



State of Rhode Island
Coastal Resources Management Council
Oliver H. Stedman Government Center
4808 Tower Hill Road, Suite 3
Wakefield, RI 02879-1900

(401) 783-3370
Fax (401) 783-2069

PUBLIC NOTICE

File Number: 2025-02-016

Date: March 4, 2025

This office has under consideration the application of:

Quonset Development Corporation
c/o Steven J. King, PE
95 Cripe Street
North Kingstown, RI 02852

for a State of Rhode Island Assent for the following:

The proposed project consists of installing a wave attenuator system along the north side of the Pier 2 pile supported extension, known as the "Pier 2 Extension" (Assessor Plat 193, Lot 15), in the Port of Davisville, Quonset Business Park (Figure 1). The purpose of the wave attenuator system will be to minimize wave energy and decrease wave height, thereby protecting the launching, berthing, testing, and retrieval of prototype seaglider vehicles and other small commercial water-craft along the western side of the Pier 2 Extension.

Project Location:	242 Terminal Way
City/Town:	North Kingstown
Plat/Lot:	193 / 15
Waterway:	Narragansett Bay

Plans of the proposed work can be requested at Cstaff1@crmc.ri.gov.

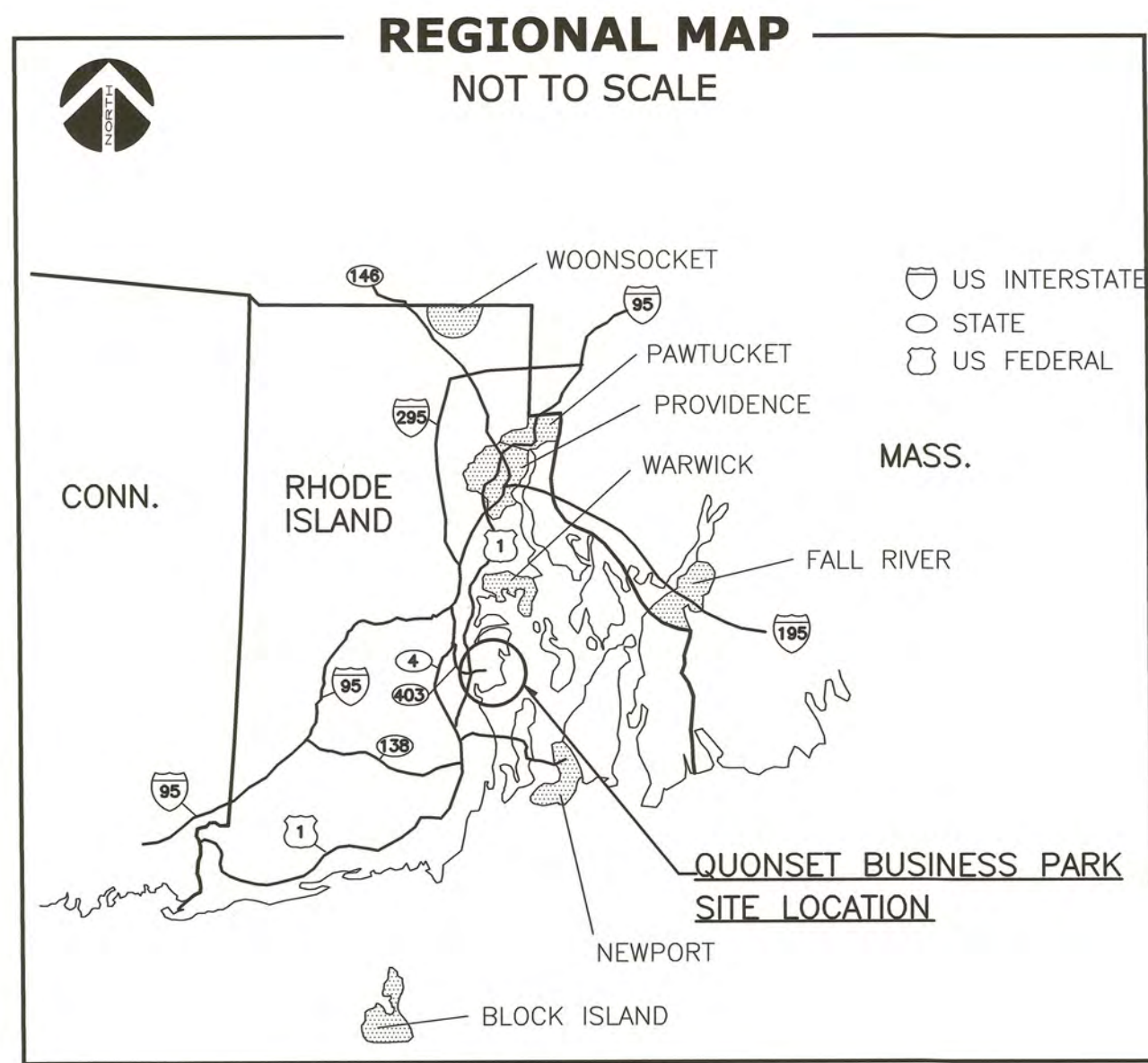
In accordance with the Administrative Procedures Act (Chapter 42-35 of the Rhode Island General Laws) you may request a hearing on this matter.

You are advised that if you have good reason to enter protests against the proposed work it is your privilege to do so. It is expected that objectors will review the application and plans thoroughly, visit site of proposed work if necessary, to familiarize themselves with the conditions and cite what law or laws, if any, would in their opinion be violated by the work proposed.

If you desire to protest, you must attend the scheduled hearing and give sworn testimony. A notice of the time and place of such hearing will be furnished you as soon as possible after receipt of your request for hearing. If you desire to request a hearing, to receive consideration, it should be in writing (**with your correct mailing address, e-mail address and valid contact number**) and be received at this office on or before April 3, 2025.

Please email your comments/hearing requests to: cstaff1@crmc.ri.gov; or mail via USPS to: Coastal Resources Management Council; O. S. Government Center, 4808 Tower Hill Road, Rm 116; Wakefield, RI 02879.

/bms



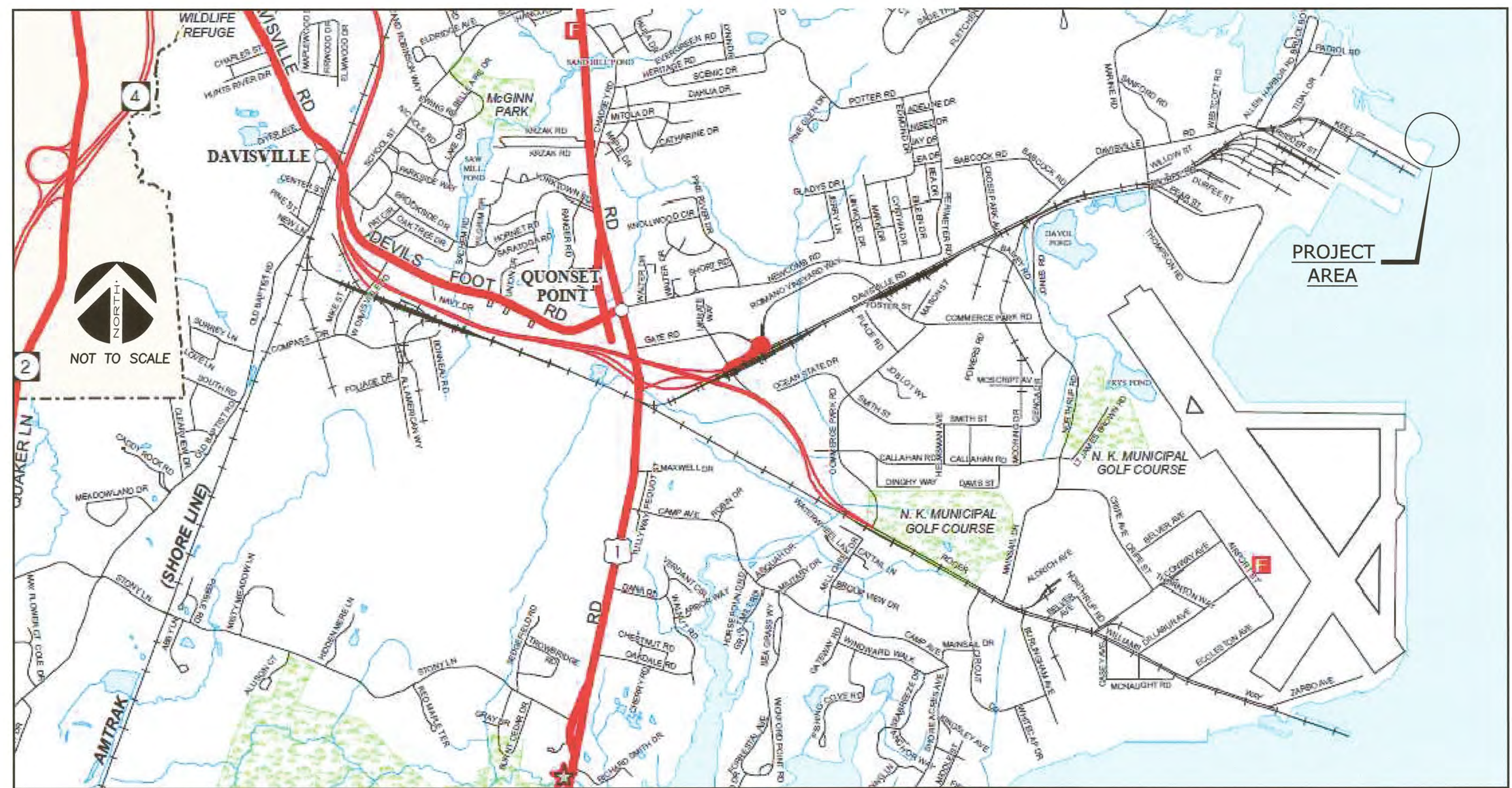
PIER 2 EXTENSION WAVE ATTENUATION PROJECT

AT THE
PORT OF DAVISVILLE
QDC CONTRACT NO.: 2023-006A

AP 193, Lot 015
242 Terminal Way
North Kingstown, Rhode Island
JANUARY 2024

SHEET No.	DESCRIPTION
G-0	COVER SHEET
G-1	NOTES I
G-2	NOTES II
G-3	LEGEND
C-1	OVERALL SITE PLAN
C-2	EXISTING CONDITIONS PLAN
C-3	PROPOSED WAVE ATTENUATOR PLAN
D-1	DETAILS I

SCHEDULE OF REVISIONS			
REV #	DESCRIPTION	DATE	APPROVED



**QUONSET BUSINESS PARK
PROJECT AREA**

QUONSET
DEVELOPMENT CORPORATION

Planning & Development
95 Cripe Street
North Kingstown, RI 02852
Tel: (401) 295-0044
Fax: (401) 268-9885

GREGORY J. COREN
No. 12255
REGISTERED
PROFESSIONAL ENGINEER
CIVIL

Gregory J. Coren
January 31, 2025
Sheets 1/8 to 8/8

RECEIVED
1/31/2025
CIVIL ENGINEERING
MANAGEMENT DIVISION

**PERMIT SUBMISSION
NOT FOR CONSTRUCTION**
01/31/2025

APPROVED	
GREGORY J. COREN, P.E. QDC MANAGER OF ENGINEER	
DATE: 01/31/2025	
SHEET NO. G-0 1 OF 8 SHEETS	DRAWING NO. 26916

1. THE SITE IS LOCATED IN NORTH KINGSTOWN, RHODE ISLAND.
2. THIS PROJECT IS OWNED AND FUNDED BY THE QUONSET DEVELOPMENT CORPORATION. THEREFORE, SOME OF THE REFERENCES AND TERMINOLOGY OF THE STANDARD SPECIFICATIONS MAY SEEM OUT OF PLACE. WHERE CONFLICTS EXIST BETWEEN THE STANDARD SPECIFICATIONS AND THE REQUIREMENTS CALLED FOR HEREIN, THE REQUIREMENTS CALLED FOR HEREIN SHALL GOVERN.
3. AERIAL MAPPING FOR THE SITE WAS PERFORMED BY WP SELLS IN MARCH 2010. HORIZONTAL DATUM IS R.I.S.P.C.S., N.A.D.1983 AND THE VERTICAL DATUM IS QUONSET VERTICAL DATUM (QVD). NOTE THAT ALL INFORMATION PROVIDED, BOTH THE MAPPING AND UTILITY ELEVATIONS ARE SUBJECT TO THE CONTRACTORS FIELD VERIFICATION.
4. THE PROPOSED WORK IS SITUATED IN A FEMA FLOOD ZONE 'VE' (EL.: 15 NAVD 88, EL.: 18.05 QVD) AS DESIGNATED ON THE "NATIONAL FLOOD INSURANCE PROGRAM, FIRM FLOOD INSURANCE RATE MAP WASHINGTON COUNTY, RHODE ISLAND (ALL JURISDICTIONS) PANEL 107 OF 368, TOWN OF NORTH KINGSTOWN MAP NUMBER 44009C0107J MAP REVISED: OCTOBER 16, 2013. FEDERAL EMERGENCY MANAGEMENT AGENCY."
5. EXISTING UTILITIES HAVE BEEN PLOTTED FROM BEST AVAILABLE DATA AND ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING DRAINAGE AND UTILITIES BOTH UNDERGROUND AND OVERHEAD BEFORE EXCAVATION BEGINS IN ACCORDANCE WITH THE "DIG SAFE LAW" ENACTED BY R.I. LEGISLATURE BILL NO. 795-291, WHICH BECAME EFFECTIVE JULY 1, 1979 AND BY CONTACTING THE INDIVIDUAL UTILITY COMPANIES. EXCAVATION SHALL BE IN ACCORDANCE WITH ALL STATUTES, ORDINANCES, RULES AND REGULATIONS OF ANY APPLICABLE CITY, TOWN, STATE OR FEDERAL AGENCY. THE CONTRACTOR SHOULD UNDERSTAND THAT NOT ALL UTILITIES SUBSCRIBE TO THE DIG SAFE PROGRAM. IT IS THE CONTRACTORS RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES AND ENSURE THAT ALL UTILITIES HAVE BEEN MARKED PRIOR TO COMMENCING THEIR WORK. ANY DAMAGE TO EXISTING UTILITIES MARKED IN THE FIELD, OR AS A RESULT OF FAILING TO CONTACT THE APPROPRIATE UTILITY COMPANY, SHALL BE REPAIRED OR REPLACED AT NO COST TO THE OWNER.
6. RIGHT-OF-WAY LINES, LEASE LINES, AND EASEMENT LINES, WHEN SHOWN ON THESE DRAWINGS, ARE CONSIDERED APPROXIMATE.
7. WATER ELEVATIONS AT THE SITE ARE TIDAL AND EXPECTED TO VARY.
8. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPROVED PLANS AND MATERIALS, STANDARD AND SPECIAL DETAILS, INVITATION TO BID, AND STANDARD SPECIFICATIONS. ANY WORK NOT MEETING THE APPROVED STANDARDS SHALL BE IMMEDIATELY REMOVED AND REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
9. THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF THE WORK. SAFETY PROVISIONS SHALL COMPLY WITH OSHA AND OTHER APPLICABLE FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS. THESE REQUIREMENTS SHALL APPLY CONTINUOUSLY AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS.
10. STANDARD SPECIFICATIONS, WHEN REFERENCED IN THESE DRAWINGS, SHALL MEAN THE RIDOT 2022 EDITION "STANDARDS AND SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" INCLUDING ALL APPROVED COMPILATION OF SPECIFICATIONS; AND RIDOT 2022 "STANDARD DETAILS" INCLUDING ALL REVISIONS. ALL PROJECT SITE IMPROVEMENTS SHALL CONFORM TO THESE REGULATIONS AND THE SUB-REFERENCES INCORPORATED THEREIN, WHERE SPECIFICALLY REFERENCED. IN CASE OF A DISCREPANCY BETWEEN THE STANDARD SPECIFICATIONS AND THE REQUIREMENTS STATED WITHIN THE DRAWINGS, THE REQUIREMENTS STATED WITHIN THE DRAWINGS SHALL PREVAIL.
11. CONSTRUCTION WILL BE SUBJECT TO INSPECTION BY THE QDC.
12. THE CONTRACTOR SHALL MAINTAIN IN THE FIELD UP-TO-DATE AS-BUILT DRAWINGS OF ALL GRADING, DRAINAGE, AND UTILITY WORK. UPON COMPLETION OF THE WORK AND PRIOR TO FINAL ACCEPTANCE THE CONTRACTOR SHALL PROVIDE A FULL-SIZE SET OF RED-LINED AS-BUILT DRAWINGS TO QDC AT NO ADDITIONAL COST TO THE OWNER.
13. LOCATIONS AND DEPTHS OF EXISTING UNDERGROUND PIPES, CONDUITS, AND STRUCTURES, AS SHOWN, ARE APPROXIMATE ONLY, BASED ON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL PERFORM, AT ITS EXPENSE, TEST PITS IN ADDITION TO THOSE IDENTIFIED ON THE DRAWINGS, TO DETERMINE THE EXACT LOCATIONS OF UTILITIES AND STRUCTURES ESPECIALLY FOR CONNECTIONS TO EXISTING UTILITIES. ANY EXPENSE AND/OR DELAY CAUSED BY UTILITIES AND STRUCTURES, OR DAMAGE THERETO, INCLUDING THOSE NOT SHOWN, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER. ANY AND ALL STRUCTURES DESIGNATED FOR REMOVAL SHALL BE DISPOSED OF OFF-SITE, BY THE CONTRACTOR.
14. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATING ITS WORK WITH THE TELEPHONE, CABLE TV, ELECTRIC AND GAS COMPANIES. THE OWNER WILL NOT BE RESPONSIBLE FOR ANY LOST TIME BY THE CONTRACTOR IN DELAYS IN THE CONTRACTOR'S WORK CAUSED BY CONSTRUCTION ACTIVITIES OF THE TELEPHONE, ELECTRIC, OR GAS COMPANIES.
15. CONTRACTOR SHALL CONTACT DIG SAFE A MINIMUM OF THREE (3) BUSINESS DAYS PRIOR TO CONSTRUCTION AT PHONE NO. 1-888-DIG-SAFE. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING DRAINAGE AND UTILITIES BOTH UNDERGROUND AND OVERHEAD BEFORE EXCAVATION BEGINS IN ACCORDANCE WITH THE "DIG SAFE LAW" ENACTED BY R.I. LEGISLATURE BILL NO. 795-291, WHICH BECAME EFFECTIVE JULY 1, 1979 AND BY CONTACTING THE INDIVIDUAL UTILITY COMPANIES. EXCAVATION SHALL BE IN ACCORDANCE WITH ALL STATUTES, ORDINANCES, RULES AND REGULATIONS OF ANY APPLICABLE CITY, TOWN, STATE OR FEDERAL AGENCY. THE CONTRACTOR SHOULD UNDERSTAND THAT NOT ALL UTILITIES SUBSCRIBE TO THE DIG SAFE PROGRAM. IT IS THE CONTRACTORS RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES AND ENSURE THAT ALL UTILITIES HAVE BEEN MARKED PRIOR TO COMMENCING THEIR WORK. ANY DAMAGE TO EXISTING UTILITIES MARKED IN THE FIELD, OR AS A RESULT OF FAILING TO CONTACT THE APPROPRIATE UTILITY COMPANY, SHALL BE REPAIRED OR REPLACED AT NO COST TO THE OWNER.
16. ALL EXISTING PAVEMENT DISTURBED DURING CONSTRUCTION SHALL BE IMMEDIATELY REPAIRED WITH TEMPORARY PAVEMENT. PERMANENT PAVEMENT SHALL MEET RIDOT REQUIREMENTS AND SPECIFICATIONS AS DETAILED IN THE CONTRACT DOCUMENTS.
17. ALL EXISTING CURBING, SIDEWALK AND OTHER PAVEMENT DISTURBED BY THE CONTRACTOR SHALL BE REPLACED AND RESTORED, IN KIND AT NO ADDITIONAL COST TO THE OWNER.

1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT CONSTRUCTION ACTIVITIES PROCEED IN A SMOOTH LOGICAL SEQUENCE AND IN A MANNER THAT WILL NOT CAUSE ANY DAMAGE TO OR CREATE EXCESSIVE STRESSES, LOADS, OR VIBRATIONS ON EXISTING OR PROPOSED STRUCTURES.
2. THE CONTRACTOR SHALL PROVIDE ADEQUATE FENCING, BARRICADES, AND SIGNS TO ENSURE SAFETY.
3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST OSHA REGULATIONS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A LEVEL AND STABLE SURFACE ON WHICH EQUIPMENT WILL OPERATE.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEVELOPING ITS OWN PICK/LIFT PROCEDURES INCLUDING, BUT NOT LIMITED TO SAFE PICKING RADII, LIFTING DEVICES AND SLINGS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE WEIGHT OF EACH LIFT AND FOR ENSURING THE STABILITY OF EACH LIFT DURING ALL PHASES OF WORK.
7. THE CONTRACTOR SHALL TAKE THE NECESSARY PRECAUTIONS TO LOCATE AND PROTECT EXISTING UTILITIES IN THE AREA AS REQUIRED. OVERHEAD POWER LINES ADJACENT TO WORK AREAS ARE TO BE SHUT DOWN DURING OPERATIONS WHEN THE CONTRACTOR BELIEVES THEY MAY INTERFERE, OR ARE TOO CLOSE TO THE WORK. WHEN POWER LINES IN THE WORK AREA CAN NOT BE DEENERGIZED, THE CONTRACTOR SHALL MAINTAIN A SAFE DISTANCE AS DETERMINED BY OSHA. ALL UTILITIES SHALL BE LOCATED AND MARKED IN ACCORDANCE WITH OSHA STANDARDS.
8. ALL HOLES AND SLOTS SPECIFIED IN STEEL PLATES AND SHAPES FOR BOLTS SHALL BE FACTORY DRILLED OR MAG-DRILLED IN THE FIELD. NO BURNING SHALL BE ALLOWED.

1. THE HORIZONTAL CONTROL DATUM FOR THIS PROJECT IS NAD 83.
2. THE VERTICAL CONTROL DATUM FOR THIS PROJECT IS THE QUONSET VERTICAL DATUM (QVD).
3. LANDSIDE CONTOURS AND SPOT ELEVATIONS SHOWN ON THESE PLANS ARE REFERENCED TO QVD, UNLESS NOTED OTHERWISE. WATERSIDE CONTOURS SHOWN ON THESE PLANS ARE REFERENCED TO MLLW.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING ALL LAYOUT WORK FROM THE CONTROL MONUMENTATION PROVIDED.

1. THE WAVE ATTENUATION AND ANCHORING SYSTEM IS BEING DESIGNED FOR THE FOLLOWING WIND AND WAVE CRITERIA:
 - A. WIND SPEED: 129 MPH, RISK CATEGORY II, EXPOSURE CLASS D.
 - B. SIGNIFICANT WAVE HEIGHT: 3.9 FT (100-YEAR EVENT), 4 SECOND PERIOD
 - C. LOAD COMBINATIONS AS SPECIFIED BY ASCE-7.

GREGORY J. COREN, P.E.
QDC MANAGER OF ENGINEERING
DATE 01/31/2025

Davisville Waterfront District
Quonset Business Park

RECEIVED
1/31/2025
COASTAL RESOURCES
MANAGEMENT COUNCIL

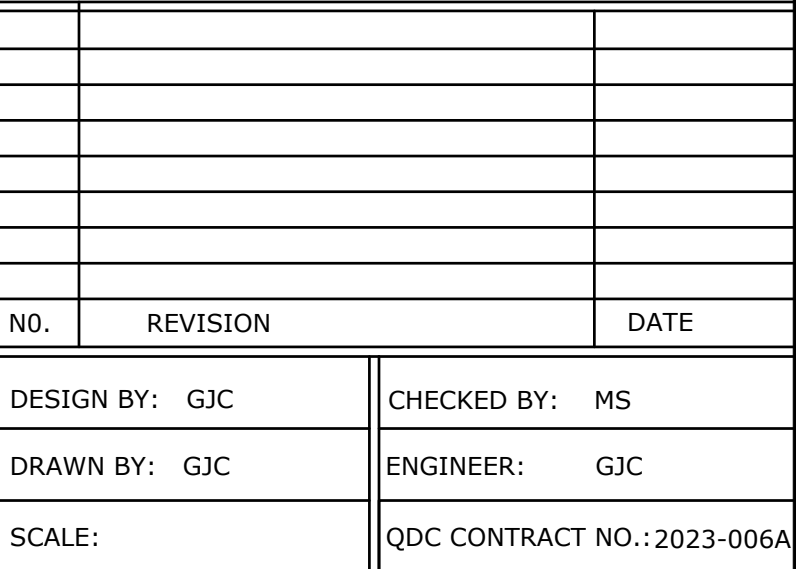
**PERMIT SUBMISSION
NOT FOR CONSTRUCTION**
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1. GEOTECHNICAL INFORMATION, AS INCLUDED AND SHOWN IN THE CONTRACT DOCUMENTS, WAS OBTAINED BY THE RHODE ISLAND ECONOMIC DEVELOPMENT CORP. AND THE QDC FOR USE IN THE COLLECTION OF GENERAL SITE INFORMATION RELATIVE TO SUBSURFACE CONDITIONS.
2. IT IS INTENDED THAT SUBSURFACE INFORMATION, AS NOTED ABOVE, BE USED ONLY AS AN INDICATION OF POSSIBLE SUBSURFACE CONDITIONS, AND THAT UPON THE CONTRACTOR'S REVIEW, FURTHER SUBSURFACE EXPLORATIONS MAY BE WARRANTED. SUCH EXPLORATIONS SHALL BE PERFORMED AT THE CONTRACTOR'S EXPENSE.
3. THE CONTRACTOR SHALL USE THE INFORMATION PROVIDED AT ITS OWN RISK AND SHALL COMPLETELY HOLD HARMLESS THE QDC FROM ALL CONSEQUENCES AND/OR FAULT ARISING FROM ITS USE.

1. DISTURBANCE OF SOIL SURFACES IS REGULATED BY STATE LAW. ALL WORK SHALL COMPLY WITH THE RHODE ISLAND SOIL EROSION & SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
2. THE SOIL EROSION CONTROL MEASURES SHOWN AND DETAILED HEREIN SHOULD BE CONSIDERED THE MINIMUM ACCEPTABLE STANDARDS FOR THE PROJECT. THE INITIAL METHOD OUTLINED IS INTENDED TO ROUTE ALL PRACTICABLE SURFACE WATER FROM THE EXCAVATION AREAS INTO EROSION CONTROL FACILITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CLEAN ROADS, CONTROL DUST AND INSTALL ANY ADDITIONAL PROTECTIVE MEASURES NECESSARY TO CONTROL RUNOFF FROM THE SITE DURING CONSTRUCTION ACTIVITIES AND ENSURE THAT THE PROJECT SITE AND ALL ADJACENT PROPERTIES ARE MAINTAINED IN A CLEAN, MUD AND DUST FREE CONDITION AT ALL TIMES.
3. PRIOR TO COMMENCEMENT OF SITE PREPARATION OR EARTHWORK THE CONTRACTOR SHALL IMPLEMENT THE SOIL EROSION AND SEDIMENT CONTROL PLAN (SESCP). THE CONTRACTOR SHALL COMPLY WITH THE SOIL EROSION AND SEDIMENT CONTROL PLAN THROUGHOUT THE DURATION OF THE WORK.
4. CONTRACTOR SHALL STAKE OUT OR FENCE OFF THE LIMIT OF WORK IN THE FIELD TO ENSURE THAT ALL WORK WILL OCCUR WITHIN THE APPROVED LIMITS OF DISTURBANCE.
5. PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES ON SITE, A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD ON SITE TO ESTABLISH SUPERVISORY AND INSPECTION PROCEDURES FOR SEDIMENT AND EROSION CONTROL MEASURES. THE MEETING SHALL BE ATTENDED BY THE CONTRACTOR AND A REPRESENTATIVE FROM QDC.
6. THE EROSION CONTROL MEASURES MAY HAVE TO BE ALTERED FROM THAT SHOWN ON THE APPROVED PLANS IF DRAINAGE PATTERNS DURING CONSTRUCTION ARE DIFFERENT FROM THE FINAL PROPOSED DRAINAGE PATTERNS. IT IS THE CONTRACTORS RESPONSIBILITY TO INSTALL & MAINTAIN EROSION CONTROL DEVICES FOR ALL DRAINAGE PATTERNS CREATED AT VARIOUS STAGES DURING CONSTRUCTION.
7. THE EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY RAINSTORM TO ENSURE THEY ARE FUNCTIONING PROPERLY, REPAIR ANY DAMAGED AREAS IMMEDIATELY AND REMOVE ALL CAPTURED SEDIMENT AS REQUIRED. A "WALK THROUGH" INSPECTION OF THE CONSTRUCTION SITE SHOULD BE COMPLETED BEFORE ANTICIPATED RAINFALL EVENTS.
8. ADDITIONAL EROSION CONTROL MEASURES SHALL BE PLACED AS DIRECTED BY QDC.
9. DEWATERING OF ALL EXCAVATIONS SHALL BE PUMPED THROUGH DEWATERING BAGS AND DISCHARGED INTO A TEMPORARY SILTATION BASIN WITHIN THE APPROVED PROJECT LIMIT OF DISTURBANCE.
10. AT NO TIME SHALL SILT LADEN WATER BE ALLOWED TO ENTER ENVIRONMENTALLY SENSITIVE AREAS, EXISTING OR NEW DRAINAGE SYSTEMS. RUNOFF FROM DISTURBED AREAS SHALL BE DIRECTED THROUGH A TEMPORARY SILTATION BASIN & EROSION CONTROL MEASURES PRIOR TO ENTERING ANY ENVIRONMENTALLY SENSITIVE AREA OR DRAINAGE SYSTEM.
11. CONTRACTOR SHALL REDUCE SURFACE AND AIR MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES CAUSED BY CONSTRUCTION ACTIVITIES. CONSTRUCTION ACTIVITIES SHALL BE SO SCHEDULED SO THAT THE LEAST AREA OF DISTURBED SOIL IS EXPOSED AT ONE TIME. IN DISTURBED AREAS NOT SUBJECT TO TRAFFIC, CONTRACTOR SHALL USE TEMPORARY SEEDING AND MULCHING OPERATIONS. IN DISTURBED AREAS SUBJECT TO TRAFFIC, CONTRACTOR SHALL SPRINKLE SURFACE WITH WATER TO MINIMIZE DUST. DUST CONTROL MEASURES SHALL BE MAINTAINED THROUGH DRY WEATHER PERIODS UNTIL ALL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED.
12. ALL DISTURBED AREAS NOT COVERED BY BUILDING, PAVEMENT OR OTHER GROUND COVER SHALL BE PLANTED IN ACCORDANCE WITH THE LOAM AND SEEDING SECTION HEREIN. IF SEEDING CANNOT BE COMPLETED IMMEDIATELY, DISTURBED AREAS SHALL BE STABILIZED WITH A SPREAD HAY MULCH APPROPRIATELY ANCHORED OR EROSION CONTROL BLANKET.
13. SURFACE STABILIZATION MUST BE IMPLEMENTED WITHIN 14 DAYS AFTER CONSTRUCTION ACTIVITY IN A PORTION OF THE SITE HAS CEASED OR BEEN TEMPORARY HALTED.
14. THE CONTRACTOR SHALL INSTALL REINFORCED SILT BARRIER AROUND STOCKPILE AREAS, TRUCK WASH DOWN AREAS AND VEHICLE REFUELING AREAS.
15. AS SOON AS CONSTRUCTION IS COMPLETED, ALL DRAINAGE STRUCTURES SHALL BE CLEANED OF ANY ACCUMULATED SEDIMENT AND DEBRIS. THEREAFTER, CLEAN UP SHOULD FOLLOW LONG TERM MAINTENANCE PLAN.
16. THE CONTRACTOR SHALL REMOVE CONSTRUCTION FENCE, SILT BARRIER AND EROSION CONTROL MEASURES ONLY AFTER ESTABLISHMENT OF PERMANENT VEGETATION.

1. EXCAVATED MATERIAL GENERATED DURING THE EXECUTION OF THIS WORK SHALL BE TEMPORARILY STOCKPILED.
2. THE CONTRACTOR SHALL MAINTAIN THE STOCKPILES AND THE AREAS AROUND THEM SO THEY ARE GRADED TO DRAIN. THE CONTRACTOR SHALL ALSO TAKE ALL NECESSARY PRECAUTIONS TO MINIMIZE EROSION FROM THE STOCKPILES INCLUDING, BUT NOT LIMITED TO, THE INSTALLATION OF HAY BALES OR SILT FENCES.
3. EXCESS MATERIAL THAT DOES NOT MEET THE SPECIFIED GRADATION REQUIREMENTS AND/OR EXCAVATED MATERIAL IN EXCESS OF THAT REQUIRED FOR COMPLETING THIS PROJECT SHALL BE STOCKPILED AT THE QDC'S ACTIVE MATERIAL/STORAGE STOCKPILE AREA.
4. MATERIAL THAT IS VISIBLY OR OLFACTORY CONTAMINATED SHALL BE TEMPORARILY PLACED ON 10 MIL PLASTIC TARPS AND THE STOCKPILED MATERIAL COVERED WITH 10 MIL PLASTIC TARPS TO PROTECT IT FROM THE ELEMENTS. QDC SHALL BE THE FIRST POINT OF CONTACT IF ANY MATERIAL APPEARS TO BE VISIBLY OR OLFACTORY CONTAMINATED, AND SHALL PROCESS THE MATERIAL AT QDC'S DIRECTION.

1. ALL BOLTS SHALL BE HOT-DIPPED GALVANIZED, ASTM F3125 GR. A325 TYPE 3.
2. ALL NUTS AND WASHERS SHALL BE HOT DIPPED GALVANIZED, AND CONFORM TO ASTM A563 DH36 AND F436-3, RESPECTIVELY.
3. ALL MISC. STEEL HARDWARE SHALL BE HOT-DIPPED GALVANIZED A36 STEEL (MIN).
4. ALL STEEL PLATES AND STRUCTURAL SHAPES SHALL BE HOT-DIPPED GALVANIZED, ASTM A36, GR. 36 STEEL.
5. THE WAVE ATTENUATION SYSTEM SHALL BE THE WAHOO WAVE, AS MANUFACTURED/SUPPLIED BY WAHOO DOCKS, OR APPROVED EQUAL.



CONTRACT NO.:

FILE NAME:

APPROVED BY:

GREGORY J. COREN, P.E.
QDC MANAGER OF ENGINEERING

DATE 01/31/2025

Davisville Waterfront District
Quonset Business Park®

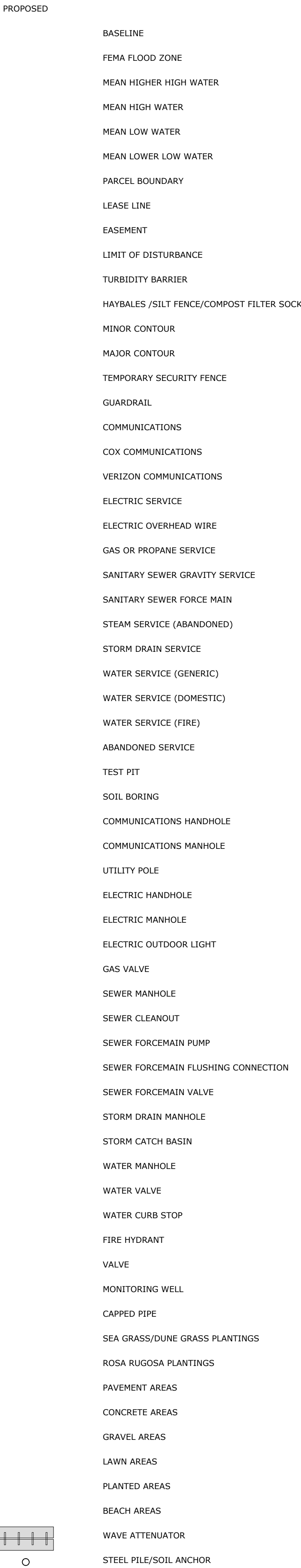
SHEET NO. G-2 3 OF 8 SHEETS	DRAWING NO. 26916
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**PERMIT SUBMISSION
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MANAGEMENT COUNCIL

LEGEND:

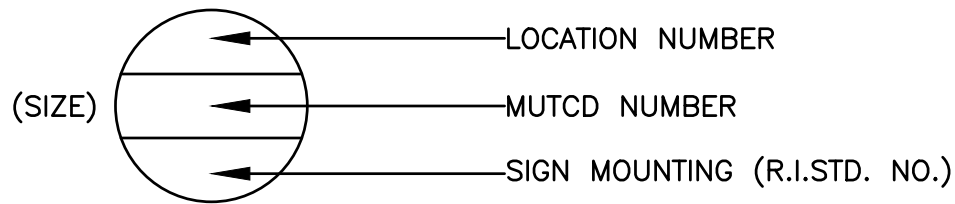
NOTE: LEGEND ITEMS ARE STANDARD AND DO NOT APPEAR ON EVERY SHEET.



R.I. STANDARD DETAILS:

- 7.1.0 - PRECAST CONCRETE CURB (SEE DETAIL D21)
- 7.1.1 - 3' -0" PRECAST CONCRETE TRANSITION CURB (SEE DETAIL D22)
- 7.1.2 - 6' -0" PRECAST CONCRETE TRANSITION CURB (SEE DETAIL D23)
- 7.2.4 - PRECAST CONCRETE CAR STOPS (SEE DETAIL D24)
- 9.7.0 - DEWATERING BASIN (SEE DETAIL D14)
- 9.9.0 - CONSTRUCTION ACCESS (SEE DETAIL D15)
- 17.7.3 - TRAFFIC MONITORING STATION LOOP DIMENSIONS (SEE DETAIL D93)
- 17.7.4 - TRAFFIC MONITORING STATION LOOP WIRE INSTALLATION (SEE DETAIL D94)
- 17.7.5 - TRAFFIC MONITORING STATION SAWCUT CROSS-SECTION WITH A PAVEMENT OVERLAY (SEE DETAIL D94)
- 24.1.0 - SIGN POST (SEE DETAIL D25)
- 34.4.0 - STEEL BACKED TIMBER GUARDRAIL (SEE DETAIL D91)
- 43.1.0 - CONCRETE SIDEWALK (SEE DETAIL D37)

TYPICAL SIGN DESIGNATION SYMBOL



VERTICAL DATUM CONVERSION:

	NAVD88	QVD	2017 MLW
MHHW	1.88	4.93	4.06
MHW	1.63	4.68	3.81
NAVD'88	0.00	3.05	2.81
MLW	2.18	0.87	0.00
MLLW	-2.33	0.72	0.15
QVD	-3.05	0.00	-0.87

NOTES:

- THE TIDAL DATA SHOWN WAS TAKEN THE U.S. DEPARTMENT OF COMMERCE, NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION (NOAA) ONLINE VERTICAL DATUM TRANSFORMATION PROGRAM, DETERMINED AT THE FOLLOWING LOCATIONS:

LOCATION: QUONSET, RHODE ISLAND
LATITUDE: 41.614 N
LONGITUDE: 71.405 W
- REFERENCE TO QVD WAS OBTAINED FROM A PLAN TITLED "SURVEY CONTROL PLAN FOR RHODE ISLAND ECONOMIC DEVELOPMENT CORPORATION" PREPARED BY FOSTER SURVEY COMPANY, OF WARWICK, RI AND LAST REVISED JULY 23, 2018.

PROJECT BENCH MARKS:

QDC CONTROL PT. 16
LOCATED AT THE TERMINUS OF ROGER WILLIAMS WAY
DISC 4049B
ELEVATION (QVD) 10.78
N: 183200.07
E: 353309.32

QDC CONTROL PT. 60
LOCATED AT COMPASS ROSE BEACH
IRON ROD SET
ELEVATION (QVD) 13.04
N: 183471.75
E: 351142.59

PERMIT SUBMISSION
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01/31/2025

QUONSET
DEVELOPMENT CORPORATION
PLANNING & DEVELOPMENT
95 Cripe Street
North Kingstown, RI 02852
Tel.: (401) 295-0044
Fax: (401) 268-9885
www.quonset.com

NO.	REVISION	DATE

DESIGN BY: GJC	CHECKED BY: MS
DRAWN BY: GJC	ENGINEER: GJC
SCALE:	QDC CONTRACT NO.:2023-006A

CONTRACT NO.:
FILE NAME:
APPROVED BY:
GREGORY J. COREN, P.E. QDC MANAGER OF ENGINEERING
DATE 01/31/2025

PIER 2 EXTENSION
WAVE ATTENUATION
PROJECT

LEGEND

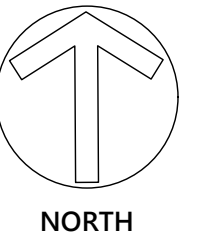
Davisville Waterfront District
Quonset Business Park®

SHEET NO. G-3 4 OF 8 SHEETS	DRAWING NO. 26916
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COASTAL RESOURCES
MANAGEMENT COUNCIL



QUONSET
DEVELOPMENT CORPORATION
PLANNING & DEVELOPMENT
95 Cripe Street
North Kingstown, RI 02852
Tel.: (401) 295-0044
Fax: (401) 268-9885
www.quonset.com



GRAPHIC SCALE
100 0 50 100 200
(IN FEET)
1 inch = 100 ft.

NO.	REVISION	DATE

DESIGN BY: GJC	CHECKED BY: MS
DRAWN BY: GJC	ENGINEER: GJC
SCALE: AS NOTED	QDC CONTRACT NO.: 2023-006A

CONTRACT NO.:

FILE NAME:

APPROVED BY:

GREGORY J. COREN, P.E.
QDC MANAGER OF ENGINEERING
DATE 01/31/2025

**PIER 2 EXTENSION
WAVE ATTENUATION
PROJECT**

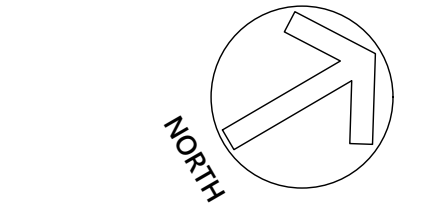
OVERALL SITE PLAN

**Davisville Waterfront District
Quonset Business Park®**

SHEET NO. C-1 5 OF 8 SHEETS	DRAWING NO. 26916
--	-----------------------------

**PERMIT SUBMISSION
NOT FOR CONSTRUCTION**
01/31/2025





(IN FEET)
inch = 20 ft.

N ^O .	REVISION	DATE

DESIGN BY: GJC	CHECKED BY: MS
DRAWN BY: GJC	ENGINEER: GJC
SCALE: AS NOTED	QDC CONTRACT NO.:2023-006A

CONTRACT NO.:

FILE NAME: _____

APPROVED BY: _____

GREGORY J. COREN, P.E.
QDC MANAGER OF ENGINEERING

DATE 01/31/2025

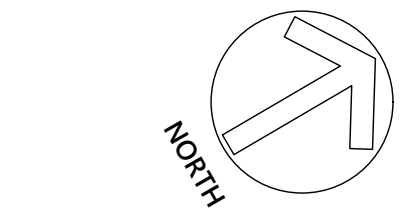
EXISTING CONDITIONS
PLAN

Davisville Waterfront District
Quonset Business Park®

SHEET NO. C-2 6 OF 8 SHEETS	DRAWING NO. 26916
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RECEIVED
1/31/2025
COASTAL RESOURCES
MANAGEMENT COUNCIL

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01/31/2025



(IN FEET)
inch = 20 ft.

N ^O .	REVISION	DATE

DESIGN BY: GJC	CHECKED BY: MS
DRAWN BY: GJC	ENGINEER: GJC
SCALE: AS NOTED	QDC CONTRACT NO.: 2023-006A

CONTRACT NO.:

FILE NAME:

APPROVED BY: _____

GREGORY J. COREN, P.E.
QDC MANAGER OF ENGINEERING

DATE 01/31/2025

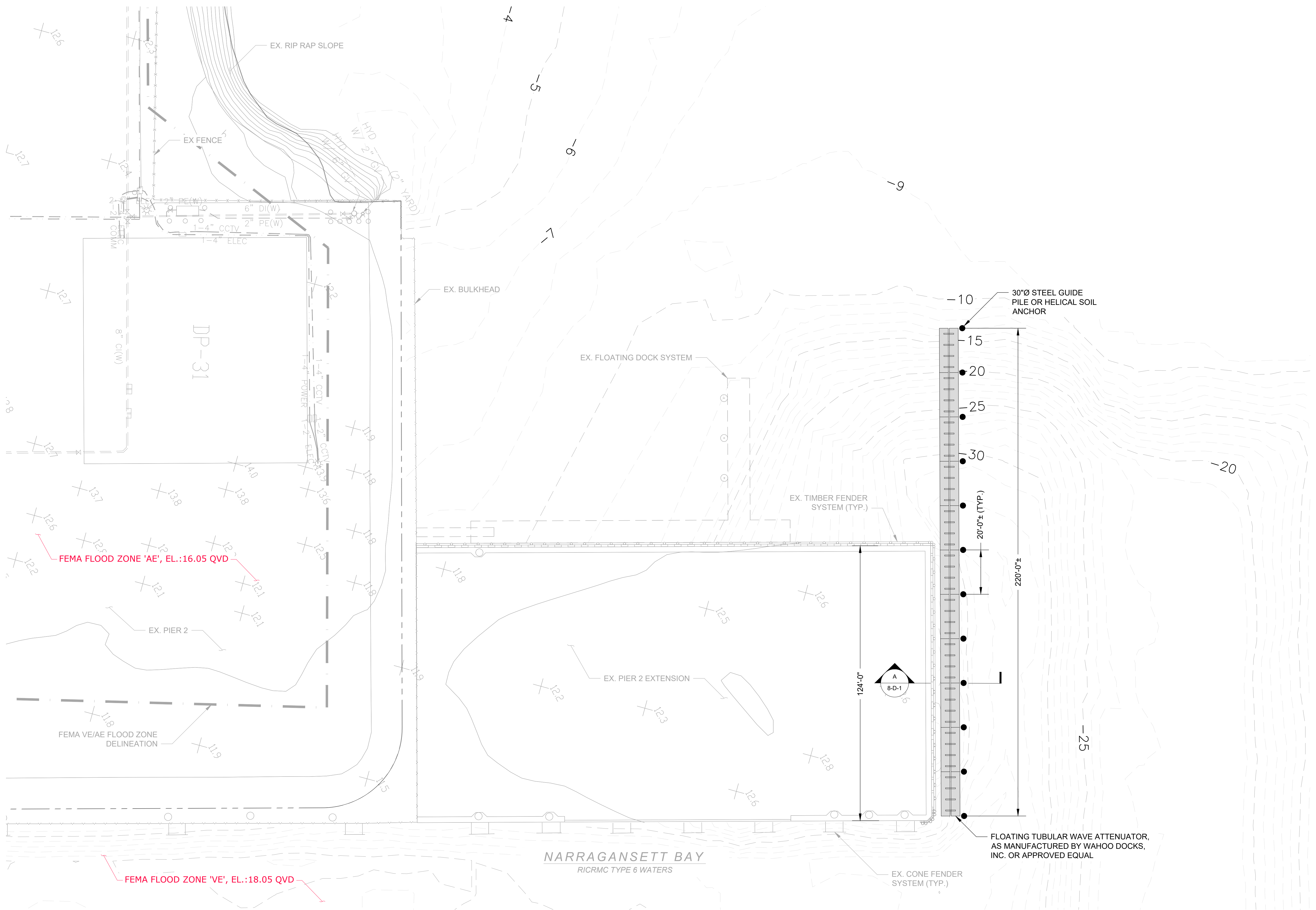
**PIER 2 EXTENSION
WAVE ATTENUATION
PROJECT**

PROPOSED WAVE
ATTENUATOR PLAN PLAN

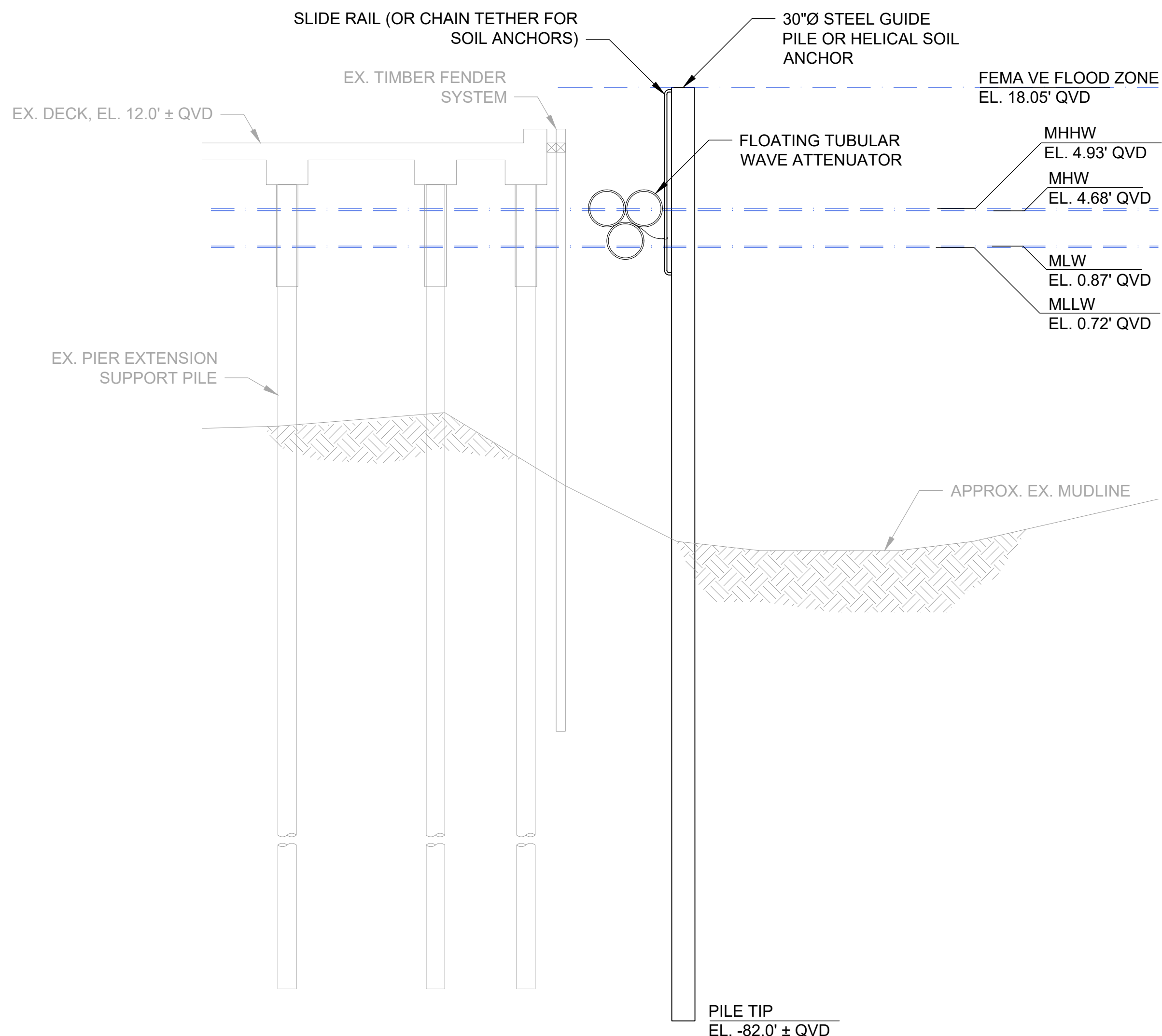
***Davisville Waterfront District
Quonset Business Park®***

SHEET NO. C-3 7 OF 8 SHEETS	DRAWING NO. 26916 REVIEW
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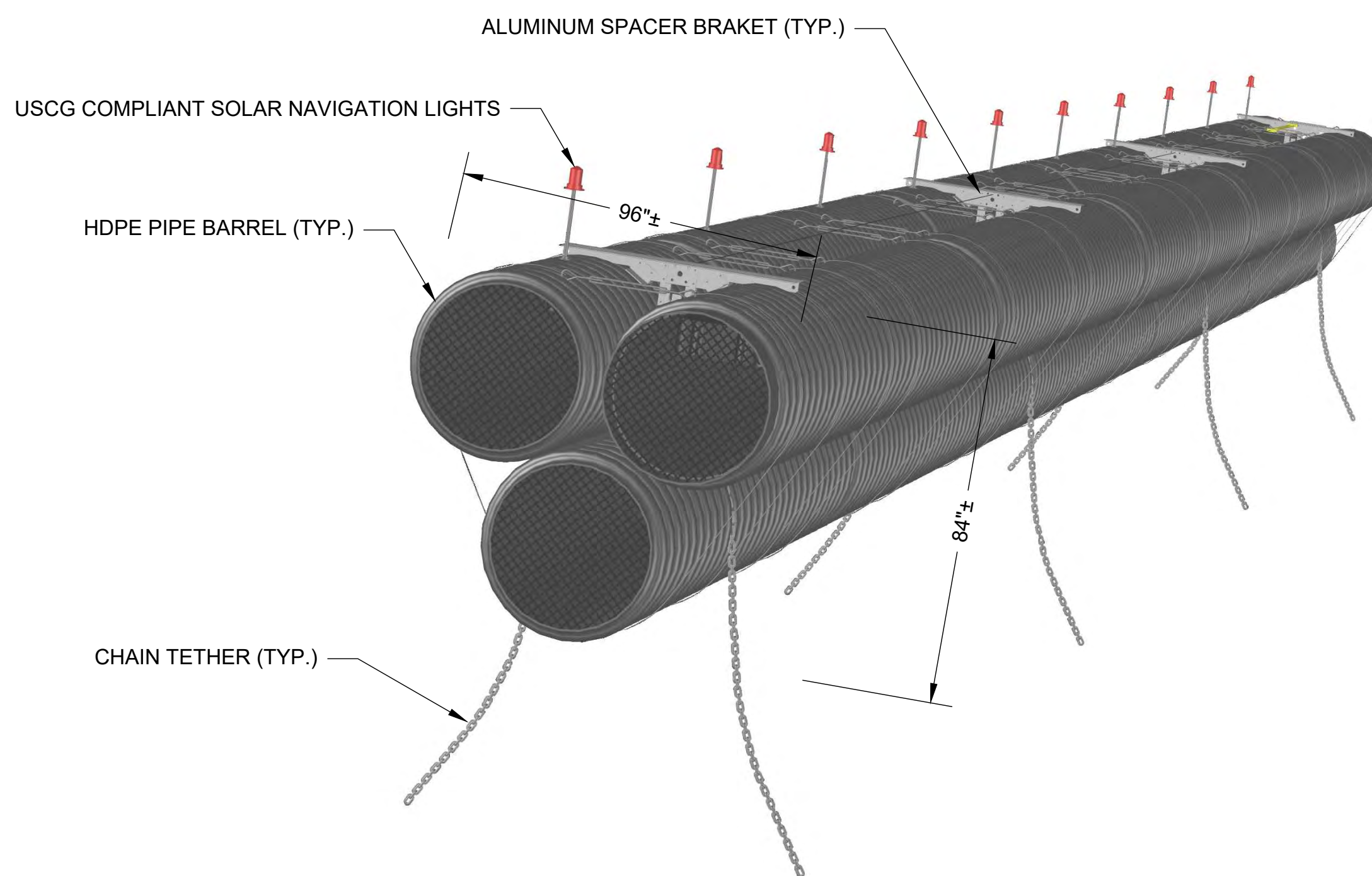


NOTE:

1. TIP ELEVATIONS FOR THE HELICAL SOIL ANCHORS ARE EXPECTED TO BE SHALLOWER THAN THE STEEL PILES, AND WILL BE DETERMINED DURING FINAL DESIGN OF THE WAVE ATTENUATOR ANCHOR SYSTEM. STEEL PILES ARE SHOWN TO REPRESENT THE GREATER DEGREE OF DISTURBANCE BETWEEN THE TWO PROPOSED SYSTEMS.

A
7-C-3

TYPICAL WAVE ATTENUATOR SECTION
SCALE: 1" = 10'



TYPICAL WAVE ATTENUATOR ISOMETRIC
SCALE: NTS

NO.	REVISION	DATE

DESIGN BY: GJC	CHECKED BY: MS
DRAWN BY: GJC	ENGINEER: GJC
SCALE: AS NOTED	QDC CONTRACT NO.: 2023-106A

CONTRACT NO.:

FILE NAME:

APPROVED BY:

GREGORY J. COREN, P.E.
QDC MANAGER OF ENGINEERING

DATE 01/31/2025

**PIER 2 EXTENSION
WAVE ATTENUATION
PROJECT**

DETAILS I

**Davisville Waterfront District
Quonset Business Park®**

SHEET NO. D-1 8 OF 8 SHEETS	DRAWING NO. 26916
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1/31/2025
COASTAL RESOURCES
MANAGEMENT COUNCIL