



State of Rhode Island and Providence Plantations
Coastal Resources Management Council
 Oliver H. Stedman Government Center
 4808 Tower Hill Road, Suite 3
 Wakefield, RI 02879-1900

(401) 783-3370
 Fax (401) 783-2069

APPLICATION FOR STATE ASSENT

To perform work regulated by the provisions of Chapter 279 of the Public Laws of 1971 Amended.

Project Location <u>150 Water Street New Shoreham</u> <small>No. Street City/Town</small>	File No. (CRMC USE ONLY) <div style="text-align: center; color: blue; font-weight: bold;">2023-03-092</div>
Owner's Name <u>Interstate Navigation Company</u>	Plat: 6 Lot(s): 150
Mailing Address <u>P.O. Box 5680 Wakefield, RI 02880</u> <small>Address City/Town, State Zip Code</small>	Owner's Contact: Joshua Linda Number: (401)480-9870 Email Address: jlinda@blockislandferry.com
Contractor <u>Gwenmor Marine Construction Inc.</u> CT Reg. # <u>92-919-49</u> Address <u>12 Roseleah Drive, Mystic CT 06355</u>	Email address: christian@gwenmor.com Tel. No. (860)608-9905
Designer <u>Harbor Engineering, LLC</u> Address <u>26 Bosworth Street Barrington, RI 02806</u>	Tel. No. (401)829-4870
Name of Waterway <u>Old Harbor</u>	Estimated Project Cost (EPC): \$34,000.00 Application Fee: \$500.00
Provide Below a Description of Work As Proposed (required). Construct a new 8 pile timber dolphin 33ft off of the existing fixed pier located between the two ferry berths.	

Have you or any previous owner filed an application for and/or received an assent for any activity on this property?

(If so please provide the file and/or assent numbers): See Attachment A

Is this site within a designated historic district? YES NO

Is this application being submitted in response to a coastal violation? YES NO

If YES, you must indicate NOV or C&D Number: _____

Name/mailling addresses of adjacent property owners whose property adjoins the project site. Accurate mailing addresses will insure proper notification. SCC Applicant must initial to certify accuracy of adjacent property owners and accuracy of mailing addresses.

See Attachment A

STORMTOOLS ([Http://www.beachsamp.org/resources/stormtools/](http://www.beachsamp.org/resources/stormtools/)) is a planning tool to help applicants evaluate the impacts of sea level rise and storm surge on their projects. The Council encourages applicants to use STORMTOOLS to help them understand the risk that may be present at their site and make appropriate adjustments to the project design.

NOTE: The applicant acknowledges by evidence of their signature that they have reviewed the Rhode Island Coastal Resources Management Program, and have, where possible, adhered to the policies and standards of the program. Where variances or special exceptions are requested by the applicant, the applicant will be prepared to meet and present testimony on the criteria and burdens of proof for each of these relief provisions. The applicant also acknowledges by evidence of their signature that to the best of their knowledge the information contained in the application is true and valid. If the information provided to the CRMC for this review is inaccurate or did not reveal all necessary information or data, then the permit granted under this application may be found to be null and void. Applicant requires that as a condition to the granting of this assent, members of the CRMC or its staff shall have access to the applicant's property to make on-site inspections to insure compliance with the assent. This application is made under oath and subject to the penalties of perjury.

08/04

Interstate Navigation Company
 Owner Name (PRINT)

Owner's Signature (SIGN)

PLEASE REVIEW REVERSE SIDE OF APPLICATION FORM





Harbor Engineering, LLC

26 Bosworth Street; Suite F
Barrington, RI 02806

Tel: (401) 829-4870

Website: harboreng.com

March 22, 2023

RI Coastal Resources Management Council
4808 Tower Hill Road; Suite 116
Wakefield, RI 02879

RE: Block Island Ferry Terminal – CRMC Assent Application
150 Water Street, New Shoreham RI 02807

To Whom it May Concern,

On behalf of our client, Interstate Navigation Company (INC), it is our pleasure to offer the enclosed Assent Application for activities at the Block Island Ferry Terminal. The applicant seeks permission to install a new timber dolphin to support its commercial harbor ferry service at 150 Water Street, New Shoreham RI (Plat 6 Lot 150).

The facility is located within Old Harbor, which is classified as a RICRMC 'Type 5' Water Type and is reserved for "Recreational and Commercial Harbors." The proposed activity includes constructing an eight (8) pile timber dolphin in front of the existing fixed timber pier between the two ferry berths.

The required RICRMC Assent Application form is included with each assembled application packet along with the following attachments:

- Attachment A: Proposed Activity, Abutters List & Previously Authorized Permits
- Attachment B: Representative Site Photographs
- Attachment C: RICRMP Standards
- Attachment D: Building Official Form
- Attachment E: Project Plans
- Attachment F: Property Owner Information

Feel free to contact the undersigned should you have any questions or require additional information to facilitate your review of the application.

Very Truly Yours,
Harbor Engineering, LLC

Spencer Cartwright, EIT
Staff Engineer

Enclosures: Application Fee (Check # 2515)
Four (4) Copies of Application

Copy: Joshua Linda - Vice President - Interstate Navigation Company
Digital copy of plans to be sent via email (cstaff1@crmc.ri.gov)



STATEMENT OF DISCLOSURE AND APPLICANT AGREEMENT AS TO FEES

The fees which must be submitted to the Coastal Resources Management Council are based upon representations made to the Coastal Resources Management Council by the applicant. If after submission of this fee the Coastal Resources Management Council determines that an error has been made either in the applicant's submission or in determining the fee to be paid, the applicant understands that additional fees may be assessed by the Coastal Resources Management Council. These fees must be paid prior to the issuance of any assent by the Coastal Resources Management Council.

The applicant understands the above conditions and agrees to comply with them.



Owner Signature

3/22/23
Date

Joshua P. Linda, Interstate Navigation Co.
Print Name and Mailing Address
PO Box 5680
Wakefield, RI 02880



Attachment A

Proposed Activity, Abutters List & Previously Authorized Permits



Proposed Activity

The Block Island Ferry Terminal (Site) is owned and operated by Interstate Navigation Company (Applicant). The Site is situated on the eastern side of Block Island within the anchorage of Old Harbor on Water Street, New Shoreham RI. The Applicant owns three (3) parcels on the harbor perimeter: Plat 6 Lots 149, 150 and 151. The parcels include approximately 685 feet of shoreline, which is designated by RICRMC as a ‘Type 5’ water use category reserved for “recreational and commercial harbors.” The man-made shoreline is enclosed by a steel sheet pile bulkhead and heavily developed to support the demand associated with being the primary mode of transportation between the island and the mainland. The existing waterfront structures include a large timber main wharf, two (2) steel loading gantries, a timber pier and seven (7) timber dolphins. The Parcel that encompasses the proposed activity is Plat 6 Lot 150 where the existing gantries and timber pier are stationed. See Attachment F for property owner information, including tax cards for the three (3) parcels, the tax card for the abutting property and a partial tax assessor’s map for plat 6 that displays the parcels highlighted in the List of Abutters on the following page.

The Applicant seeks to add one (1) timber dolphin to aid with vessel berthing and navigation within the tight confines of the harbor. The new dolphin will improve efficiency, safety, and longevity of the ferry operations. At times there can be two (2) 200-foot-long ferries from their fleet berthed at both gantries on either side of the timber pier. On top of this, there are areas of shallow water and dense eelgrass in the immediate vicinity of the 15-foot channel and berthing areas. This combination provides a challenge for captains to have a consistent and efficient means of backing the ships up to the gantries. Particularly when there are high winds from the Northeast and Northwest pushing the vessels towards the shallow areas just West and East of the berths. In addition, the dolphin will add more security when the vessels are docked and reduce the loads on the fixed pier, gantries, and other surrounding dolphins. A depiction of the harbor is displayed on sheet 2 of 4 of Attachment E (Project Plans).

The new dolphin will be located 33 feet seaward of the existing fixed pier and 3 feet landward of the boundary of the federal project. The federal project refers to the 15-foot channel, basin and anchorage that lies within the confines of Old Harbor. The dolphin will be comprised of seven (7) 14-inch diameter greenheart batter piles and one (1) 16-inch diameter greenheart king pile in the center. The king pile will extend 2 feet higher than the batter piles to support vessel tie up.

The king pile will be driven to a minimum embedment of 15 feet with a vibratory hammer used from a crane barge. The batter piles will be driven around the king pile to a minimum embedment of 10 feet with the same tools and fastened to the king pile with wire wrapping and through bolts. The associated activities are brief and minor and thus will have minimal impact on the surrounding environment and operations. The project has been reviewed and approved by both the Town of New Shoreham Zoning and Building Officials. They confirmed that the proposed activity “is not an expansion of a fixed pier or of an existing use that currently operates on the property.” The proposed dolphin is a typical addition to maintain the current activity of the ferry operations.

The Applicant requests that the abovementioned development be evaluated as a commercial structure under RICRMP 1.3. See Attachment C (RICRMP Standards) for further information addressing RICRMP prerequisites and standards.



List of Abutters

The following list of property owners was prepared by Harbor Engineering, LLC. Based on Data obtained from Vision Government Solutions and the Assessor's Office Online Database collected on March 22nd, 2023.

Plat/Lot	Location	Owner
6 / 149	Water Street, New Shoreham, RI 02807	Interstate Navigation Company
6 / 151	120 Water Street, New Shoreham, RI 02807	Interstate Navigation Company
6 / 152	436 Water Street, New Shoreham, RI 02807	436 Water Street, LLC

Previously Authorized Permits

CRMC File No.	Description of Work Proposed
2022-12-074	Replace ramp support pilings, pier ramps & fender pilings (authorization pending)
2021-04-077	Replace piles at Block Island Ferry Terminal.
2018-06-005	Replace (1) 14 piling dolphin on east side of east slip in-kind.
2017-03-099	Replace dolphin piles as per information received by CRMC.
2014-03-055	Replace (2) 12 pile dolphins, replace (1) 10 pile dolphin and repairs to other dolphins as needed or required.
2011-04-059	Replace 18 oak pilings on dolphin (9 of the pilings on the west side and 9 on the east side).
2011-01-004	Place sheet piling seaward of the existing bulkhead as per plan submitted.
2010-04-105	Replace (1) 11 pile dolphin & replace (10) 4"x12" cap stringers on finger pier.
2009-10-026	Repairs to existing pier.
2009-05-051	Replace a (7) pile dolphin, (8) pilings on finger pier & replace (3) pilings in existing dolphin.
2009-04-025	Repair steel ramp including hinge beam, gantries, & fender piles as per plan submitted.
2007-04-064	Repair 30' section of damaged retaining wall & backfill with crushed stone as per plan submitted.
2005-05-117	Install a ticket booth.
2002-12-003	Replace dolphin cluster.
2002-04-116	Replace existing bulkhead.
2001-09-071	Shed addition.
2000-08-046	Additional parking.
1999-10-006	Replace & add pilings.



Previously Authorized Permits Continued

CRMC File No.	Description of Work Proposed
1997-10-005	Replace pilings.
1994-09-028	Storage building.
1994-04-024	Dock repairs.
1986-02-004	Replace ferry ramp.
1984-09-011	Boat Loading ramp & 4 pile clusters.
1969-10-002	Steel bulkhead, dolphins & dredge.



Attachment B

Representative Site Photographs



Representative Site Photographs



Photo 1: Proposed location of new dolphin seaward of existing pier terminus.



Photo 2: Shoreline to the East of the location of the proposed dolphin.



Photo 3: Existing timber dolphin to the west of the existing pier that the proposed dolphin will closely resemble.

Attachment C

RICRMC Standards



RICRMP Standards

The Following items are provided to address the Category B requirements outlined in RICRMP 1.3 Activities Under Council Jurisdiction.

1. *Demonstrate the need for the proposed activity or alteration.*

The Applicant seeks to add one (1) timber dolphin to aid with vessel berthing and navigation within the tight confines of the harbor. The new dolphin will improve efficiency and safety of the ferry operations. At times there can be two (2) 200-foot-long ferries from their fleet berthed at both gantries on either side of the timber pier. On top of this, there are areas of shallow water and dense eelgrass in the immediate vicinity of the 15-foot channel and berthing areas. This combination provides a challenge for captains to have a consistent and efficient means of backing the ships up to the gantries. Particularly when there are high winds from the Northeast and Northwest pushing the vessels towards the shallow areas just West and East of the berths. Furthermore, when used as a fender, the dolphin will add more security when the vessels are docked and reduce the loads on the fixed pier, gantries, and other surrounding dolphins. Stern lines from the ferries, while they are in the slips loading passengers, will be fastened to the new dolphin. This will eliminate the current practice of working the engines ahead in gear against a spring line. With this dolphin the engines can be taken out of gear and shut down while loading reducing the disturbance in the harbor and load on the engines.

2. *Demonstrate that all applicable local zoning ordinances, building codes, flood hazard standards, and all safety codes, fire codes, and environmental requirements have or will be met; local approvals are required for activities as specifically prescribed for nontidal portions of a project in §§ 1.3.1(B), (C), (F), (H), (I), (K), (M), (O) and (Q) of this Part; for projects on state land, the state building official, for the purposes of this section, is the building official.*

The project has been reviewed and approved by both the Town of New Shoreham Zoning and Building Officials.

3. *Describe the boundaries of the coastal waters and land area that is anticipated to be affected.*

The project area is limited to the region between the seaward terminus of the existing fixed timber pier and the landward side of the existing thirty (30) pile dolphin. The proposed location for the new dolphin will be 33 feet seaward of the existing fixed pier and 3 feet landward of the boundary of the federal project. The federal project refers to the 15-foot channel, basin and anchorage that lies within the confines of Old Harbor.

4. *Demonstrate that the alteration or activity will not result in significant impacts on erosion and/or deposition processes along the shore and in tidal waters.*

The proposed activity includes driving eight (8) piles approximately 110 feet from the shoreline that is retained with a steel sheet pile bulkhead. The water depth at the proposed location is 15.6 feet relative to Mean Lower-Low Water (MLLW). Local currents are minimal and entirely driven by tidal flow. It is not anticipated that any net sediment transport is exhibited at the Site. The

structural components will not impede tidal currents or any sediment transport within the project area.

5. *Demonstrate that the alteration or activity will not result in significant impacts on the abundance and diversity of plant and animal life.*

Two (2) areas of dense eelgrass were identified through a multibeam bathymetric survey by Steele Associates Marine Consultants, LLC dated 9/7/21. The location for the proposed dolphin is approximately 75 feet from the outer boundary of both eelgrass beds. Driving the piles will only temporarily and momentarily suspend sediment in the immediate vicinity of the activity. The barge will have access to the project area through the federal channel and will is not anticipated to encroach on the areas of eelgrass. As such the eelgrass beds will be unaffected by the pile driving activities and the dolphin once constructed.

6. *Demonstrate that the alteration will not unreasonably interfere with, impair, or significantly impact existing public access to, or use of, tidal waters and/or the shore.*

The proposed activity will not impair public access or use of the tidal waters and shore. The dolphin is a very minor addition to the already heavily developed ferry terminal. It will not act as an obstruction to the public but will instead improve ferry operations which support the public's use of the harbor and island.

7. *Demonstrate that the alteration will not result in significant impacts to water circulation, flushing, turbidity, and sedimentation.*

The proposed dolphin is a minor addition to the already heavily developed ferry terminal. The few piles will have little to no impact on water circulation, flushing, turbidity and sedimentation processes in the harbor.

8. *Demonstrate that there will be no significant deterioration in the quality of the water in the immediate vicinity as defined by DEM.*

The proposed dolphin is a minor addition to the already heavily developed ferry terminal. The greenheart piles used will have no impact on water quality in the immediate vicinity as they contain no preservatives that can leach out. The only disturbance will occur when the piles are being driven and there will be a temporary and minor suspension of sediments.

9. *Demonstrate that the alteration or activity will not result in significant impacts to areas of historic and archaeological significance.*

The harbor is already utilized for commercial activities with a 'Type 5' RICRMC water type classification. The dolphin addition will have no additional impact on any areas of historic and archeological significance within the surrounding area.

10. *Demonstrate that the alteration or activity will not result in significant conflicts with water dependent uses and activities such as recreational boating, fishing, swimming, navigation, and commerce.*

The dolphin is an addition to the facilities that are reserved for the ferry operations and not recreation and as such will not hinder the associated activities. The intent with the dolphin is to improve ferry navigation and commerce.

11. *Demonstrate that measures have been taken to minimize any adverse scenic impact (see § 1.3.5 of this Part).*

The proposed dolphin is a minor addition to the heavily developed shoreline. The structure is typical of a commercial harbor and blends into the existing surrounding structures. It will not block scenic corridors and will extend to a height above water that matches the existing dolphins in the surrounding area.

Attachment D

Building Official Form



TO: Coastal Resources Management Council
4808 Tower Hill Road Suite 3
Wakefield, RI 02879
Phone: (401) 783-3370



FROM: Building Official

DATE: 3/15/2023

SUBJ: Application of: Interstate Navigation Company

Location: Block Island Ferry Terminal in Old Harbor

Address: 120 Water Street, New Shoreham RI Plat No. 6 Lot No. 150

To Construct: Construct a new 8 pile timber dolphin 33ft off of the existing fixed pier between the two ferry berths.

I hereby certify that I have reviewed 3 foundation plan(s).
2 plan(s) for entire structure
1 site plans

Titled: Vicinity Chart, Site Plan and Proposed Dolphin.

Date of Plan (last revision): 2/20/2023

and find that the issuance of a local building permit is not required as in accordance with Section _____ of the Rhode Island State Building Code.

and find that the issuance of a local building permit is required. I hereby certify that this permit shall be issued once the applicant demonstrates that the proposed construction/activity fully conforms to the applicable requirements of the RISBC.

and find that a Septic System Suitability Determination (SSD) must be obtained from the RI Dept. of Environmental Management.

and find that a Septic System Suitability Determination (SSD) need not be obtained from the RI Dept. of Environmental Management.

and find that said plans conform with all elements of the zoning ordinance, and that if said plans require zoning board approval, that the applicant has secured such approval and that the requisite appeal period has passed with no appeal filed or appeal is final. The Zoning Board approval shall expire on _____.

and find that said plans conform with all elements of the zoning ordinance, and that if said plans require zoning board approval, that the applicant has secured such approval and that the requisite appeal period has passed with no appeal filed or appeal is final.

[Signature]
Building Official's Signature

3/15/2023
Date

[Signature]
Zoning Officer's Signature

3/20/2023
Date

Finding of fact:

This is not an expansion of a fixed pier or of an existing use that currently operates on the property.

Jenn Brady



Attachment E

Project Plans



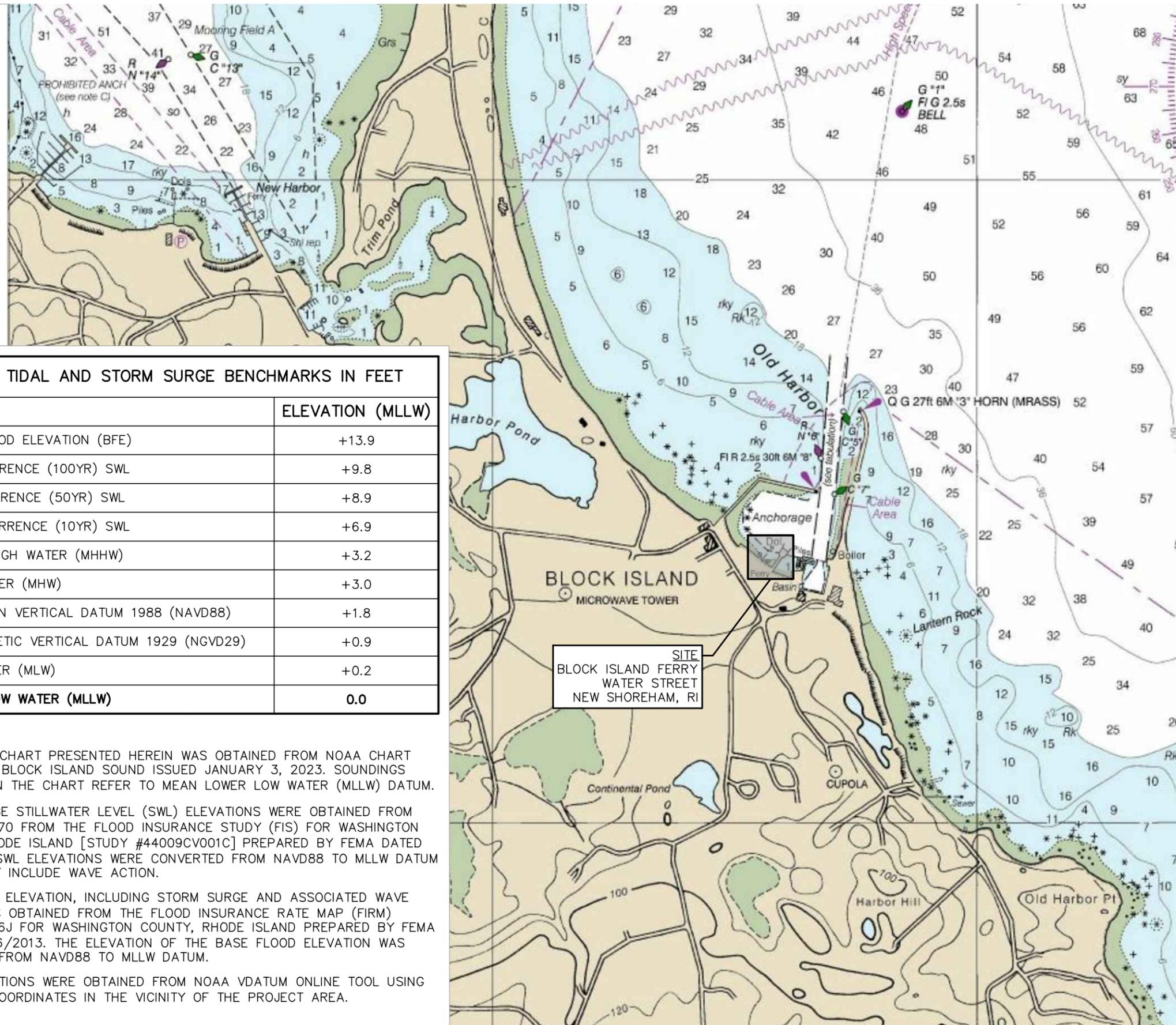


TABLE 1: TIDAL AND STORM SURGE BENCHMARKS IN FEET

BENCHMARK	ELEVATION (MLLW)
FEMA BASE FLOOD ELEVATION (BFE)	+13.9
FEMA 1% RECURRENCE (100YR) SWL	+9.8
FEMA 2% RECURRENCE (50YR) SWL	+8.9
FEMA 10% RECURRENCE (10YR) SWL	+6.9
MEAN HIGHER HIGH WATER (MHHW)	+3.2
MEAN HIGH WATER (MHW)	+3.0
NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88)	+1.8
NATIONAL GEODETIC VERTICAL DATUM 1929 (NGVD29)	+0.9
MEAN LOW WATER (MLW)	+0.2
MEAN LOWER LOW WATER (MLLW)	0.0

REFERENCES:

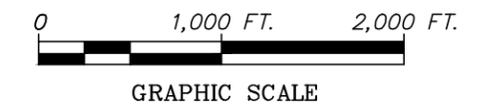
- NAVIGATION CHART PRESENTED HEREIN WAS OBTAINED FROM NOAA CHART #13217 FOR BLOCK ISLAND SOUND ISSUED JANUARY 3, 2023. SOUNDINGS INCLUDED ON THE CHART REFER TO MEAN LOWER LOW WATER (MLLW) DATUM.
- STORM SURGE STILLWATER LEVEL (SWL) ELEVATIONS WERE OBTAINED FROM TRANSECT #70 FROM THE FLOOD INSURANCE STUDY (FIS) FOR WASHINGTON COUNTY, RHODE ISLAND [STUDY #44009CV001C] PREPARED BY FEMA DATED 4/3/2020. SWL ELEVATIONS WERE CONVERTED FROM NAVD88 TO MLLW DATUM AND DO NOT INCLUDE WAVE ACTION.
- BASE FLOOD ELEVATION, INCLUDING STORM SURGE AND ASSOCIATED WAVE ACTION, WAS OBTAINED FROM THE FLOOD INSURANCE RATE MAP (FIRM) #44009C0366J FOR WASHINGTON COUNTY, RHODE ISLAND PREPARED BY FEMA DATED 10/16/2013. THE ELEVATION OF THE BASE FLOOD ELEVATION WAS CONVERTED FROM NAVD88 TO MLLW DATUM.
- TIDAL ELEVATIONS WERE OBTAINED FROM NOAA VDATUM ONLINE TOOL USING LAT/LONG COORDINATES IN THE VICINITY OF THE PROJECT AREA.

HE
HARBOR ENGINEERING, LLC

26 BOSWORTH STREET
 BARRINGTON, RI 02806
 (401) 829-4870
 harboreng.com

No.	Revision	Date	App.

RECEIVED
3/24/2023
 COASTAL RESOURCES
 MANAGEMENT COUNCIL

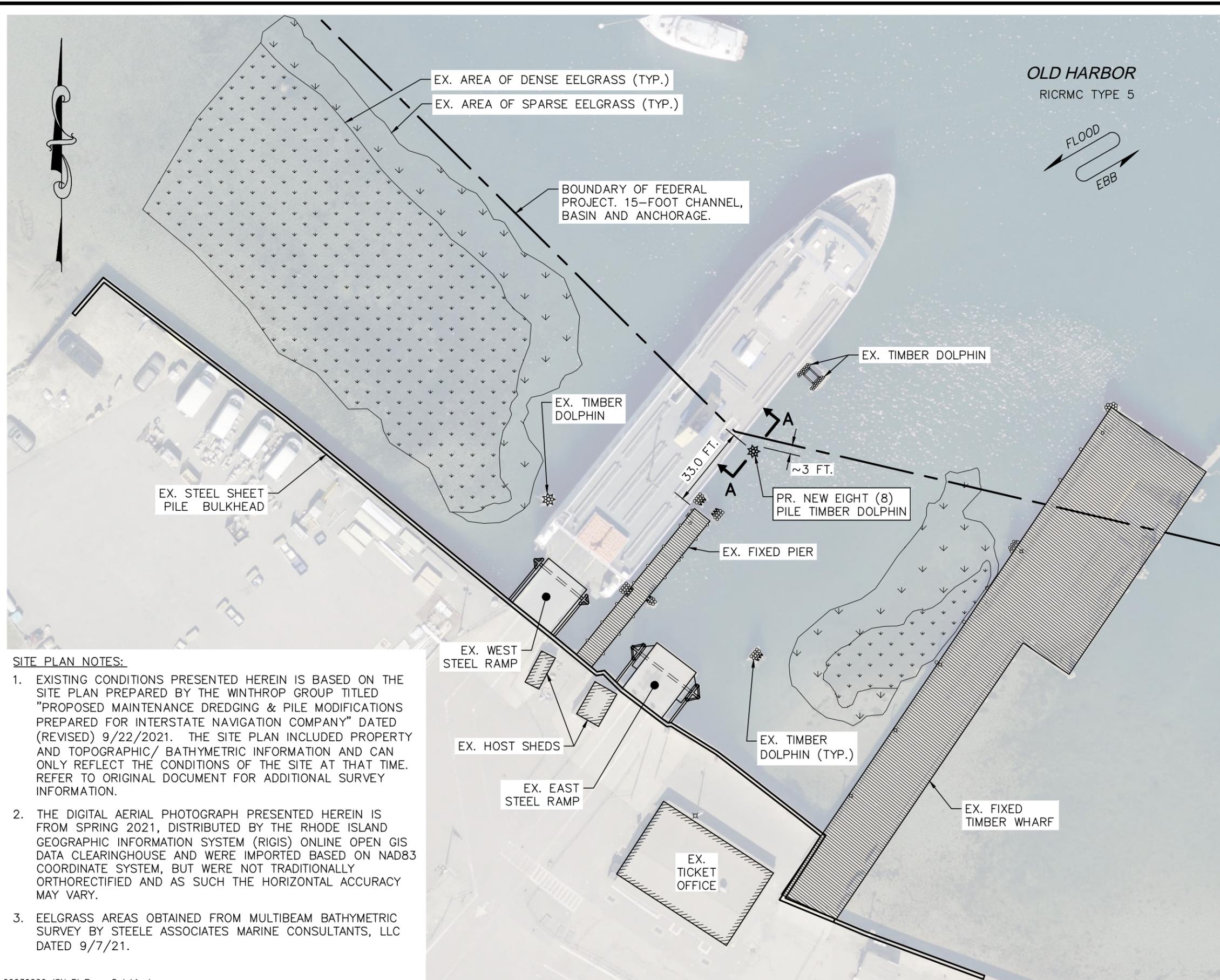


Client/Owner:
INTERSTATE NAVIGATION COMPANY
BLOCK ISLAND FERRY
WATER STREET, NEW SHOREHAM RI

Issued for:
REGULATORY REVIEW
NEW DOLPHIN

Drawing Title:
VICINITY CHART
OLD HARBOR
SOUNDINGS: MLLW DATUM

Date: 02/20/2023
 Scale: 1" = 1,000 FT.
 Designed By:
 Drawn by: AJK & SCC
 Checked by:
 Project Number:
2022-22
 Sheet **1** of **4**
 Drawing Number:
C-1



OLD HARBOR
RICRMC TYPE 5

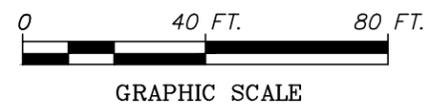


HARBOR ENGINEERING, LLC

26 BOSWORTH STREET
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(401) 829-4870
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Client/Owner:

INTERSTATE NAVIGATION COMPANY
BLOCK ISLAND FERRY
WATER STREET, NEW SHOREHAM RI

Issued for:

REGULATORY REVIEW
NEW DOLPHIN

Drawing Title:

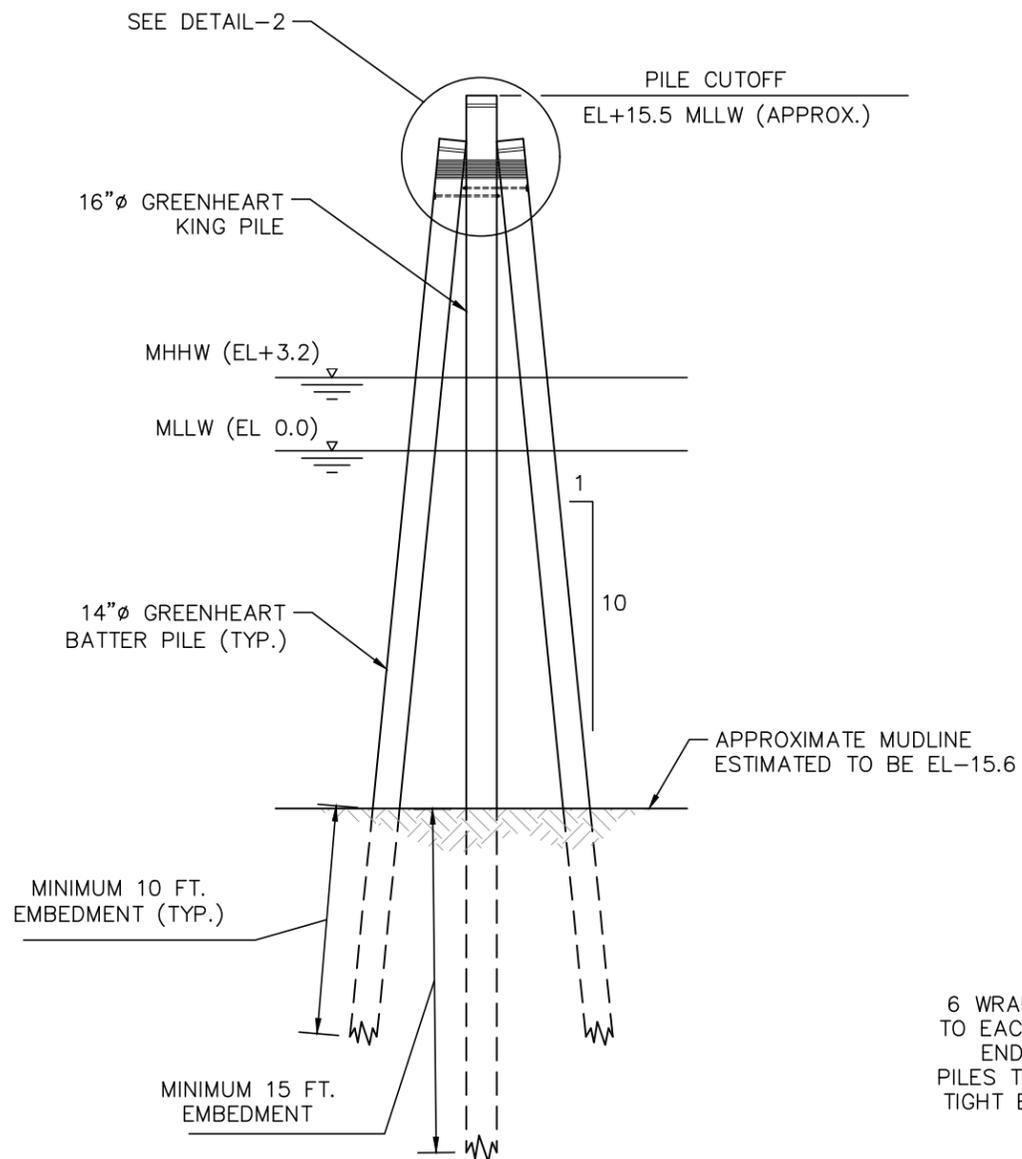
SITE PLAN
EXISTING CONDITIONS
PROPOSED DOLPHIN LOCATION

- SITE PLAN NOTES:**
- EXISTING CONDITIONS PRESENTED HEREIN IS BASED ON THE SITE PLAN PREPARED BY THE WINTHROP GROUP TITLED "PROPOSED MAINTENANCE DREDGING & PILE MODIFICATIONS PREPARED FOR INTERSTATE NAVIGATION COMPANY" DATED (REVISED) 9/22/2021. THE SITE PLAN INCLUDED PROPERTY AND TOPOGRAPHIC/ BATHYMETRIC INFORMATION AND CAN ONLY REFLECT THE CONDITIONS OF THE SITE AT THAT TIME. REFER TO ORIGINAL DOCUMENT FOR ADDITIONAL SURVEY INFORMATION.
 - THE DIGITAL AERIAL PHOTOGRAPH PRESENTED HEREIN IS FROM SPRING 2021, DISTRIBUTED BY THE RHODE ISLAND GEOGRAPHIC INFORMATION SYSTEM (RIGIS) ONLINE OPEN GIS DATA CLEARINGHOUSE AND WERE IMPORTED BASED ON NAD83 COORDINATE SYSTEM, BUT WERE NOT TRADITIONALLY ORTHORECTIFIED AND AS SUCH THE HORIZONTAL ACCURACY MAY VARY.
 - EELGRASS AREAS OBTAINED FROM MULTIBEAM BATHYMETRIC SURVEY BY STEELE ASSOCIATES MARINE CONSULTANTS, LLC DATED 9/7/21.

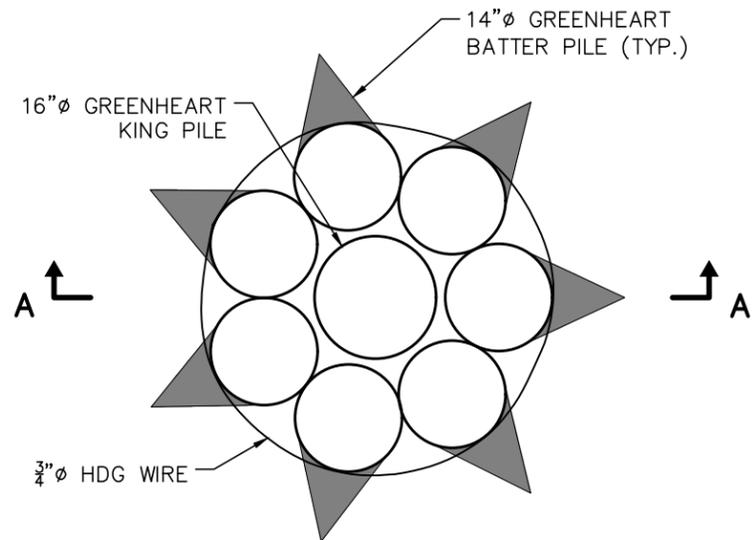
AUGUST J. KREUZKAMP, III
No. 7949
REGISTERED PROFESSIONAL ENGINEER
CIVIL 2/24/2023

Date:	02/20/2023
Scale:	1" = 40 FT.
Designed By:	
Drawn by:	AJK & SCC
Checked by:	
Project Number:	2022-22
Sheet	2 of 4
Drawing Number:	EX-1

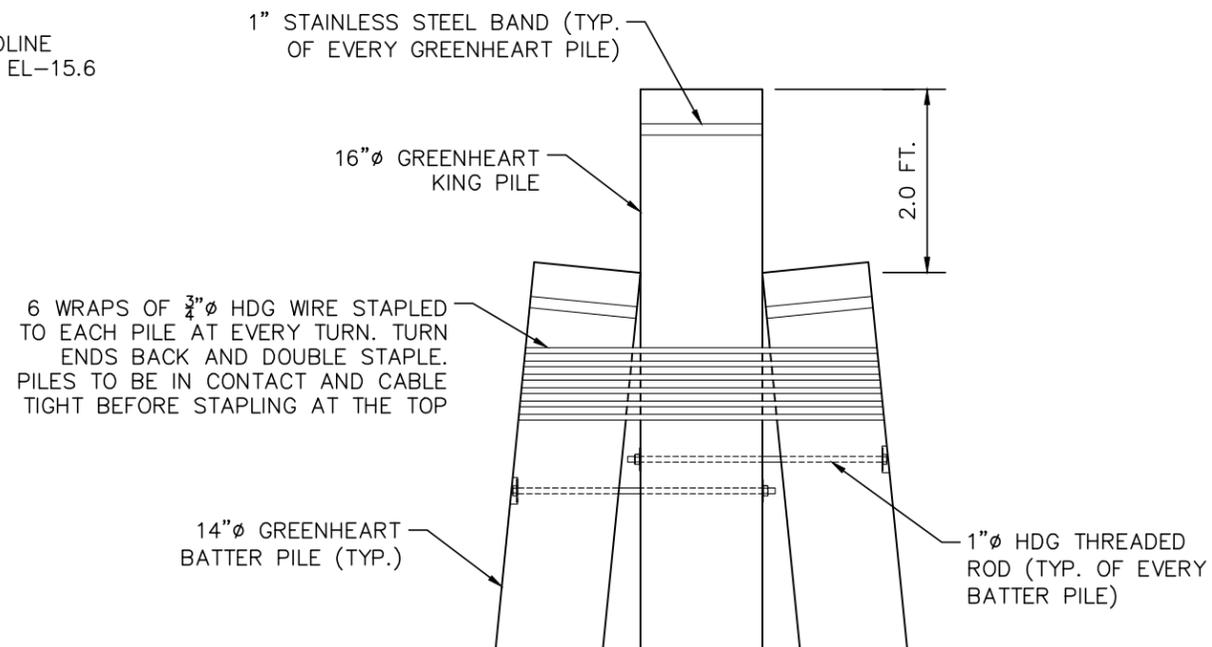
NOTE: CONTRACTOR SHALL REFER TO THE EXISTING DOLPHINS TO CONFIRM/MATCH PILE CUTOFF ELEVATION.



SECTION A-A
PROPOSED DOLPHIN CROSS SECTION
SCALE: 1" = 10 FT.



DETAIL-1
PROPOSED DOLPHIN PLAN VIEW
SCALE: 1" = 2 FT.



DETAIL-2
PROPOSED DOLPHIN CROSS SECTION
SCALE: 1" = 2 FT.



HARBOR ENGINEERING, LLC

26 BOSWORTH STREET
BARRINGTON, RI 02806
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harboreng.com

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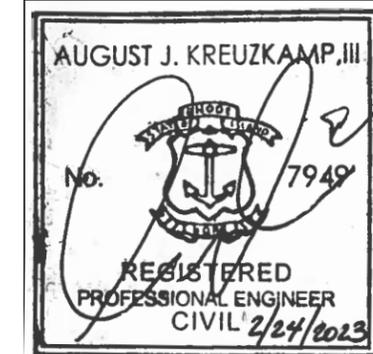
INTERSTATE NAVIGATION COMPANY
BLOCK ISLAND FERRY
WATER STREET, NEW SHOREHAM RI

Issued for:

REGULATORY REVIEW
NEW DOLPHIN

Drawing Title:

PROPOSED DOLPHIN
FRAMING DETAILS



Date: 02/20/2023
Scale: AS NOTED
Designed By:
Drawn by: AJK & SCC
Checked by:
Project Number:
2022-22
Sheet 3 of 4
Drawing Number:
PR-1

GENERAL NOTES:

1. DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, SHALL REMAIN THE PROPERTY OF HARBOR ENGINEERING, LLC. DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR IN PART, FOR OTHER PROJECTS OR PURPOSES OR BY ANY OTHER PARTIES THAN THOSE AUTHORIZED BY CONTRACT WITHOUT THE SPECIFIC WRITTEN AUTHORIZATION OF HARBOR ENGINEERING, LLC. THE USE OF THIS DOCUMENT IS CONTINGENT UPON PAYMENT TO HARBOR ENGINEERING, LLC. FOR SERVICES RENDERED. NON-PAYMENT SHALL GIVE HARBOR ENGINEERING, LLC. THE AUTHORITY TO BAR DOCUMENT USE BY ANY AND ALL PARTIES.
2. ALL WORK SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS AS SHOWN IN THESE PLANS AND SPECIFICATIONS.
3. THE CONTRACTOR IS REQUIRED TO VISIT THE SITE PRIOR TO SUBMITTING A BID FOR THE PROJECT.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BRINGING ALL ELEMENTS OF THE PROJECT IN CONFORMANCE WITH THESE PLANS AND SPECIFICATIONS. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THAT THE CONDITIONS SHOWN HEREIN ARE AS THEY APPEAR ON-SITE AND NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES IN DIMENSIONS AND/ OR SITE CONDITIONS. THE CONTRACTOR SHALL NOT BEGIN ORDERING MATERIALS, FABRICATION OR INSTALLATION FOR ANY SUCH AFFECTED AREA UNTIL THE DISCREPANCY HAS BEEN RESOLVED BY THE CONTRACTOR AND APPROVED BY THE ENGINEER. IF ANY MODIFICATIONS ARE REQUIRED IN ANY ELEMENT, THE CONTRACTOR SHALL SUBMIT PROPOSED CHANGES IN WRITING TO THE ENGINEER FOR REVIEW.
6. ALL WORK SHALL COMPLY WITH FEDERAL, STATE, AND LOCAL LAWS AND STATUTES AND THE REQUIREMENTS AND CONDITIONS OF ALL REGULATORY PERMITS ISSUED FOR THE WORK. CONTRACTOR SHALL BE FAMILIAR WITH THE RI COASTAL RESOURCES MANAGEMENT PROGRAM (RICRMP) AND MAINTAIN COPIES OF FEDERAL, STATE AND LOCAL REGULATORY PERMITS ON SITE THROUGHOUT CONSTRUCTION. REGULATORY PERMITS INCLUDE:
7. ALL SAFETY REGULATIONS ARE TO BE STRICTLY FOLLOWED. METHODS OF CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR. ALL WORK SHALL CONFORM TO THE LATEST EDITION OF THE OSHA CODE, THE RHODE ISLAND STATE BUILDING CODE, AND THE REFERENCED STANDARDS INCLUDED THEREIN THAT ARE APPLICABLE TO THIS PROJECT.
8. THESE DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE PROJECT REGULATORY PERMITS AND ALL CONDITIONS OF THOSE PERMITS. THE CONTRACTOR IS ADVISED THAT THE REGULATORY PERMITS FOR THIS PROJECT MAY CONTAIN ADDITIONAL REQUIREMENTS THAT, AFTER ANY ADDENDUM, SUPERSEDE THE DRAWING NOTES. THE CONTRACTOR IS FURTHER ADVISED THAT IN THE CASE OF ANY DISCREPANCIES WITHIN THE CONTRACT DOCUMENTS FOUND BEFORE CONSTRUCTION, THE FINAL DECISION AS TO WHAT INFORMATION TAKES PRECEDENCE WILL BE MADE BY THE ENGINEER OF RECORD ON THE BASIS OF THAT INTENT.
9. ALL COMPONENTS SHALL BE INSTALLED PER EACH MANUFACTURER'S SPECIFICATIONS AND/OR STANDARD INDUSTRY PRACTICE AS APPLICABLE.
10. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PRESERVE THE SURVEY BENCHMARKS ESTABLISHED ON SITE. ANY ADDITIONAL SURVEY WORK REQUIRED WILL BE AT THE EXPENSE OF THE CONTRACTOR.
11. THE CONTRACTOR SHALL MAINTAIN AT ALL TIMES A SET OF RECORD DRAWINGS AND SPECIFICATIONS DURING THE PROGRESSION OF THE PROJECT. RECORD DRAWINGS SHALL BE UPDATED ON A DAILY BASIS AND SHALL BE SUBMITTED TO THE ENGINEER AT THE COMPLETION OF CONSTRUCTION.

12. THE CONTRACTOR SHALL SAFEGUARD AND PROTECT ALL EXCAVATIONS.
13. DAMAGE TO ANY PROPERTY, PRIVATE OR OF PUBLIC TRUST, OCCURRING DURING THE CONSTRUCTION BY THE CONTRACTOR, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER AT THE EXPENSE OF THE CONTRACTOR.

PILE DRIVING:

1. THE CONTRACTOR SHALL USE EQUIPMENT ADEQUATE IN SIZE, CAPACITY, AND NUMBERS, AND MAINTAINED TO THE REQUIREMENTS OF ALL FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS TO ACCOMPLISH THE WORK.
2. THE CONTRACTOR SHALL KEEP AN ACCURATE SET OF PILE INSTALLATION/DRIVING LOGS. ALL PILES BEING INSTALLED SHALL BE CLEARLY MARKED IN 1 FOOT INCREMENTS PRIOR TO INSTALLATION TO SUPPORT MONITORING/RECORDING EFFORTS. ALL LOGS SHALL BE CERTIFIED BY THE CONTRACTOR AND SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO PAYMENT.
 - 2.1. PILE LOGS SHALL INCLUDE: PILE LETTER, DEPTH TO MUDLINE (INCLUDING DATE & TIME RECORDED) AND TOTAL EMBEDMENT.

DOLPHIN CONSTRUCTION:

1. THE CONTRACTOR SHALL SUBMIT CERTIFICATES SUBSTANTIATING CONFORMANCE WITH MATERIAL SPECIFICATIONS PRIOR TO INSTALLATION.
2. ALL TIMBER FRAMING SHALL BE GREENHEART INCLUDING THE KING PILE AND BATTER PILES.
3. ALL THREADED FASTENERS AND ANCHORS SHALL BE HOT DIPPED GALVANIZED STEEL FOR EXTERIOR, HIGH HUMIDITY (4 MILS FOR MARINE ENVIRONMENT) TO ASTM A123 AND TREATED WOOD LOCATIONS.
4. UNLESS NOTED OTHERWISE ALL BOLTS AND THREADED RODS TO BE 1" IN DIAMETER OR GREATER AND SHALL CONFORM TO A307 GRADE A W/ HEAVY HEX NUTS AND HOT DIPPED GALVANIZED (HDG) OGEE OR DOCK STEEL WASHERS. BOLT HOLES SHALL BE A MAXIMUM OF 1/8" LARGER THAN THE BOLT DIAMETER SPECIFIED.
5. PILES ARE WRAPPED TO ACT AS A UNIT WITH 3/4" HDG WIRE STAPLED TO EACH PILE AT EVERY TURN. TURN ENDS BACK AND DOUBLE STAPLE. PILES TO BE IN CONTACT AND CABLE TIGHT BEFORE STAPLING AT THE TOP.
6. PILES ARE WRAPPED WITH A 1" STAINLESS STEEL BAND AT THE TOP TO PREVENT BROOMING.
7. ALL TIMBER FRAMING USED IN THE PROJECT SHALL BE STRAIGHT IN BOTH LONGITUDINAL PLANES WITH NO OR MINIMAL TWIST. TIMBER SHALL BE INSPECTED FOR CROWN PRIOR TO INSTALLATION BY THE CONTRACTOR AND INSTALLED CROWN UP WHERE A SLIGHT CROWN EXISTS. JOINTS SHALL BE SAW CUT AND ACCURATELY AND TIGHTLY FITTED. THE ENGINEER RESERVES THE RIGHT TO REJECT TIMBER MEMBERS AND FINISH CONSTRUCTION OF TIMBER ASSEMBLIES WHERE IN THE OPINION OF THE ENGINEER THE DESIGN INTENT OF THE STRUCTURE WOULD BE COMPROMISED DUE TO THE FAULTY TIMBER, JOINTING, AND OR CONSTRUCTION PRACTICES.
8. COUNTERSINK AREAS WHERE HARDWARE INTERFERES WITH CONSTRUCTION OR VESSEL BERTHING AREAS..



HARBOR ENGINEERING, LLC

26 BOSWORTH STREET
BARRINGTON, RI 02806
(401) 829-4870
harboreng.com

No.	Revision	Date	App.

RECEIVED
3/24/2023
COASTAL RESOURCES
MANAGEMENT COUNCIL

Client/Owner:

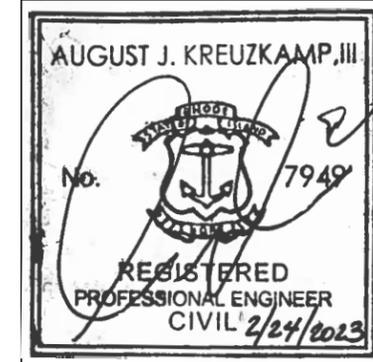
INTERSTATE NAVIGATION COMPANY
BLOCK ISLAND FERRY
WATER STREET, NEW SHOREHAM RI

Issued for:

REGULATORY REVIEW
NEW DOLPHIN

Drawing Title:

PROJECT NOTES
GENERAL & CONSTRUCTION



Date:	02/20/2023
Scale:	AS NOTED
Designed By:	
Drawn by:	AJK & SCC
Checked by:	
Project Number:	2022-22
Sheet	4 of 4
Drawing Number:	N-1

Attachment F

Property Owner Information



150 WATER STREET

Location 150 WATER STREET

Mblu 06 / 150 /

Acct# 090455

Owner INTERSTATE NAV

Assessment \$1,067,000

Appraisal \$1,067,000

PID 688

Building Count 1

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2018	\$144,400	\$922,600	\$1,067,000

Assessment			
Valuation Year	Improvements	Land	Total
2018	\$144,400	\$922,600	\$1,067,000

Parcel Addresses

Additional Addresses
No Additional Addresses available for this parcel

Owner of Record

Owner INTERSTATE NAV
Co-Owner ATTN: RICK MCMURRAY
Address 2 FERRY STREET
NEW LONDON, CT 06320

Sale Price \$0
Certificate
Book & Page 0067/0029
Sale Date 12/01/1984
Instrument 1N

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
INTERSTATE NAV	\$0		0067/0029	1N	12/01/1984

Building Information



