



State of Rhode Island  
**Coastal Resources Management Council**  
Oliver H. Stedman Government Center  
4808 Tower Hill Road, Suite 3  
Wakefield, RI 02879-1900

(401) 783-3370  
Fax (401) 783-2069

### **PUBLIC NOTICE**

File Number: 2022-02-065 Date: May 2, 2023

This office has under consideration the application of:

Town of Narragansett  
25 Fifth Avenue  
Narragansett, RI 02882

for a State of Rhode Island Assent to construct and maintain: To construct a roof over an existing deck located at the North Beach Clubhouse, which is currently serviced by a removable tent. The project requires the issuance of a Special Exception to RICR-Redbook-650-20-00-01 Sections 1.2.2(B)(1)(C)(3)(AA-BB) as well as Section 1.1.9 and Section 1.2.2(G) for new construction located within the dune setback on a moderately developed barrier beach.

Project Location:	79 Boston Neck Road, North Beach Clubhouse
City/Town:	Narragansett
Plat/Lot:	plat B, lot 6
Waterway:	Rhode Island Sound

Plans of the proposed work can be requested at [Cstaff1@crmc.ri.gov](mailto:Cstaff1@crmc.ri.gov).

In accordance with the Administrative Procedures Act (Chapter 42-35 of the Rhode Island General Laws) you may request a hearing on this matter.

You are advised that if you have good reason to enter protests against the proposed work it is your privilege to do so. It is expected that objectors will review the application and plans thoroughly, visit site of proposed work if necessary, to familiarize themselves with the conditions and cite what law or laws, if any, would in their opinion be violated by the work proposed.

If you desire to protest, you must attend the scheduled hearing and give sworn testimony. A notice of the time and place of such hearing will be furnished you as soon as possible after receipt of your request for hearing. If you desire to request a hearing, to receive consideration, it should be in writing (**with your correct mailing address, e-mail address and valid contact number**) and be received at this office on or before **June 2, 2023**.

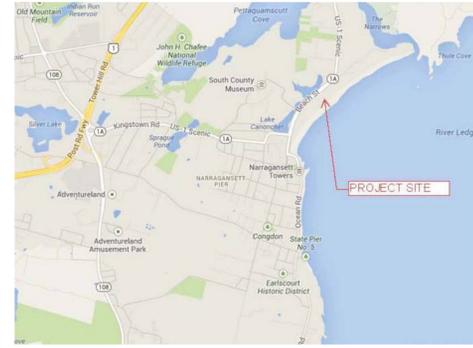
Please email your comments/hearing requests to: [cstaff1@crmc.ri.gov](mailto:cstaff1@crmc.ri.gov); or mail via USPS to: Coastal Resources Management Council; O. S. Government Center, 4808 Tower Hill Road, Rm 116; Wakefield, RI 02879.

/lat

# NORTH BEACH CLUBHOUSE PORCH ROOF ADDITION

79 BOSTON NECK RD. NARRAGANSETT, RI

SYMBOLS & MATERIAL LEGEND			
	DOOR No.		BATT INSULATION
	WINDOW TYPE		RIGID INSULATION
	WALL TYPE		2 X CONTINUOUS
	COLUMN GRID		2 X BLOCKING
	ELEVATION		BRICK
	CONCEALED LINE ABOVE		POURED CONCRETE
	CONCEALED LINE BELOW		PLASTER OR MORTAR
	CENTER LINE		CONCRETE MASONRY UNIT
	DEMO OR REMOVED LINE		FINISHED WOOD
	ROOM NUMBER		STEEL
	REVISION NUMBER		PLYWOOD
	WALL ELEVATION		GYPHUM BOARD
	WALL SECTION		EXISTING
	BUILDING SECTION		GRAVEL
	DETAIL LETTER		SOIL
	DETAIL SHEET LOCATION		
	AREA DETAIL		
	CUT LINE		
	PROPERTY LINE		
	EXISTING CONTOUR		
	NEW CONTOURS		



LOCUS MAP  
N.T.S.

**DRAWING LIST**

- A0.0 TITLE SHEET / SITE PLAN
- AD1.0 EXISTING/ DEMOLITION FLOOR PLAN
- AD2.1 EXISTING ELEVATIONS
- A1.1 FIRST FLOOR PLAN
- A1.2 ROOF PLAN
- A1.3 REFLECTED CEILING PLAN
- A2.1 EXTERIOR ELEVATIONS
- A3.1 BUILDING SECTIONS
- A3.2 SECTIONS AND DETAILS
- A4.1 SPECIFICATIONS
- S1.0 GROUND FLOOR PLAN AND FOUNDATION DIAGRAM
- S1.1 ROOF FRAMING PLAN
- S2.1 STRUCTURAL SECTIONS & DETAILS

**ARCHITECT:**  
FRANK KARPOWICZ ARCHITECTS  
26 SOUTH COUNTY COMMONS WAY,  
UNIT A5  
WAKEFIELD, RI 02879  
TEL. (401) 782-4604

**STRUCTURAL:**  
TRINITY ENGINEERING GROUP  
CHERRY LANE PROFESSIONAL CENTER  
55 CHERRY LANE  
WAKEFIELD, RI 02879  
TEL. : (401) 284 - 4171

**PROJECT NOTES:**  
Type of Construction: Type 5B, Wood Frame, unprotected.  
Occupancy: A-3 (ASSEMBLY), COMMUNITY HALL  
New Roof Footprint area = 1,260 sf.  
Wind Design Speed Zone: 120 MPH

**SCOPE OF WORK:**  
Construct A NEW PORCH ROOF EXTENSION OVER EXISTING CLUB HOUSE DECK. The new structures shall be built on existing wood piles and timber structure and connected to existing Club House Porch Roof. Electrical work includes porch ceiling lighting, three exterior outlets and security lighting and cameras - No Fire Alarm required.

**NOTES TO BIDDERS:**  
Refer to accompanying town of Narragansett's "Bid Instructions and Procedures" for Allowances.  
  
ALTERNATE NO:1  
REMOVE ENTIRE ASPHALT ROOF SHINGLE ROOFING AND REPLACE WITH NEW.REFER TO DRAWING A1.2



A SITE PLAN  
N.T.S.

**GENERAL NOTES:**

1. By executing the Contract, the Contractor represents that he visited the site, familiarized himself with the local conditions, codes and owner requirements under which the work will be performed, and correlated his observations with the requirements of the Contract Documents. This shall be done prior to bid.
2. The intent of the Contract Documents is to include all items necessary for the proper execution and completion of the work. The Contract Documents are complimentary, and what is required by any one shall be as binding as if required by all. Work not covered in the Contract Documents will not be required unless it is consistent therewith and is reasonably inferable therefrom as being necessary to produce the intended results. Words and abbreviations that have well known technical or trade meanings are used in the Contract Documents in accordance with such recognized meanings.
3. The drawings and specifications are intended to be fully explanatory and supplementary. However, should anything be shown, indicated or specified on one and not the other, it shall be done.
4. Should either the drawings and the specifications, or any particular specification, and the General Conditions contradict each other in any point, or require clarification, the Contractor must call the same to the attention of the architect, and his decision shall be obtained prior to the submission of bids.
5. Prospective Contractors and subcontractors shall secure all data at the site of the proposed construction, such as grades, access, storage, location of public services and other information which will have a bearing on making their proposals or on the execution of the work if awarded the Contract, and no allowance will be made for the failure of the Contractor to obtain such on-site information prior to bidding.
6. Should any error or inconsistency appear in the drawings or specifications, the Contractor, before proceeding with the work, must clearly bring the same to the attention of the Architect for proper adjustment and in no case proceed with the work neither in uncertainty nor with insufficient drawings.
7. The contractor and each subcontractor shall be responsible for the verification of all measurements at and in the proposed construction building or site or surroundings. No charge or compensation shall be allowed due to differences between actual dimensions and dimensions indicated on the drawings. Any such discrepancy in dimensions that may be found shall be submitted to the Owner and Architect for their consideration before the Contractor proceeds with the work in the affected area.
8. Contractors shall follow sizes in the specifications of figures on drawings in preference to scale measurements and follow detail drawings in preference to general drawings, and follow actual field conditions.
9. Where it is obvious that a drawing illustrates only part of a given work or a number of items, the remainder shall be deemed repetitious and so constructed.
10. The Architect does not warrant or guarantees that the area of work is free of hazardous material. Should hazardous material be encountered, the contractor shall take appropriate action as determined by the State of Rhode Island.



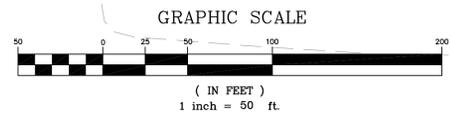
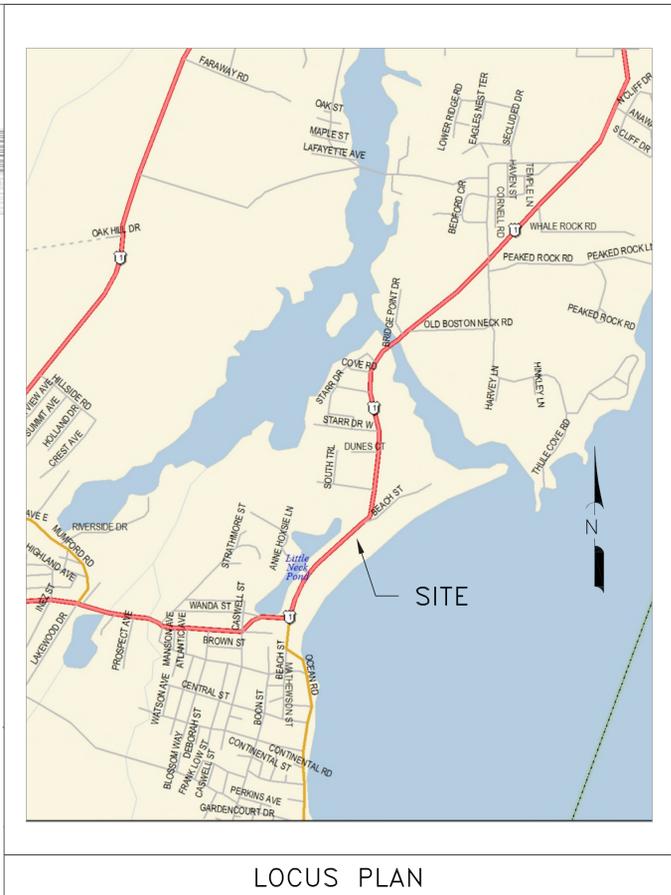
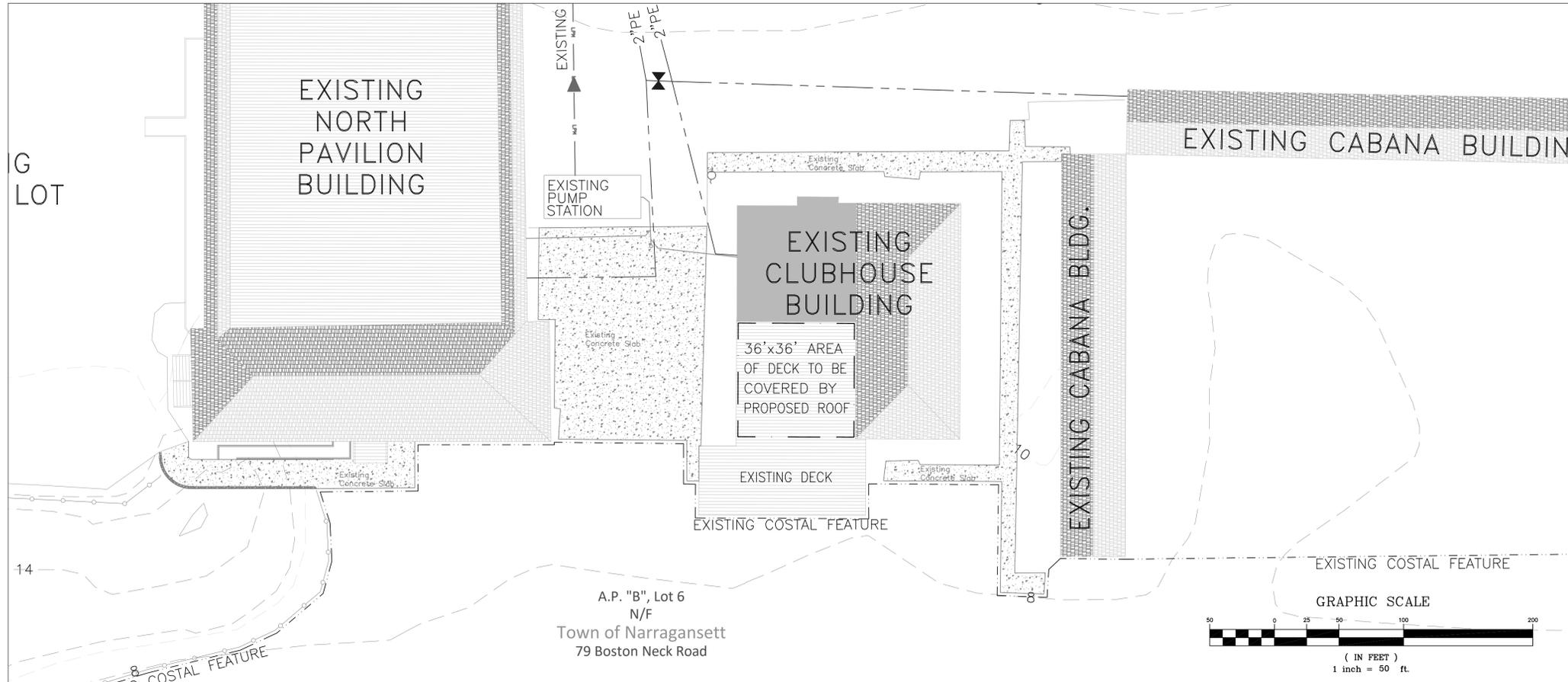
PROGRESS	2-27-2023
No.	Issue
	Date

**NORTH BEACH CLUB HOUSE PORCH ROOF ADDITION**  
79 BOSTON NECK RD  
NARRAGANSETT, RI

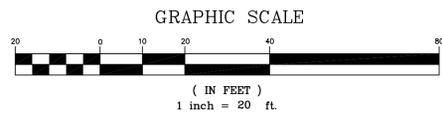
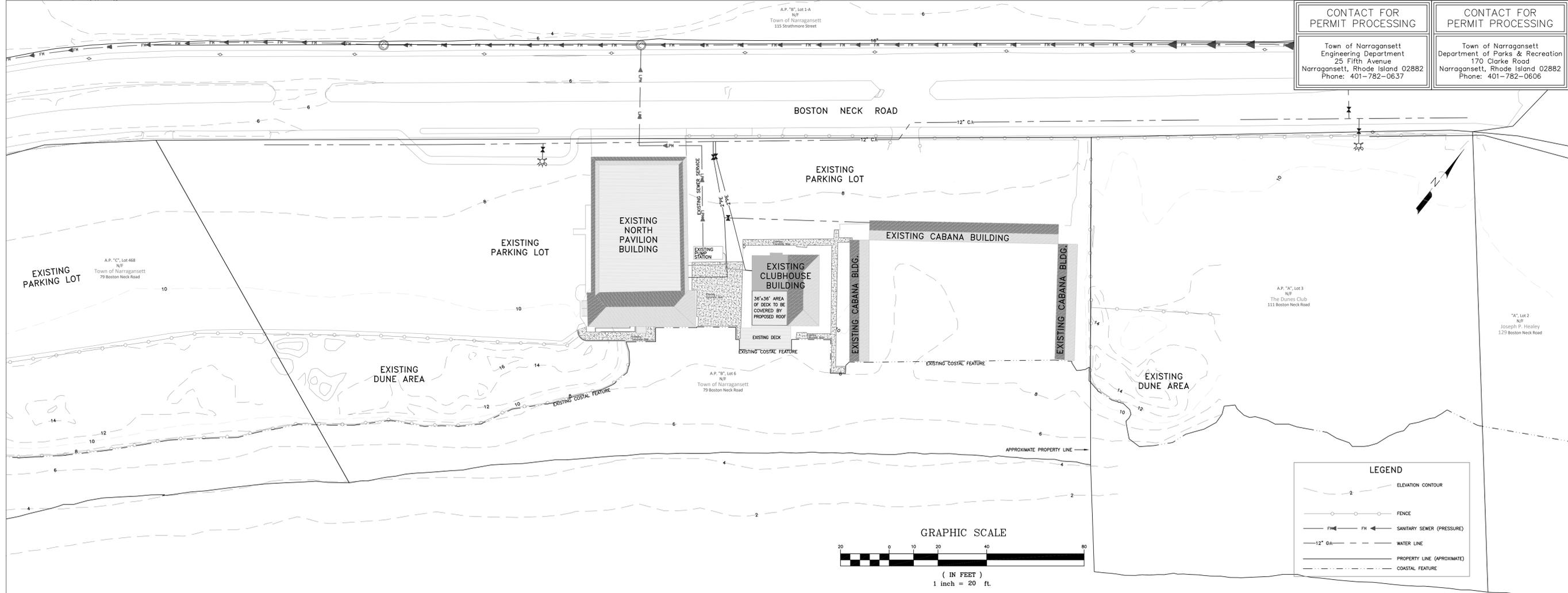
TITLE PAGE / SITE PLAN

Project No. 22141
Drawn By: ZCI EWW
Date: 2 - 27-2023

**A0.0**



<p><b>CONTACT FOR PERMIT PROCESSING</b></p> <p>Town of Narragansett Engineering Department 25 Fifth Avenue Narragansett, Rhode Island 02882 Phone: 401-782-0637</p>	<p><b>CONTACT FOR PERMIT PROCESSING</b></p> <p>Town of Narragansett Department of Parks &amp; Recreation 170 Clarke Road Narragansett, Rhode Island 02882 Phone: 401-782-0606</p>
---	---



LEGEND	
	ELEVATION CONTOUR
	FENCE
	SANITARY SEWER (PRESSURE)
	WATER LINE
	PROPERTY LINE (APPROXIMATE)
	COASTAL FEATURE

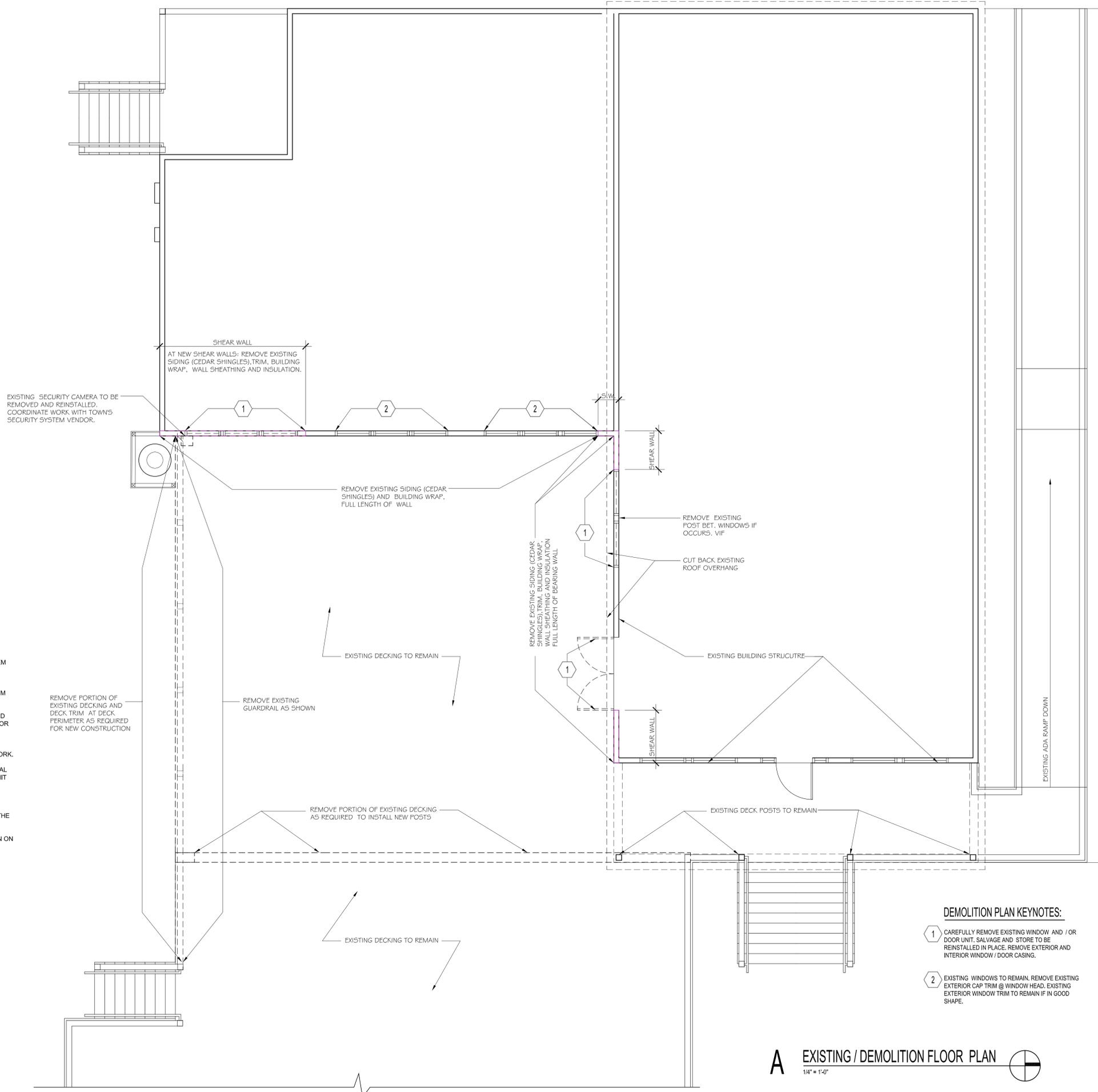
TOWN OF NARRAGANSETT  
ENGINEERING DEPARTMENT



DRAWING TITLE:  
PROPOSED DECK ROOF  
NARRAGANSETT NORTH BEACH CLUBHOUSE  
79 BOSTON NECK ROAD, ASSESSOR'S PLAT B, LOT 6

SCALE:  
As Noted

DATE:  
FEB 2, 2023



**GENERAL DEMOLITION NOTES**

1. DEFINITIONS  
 REMOVE: DETACH ITEMS FROM EXISTING CONSTRUCTION AND LEGALLY DISPOSE OF THEM OFF-SITE, UNLESS INDICATED TO BE REMOVED AND SALVAGED OR REMOVED AND REINSTALLED.

REMOVE AND REINSTALL: DETACH ITEMS FROM EXISTING CONSTRUCTION, PREPARE THEM FOR REUSE, AND REINSTALL THEM WHERE INDICATED.

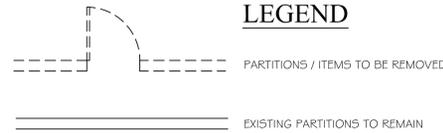
EXISTING TO REMAIN: EXISTING ITEMS OF CONSTRUCTION THAT ARE NOT TO BE REMOVED AND THAT ARE NOT OTHERWISE INDICATED TO BE REMOVED, REMOVED AND SALVAGED, OR REMOVED AND REINSTALLED.

2. SELECTIVE DEMOLITION INCLUDES, BUT IS NOT LIMITED TO, REMOVAL AND LEGAL DISPOSAL OF EQUIPMENT AND SYSTEMS MADE OBSOLETE AND/OR REPLACED BY NEW WORK. SELECTIVE DEMOLITION INCLUDES REMOVAL AND RELOCATION OR RE-INSTALLATION, DISCONNECTIONS AND RE-CONNECTIONS OF SERVICES, SUPPORT AND SUBSEQUENT FINAL SUPPORTS, TEMPORARY CAPPING, AND RE-ROUTING OF TEMPORARY SERVICES TO PERMIT NEW OR RENOVATION WORK TO PROCEED.

3. THE DEMOLITION WORK INDICATED ON THE DRAWINGS IS INTENDED TO ASSIST THE CONTRACTOR AND GIVE GENERAL INFORMATION. NOT ALL DEMOLITION OR TEMPORARY CONNECTIONS ARE SHOWN. PRIOR TO SUBMITTING BID, THE CONTRACTOR SHALL VISIT THE PROJECT SITE AND REVIEW EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE TO DETERMINE THE FULL EXTENT OF SELECTIVE DEMOLITION, AND INCLUDE ALL REQUIRED SELECTIVE DEMOLITION WORK IN HIS BID, WHETHER OR NOT SPECIFICALLY SHOWN ON THE DRAWINGS. NO ADDITIONAL COST WILL BE GRANTED FOR SELECTIVE DEMOLITION. LEGALLY DISPOSE OF ALL ITEMS AND MATERIALS, EXCEPT ANY ITEMS SPECIFICALLY DESIGNATED BY THE OWNER TO BE SALVAGED. REMOVE AND PLACE THE DESIGNATED SALVAGED EQUIPMENT/MATERIAL IN A LOCATION DIRECTED BY OWNER.

4. IN ALL AREAS WHERE SELECTIVE DEMOLITION IS REQUIRED, PROTECT EXISTING CONDITIONS, FINISHES THAT WILL REMAIN.

**LEGEND**



**DEMOLITION PLAN KEYNOTES:**

- 1 CAREFULLY REMOVE EXISTING WINDOW AND / OR DOOR UNIT. SALVAGE AND STORE TO BE REINSTALLED IN PLACE. REMOVE EXTERIOR AND INTERIOR WINDOW / DOOR CASING.
- 2 EXISTING WINDOWS TO REMAIN. REMOVE EXISTING EXTERIOR CAP TRIM @ WINDOW HEAD. EXISTING EXTERIOR WINDOW TRIM TO REMAIN IF IN GOOD SHAPE.

**A** EXISTING / DEMOLITION FLOOR PLAN  
 1/4" = 1'-0"



PROGRESS	2-27-2023
No.	Issue
	Date

**NORTH BEACH CLUB HOUSE PORCH ROOF ADDITION**  
 79 BOSTON NECK RD  
 NARRAGANSETT, RI

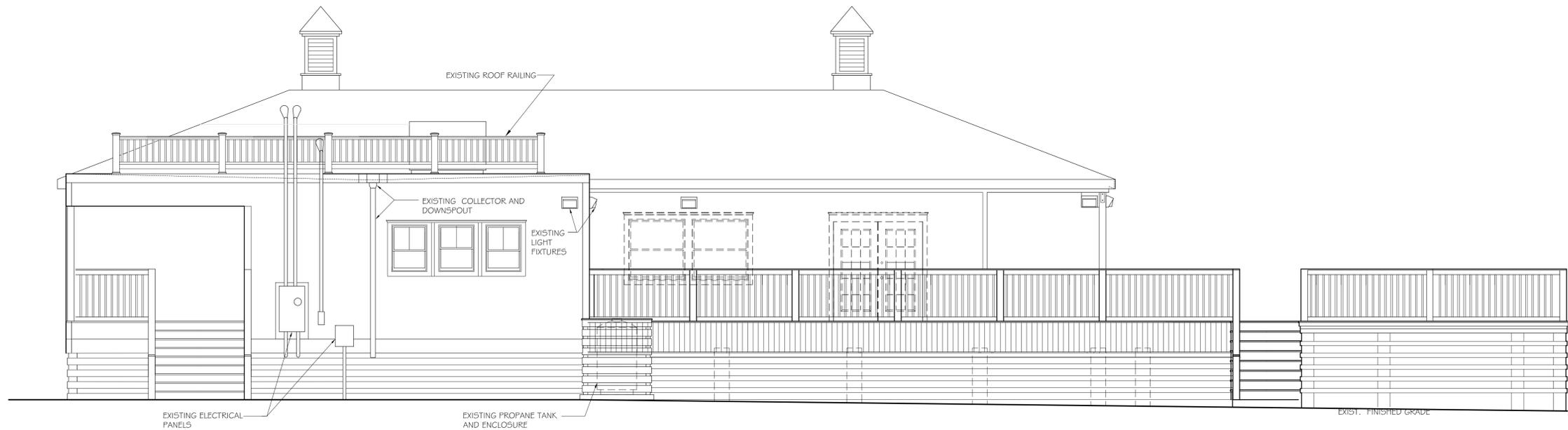
EXISTING / DEMOLITION FLOOR PLAN

Project No.	22141
Drawn By:	ZCJ EWW
Date:	2 - 27-2023

**AD1.1**



**A** EXISTING EAST ELEVATION  
 1/4" = 1'-0"



**B** EXISTING SOUTH ELEVATION  
 1/4" = 1'-0"



PROGRESS	2-27-2023
No.	Issue
	Date

**NORTH BEACH CLUB HOUSE PORCH ROOF ADDITION**

79 BOSTON NECK RD  
 NARRAGANSETT, RI

EXISTING ELEVATION

Project No.  
 22141  
 Drawn By:  
 ZCI EWW  
 Date:  
 2 - 27-2023

**AD2.1**

**FLOOR PLAN NOTES/LEGEND:**

H.D. = HOLDDOWN LOCATION. REFER TO STRUCTURAL DRAWINGS

CONSTRUCT SHEAR WALL (S.W.) AS SHOWN ON STRUCTURAL DETAIL H ON S2.1. SISTER NEW STUDS TO EXISTING. PROVIDE BLOCKING, REPLACE INSULATION, BUILDING WRAP, CDX PLYWOOD SHEATHING, BUILDING WRAP AND CEDAR SHINGLES TO MATCH EXISTING. PROVIDE NEW PVC WINDOW AND DOOR TRIM TO MATCH EXISTING.

INSTALL NEW DUPLEX OUTLET RECEPTACLE AND EXTRA DUTY, NON METALLIC LOW PROFILE WHILE-IN-USE WEATHERPROOF COVERS, WITH PADLOCK TAB RECEPTACLE COVER (MODEL # WDWL2P3), HOME DEPOT SKUM1002425743 OR EQUAL), CONNECT TO EXISTING ELECTRICAL SYSTEM IN WEATHERPROOF CONDUIT AND PER CODE.

**FLOOR PLAN KEY NOTES:**

- 1 PROPERLY FLASH EXISTING WINDOW / DOOR OPENING AND RE-INSTALL SALVAGED WINDOW / OR DOOR UNIT. PROVIDE LCC PAN FLASHING @ DOOR BOTTOM, PROVIDE NEW INTERIOR CASING AND PATCH/PAINT WALLS TO MATCH EXISTING. PROVIDE NEW EXTERIOR PVC TRIM TO MATCH EXISTING. REFER TO DETAILS D & E ON SHEET A3.2
- 2 PROVIDE NEW PVC CAP TRIM @ EXISTING WINDOW HEAD. REFER TO DETAIL D ON A3.2. REPLACE ANY DAMAGED PVC TRIM IN KIND.

**PARTITION AND WALL TYPES:**

**EX1 EXTERIOR WALL TYPE (NEW SHEATHING)**  
NEW CEDAR SHINGLES ON TYVEK (WEATHER RESISTANT BARRIER) ON 1/2" CDX EXTERIOR SHEATHING ON EXISTING AND NEW (SISTER TO EXISTING) 2X4 WOOD STUDS @ 16" O.C. WITH 3 1/2" R-19 FIBERGLASS INSULATION KRAFT FACED BETWEEN STUDS 1/2" G.W.B. (EXISTING OR NEW) DRYWALL FINISH. PAINT TO MATCH EXISTING

**EX2 EXTERIOR WALL TYPE (EXISTING SHEATHING)**  
NEW CEDAR SHINGLES ON TYVEK (WEATHER RESISTANT BARRIER) ON EXISTING 1/2" CDX EXTERIOR SHEATHING ON EXISTING 2X4 WOOD STUDS @ 16" O.C. WITH EXISTING INSULATION BET. STUDS EXISTING 1/2" G.W.B. FINISH. PAINT TO MATCH EXISTING REPLACE ANY ROTTEN OR DAMAGED PLYWOOD AND/OR INTERIOR G.W.B. PATCH TO MATCH.

**PARTITION NOTES:**

- 1. PROVIDE DOUBLE WOOD STUDS AT BOTH SIDES OF ALL DOOR OPENINGS EXTENDING TO AND ANCHORED TO STRUCTURE ABOVE.
- 2. PROVIDE SOLID WOOD BLOCKING FOR RUNNING TRIM, EQUIPMENT, CABINETS, MILLWORK, TOILET ACCESSORIES, RAILINGS AND GRAB BARS AS REQUIRED.
- 3. PROPERLY BRACE ALL PARTITIONS.
- 4. PROVIDE ALL NECESSARY MOLDINGS, ACCESSORIES AND CAULKING TO INSURE A SANITARY AND WORKMANLIKE INSTALLATION.



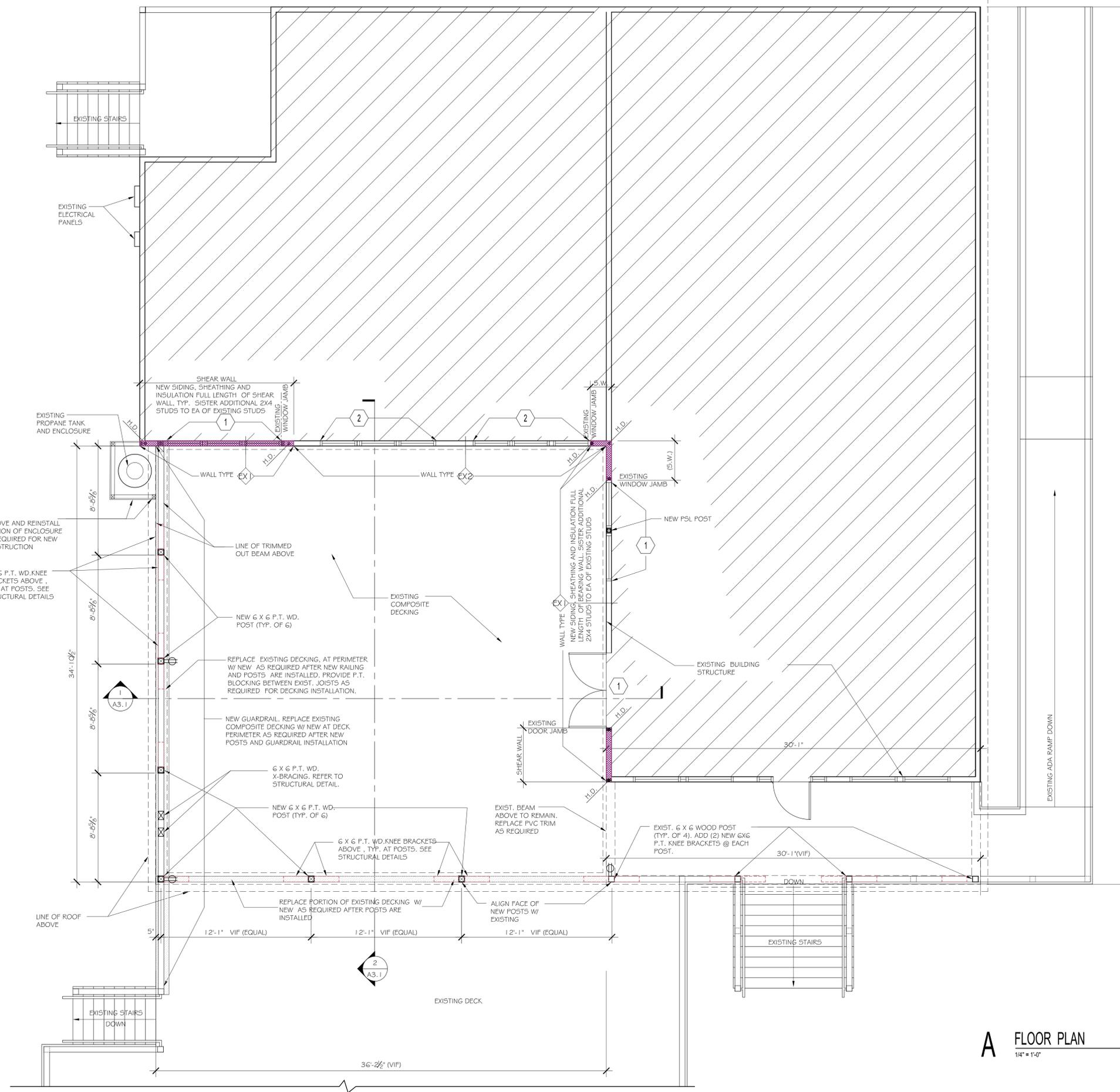
PROGRESS	2-27-2023
No.	Issue
	Date

**NORTH BEACH CLUB HOUSE PORCH ROOF ADDITION**  
79 BOSTON NECK RD  
NARRAGANSETT, RI

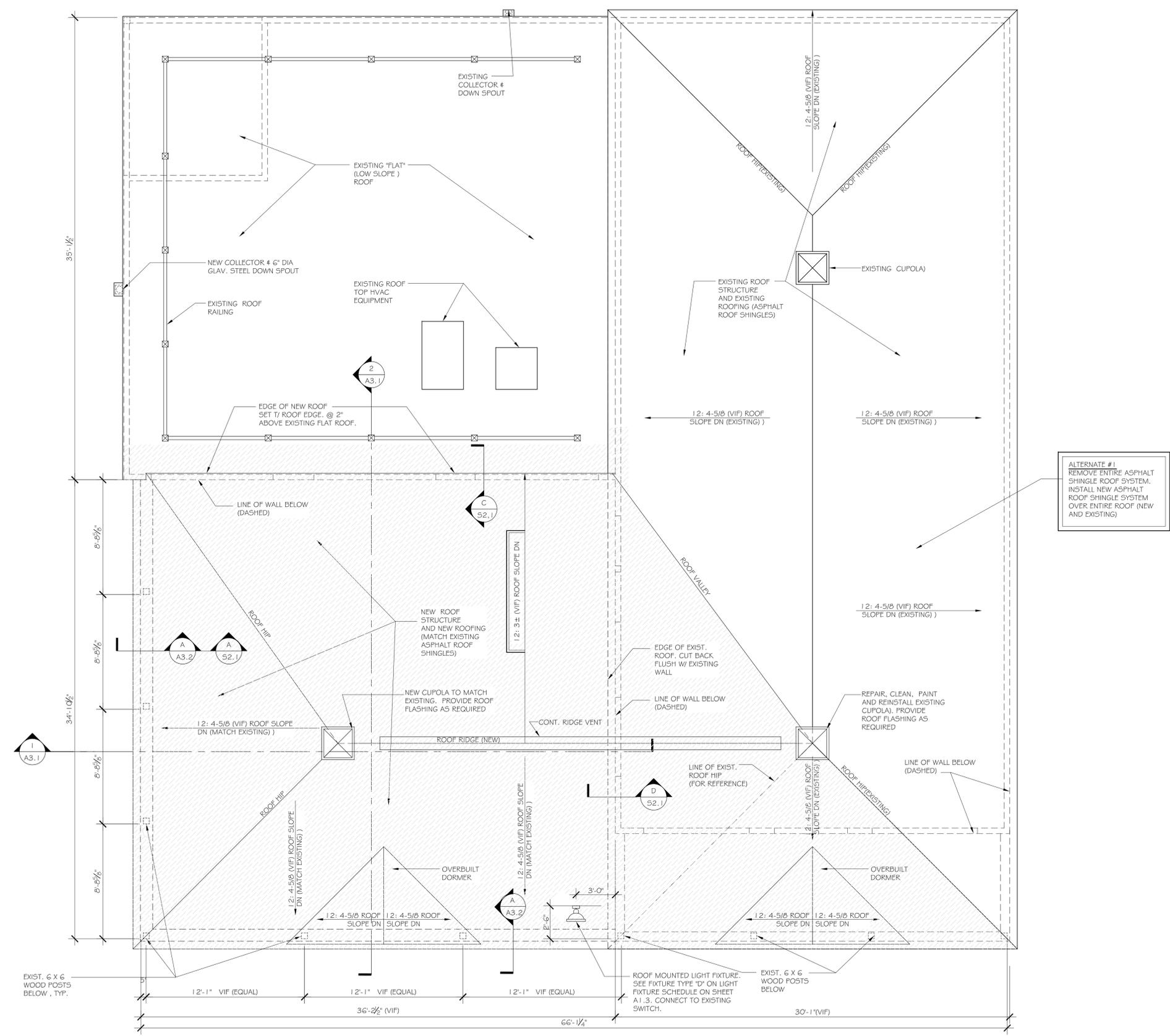
FLOOR PLAN

Project No.	22141
Drawn By:	ZCJ/EWW
Date:	2-27-2023

**A1.1**



**A FLOOR PLAN**  
1/4" = 1'-0"



ALTERNATE #1  
 REMOVE ENTIRE ASPHALT  
 SHINGLE ROOF SYSTEM.  
 INSTALL NEW ASPHALT  
 ROOF SHINGLE SYSTEM  
 OVER ENTIRE ROOF (NEW  
 AND EXISTING)



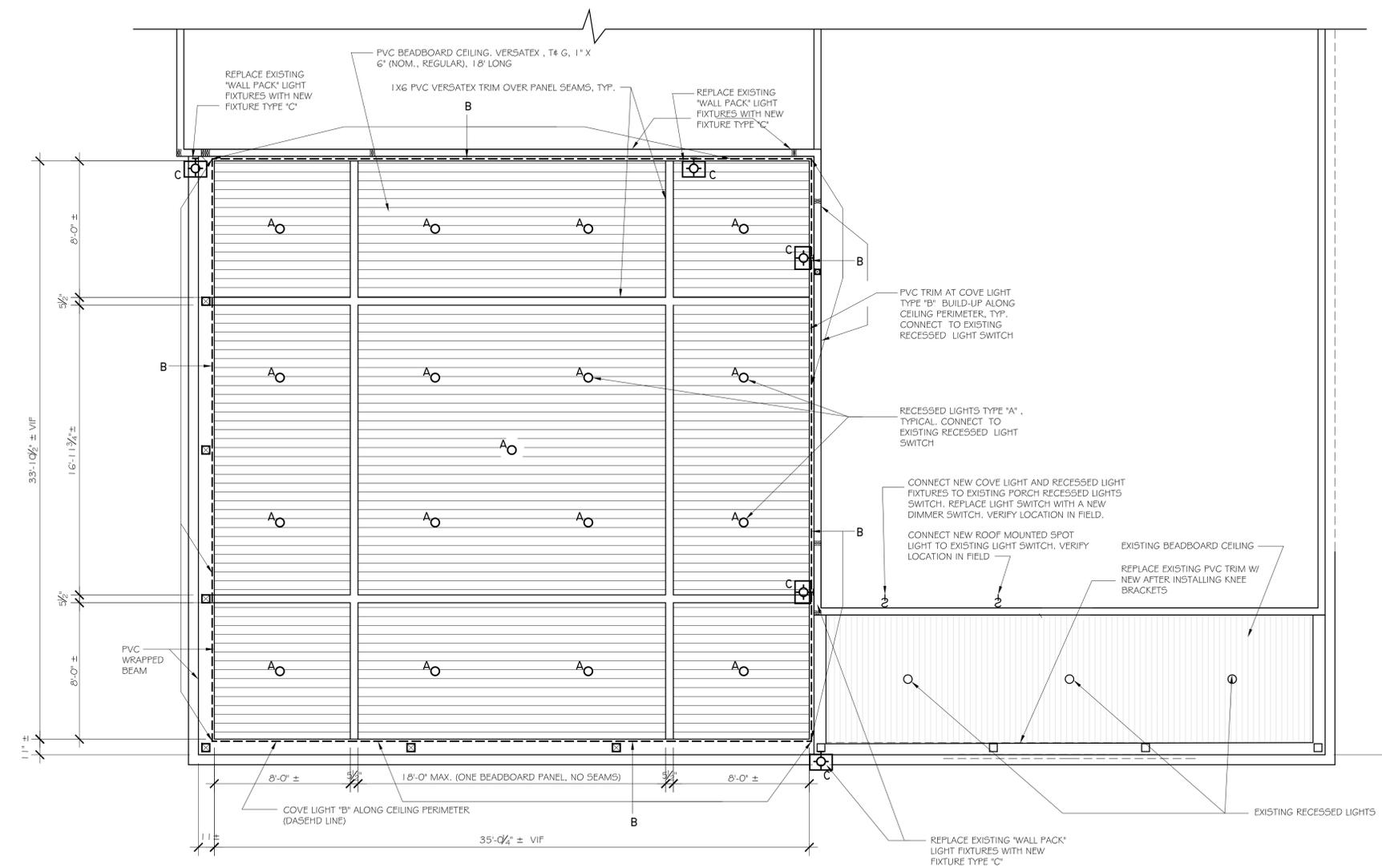
PROGRESS	2-27-2023
No.	Issue
	Date

**NORTH BEACH CLUB HOUSE PORCH ROOF ADDITION**  
 79 BOSTON NECK RD  
 NARRAGANSETT, RI

ROOF PLAN

**A ROOF PLAN**  
 1/4" = 1'-0"

Project No. 22141	<b>A1.2</b>
Drawn By: ZCJ/EWW	
Date: 2-27-2023	



**A REFLECTED CEILING PLAN**  
1/4" = 1'-0"

LIGHT FIXTURE SCHEDULE				
SYMBOL	DESCRIPTION	MANUFACTURER AND PRODUCT NUMBER	LAMP TYPE	REMARKS
A	4" Ø RECESSED CAN	ELEMENT RGR4-CC-WH	14W, LED 2700K	FURNISHED & INSTALLED BY CONTRACTOR
B	COVE LIGHT	WALA-SW, Q-CAP FLEXIBLE FIXTURES- MICRO 5 SERIES WALA-SW-PPS2-WET-27-WHO-ENC-TL-S1/P1-C-CON6/CON6 LENGTH CONFIRM ALL RUN LENGTH AND CONNECTIONS PRIOR TO ORDERING	LED	FURNISHED & INSTALLED BY CONTRACTOR
C	WALL PACK	LEDALUX LXT2-WPC-50-U-30K-BZ-	LED	FURNISHED & INSTALLED BY CONTRACTOR
D	SECURITY SPOT LIGHT ROOF MOUNTED	TGS NEPTUNE FFL-E-100W-22-NF-U-D-TM - BLACK	LED	FURNISHED & INSTALLED BY CONTRACTOR

**ELECTRICAL NOTES:**

- LIGHTING PLAN IS DIAGRAMMATIC AND FOR REFERENCE ONLY. ELECTRICAL WORK SHALL BE DESIGN BUILD DELIVERY METHOD BY THE INSTALLING CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE CODES.
- ELECTRICIAN TO CONFIRM ALL WIRING AND DIMMING COMPATIBILITY. REPLACE EXISTING SWITCHES WITH DIMMING TYPE IF EXISTING SWITCHES ARE NOT DIMMING.



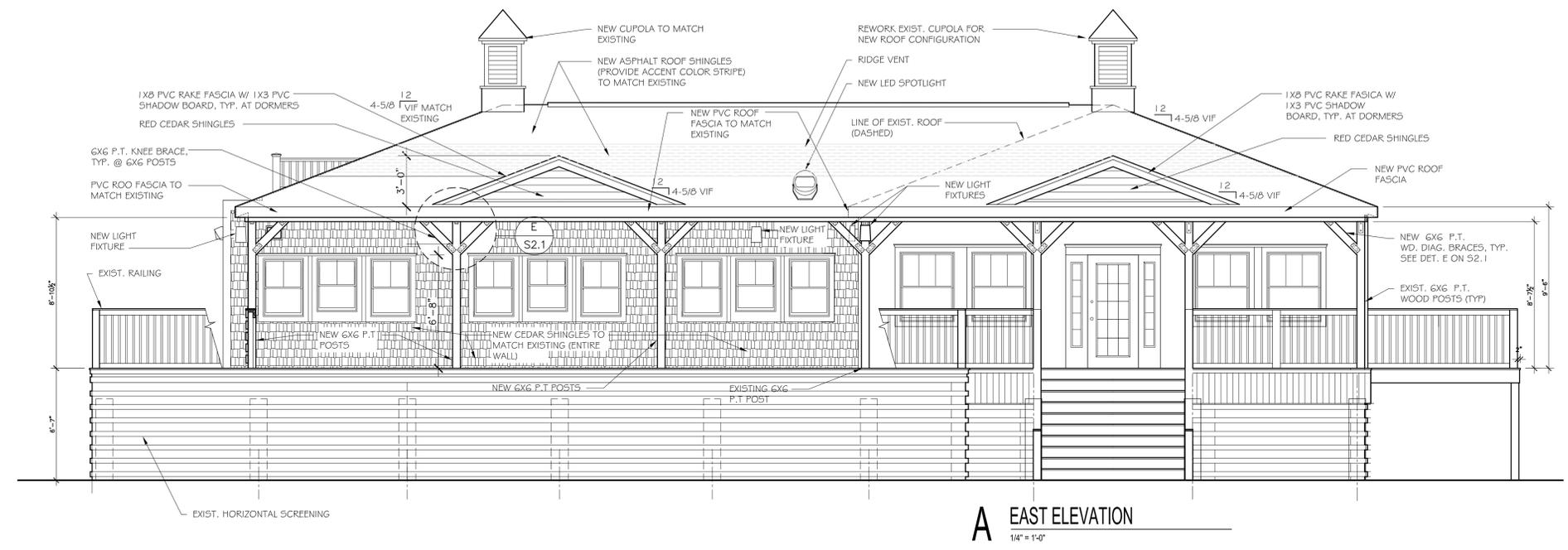
PROGRESS	2-27-2023
No.	Issue
	Date

**NORTH BEACH CLUB HOUSE PORCH ROOF ADDITION**  
79 BOSTON NECK RD  
NARRAGANSETT, RI

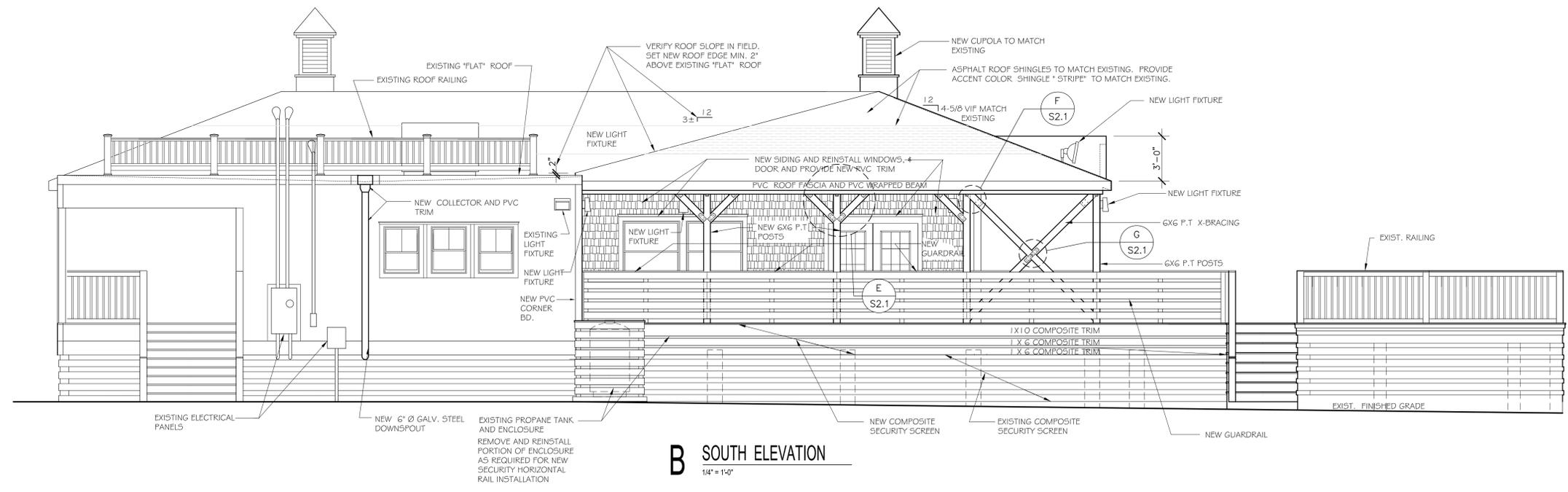
REFLECTED CEILING PLAN

Project No. 22141
Drawn By: ZCI EWW
Date: 2 - 27-2023

A1.3



**A EAST ELEVATION**  
1/4" = 1'-0"



**B SOUTH ELEVATION**  
1/4" = 1'-0"



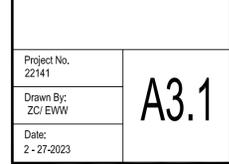
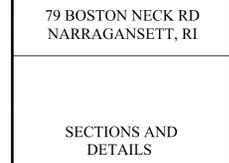
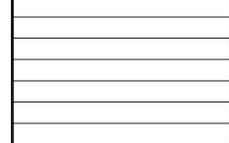
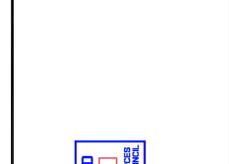
PROGRESS	2-27-2023
No.	Issue
	Date

**NORTH BEACH CLUB HOUSE PORCH ROOF ADDITION**  
79 BOSTON NECK RD  
NARRAGANSETT, RI

SECTION AND ELEVATION

- ELEVATION NOTES:**
- EXTERIOR SIDING SHALL BE RED CEDAR SHINGLES. MATCH EXISTING SHINGLE COURSING. REFER TO SPECIFICATIONS ON SHEET A4.1
  - EXTERIOR TRIM SHALL BE 5/4" AND 3/4" THICK PVC VERSATEX TRIM BOARDS INSTALLED WITH CORTEX PLUGS. ALL TRIM ADJACENT TO SHINGLES SHALL BE 5/4" THICK. REFER TO SPECIFICATIONS. ALL PVC TRIM SHALL BE CLEANED AND LEFT UNPAINTED.
  - MOUNT ALL LIGHT FIXTURES, ELECTRICAL RECEPTACLES, AND OTHER EXTERIOR WALL MOUNTED ACCESSORIES ON 5/4" THICK PVC MOUNTING BLOCKS, TYPICAL. PROPERLY FLASH @ TOP OF BLOCK W/ ICE & WATER SHIELD & METAL DRIP EDGE.
  - ASPHALT ROOF SYSTEM SHALL BE RATED FOR 120 MPH WIND. REFER TO SPECIFICATIONS.
  - COMPOSITE DECKING SHALL BE COMPOSITE TREX DECKING. REFER TO SPECIFICATIONS.

Project No. 22141	<b>A2.1</b>
Drawn By: ZC/ EWW	
Date: 2-27-2023	



PROGRESS 2-27-2023

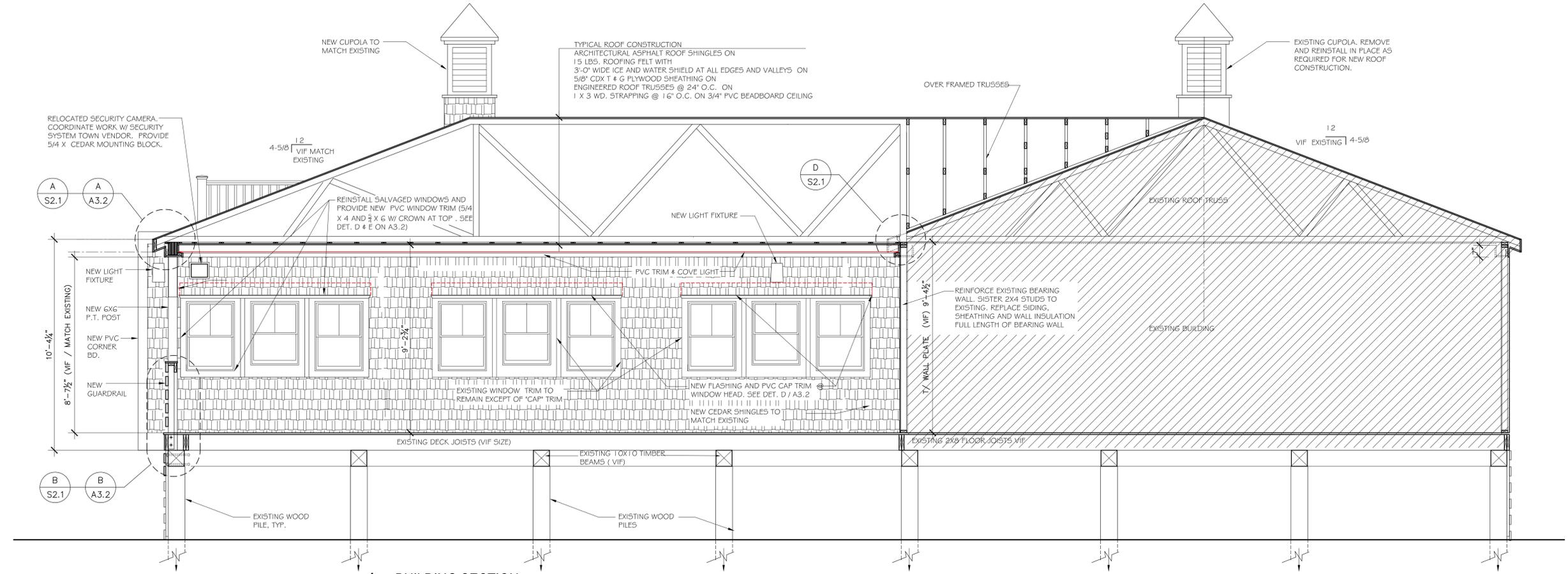
No. Issue Date

**NORTH BEACH CLUB HOUSE PORCH ROOF ADDITION**  
 79 BOSTON NECK RD NARRAGANSETT, RI

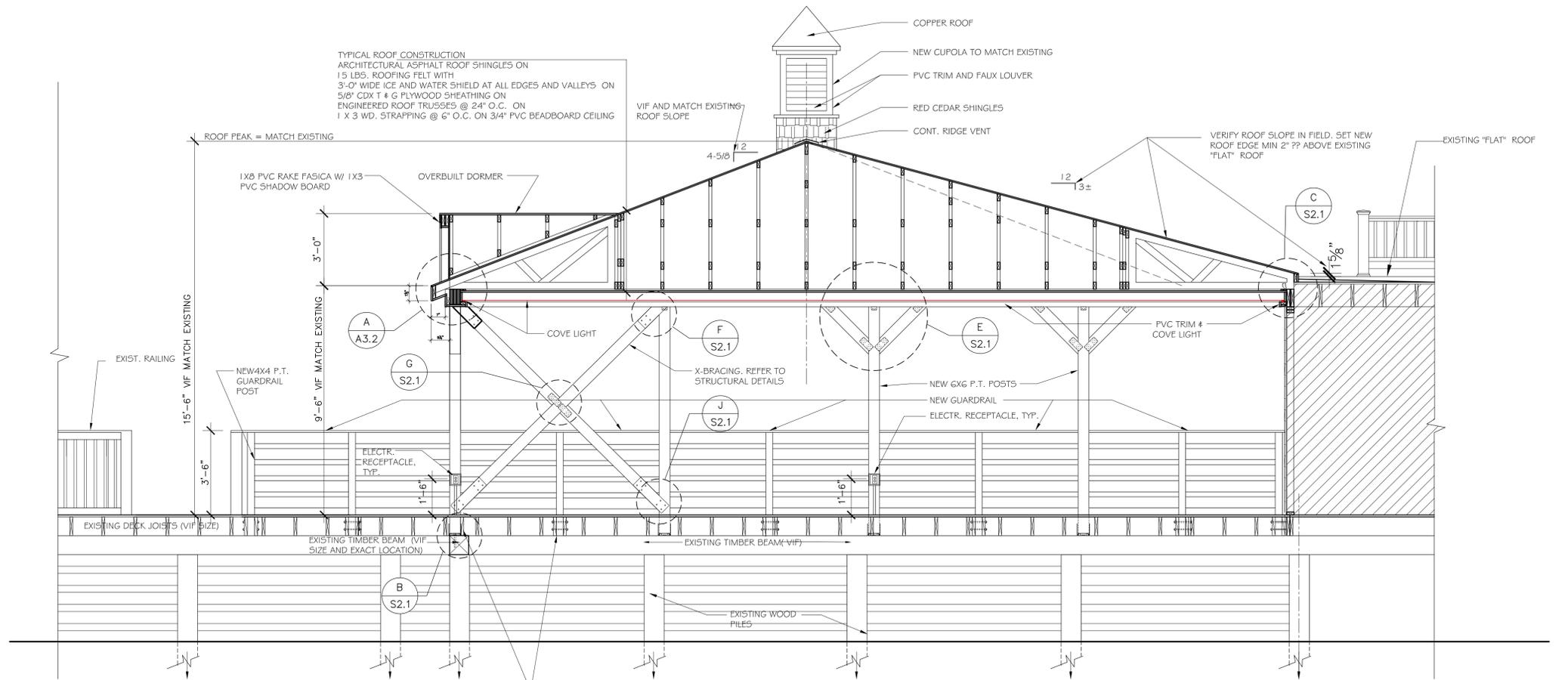
SECTIONS AND DETAILS

Project No. 22141  
 Drawn By: ZC/ EWW  
 Date: 2-27-2023

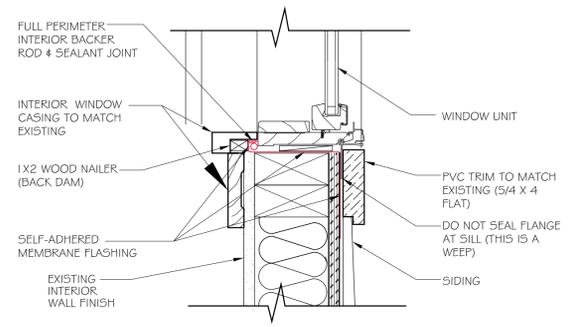
**A3.1**



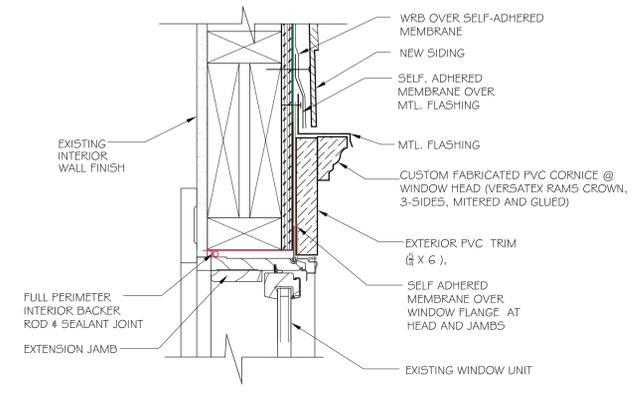
**1 BUILDING SECTION**  
 3/8" = 1'-0"



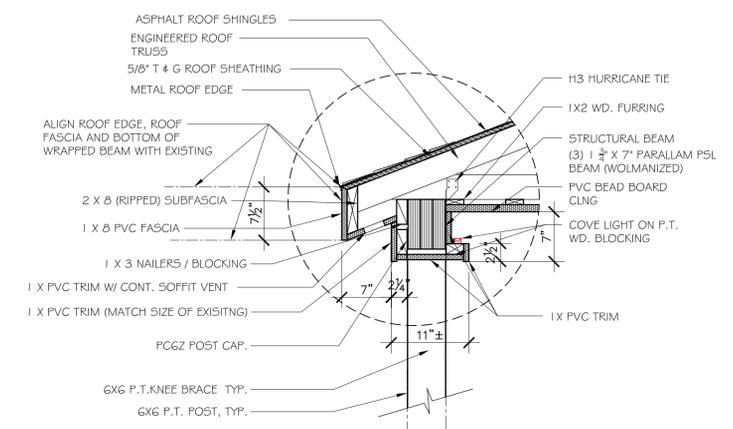
**2 BUILDING SECTION**  
 3/8" = 1'-0"



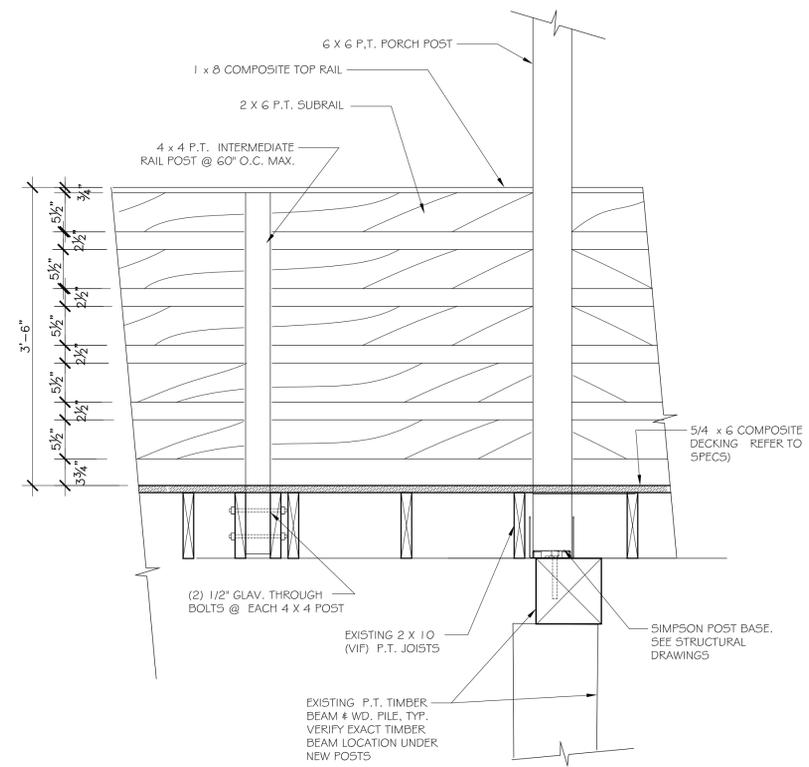
**E TYP. WINDOW SILL DETAIL**  
 3" = 1'-0"



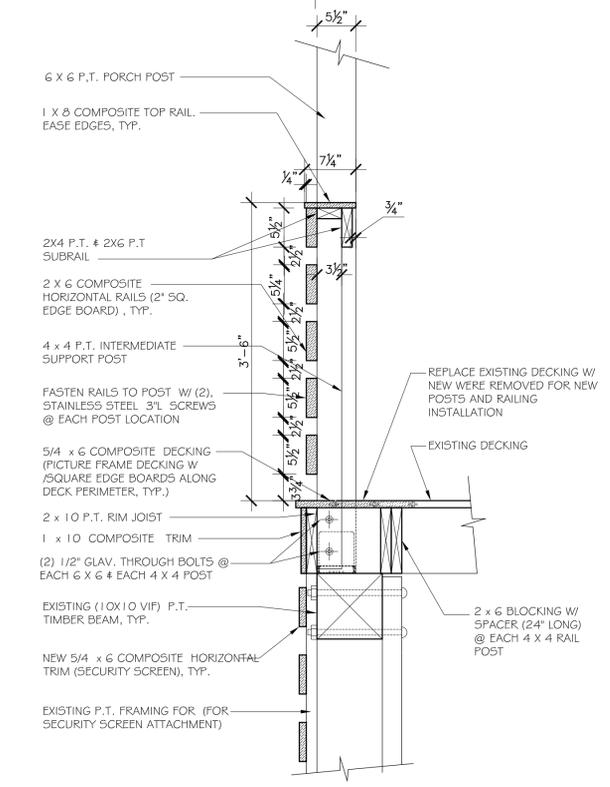
**D WINDOW HEAD DETAIL**  
 3" = 1'-0"



**A TYP. ROOF EAVE DETAIL**  
 1" = 1'-0"



**C NEW GUARDRAIL DETAIL**  
 1" = 1'-0"



**B POST & GUARDRAIL DETAIL**  
 1" = 1'-0"

REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION AND DETAILS



PROGRESS	2-27-2023
No.	Issue
	Date

**NORTH BEACH CLUB HOUSE PORCH ROOF ADDITION**  
 79 BOSTON NECK RD  
 NARRAGANSETT, RI

SECTIONS AND DETAILS