town of Narragansett				
	Location:	79 Boston Neck Road				
	Town:	Narragansett				
For the application to be deemed C <u>PICK UP</u> your deficient application <u>ADDITIONAL INFORMATION</u> :	omplete, and to on and RE-SUB	begin processing your request, please MIT with the following MINIMUM				
()Four (4) Copies of Completed Applie	cation with site pla	ns				
()A completed Building Officials Form town hall)	m (enclosed; to be	filled-out by the building official at local				
()Proof of Property Ownership (see tax	assessor at local t	own hall).				
()Copy of other state permits as required, such as: RIDEM/OWTS (Onsite Wastewater Treatment System) RIDEM/Water Quality/Groundwater Quality Certification RIDEM/Permit Discharge Elimination System						
()Correct application fee: \$						
()Concise and complete description of	work proposed					
()Four (4) sets of Site Plans (minimum	scale of 1" = 50');	and, Project Location map				
()Four (4) sets of Plans stamped by a Palsland are required for this project.	rofessional Engine	er (P.E.) registered in the State of Rhode				
(X) The work proposed in this appl RICR-20-00-1 (see Section 1.1.6(F)). addressed in writing. Also coastal fee shown on at least one plan view.	As such, Section	1.3.1(A) of the Red Book must be				
(X) The work proposed in this applied exception(s) to applicable sections of the criteria (Section 1.1.7) and/or the Speci Book standards that your application described in this applied to the section of the section	he Red Book. Ploial Exception crite	ease address, in writing, the Variance				
()The work proposed in this application site plans reduced to 8 ½" x 11" must a project is acceptable).	n is required to be also be provided (u	advertised for public review. As such, use of more than one sheet to delineate				
()The application type that has been sub deemed inappropriate for this project. Pall information requirements noted on the	lease complete the	enclosed application form and provide .				

Please see the following page for additional informational needs.

CRMC Notice of Deficient Application Page 3 of 3

Date: February 28th 2022

Owner: Town of Narragansett

Location: 79 Boston Neck Road

Town: Narragansett

The following informational needs have been identified by staff to help with a more efficient review of your request. Supplying it along with the above minimum information requirements will ensure a timely processing of your application. Not supplying it at this time will not prevent your application from being accepted by the CRMC. However, this information will be needed to properly review your request. Staff may not be able to begin or complete its review until this information is received.

- () Please fill out all information as noted on the enclosed checklist.
- () Please provide photographs of the area of work and shoreline feature(s) (in retrospect if possible).
- () Where the applicant chooses not to meet any of the applicable Red Book standards noted below, a written variance request must be submitted for each standard not met. The criteria for the consideration of a variance are provided in Red Book Section 1.1.7. Each of the six criteria must be addressed in writing. Submitting a written variance request is required. It is advised that the written variance request is submitted at the time of application.
- (X) See additional information/comments as follows:
 - Addition of roof isn't considered maintenance due to roof not existing. Maintenance is for existing structures.
 - Addition may require Special Exception due to it being located on moderately developed barrier.
 - Per, $\S1.2.2.(B)(1)(C)(3)(AA-BB)$,
 - Any expansion of or development activities associated with existing recreational structures shall not occur within or extend into any flood zone designated as V on the most current FEMA Flood Insurance Rate Maps, or as established by the Federal Emergency Management Agency;
 - All activity shall be confined to the existing footprint of disturbance; for the purposes of this section, the footprint of disturbance shall be defined as that area encompassed by the perimeter of the <u>structural foundation</u> and/or areas determined by the CRMC to be substantially altered due to associated structures, excluding dunes, wetlands and areas encompassed within pertinent setback and buffer zone requirements of this program;
 - Please note per RICRMP definitions, Structural foundations shall include sona-tubes, pilings, concrete blocks, columns, or other types of foundation material which provide structural support to a structure which is covered by a roof.
 - Please address special exception criteria.