



GENERAL:
THE LOCATION OF EXISTING UTILITIES SHOWN ON THIS PLAN ARE
APPROXIMATE ONLY AND HAVE BEEN SHOWN USING THE AVAILABLE DATA.

THE CONTRACTOR SHALL CONTACT 'DIG-SAFE' AND/OR OTHER APPROPRIATE UTILITY COMPANIES TO ASCERTAIN THE EXACT LOCATION OF THE RESPECTIVE UTILITY PRIOR TO CONSTRUCTION. UTILITIES INCLUDE BUT ARE NOT LIMITED TO GAS, ELECTRIC, WATER, TELEPHONE, CABLE TV, MUNICIPAL SEWER, ETC.

CONSTRUCTION NOTES:

UNLESS OTHERWISE NOTED, NO OPERATION OF HEAVY EQUIPMENT SHALL OCCUR ON THE COASTAL FEATURE, IN COASTAL WATERS, OR IN ANY AREAS DESIGNATED AS COASTAL BUFFER ZONE IN ACCORDANCE WITH CRM SECTION 150.

THERE SHALL BE NO STOCKPILING OR DISPOSAL OF SOILS, CONSTRUCTION MATERIALS, DEBRIS, ETC. ON THE COASTAL FEATURE, WITHIN 200' OF THE INLAND EDGE OF THE COASTAL FEATURE, IN COASTAL WATERS OR IN ANY AREAS DESIGNATED AS CRMC SETBACKS OR COASTAL BUFFER ZONE.

ALL EXCESS EXCAVATED MATERIALS, EXCESS SOILS, EXCESS CONSTRUCTION MATERIALS, AND DEBRIS SHALL BE REMOVED FROM THE SITE. NO MATERIALS SHALL BE DEPOSITED ON THE COASTAL FEATURE, WITHIN 200 FEET OF THE INLAND EDGE OF THE COASTAL FEATURE, IN COASTAL WATERS, OR IN ANY AREAS DESIGNATED AS A CRMC SETBACK OR COASTAL BUFFER ZONE.

ALL CONSTRUCTION SHALL MEET ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES.

FEMA DESIGNATION:

THE SUBJECT PROPERTY DEPICTED HEREON APPEARS TO BE WITHIN ZONE
AE ELEVATION 15, REFERENCE FEMA FLOOD INSURANCE RATE MAP
44009C0259J, DATED OCTOBER 16, 2013.

PLAN REFERENCE:

REFERENCE BOUNDARY & TOPOGRAPHIC SURVEY OF LAND ON SNOWBERRY LANE IN THE CITY OF WESTERLY, RI A.P. 143, LOT 55 PREPARED FOR THOMAS O'GORMAN 162 MAPLEWOOD DRIVE, EAST GREENWICH, RI 02818 BY COVENTRY SURVEY CO. DATED OCTOBER 5, 2023, AND ALL ASSOCIATED NOTES AND REFERENCES.

CJ DOYLE, P.E.
CIVIL ENGINEERING
MAILING ADDRESS:
P.O. BOX 1161, HOPE VALLEY, RI 02832
OFFICE LOCATION:
1122 MAIN STREET, WYOMING, RI
PHONE (401) 491-9530
cjenginc@cox.net

1	5/10/2024	PIER REVISED TO 4' ABOVE WETLAND	CJD
NO.	DATE	DESCRIPTION	BY

DRAWING TITLED:

PROPOSED RESIDENTIAL BOATING FACILITY

LOCATED ON:

LOTS 55 & 57 PLAT 143

OWNED BY:
DONNA HOSTETLER, DIANE BARDSLEY &
THOMAS O'GORMAN

ADDRESS

SNOWBERRY LANE
IN THE TOWN OF WESTERLY, RI

MARCH 19, 2024

DESIGNED BY:
CAROLYN J. DOYLE, P.E.

SCALE: 1" = 30'

DRAWN BY: CJD	CHECKED BY: CJD
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DRAWING No.

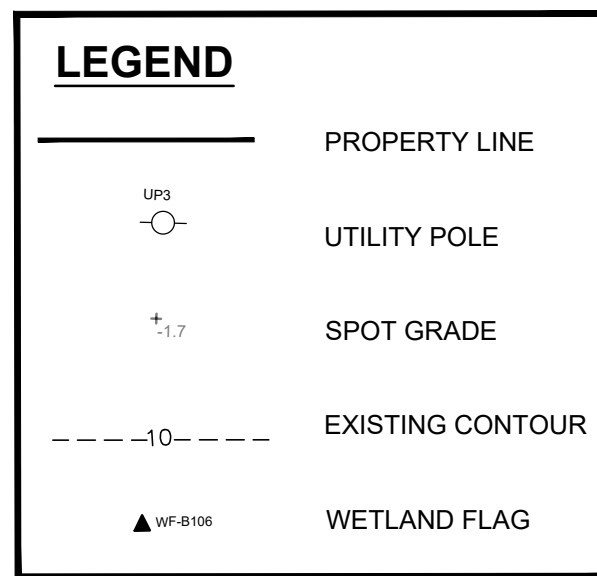
SHEET 1 OF 2

CAROLYN J. DOYLE

No. 5078

REGISTERED

REGISTERED
PROFESSIONAL ENGINEER



PROPOSED DOCK COMPONENTS:

- A PROPOSED 4' WIDE X 85'± LONG FIXED-PIER SECTION. LENGTH MEASURED ALONG CENTERLINE.
- B PROPOSED 12" DIA. TIMBER PILE (MINIMUM).
- C PROPOSED 30" X 20" LONG PREFABRICATED RAMP SECTION. SEE SEPARATE DETAILS.
- D PROPOSED 10' X 15' FLOAT. SEE SEPARATE DETAILS.
- E PROPOSED TIE OFF PILES, 12" DIA. TIMBER PILE (MINIMUM), SET 16' ON CENTER.

UTILITIES:

1. THE LOCATION OF EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY AND HAVE BEEN SHOWN USING THE BEST AVAILABLE DATA.
2. THE CONTRACTOR SHALL CONTACT "DIG-SAFE" AND/OR OTHER APPROPRIATE UTILITY COMPANIES TO ASCERTAIN THE EXACT LOCATION OF THE RESPECTIVE UTILITY PRIOR TO CONSTRUCTION.
3. UTILITIES INCLUDE BUT ARE NOT LIMITED TO GAS, ELECTRIC, WATER, TELEPHONE, CABLE TOWNS, ETC.

DESIGN STANDARDS:

- RESIDENTIAL DOCK DESIGN IN ACCORDANCE WITH TABLE 3 – MINIMUM DESIGN CRITERIA RICRM SECTION 300.4. FIXED STRUCTURES INCLUDING STAIRWAYS ARE CAPABLE OF SUPPORTING 40 PSF LIVE LOAD + 10 PSF DEAD LOAD.
- FLOATING STRUCTURE CAPABLE OF SUPPORTING A UNIFORM LIVE LOAD OF 20 PSF OR A CONCENTRATED LOAD 400 LBS.

VESSEL INFORMATION :

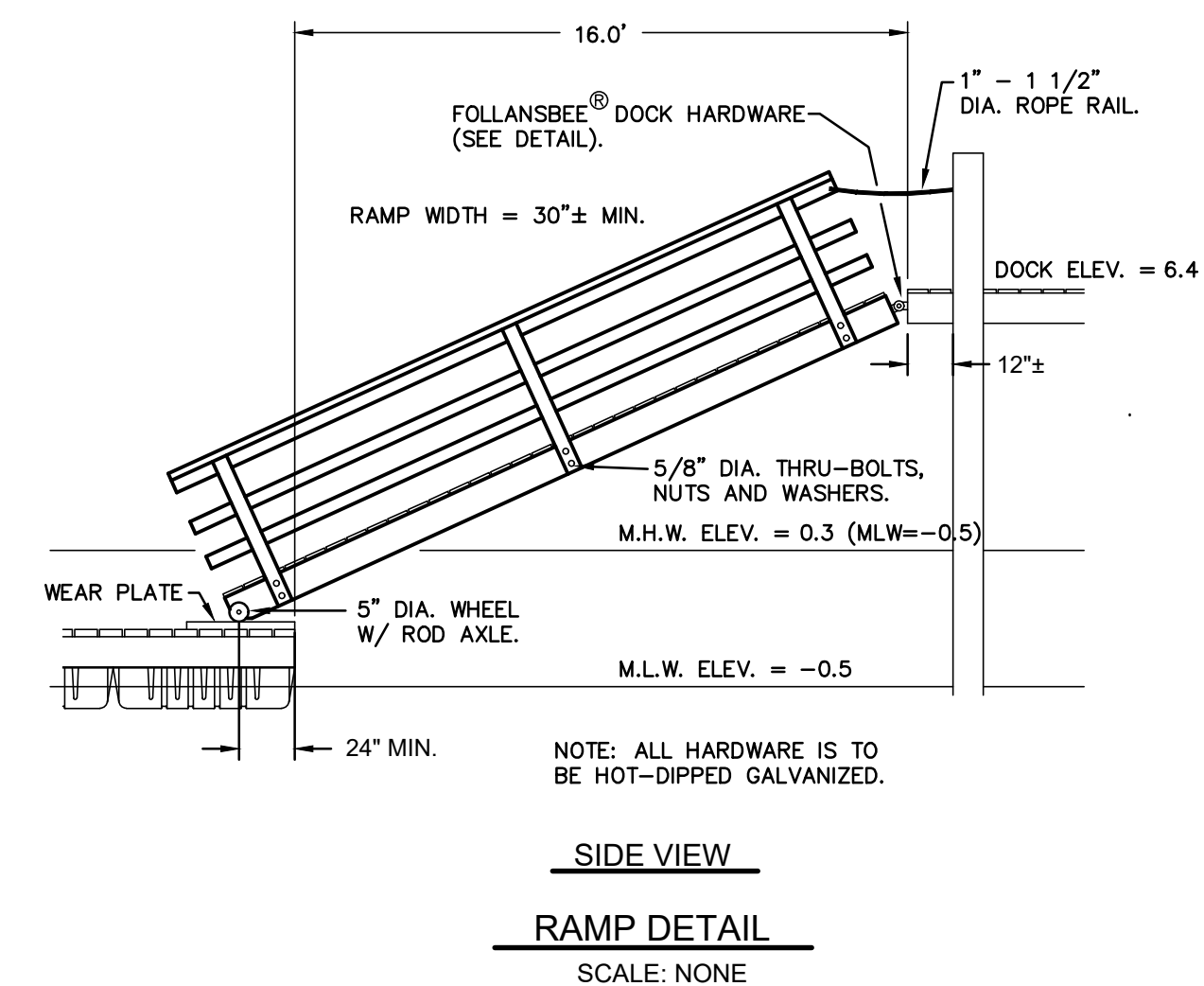
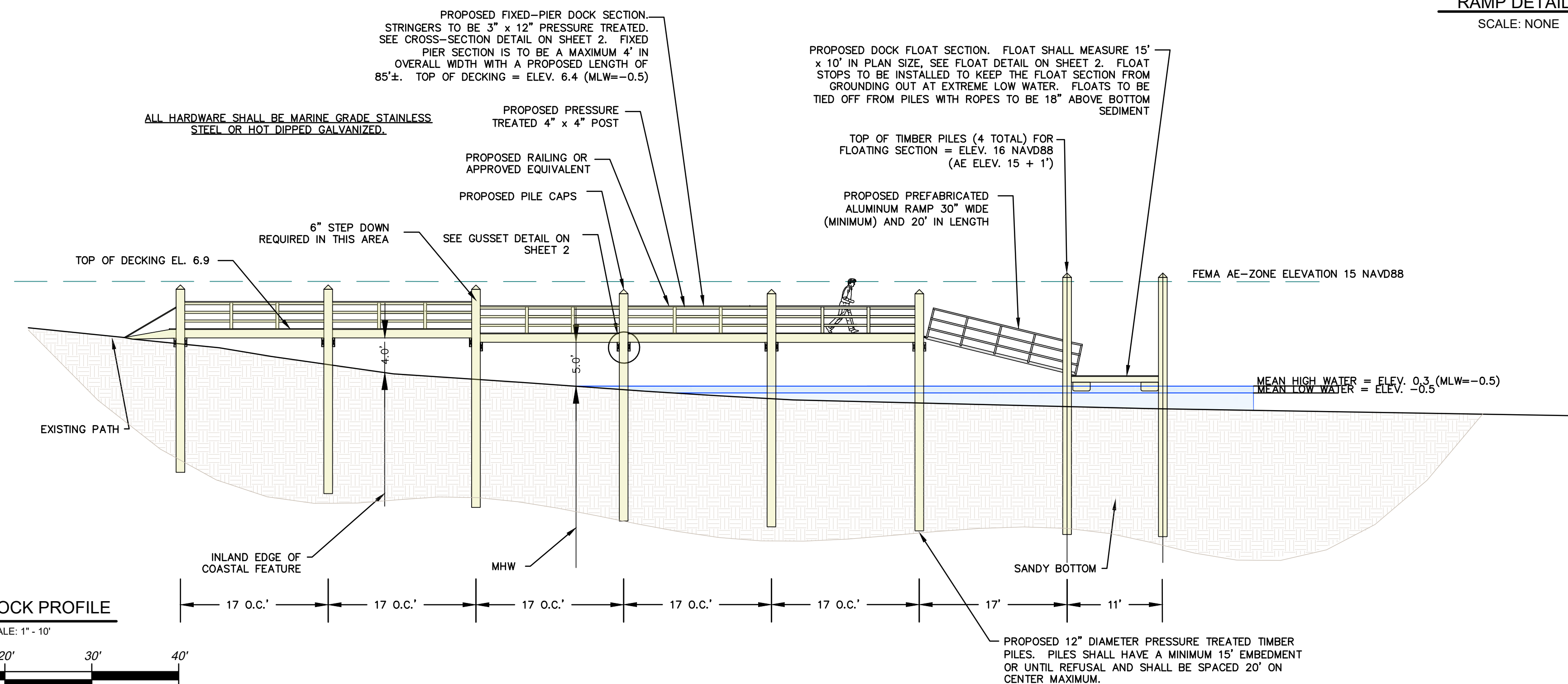
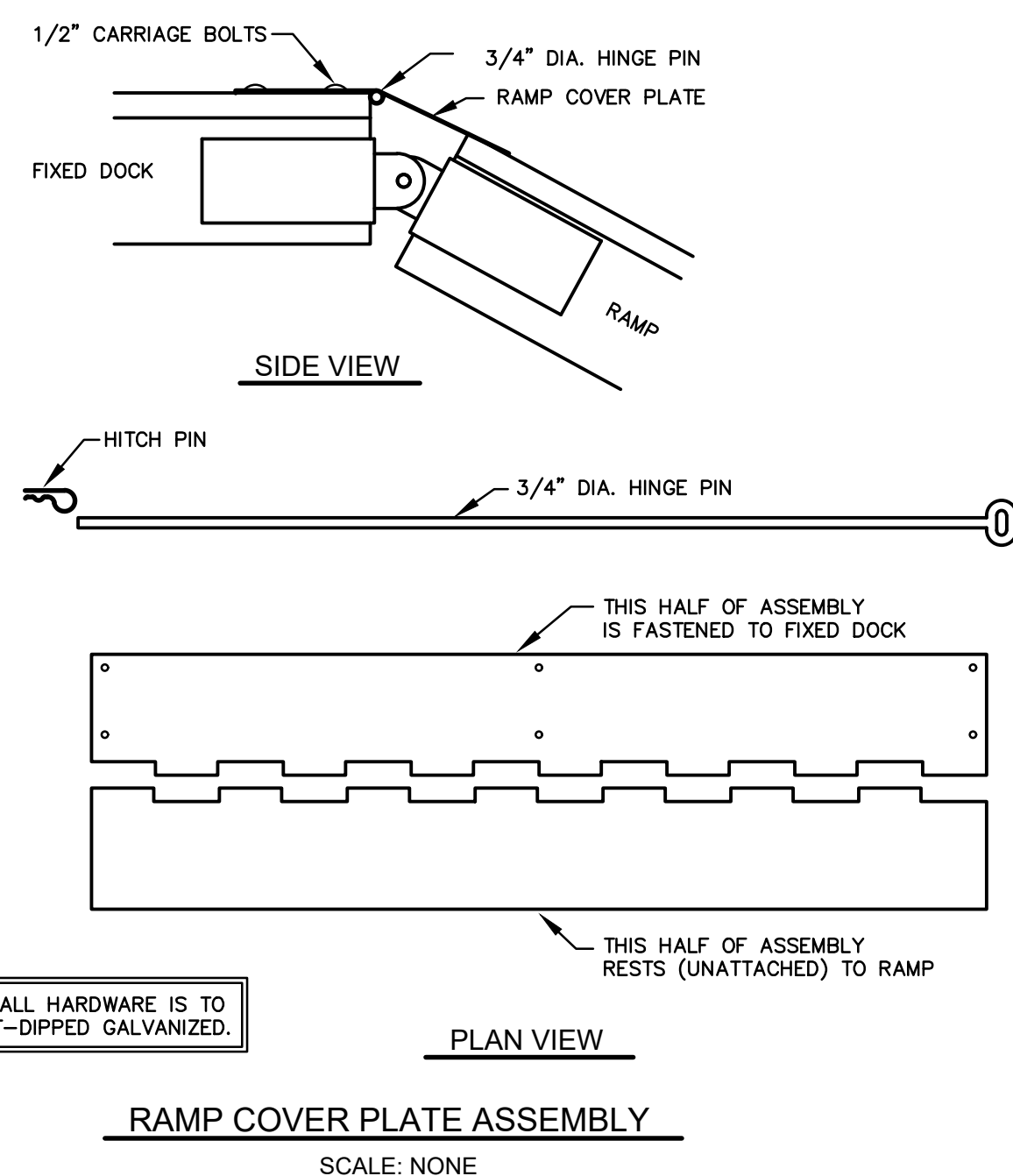
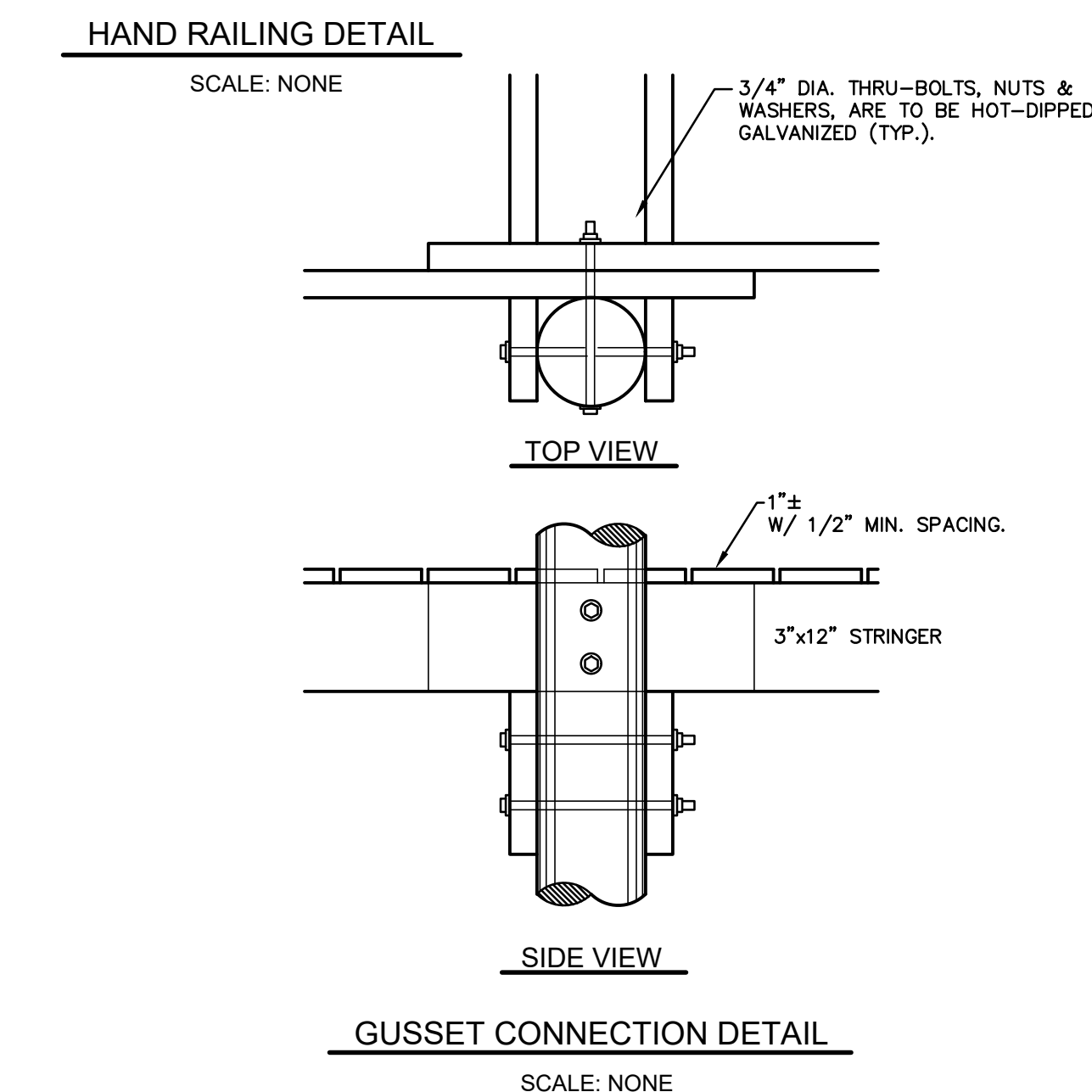
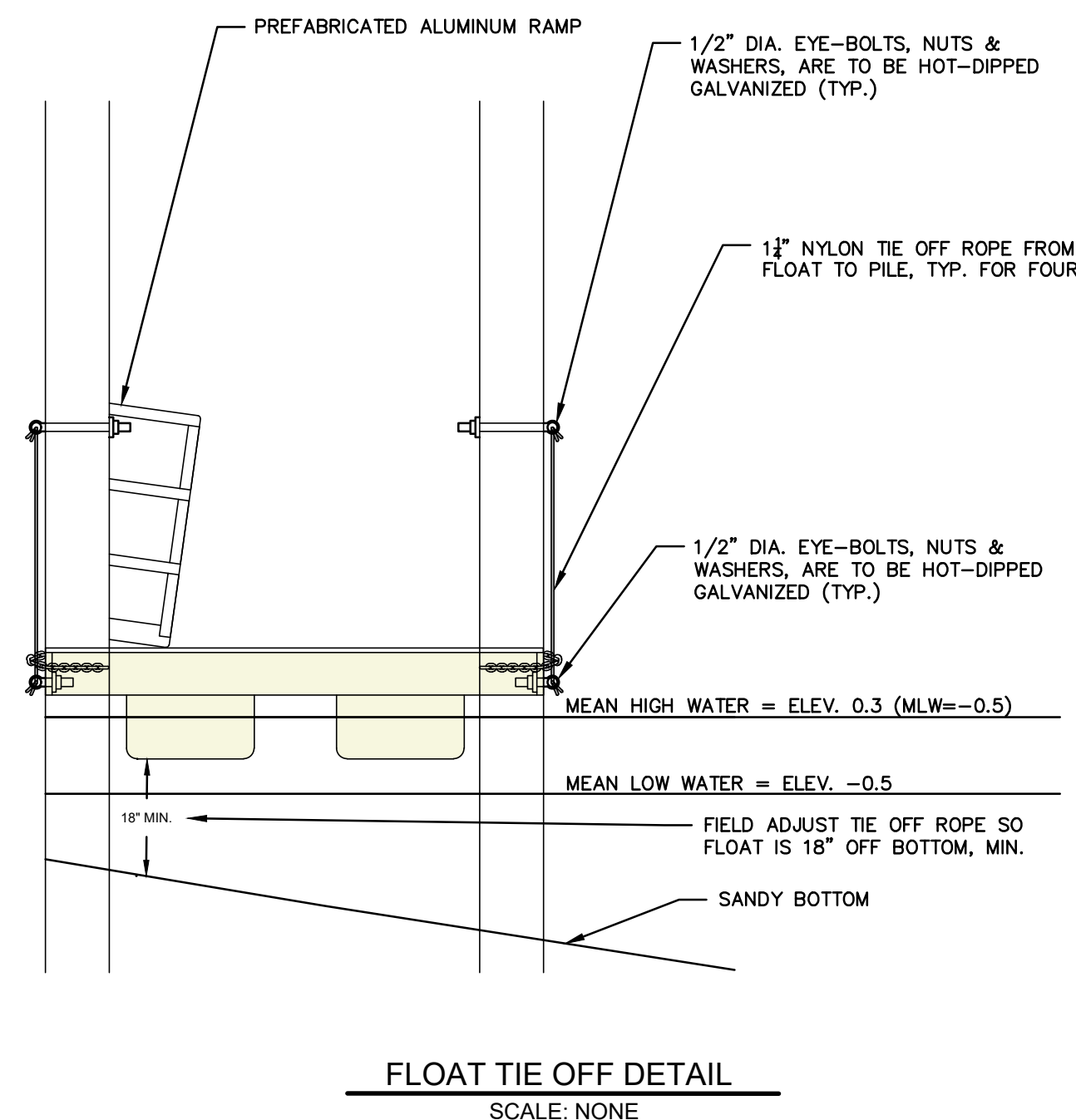
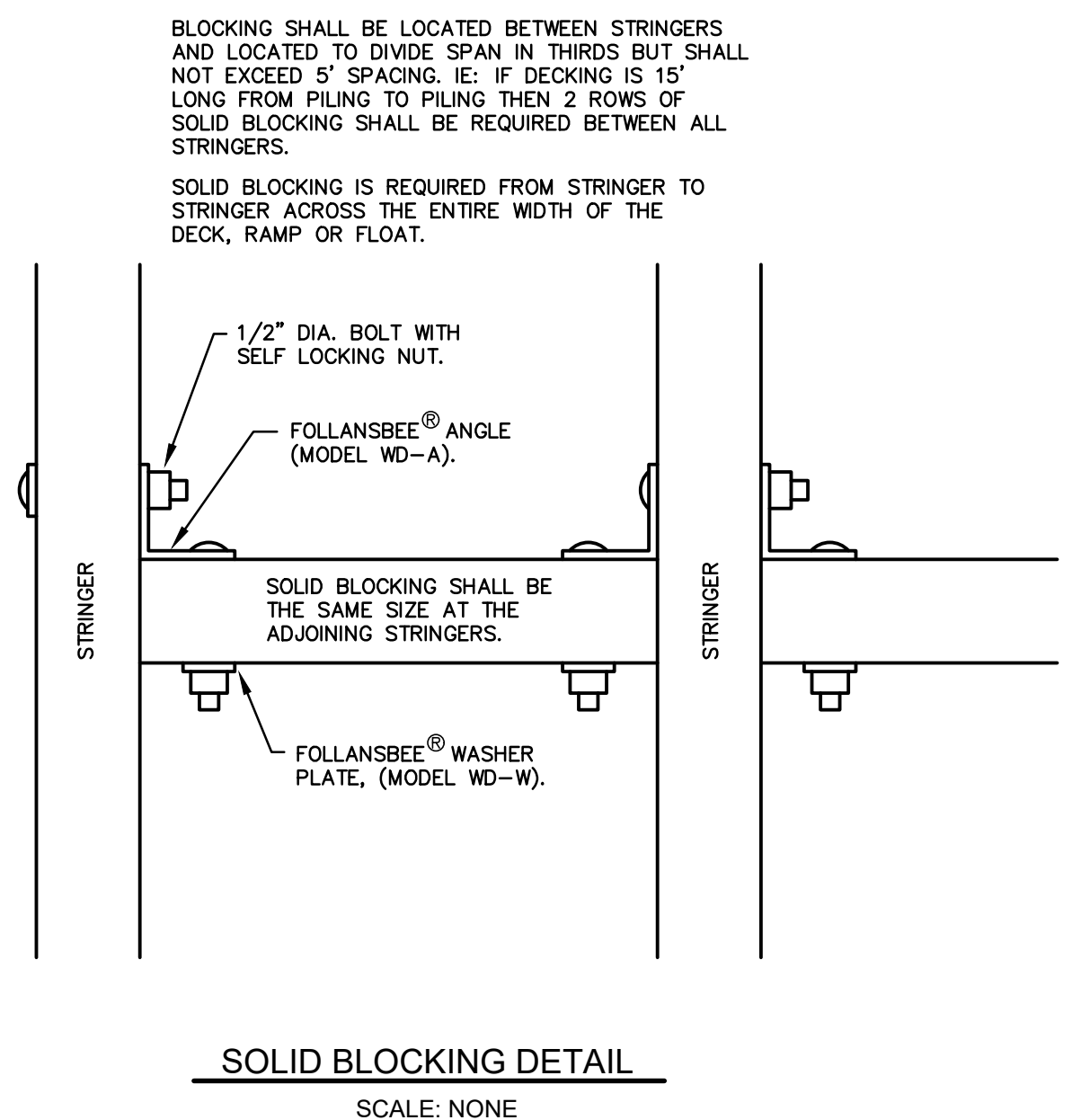
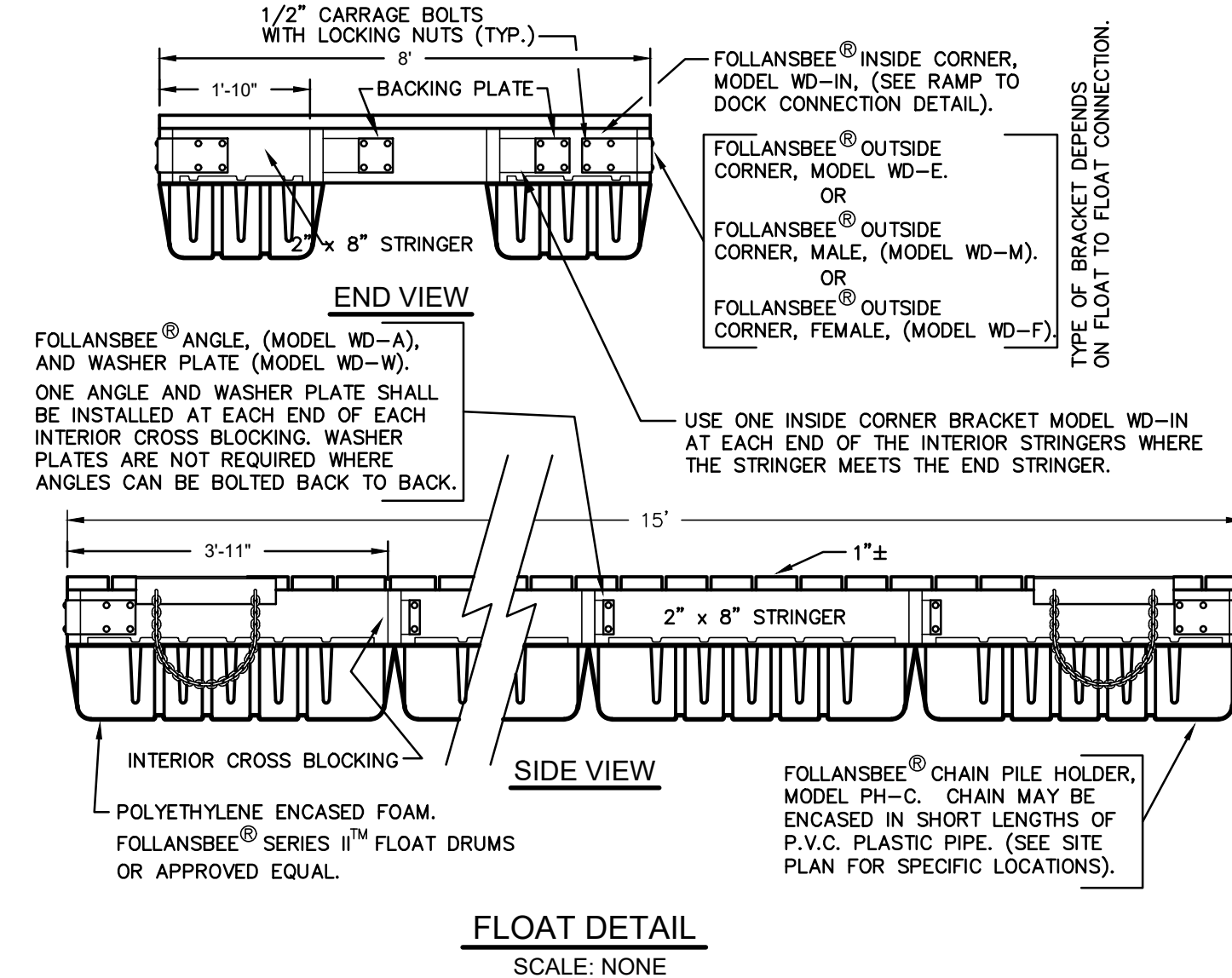
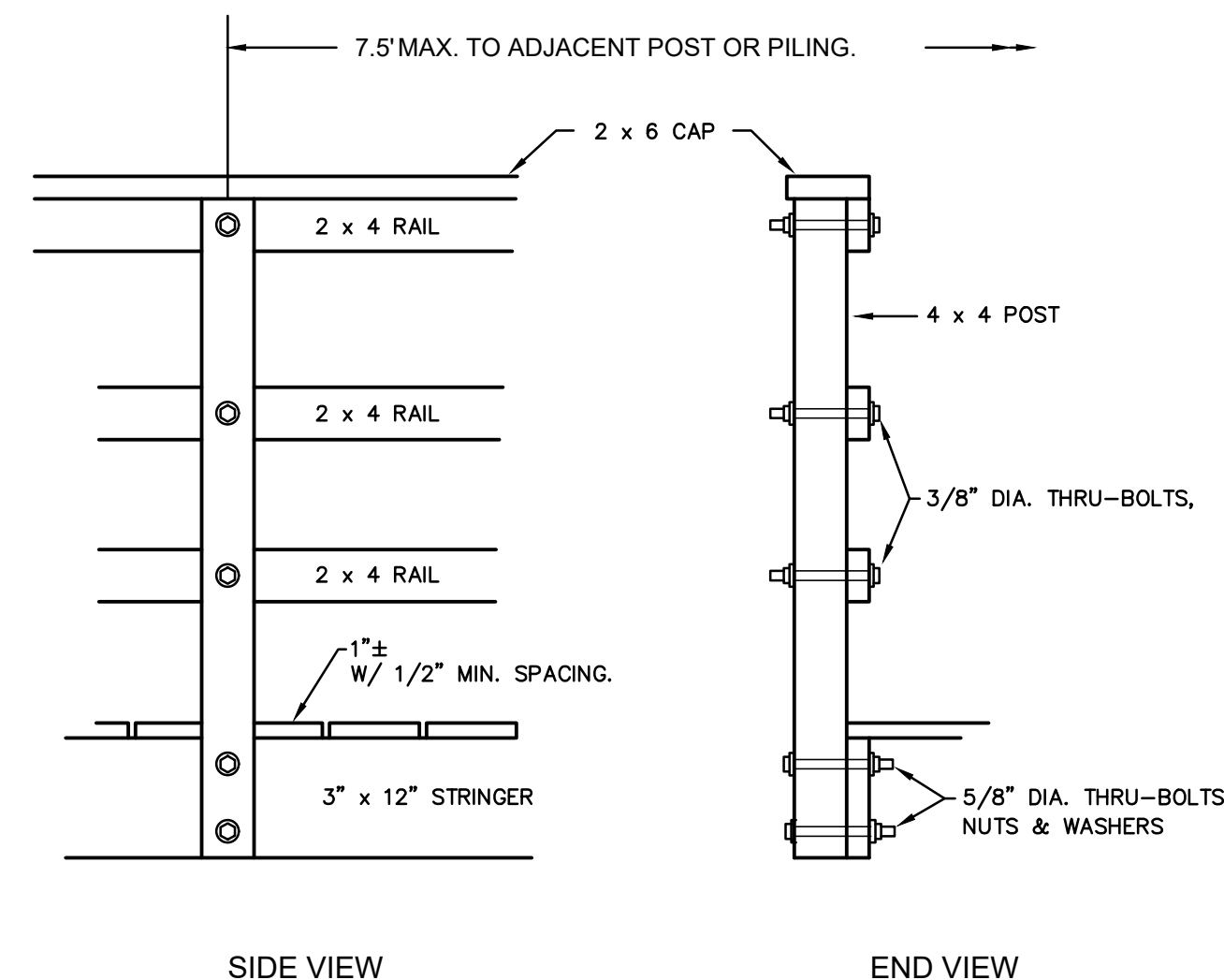
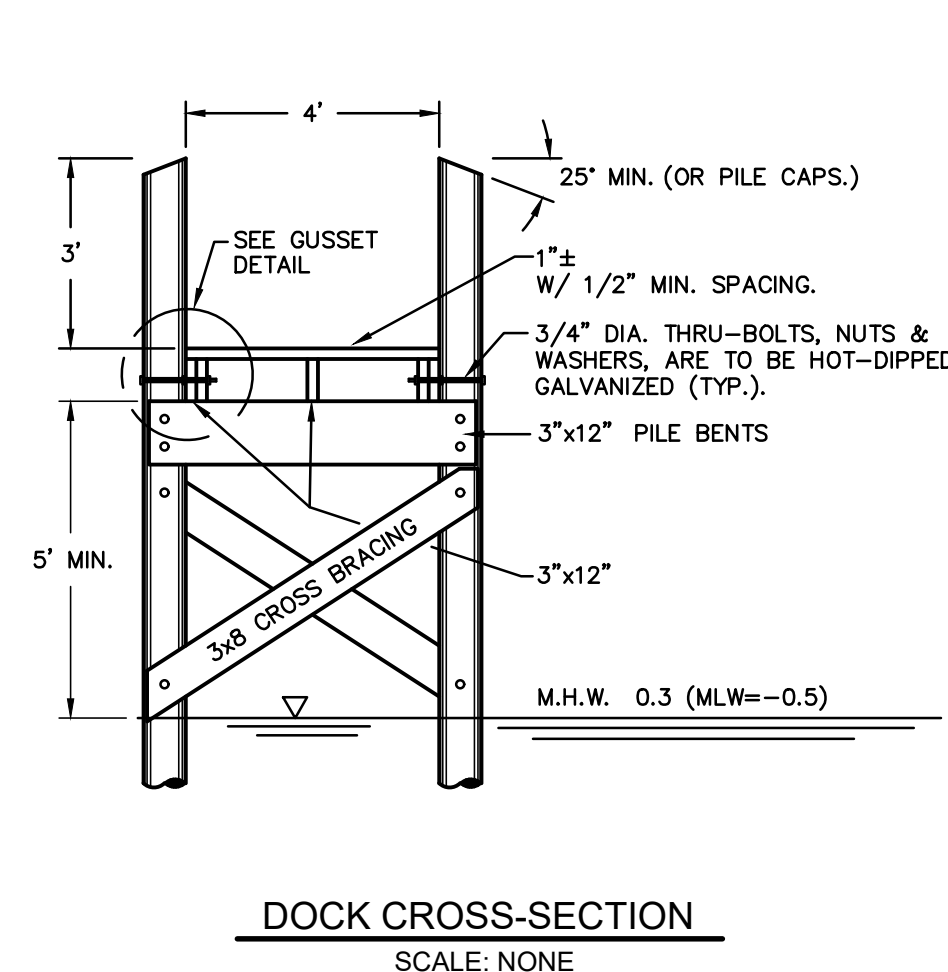
- THE OWNER HAS A 19' LONG STARCRAFT WITH OUTBOARD MOTOR AND A 19" DRAFT. NO MARINE TOILETS ANTICIPATED ON THE VESSEL. NO COMMERCIAL FISHING VESSELS SHALL UNLOAD ON DOCK.

WINTER SEASON STORAGE

- DURING WINTER SEASON STORAGE, THE FLOAT SECTION (IF PRESENT) MAY BE REMOVED FROM THE WATER OR RAISED ABOVE THE WATER SURFACE WITH A PULLEY SYSTEM AND LEFT IN-PLACE. THE FLOAT AND BOAT WILL BE STORED IN A UPLAND LOCATION ON THE SUBJECT LOT AND OUTSIDE CRMC BUFFER OR SETBACK AREAS.

SAV:

ECOTONES, INC. COMPLETED A SUBMERGED AQUATIC VEGETATION SURVEY FOR THE SUBJECT PROPERTY ON JULY 13, 2023. THE STUDY AREA EXTENDED 40' WIDE AND 90' OFFSHORE. NO SAV WAS OBSERVED WITHIN THE STUDY AREA. SEE ECOTONES REPORT DATED NOVEMBER 24, 2023.



BLOCKING SHALL BE LOCATED BETWEEN STRINGERS AND LOCATED TO DIVIDE SPAN IN THIRDS BUT SHALL NOT EXCEED 5' SPACING. IE: IF DECKING IS 15' LONG FROM PILING TO PILING THEN 2 ROWS OF SOLID BLOCKING SHALL BE REQUIRED BETWEEN ALL STRINGERS.

SOLID BLOCKING IS REQUIRED FROM STRINGER TO STRINGER ACROSS THE ENTIRE WIDTH OF THE DECK, RAMP OR FLOAT.

OTHER HARDWARE MAY BE SUBSTITUTED IN PLACE OF THE FOLLANSBEE® HARDWARE IF MATERIAL AND DESIGN ARE SIMILAR.

NOTE: ALL HARDWARE IS TO BE HOT-DIPPED GALVANIZED, OR STAINLESS STEEL.

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OTHER HARDWARE MAY BE SUBSTITUTED IN PLACE OF THE FOLLANSBEE® HARDWARE IF MATERIAL AND DESIGN ARE SIMILAR.

ALL STRINGERS SHALL BE ONE CONTINUOUS LENGTH FOR THE FULL LENGTH SHOWN ON THE PLANS.

NOTE: ALL HARDWARE IS TO BE HOT-DIPPED GALVANIZED.

ALL HARDWARE SHALL BE MARINE GRADE STAINLESS STEEL OR HOT DIPPED GALVANIZED.

PROPOSED FIXED-PIER DOCK SECTION.
STRINGERS TO BE 3" x 12" PRESSURE TREATED.
SEE CROSS-SECTION DETAIL ON SHEET 2. FIXED
PIER SECTION IS TO BE A MAXIMUM 4' IN
OVERALL WIDTH WITH A PROPOSED LENGTH OF
85'±. TOP OF DECKING = ELEV. 6.4 (MLW=-0.5)

PROPOSED DOCK FLOAT SECTION. FLOAT SHALL MEASURE 15' x 10' IN PLAN SIZE, SEE FLOAT DETAIL ON SHEET 2. FLOAT STOPS TO BE INSTALLED TO KEEP THE FLOAT SECTION FROM GROUNDING OUT AT EXTREME LOW WATER. FLOATS TO BE TIED OFF FROM PILES WITH ROPES TO BE 18" ABOVE BOTTOM

TOP OF TIMBER PILES (4 TOTAL) FOR-
FLOATING SECTION = ELEV. 16 NAVD88
(AE ELEV. 15 + 1')

FLOATING SECTION = ELEV. 1
(AE ELEV.)

PROPOSED PREFABRICATED
ALUMINUM RAMP 30" WIDE
(MINIMUM) AND 20' IN LENGTH

FEMA AE-ZONE ELEVATION 15 NAVD88

MEAN HIGH WATER = ELEV. 0.3 (MLW=-0.5)

INLAND EDGE OF -
COASTAL FEATURE

PROPOSED 12" DIAMETER PRESSURE TREATED TIMBER
PILES. PILES SHALL HAVE A MINIMUM 15' EMBEDMENT
OR UNTIL REFUSAL AND SHALL BE SPACED 20' ON
CENTER MAXIMUM.

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MARCH 19, 2024

DESIGNED BY:
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SCALE: AS SHOWN

DRAWN BY:

CHECKED BY:

DRAWING No.

SHEET 2 OF 2

CAROLYN L. DOYLE


5078

REGISTERED
PROFESSIONAL ENGINEER

C:\Users\cjd2\Documents\CJD PE2\Projects\O'Gorman - 5 Snowberry Ln, West\O'Gorman Snowberry Lane Westerly—for CJ Doyle.dwg 5/13/2024 9:24:58 AM

OTHER HARDWARE MAY BE SUBSTITUTED IN PLACE OF THE FOLLANSBEE® HARDWARE IF MATERIAL AND DESIGN ARE SIMILAR.

RECEIVED
5/15/2024
COASTAL RESOURCE
MANAGEMENT COUNCIL