

**RHODE ISLAND COASTAL RESOURCES MANAGEMENT COUNCIL**

**RE: QUIDNESSETT COUNTRY CLUB**

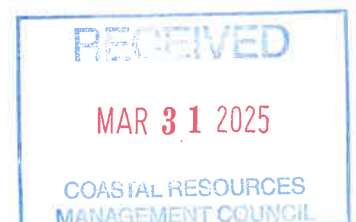
**CRMC File No.: 2023-0185**

**PREHEARING MEMORANDUM OF RESPONDENT QUIDNESSETT  
COUNTRY CLUB ON ENFORCEMENT ACTION**

Pursuant to 1.5.9 of the Coastal Resources Management Council's Management Procedures, Respondent Quidnessett Country Club ("QCC") submits the within Prehearing Memorandum to address restoration at the northeastern shoreline of 850 N. Quidnessett Road, North Kingstown, setting forth its list of witnesses expected to testify and documents it intends to introduce at an upcoming Council meeting.

**Witnesses:**

1. Sergio Cherenzia, P.E., Cherenzia & Associates. Mr. Cherenzia is expected to testify about: 1) the restoration plans prepared by his office and submitted to the CRMC between August 2024 and March 2025; 2) documents, photographs, and aerial photographs he has reviewed to evaluate the CRMC-approved restoration of QCC's shoreline in 2013; and 3) the rock removal application submitted to the US Army Corps of Engineers.
2. Representative from DiPrete Engineering, who will testify about approved plans for 2013 restoration of QCC's shoreline and the CRMC Emergency General Permit, 2013-03-133, issued to QCC.
3. Representative from Natural Resources Services, Inc., who is expected to testify about 2013 restoration work at QCC's shoreline, as reflected in invoices sent to QCC, and as-built graphic of 2013 restoration.



**Documents:**

1. Restoration Plan by Cherenzia & Associates and associated correspondence submitted by QCC to CRMC on March 28, 2025.
2. Restoration Plan by Cherenzia & Associates and associated correspondence submitted by QCC to CRMC on November 1, 2024.
3. Restoration Plan by Cherenzia & Associates and associated correspondence submitted by QCC to CRMC on September 20, 2024.
4. Restoration Plan by Cherenzia & Associates and associated correspondence submitted by QCC to CRMC on August 16, 2024.
5. Rock Removal Below Hide Tide Line Application submitted by QCC to the U.S. Army Corps of Engineers dated February 28, 2025.
6. CRMC Emergency General Permit issued to QCC, 2013-03-133.
7. DiPrete Engineering Emergency Assent Submission Site Plan for QCC shoreline approved by CRMC on March 19, 2013.
8. As-built graphic of 2013 restoration prepared by Natural Resource Services, Inc. (“NRS”), June 2013.
9. Cherenzia & Associates graphic overlaid with NRS as-built detail dated February 13, 2025.
10. Invoices from Natural Resource Services, Inc. to QCC covering dates between March and June 2013.
11. “Janet Photos” produced by CMRC on March 26, 2025.
12. Photograph taken by William Janikies of QCC shoreline on December 26, 2022.
13. Curriculum Vitae of Sergio Cherenzia, P.E.

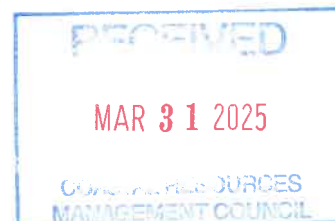


Respectfully submitted:  
Quidnessett Country Club

By and through its attorneys,

/s/ Jennifer Cervenka  
Jennifer Cervenka, Esq. (#6340)  
Cervenka Green & Ducharme LLC  
225 Dyer Street, 2<sup>nd</sup> Floor  
Providence, RI 02903  
T: (401) 214-1022  
jcervenka@cgdesq.com

/s/ Robin Main  
Robin Main, Esq.  
Hinkley Allen  
100 Westminster St., Suite 1500  
Providence, RI 02903  
T: (401) 274-2000  
rmain@hinkleyallen.com





**CHERENZIA  
& ASSOCIATES, LTD.**

Civil Engineers • Land Surveyors  
Land Use Planners • Environmental Consultants

Raymond F. Cherenzia, P.E., L.S., Founder  
Sergio F. Cherenzia, P.E., President

RECEIVED

MAR 31 2025

COASTAL RESOURCES  
MANAGEMENT COUNCIL

March 28, 2025

Brian A. Harrington, Environmental Scientist  
RI CRMC  
Oliver H. Stedman Government Center  
4808 Tower Hill Rd, Suite 3  
Wakefield, RI 02879-1900

Subject: Response to Comments- CRMC Cease & Desist Order 23-0185  
Quidnessett Country Club  
950 North Quidnessett Rd  
N Kingstown, RI  
AP 167 Lot 2

Dear Mr. Harrington:

Cherenzia & Associates, Ltd. (Cherenzia) has reviewed the above-referenced Comment Letter dated November 22, 2024 and offers our responses to these comments below. Revised documents based on these comments are included with this resubmittal and are listed below:

- a. Site Plans (24" x 36") titled, "Quidnessett Country Club" Sheets C-1 through C-3, prepared by Cherenzia & Associates, Ltd., dated August 16, 2024, last revised March 28, 2025.

**REVIEW COMMENTS:**

1. *As discussed above, shoreline protection that extends further seaward than previously authorized constitutes a prohibited activity (CRMP § 1.3.1 (G)(3)( c )) requiring a Special Exception (CRMP §1.1.8).*

Response to Comment: The proposed shoreline protection extends no further seaward than what was authorized in 2013 per the Emergency General Permit, 2013-03-133. Said permit authorized a design of a double row of burritos at the toe of the bluff that would be stacked at a 2:1 slope, with existing stone within 35 feet of the bluff placed in front of the burritos for toe protection. The installed system was overseen by an environmental monitor and inspected multiple times by CRMC staff. CRMC's contemporaneous photographs of the installed system are consistent with 2013-2014 aerials showing the extent of the as-built condition, reflected as the magenta line on the site plan.

2. *The "Stone Toe Protection" plan detail proposes using geotextiles. Geotextiles cannot be used in nonstructural shoreline protection (CRMP § 1.1.2 (A.97)).*

Response to Comment: The toe protection detail has been removed from the revised Site Plan as the proposed coconut core log system will provide the necessary drainage.



3. *The "Stone Toe Protection" plan detail proposes bringing in stones to supplement existing authorized stone. Bringing in stones from off site and using them in the restoration of the coastal feature is not allowed (CRMP § 1.3.l(G)(3)(c)).*

Response to Comment: References regarding bringing in stones from offsite for stone toe protection have been removed. The only stone potentially imported will be 3" – 16" boulder and cobble size class consistent with natural rocky shoreline. The purpose of this will be to facilitate the natural shoreline and is not sized to armor the bank.

4. *The "Stone Toe Protection" plan detail proposes burying stone toe protection and "only existing beach stone from the immediate vicinity (generally within 35 feet) of the eroded bluff may be used for bluff protection ... ". As permitted by CRMC assent 2013-03-133 and shown on the plan titled "Quidnessett Country Club", prepared by Diprete Engineering, dated March 12, 2013, existing riprap may be restacked as a toe berm along the base of the proposed nonstructural shoreline protection.*

Response to Comment: The detail and notes have been revised. (See sheet C-1 note 4).

5. *All proposed erosion and sedimentation controls must be shown on the plan and follow the Rhode Island Soil Erosion and Sediment Control Handbook.*

Response to Comment: All proposed Erosion and Sediment Controls are noted on the revised Site Plan and follow the Rhode Island Soil Erosion and Sediment Control handbook.

6. *Proposed native plantings, including species, density, and location must be shown on the proposed plan. Recommended density, coverage, and minimum planting size can be found in the "Coastal Buffer Zone Planting Guide", revised 2008. Appropriate native plants proposed must be listed in the "Rhode Island Native Plant Guide", revised 2024.*

Response to Comment: Additional planting notes have been added to the plan along with sheet C-3, "Planting Plan".

7. *The proposed plan states "Existing stone below HTL to be removed and replaced with beach sand". This sand shall come from an upland source and consist of natural sand grains that are similar in grain size, shape, and composition to sand currently on the beach. Sand shall consist of 90% or more sand sized grains. Sand shall not be mined from the active coastal features (e.g., dunes and beach).*

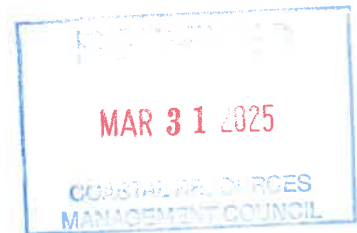
Response to Comment: This note has been added to the site plan (See sheet C-1 note 12).

I trust that these responses adequately address the comments received. Should you have any additional questions or concerns, please do not hesitate to contact me at 401-596-7747.

Sincerely,



Sergio F. Cherenzia, P.E.  
President

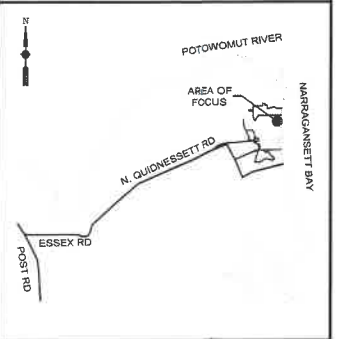


RECEIVED

MAR 31 2025

COASTAL RESOURCES  
MANAGEMENT COUNCIL





### LOCATION MAP

- NOTES:**
- THE DESIGN SHALL BE MAINTAINED AND RE-ESTABLISHED BASED ON THE HTL ESTABLISHED PER THE 2024 QUONSET TIDE GAUGE PREDICTIONS AS STORMS IMPACT THE AREA. THE HTL IS SHOWN ON THE SURVEY PLAN PREPARED BY CHERENZIA & ASSOCIATES, LTD., TITLED EXISTING CONDITIONS PLAN, DATA ACCUMULATION SURVEY PREPARED FOR QUIDNESSETT COUNTRY CLUB DATED JUNE 7, 2024 REVISED JULY 23, 2024.
  - A BOUNDARY SURVEY HAS NOT BEEN PERFORMED FOR THE PROPERTY.
  - EXISTING SHORELINE VEGETATION SHALL BE PRESERVED BOTH DURING AND AFTER WORK COMPLETION.
  - ONLY EXISTING BEACH STONE FROM THE IMMEDIATE VICINITY (GENERALLY WITHIN 35 FEET) OF THE ERODED BLUFF MAY BE USED FOR BLUFF PROTECTION BY RE-STACKING EXISTING RIPRAP AS A TOE BERM ALONG THE BASE OF THE PROPOSED BIODEGRADABLE SHORELINE PROTECTION AS PERMITTED BY CRMC ASSENT 2013-03-133. EXCESS REMOVAL AND USE OF BEACH STONE BEYOND 35 FEET FROM THE ERODED BLUFF OR BELOW THE MEAN HIGH WATER MARK IS NOT ALLOWED. STONE FROM OFF-SITE AREAS MAY NOT BE USED UNLESS AUTHORIZED BY CRMC.
  - NO MORTAR OR CONCRETE MAY BE USED.
  - NO CONSTRUCTION DEBRIS INCLUDING ANY EXISTING SHORELINE DEBRIS MAY BE USED TO PROTECT ERODED AREAS BY PLACING AGAINST THE SCARP.
  - ONLY BIODEGRADABLE MATERIALS SHALL BE UTILIZED.
  - BIODEGRADABLE SAND BAGS SHALL BE BEDDED IN COMPACTED GRAVEL BORROW. GRAVEL BORROW SHALL BE REVIEWED AND VERIFIED BY A GEOTECHNICAL ENGINEER.
  - VEGETATION SHALL BE COORDINATED WITH A COASTAL BIOLOGIST. NATIVE PLANTS WILL BE SELECTED FROM THE CRMC COASTAL BUFFER ZONE PLANTING GUIDE REVISED AUGUST 2008.
  - CHERENZIA MAKES NO GUARANTIES OF THE EFFECTIVENESS AND/OR LASTING INTEGRITY OF THIS NON-STRUCTURAL RESTORATION.
  - THE PLAN HEREIN IS CONSIDERED A TEMPORARY MEASURE AND MAY REQUIRE REPAIR AFTER TIDAL SURGES AND/OR STORM EVENTS.
  - EXISTING STONE BELOW HTL TO BE REMOVED AND REPLACED WITH BEACH SAND. THIS SAND SHALL COME FROM AN UPLAND SOURCE AND CONSIST OF NATURAL SAND GRAINS THAT ARE SIMILAR IN GRAIN SIZE, SHAPE, AND COMPOSITION TO THAT CURRENTLY ON THE BEACH. SAND SHALL CONSIST OF 90% OR MORE SAND SIZED GRAINS. SAND SHALL NOT BE MINED FROM THE ACTIVE COASTAL FEATURES (E.G., DUNES AND BEACH).
- PLAN REFERENCES:**
- SURVEY PLAN PREPARED BY CHERENZIA & ASSOCIATES, LTD., TITLED EXISTING CONDITIONS PLAN, DATA ACCUMULATION SURVEY PREPARED FOR QUIDNESSETT COUNTRY CLUB DATED JUNE 7, 2024 REVISED JULY 23, 2024.

PLAN REVISIONS				
REV. NO.	DATE	DESCRIPTION	BY	CHK BY
1	9/20/24	CRMC COMMENTS	AKG	SFC
2	10/30/24	CRMC COMMENTS	AKG	SFC
3	03/28/25	CRMC COMMENTS	AKG & AH	SFC

SCALE: AS NOTED  
CA JOB # 224031  
DATE: AUG 16, 2024

DRAWN BY: AKG  
CHECK BY: SFC

ISSUED FOR REVIEW

COASTAL RESTORATION PLAN

QUIDNESSETT COUNTRY CLUB  
950 NORTH QUIDNESSETT ROAD  
PLAT 167 LOT 2  
NORTH KINGSTOWN, RHODE ISLAND

PREPARED FOR  
QUIDNESSETT COUNTRY CLUB

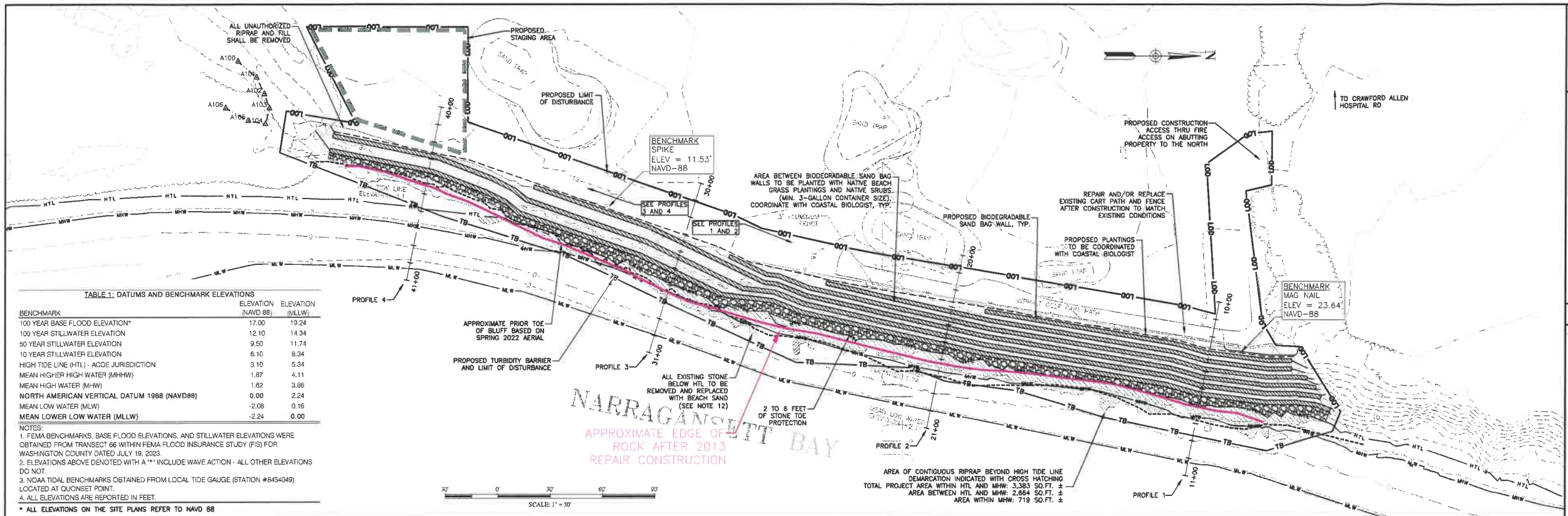
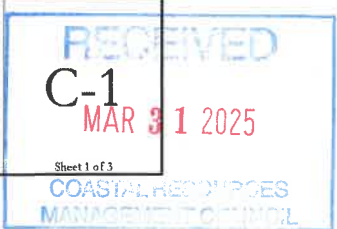
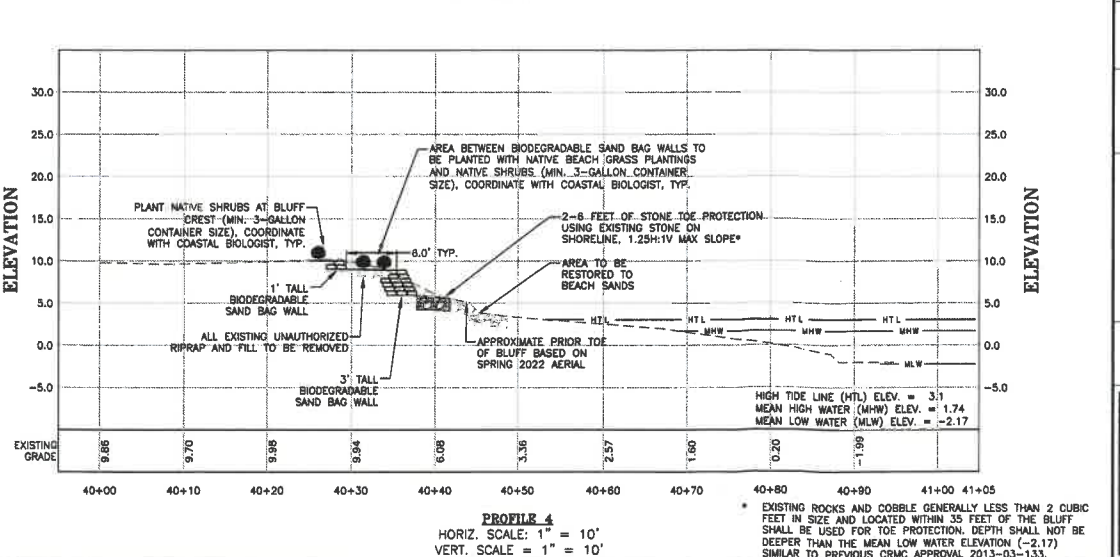
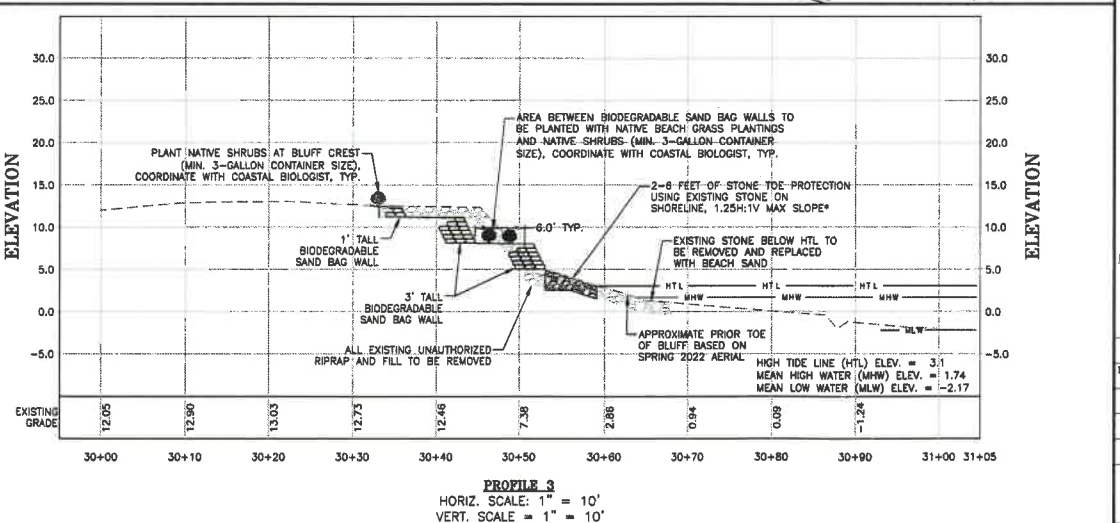
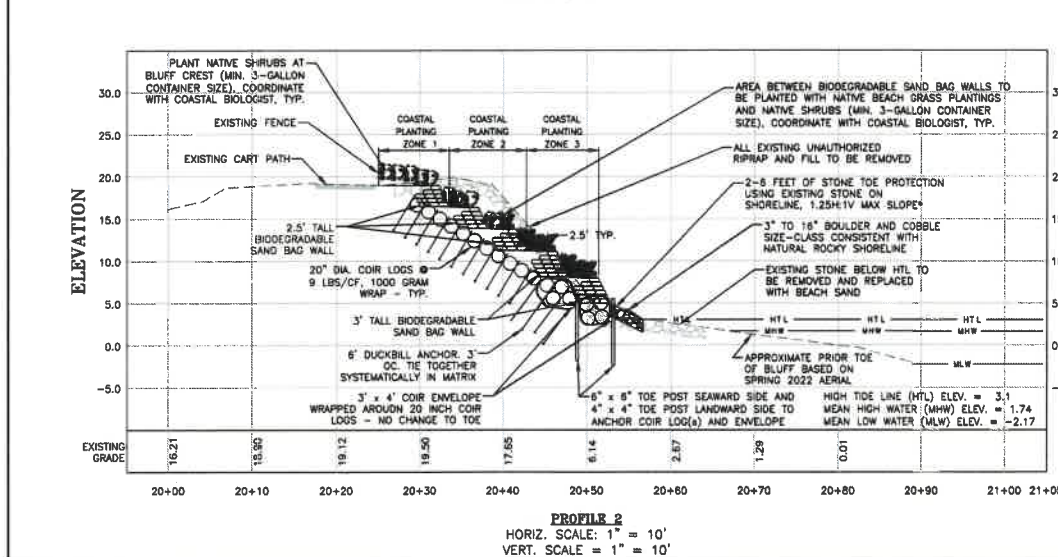
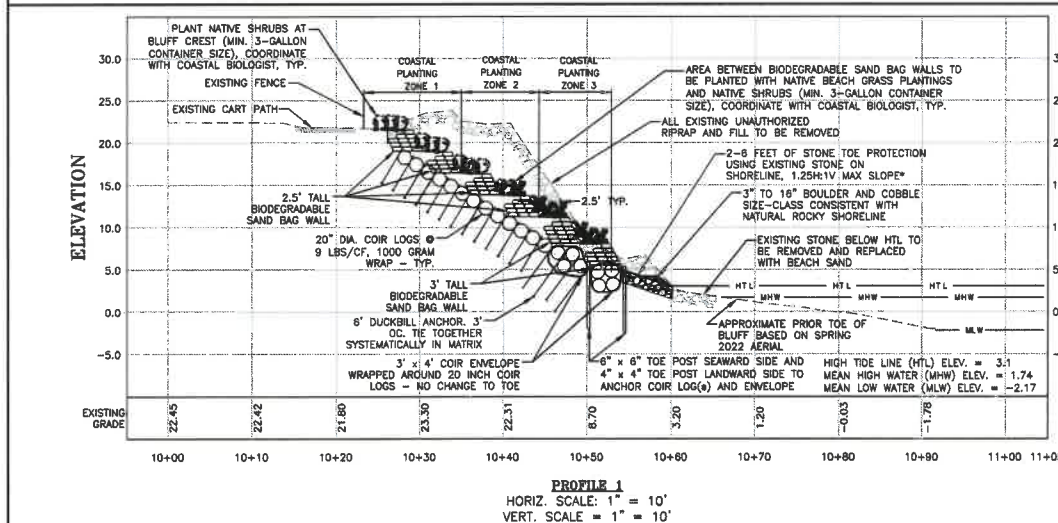


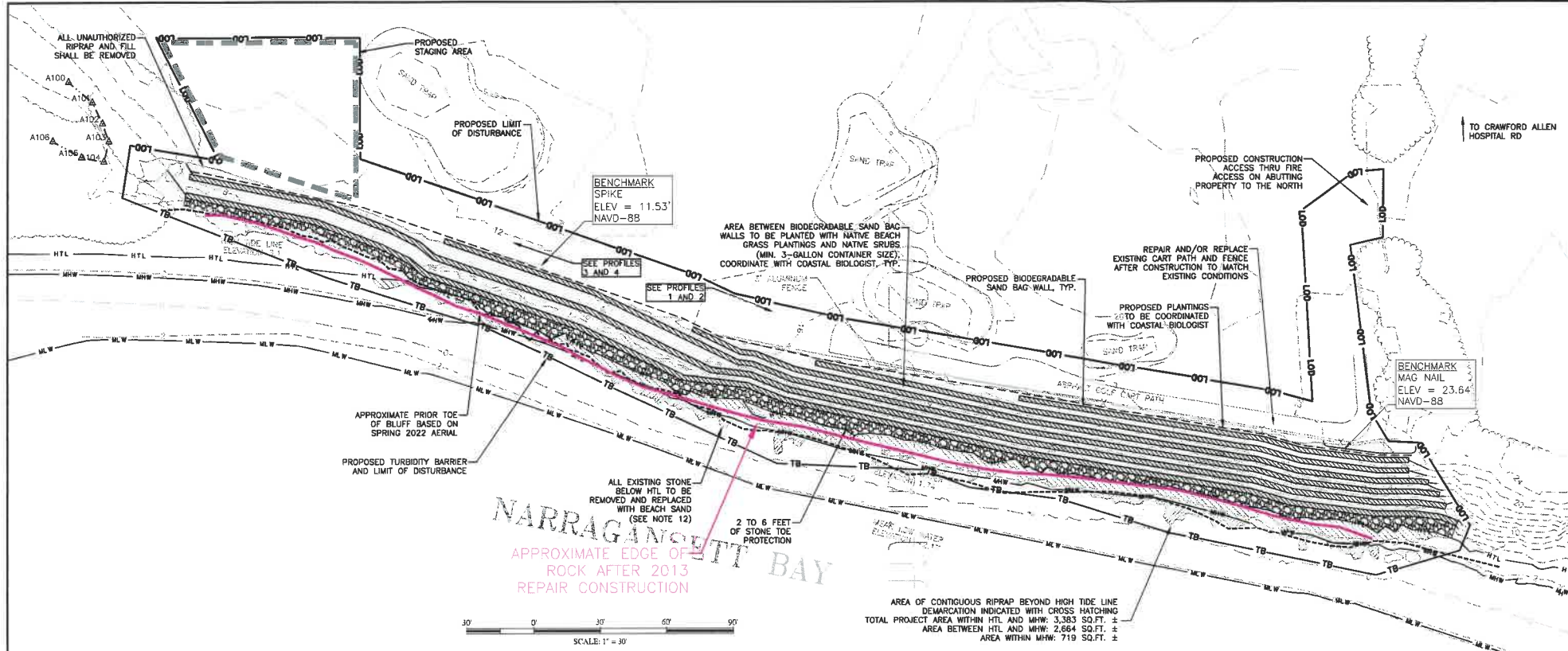
TABLE 1: DATUMS AND BENCHMARK ELEVATIONS		
BENCHMARK	ELEVATION (NAVD 88)	ELEVATION (MLW)
100 YEAR BASE FLOOD ELEVATION*	17.00	19.24
100 YEAR STILLWATER ELEVATION	12.10	14.34
50 YEAR STILLWATER ELEVATION	9.50	11.74
10 YEAR STILLWATER ELEVATION	6.10	8.34
HIGH TIDE LINE (HTL) - ACOE JURISDICTION	3.10	5.34
MEAN HIGHER HIGH WATER (MHHW)	1.87	4.11
MEAN HIGH WATER (MHW)	1.62	3.86
NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88)	0.00	2.24
MEAN LOW WATER (MLW)	-2.08	0.16
MEAN LOWER LOW WATER (MLLW)	-2.24	0.00

- NOTES:**
- FEMA BENCHMARKS, BASE FLOOD ELEVATIONS, AND STILLWATER ELEVATIONS WERE OBTAINED FROM TRANSECT 66 WITH FEMA FLOOD INSURANCE STUDY (FIS) FOR WASHINGTON COUNTY DATED JULY 19, 2023.
  - ELEVATIONS ABOVE DENOTED WITH A "\*" INCLUDE WAVE ACTION - ALL OTHER ELEVATIONS DO NOT.
  - NOAA TIDAL BENCHMARKS OBTAINED FROM LOCAL TIDE GAUGE (STATION #8454049) LOCATED AT QUONSET POINT.
  - ALL ELEVATIONS ARE REPORTED IN FEET.
- \* ALL ELEVATIONS ON THE SITE PLANS REFER TO NAVD 88



\* EXISTING ROCKS AND COBBLE GENERALLY LESS THAN 2 CUBIC FEET IN SIZE AND LOCATED WITHIN 35 FEET OF THE BLUFF SHALL BE USED FOR PROTECTION. DEPTH SHALL NOT BE DEEPER THAN THE MEAN LOW WATER ELEVATION (-2.17) SIMILAR TO PREVIOUS CRMC APPROVAL 2013-03-133.





**SITE SPECIFIC DATA**  
1. TOTAL AREA OF DISTURBANCE = 0.98± ACRES  
2. NATURAL HERITAGE AREA (NHA) IMPACT - NO  
3. WATERSHED = WEST PASSAGE ID# RI0007027E-031, IMPAIRMENTS FOR DISSOLVED OXYGEN, NO TMDL

**GENERAL CONSTRUCTION NOTES:**

- ALL WORK TO BE PERFORMED UNDER OBSERVATION OF AN ENGINEER EXPERIENCED WITH COASTAL ENGINEERING AND EROSION APPLICABLE TO THIS PROJECT.
- ALL WORK SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS AS SHOWN IN THESE PLANS, NOTES, AND REGULATORY DOCUMENTS APPLICABLE TO THIS WORK.
- ALL SAFETY REGULATIONS ARE TO BE STRICTLY FOLLOWED. METHODS OF CONSTRUCTION AND ERECTION OF STRUCTURAL MATERIAL ARE THE RESPONSIBILITY OF THE CONTRACTOR. ALL WORK SHALL COMPLY WITH FEDERAL LAWS, STATE REGULATIONS, AND LOCAL LAWS AND STATUTES AND THE REQUIREMENTS AND CONDITIONS OF ALL REGULATORY PERMITS ISSUED FOR THE WORK.
- ALL WORK SHALL CONFORM TO THE LATEST EDITION OF THE OSHA CODE, THE RHODE ISLAND STATE BUILDING CODE, AND THE REFERENCED STANDARDS INCLUDED HEREIN THAT ARE APPLICABLE TO THIS PROJECT.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE CONDITIONS SHOWN HEREIN AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES IN DIMENSIONS AND/OR SITE CONDITIONS PRIOR TO THE FABRICATION AND/OR ORDERING OF ANY CONSTRUCTION MATERIALS. THE CONTRACTOR SHALL NOT BEGIN CONSTRUCTION IN ANY SUCH AFFECTED AREA UNTIL THE DISCREPANCY HAS BEEN RESOLVED BY THE CONTRACTOR AND APPROVED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BRINGING ALL ELEMENTS OF THE PROJECT IN CONFORMANCE WITH THESE PLANS AND SPECIFICATIONS. IF ANY MODIFICATIONS ARE REQUIRED IN ANY ELEMENT, THE CONTRACTOR SHALL SUBMIT PROPOSED CHANGES TO THE ENGINEER FOR REVIEW.
- THE OWNER MUST INFORM THE CONTRACTOR OF THE EXISTENCE AND LOCATION OF ANY AND ALL KNOWN UNDERGROUND UTILITIES ON SITE. THE ENGINEER MAKES NO REPRESENTATION THAT ALL UTILITIES PRESENT ON AND BELOW THE SITE ARE SHOWN ON THE PLANS. THE CONTRACTOR SHALL NOTIFY DIG SAFE AND VERIFY EXACT LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER OR CONTRACTOR ASSUME NO LIABILITY FOR DAMAGE IF THE WORK BREACHES ANY UTILITY LINE. THE OWNER MUST COORDINATE WITH THE CONTRACTOR TO PROPERLY RELOCATE THEIR UTILITY LINES AND TO REPAIR/REPLACE ALL UTILITIES DAMAGED DUE TO THE WORK DESCRIBED ON THE ATTACHED DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS, LICENSES, CERTIFICATES OF INSPECTION, AND PAY ALL LEGAL FEES IN CONNECTION WITH THE WORK OF THIS CONTRACT. THE OWNER HAS OBTAINED NECESSARY REGULATORY PERMITS REQUIRED FOR THE WORK IN REGULATED AREAS. THE CONTRACTOR SHALL REQUEST COPIES OF THOSE REGULATORY PERMITS AND MAKE PROVISION IN THIS WORK AND IN THE COST OF THE WORK FOR ALL APPLICABLE CONDITIONS OF THOSE PERMITS. FAILURE TO CONSIDER ANY CONDITION OF THE REGULATORY PERMITS AS A PART OF THE BID SHALL NOT RELIEVE THE CONTRACTOR FROM HIS RESPONSIBILITY TO APPLY THOSE CONDITIONS TO HIS WORK AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL ARRANGE TO HAVE THE SITE STAKED OUT ADEQUATELY IN ORDER TO ESTABLISH LOD, ELEVATION, PROPERTY OR REGULATORY BOUNDARIES, AND IDENTIFY THE PROPOSED LOCATION OF CRITICAL JETTY SECTIONS AND EXISTING STONES. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN STAKES THROUGH CONSTRUCTION AND ENSURE THE WORK IS COMPLETED CONSISTENT WITH PROJECT PLANS AND ASSOCIATED REGULATORY APPROVALS. TEMPORARY ACCESS AGREEMENT COORDINATION IS THE SOLE RESPONSIBILITY OF THE OWNER.
- THE CONTRACTOR SHALL PROTECT ALL WETLANDS AND/OR ASSOCIATED COASTAL RESOURCES/FEATURES FROM INTRUSION BY TURBID WATERS, CONSTRUCTION DEBRIS, CONSTRUCTION EQUIPMENT, OR PERSONNEL DURING ALL WORK ACTIVITIES. UNDER NO CIRCUMSTANCES SHALL MATERIAL BE STORED ON THE SHORELINE OR COASTAL FEATURE, EXCEPT WHERE SHOWN AND/OR APPROVED.
- DAMAGE TO ANY PROPERTY, PRIVATE OR OF PUBLIC TRUST, OCCURRING DURING THE CONSTRUCTION BY THE CONTRACTOR, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL HAVE SPILL KIT PROVISIONS ON-HAND THROUGHOUT THE CONSTRUCTION PROCESS. PROVISIONS SHALL BE SIZED APPROPRIATELY FOR THE QUANTITY AND AMOUNT OF EQUIPMENT NECESSARY TO PERFORM THE WORK.

- 11.1. ACCESS SHALL OCCUR ABOVE THE REGULATORY MEAN HIGH WATER LINE AND LANDWARD OF THE AS-SHOWN LIMIT OF DISTURBANCE (LOD).
- 11.2. ACCESS UNDER NO CIRCUMSTANCES SHALL OCCUR OVER EXISTING VEGETATION OR DUNES AND SHALL OCCUR EXCLUSIVELY IN THE AREAS SHOWN HEREIN, OR AS APPROVED OTHERWISE.
12. RESTORATION:
  - 12.1. THERE IS NO INTENT TO DISTURB EXISTING COASTAL FEATURES, INCLUDING VEGETATION. CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED IN SUCH A FASHION TO MINIMIZE DISTURBANCE TO COASTAL FEATURES WITHIN THE LIMIT OF DISTURBANCE.
  - 12.2. AS DIRECTED BY THE ENGINEER, THE CONTRACTOR SHALL RESTORE AREAS DISTURBED BY CONSTRUCTION TO PRE-CONSTRUCTION CONDITION, INCLUDING ACCESS, STAGING AND NATURAL AREAS.
13. IF REGULATED, CONSTRUCTION TO OCCUR OUTSIDE PIPING FLOVER NESTING SEASONS

**EROSION CONTROLS/CONSTRUCTION SEQUENCING**

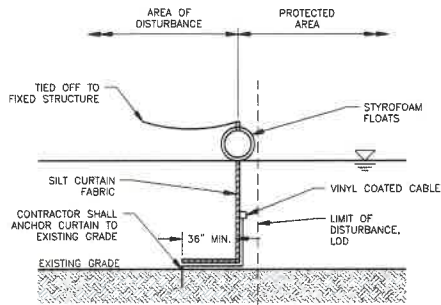
- PRIOR TO THE START OF CONSTRUCTION OF ANY EARTHWORK ACTIVITIES, THE CONTRACTOR SHALL NOTIFY ALL APPLICABLE AGENCIES AND INSTALL THE EROSION CONTROL MEASURES SHOWN ON THESE PLANS IN ACCORDANCE WITH A FEDERAL, STATE, AND LOCAL PERMITS PERTAINING TO THIS PROJECT.
- THE CONTRACTOR SHALL KEEP A COPY OF THE APPROVED PLAN SET AT THE CONSTRUCTION SITE AT ALL TIMES.
- THE CONTRACTOR SHALL INSTALL ALL EROSION AND SEDIMENTATION (EAS) CONTROL MEASURES AND LIMIT OF DISTURBANCE MARKERS SHOWN ON THE PLAN SET ARE PROPERLY INSTALLED PRIOR TO MOBILIZATION IN ACCORDANCE WITH THE EAS PLAN AND THE MOST RECENT EDITION OF THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK.
- WHEREVER POSSIBLE, EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION ACTIVITIES.
- ADDITIONAL CONTROL MEASURES SHALL BE INSTALLED DURING CONSTRUCTION AS NECESSARY AND REQUIRED; THIS MAY INCLUDE, STAKED COIR LOG AND/OR WATTLE, TIMBER AND MATS, AND BEACH COBBLE/ROCK (AT TRANSITION AREAS TO HEAVILY TRAFFICATED AREAS).
- THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN AND/OR UPGRADE THESE MEASURES, AS NECESSARY, THROUGHOUT CONSTRUCTION, TO MEET THE REQUIREMENTS OF ALL RELATED PERMITS FOR THE PROJECT.
- THE CONTRACTOR SHALL PREPARE AND MAINTAIN A RED-LINED COPY OF THE SITE PLANS SHOWING INTENDED AREAS FOR STAGING, STOCKPILING, WASHOUT, SOLID WASTE CONTAINMENT, AND TEMPORARY SEDIMENTATION CONTROL AREAS. ALL SUCH AREAS SHALL BE LOCATED OUTSIDE OF REGULATED WETLAND AREAS OR AREAS INTENDED FOR INFILTRATION PRACTICES.
- EROSION CONTROL DEVICES
  - A. ROADS ADJACENT TO THE CONSTRUCTION SITE SHALL BE CLEAN AT THE END OF EACH WORK DAY.
  - B. SILT FENCE SHALL BE INSTALLED AROUND ALL EARTH STOCKPILES.
  - C. ALL OTHER EROSION CONTROL DEVICES SHOWN ON THESE PLANS SHALL BE IN ACCORDANCE WITH "RHODE ISLAND STORMWATER MANAGEMENT, DESIGN, AND INSTALLATION RULES" AND THE "RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK."
- THE EROSION CONTROL MEASURES SHOWN ON THESE PLANS ARE INTENDED TO BE THE MINIMUM NECESSARY AT THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN AND SUPPLEMENT THESE EROSION CONTROLS, AS NECESSARY THROUGHOUT CONSTRUCTION, TO PREVENT DAMAGE TO WETLANDS AND/OR SURROUNDING PROPERTIES.
- THE CONTRACTOR SHALL PREVENT DUST, DEBRIS, OR SEDIMENTS FROM LEAVING THE SITE DURING CONSTRUCTION AND SHALL BE RESPONSIBLE TO REPAIR, CLEAN UP, OR TAKE OTHER CORRECTIVE ACTION IMMEDIATELY OR NO LATER THAN 24 HOURS AFTER ANY ISSUE ARISES.
- THE CONTRACTOR SHALL CONTROL CONSTRUCTION STORMWATER RUNOFF IN SUCH A MANNER AS TO PREVENT DAMAGE TO DOWN-GRADIENT PROPERTIES. ANY PROPERTIES SO DAMAGED SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL DEVICES ON A WEEKLY BASIS AND WITHIN 12 HOURS AFTER A RAINFALL EVENT. THE CONTRACTOR SHALL IMMEDIATELY REPAIR DAMAGED DEVICES AND SHALL REMOVE ACCUMULATED SEDIMENTS IN ACCORDANCE WITH LOCAL STATE REQUIREMENTS, WHEN ACCUMULATED SEDIMENTS SHALL BE REMOVED FROM THE SITE OR PLACED AWAY FROM WETLANDS AND CLOSED DRAINAGE SYSTEMS.

- THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PERFORM EARTHWORK IN PHASES THAT ALLOW FOR STABILIZATION OF THESE AREAS IN A RELATIVELY SHORT TIME PERIOD AND TO DISCOURAGE EROSION AND SEDIMENTATION. ANY EXPOSED SOILS INTENDED TO REMAIN FOR MORE THAN 14 DAYS SHALL BE STABILIZED WITH MULCH, OR TEMPORARY SEED AND WATERED TO ENCOURAGE VEGETATION.
- THE CONTRACTOR SHALL INSTALL PERMANENT SEEDING BETWEEN APRIL 15TH AND JUNE 15TH AND/OR AUGUST 15TH TO OCTOBER 15TH.
- THE CONTRACTOR SHALL APPLY PERMANENT SOIL STABILIZATION MEASURES TO ALL GRADED AREAS WITHIN SEVEN (7) DAYS OF ESTABLISHING FINAL GRADE.
- THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EAS MEASURES ONLY AFTER VEGETATION IN LANDSCAPE AREAS IS WELL ESTABLISHED.
- THE WORK IS GENERALLY WITHIN THE COASTAL FEATURE; AS SUCH:
  - 15.1. STOCKPILES AND DEPOSITION AREAS FOR CONSTRUCTION MATERIALS SHALL BE LOCATED AS SHOWN AND/OR AS APPROVED TO LIMIT DISTURBANCE. CONTRACTOR SHALL MAINTAIN AT LEAST 300 FEET OF HIGH DENSITY MARINE WATTLE TO BE ADJUSTED AND STAKED AS NECESSARY TO MINIMIZE IMPACTS CONSISTENT WITH THE NOTES AND DETAILS CONTAINED HEREIN.
  - 15.2. LIMIT OF DISTURBANCE MEASURES SHALL BE LOCATED AS SHOWN AND/OR AS APPROVED THROUGHOUT CONSTRUCTION ACTIVITIES.
  - 15.3. INSPECT ALL SEDIMENT AND EROSION CONTROL MEASURES, AND LIMIT OF DISTURBANCE EVERY DAY AND WITHIN 24 HOURS AFTER EVERY RAINFALL THAT PRODUCES RUNOFF, AS WELL AS WITHIN 24 HOURS OF ALL TIDAL OR COASTAL EVENTS BEYOND THOSE CONSIDERED NORMAL.
  - 15.4. MAINTAIN AND/OR REPLACE ALL EROSION AND SEDIMENT CONTROL, AND LIMIT OF DISTURBANCE MEASURES AS REQUIRED TO ASSURE PROPER FUNCTION.
  - 15.5. CONTRACTOR SHALL IMMEDIATELY REPAIR ANY AND ALL BREACHES IN SEDIMENT CONTROLS.
  - 15.6. CLEARING FOR AND INSTALLATION OF THE REQUIRED SEDIMENT CONTROL MEASURES SHALL BE COMPLETED AND INSPECTED PRIOR TO COMMENCING ANY OTHER LAND-DISTURBING ACTIVITY.

**OPERATIONS PLAN**

- CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED IN THE DRY ONLY DURING LOWER TIDES.
- THE ENDS OF THE NON-STRUCTURAL SHORELINE PROTECTION FACILITY SHALL BE TIED INTO THE ADJACENT NATURAL ROCKY SHORELINE AT NORTH AND SHALL TAPER AT SOUTHERN END.
- ON SITE BEACH MATERIALS SHALL NOT BE USED AS CONSTRUCTION MATERIAL EXCAVATION AND RE-USE OF BOULDERS IS PROHIBITED.
- ALL BACKFILL USED FOR THE PLANTING TERRACES SHALL BE COARSE, CLEAN, AND FREE-DRAINING SEDIMENTS CONTAINING LESS THAN 10% SILT.
- COBBLE SHALL RANGE FROM 3" TO 10" IN DIAMETER ON THE INTERMEDIATE AXIS. COBBLE SHALL BE WELL ROUNDED.
- THE SLOPE OF NON-STRUCTURAL SHORELINE PROTECTION SHALL BE ANCHORED AND TIED TOGETHER.
- THE APPLICANT IS RESPONSIBLE FOR THE SURVIVORSHIP OF THE PLANTINGS FOR ONE FULL GROWING SEASON. PLANTS NOT SURVIVING THE FIRST GROWING SEASON SHALL BE REPLACED.
- CONSTRUCTION ACCESS SHALL BE FROM CRAWFORD ALLEN HOSPITAL ROAD, EXITING INTO THE PARKING LOT FOR THE FRANCISCAN APOSTOLIC SISTERS CHURCH AND TRAVELING ALONG THE WESTERN THEN SOUTHERN SIDES OF THE CHURCH TO AN EXISTING FIRE PATH THE PROJECT AREA.
- IMPERVIOUS MATS OR OTHER SURFACE PROTECTION COORDINATED WITH THE OWNER SHALL BE PLACED OVER ANY GOLF COURSE AREAS SUBJECT TO CONSTRUCTION TRAFFIC TO PROTECT EXISTING SURFACES BEFORE START OF CONSTRUCTION.
- TURBIDITY BARRIERS SHALL BE PLACED ON THE DOWN GRADIENT SIDE OF THE PROPOSED WORK.
- EXISTING RIPRAP AND FILL SHALL BE REMOVED FROM THE PROJECT AREA. WORK SHALL BE PERFORMED FROM THE TOP OF THE BLUFF WORKING DOWN UNTIL ALL PREVIOUSLY IMPORTED MATERIAL IS REMOVED.
- ALL PREVIOUSLY IMPORTED RIPRAP AND FILL SHALL BE REMOVED FROM THE PROJECT. ALL NATIVE ROCK SHALL BE STOCKPILED FOR REUSE FOR THE TOE PROTECTION.
- PROPOSED RESTORATION SHALL TAKE PLACE FROM THE BOTTOM OF THE BLUFF WORKING UPWARD TO THE TOP OF THE BLUFF. THE RESTORATION SHALL CONSIST OF 2-8 FEET OF STONE TOE PROTECTION, BIODEGRADABLE SAND BAG WALLS, AND AREAS PLANTED WITH NATIVE BEACH GRASSES AND SHRUBS.
- THE CONTRACTOR SHALL COORDINATE ON THE EXACT METHOD OF CONSTRUCTION SEQUENCING AND PHASING.

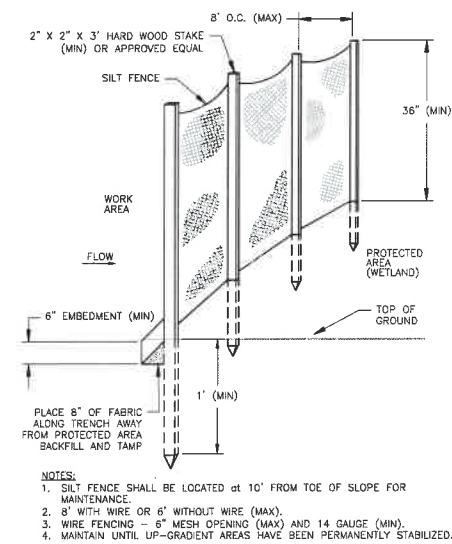
- TOP OF BLUFF SHALL BE RESTORED TO MATCH EXISTING CONDITIONS AT THE END OF THE PROJECT.
  - EQUIPMENT USED SHALL BE STANDARD EXCAVATION EQUIPMENT. EQUIPMENT SHALL GENERALLY CONSIST OF AN EXCAVATOR WITH GRAPPLE AND BUCKET AND DUMP TRUCKS. EXACT EQUIPMENT SHALL BE COORDINATED BY THE CONTRACTOR.
  - PROJECT STAGING SHALL TAKE PLACE ON THE TOP OF THE BLUFF ON THE EXISTING GOLF COURSE.
- REPORTING REQUIREMENTS**  
1. BIWEEKLY MONITORING REPORTS SHALL BE SENT TO CRMC ENFORCEMENT STAFF.



NOTES:  
1. REQUIRED DEPTH OF CURTAIN MAY VARY

**TURBIDITY BARRIER DETAIL**

- CA-BC-028
- NOTES:  
1. CURTAIN AND ANCHOR MUST RESIST EXPECTED WIND, WAVE, AND CURRENT ENVIRONMENTS AT THE SITE. CONTRACTOR TO SUBMIT PROPOSED WEIGHTED TURBIDITY CURTAIN FOR REVIEW/APPROVAL. THE WORK IS ANTICIPATED TO BE COMPLETED IN SECTIONS.  
2. THE CONTRACTOR SHALL CONFINE THE WORK AREA WITH SEDIMENT AND EROSION CONTROL MEASURES AS NECESSARY TO COMPLETE THE WORK AND IN ACCORDANCE WITH REGULATORY AUTHORIZATIONS.



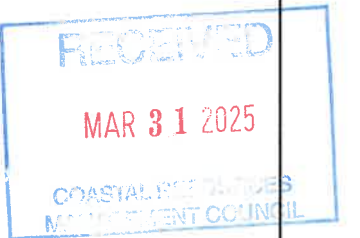
**SILT FENCE**

CA-BC-001



**CONSTRUCTION ACCESS MAP**

1"=150'



**PLAN REVISIONS**

REV. NO.	DATE	DESCRIPTION	BY	CHK
1	9/20/24	CRMC COMMENTS	AKG	SFC
2	10/30/24	CRMC COMMENTS	AKG	SFC
3	03/28/25	CRMC COMMENTS	AKG	SFC

SCALE: AS NOTED  
CA JOB # 224031  
DATE: AUG. 16, 2024

DRAWN BY: AKG  
CHECK BY: SFC

**ISSUED FOR REVIEW**

**SOIL EROSION AND SEDIMENT CONTROL PLAN**

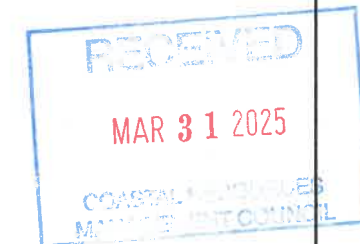
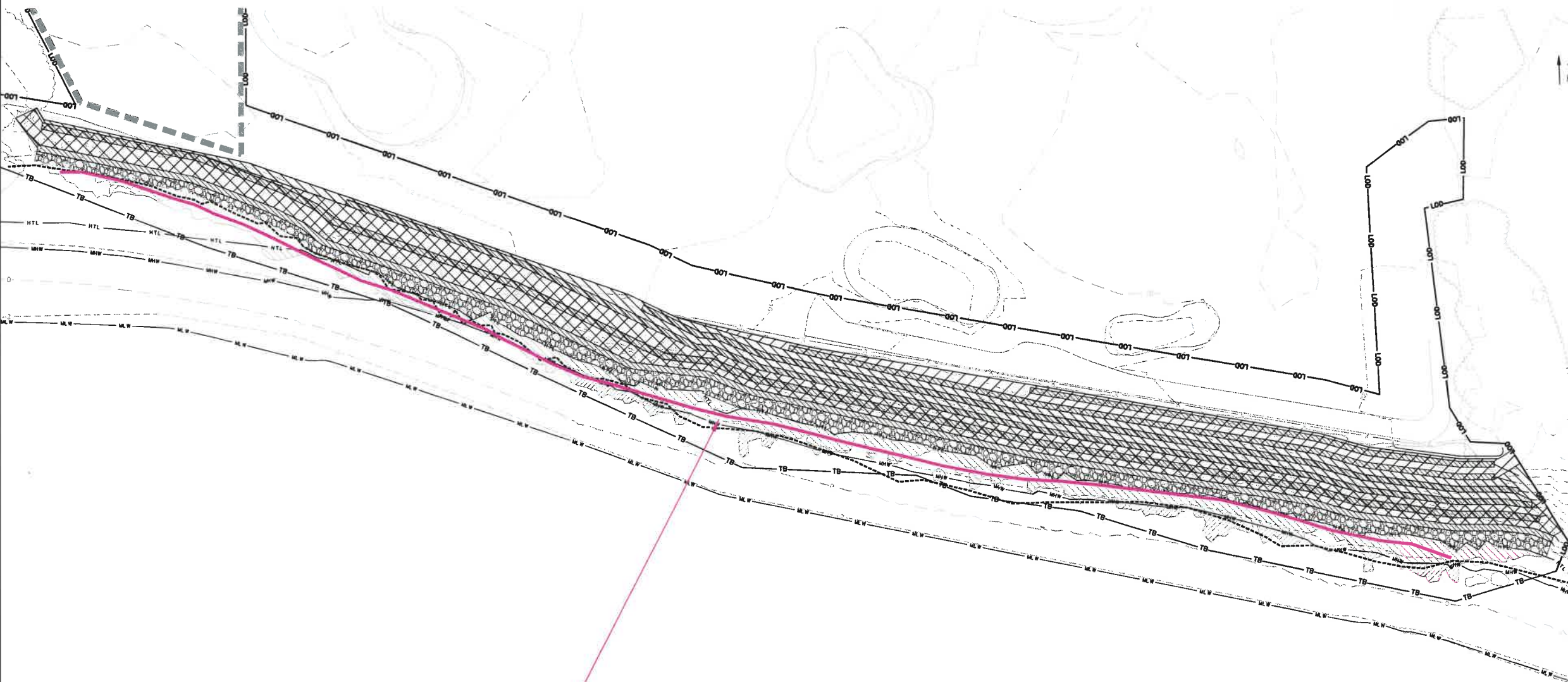
**QUIDNESSETT COUNTRY CLUB**  
950 NORTH QUIDNESSETT ROAD  
PLAT 167 LOT 2  
NORTH KINGSTOWN, RHODE ISLAND

PREPARED FOR  
**QUIDNESSETT COUNTRY CLUB**



**C-2**





PLAN REVISIONS				
REV. NO.	DATE	DESCRIPTION	DRAWN BY	CHECK BY
1	9/20/24	CRMC COMMENTS	AKG	SFC
2	10/30/24	CRMC COMMENTS	AKG	SFC
3	03/28/25	CRMC COMMENTS	AKG & A	SFC

SCALE: AS NOTED  
CA JOB # 224031  
DATE: AUG. 16, 2024

DRAWN BY: AKG  
CHECK BY: SFC

ISSUED FOR REVIEW

PLANTING PLAN

QUIDNESSETT COUNTRY CLUB  
950 NORTH QUIDNESSETT ROAD  
PLAT 167 LOT 2  
NORTH KINGSTOWN, RHODE ISLAND

PREPARED FOR  
QUIDNESSETT COUNTRY CLUB



C-3

**POSSIBLE PLANTINGS PER CRMC'S PLANT LIST**

**ZONE 1:**

TREES - BLACK CHERRY (PRUNUS SEROTINA), SHADBUSH (AMELANCHIER CANADENSIS), NORTHERN ARROWWOOD (VIBURNUM DENTATUM)

SHRUBS - Highbush Blueberry (Vaccinium corymbosum), NORTHERN BAYBERRY (MORELLA PENNSYLVANICA), WILD ROSE (ROSA VIRGINIANA), INKBERY (ILEX GLABRA)

HERBS - SEASIDE GOLDENROD (SOLIDAGO SEMPERVIRENS), SWITCHGRASS (PANICUM VIRGATUM)

**ZONE 2:**

SHRUBS - Highbush Blueberry (Vaccinium corymbosum), NORTHERN BAYBERRY (MORELLA PENNSYLVANICA), WILD ROSE (ROSA VIRGINIANA)

HERBS - SEASIDE GOLDENROD (SOLIDAGO SEMPERVIRENS), BEACH GRASS (AMMOPHILA BREVIOLATA), NEW ENGLAND COASTAL SALT TOLERANT GRASS MIX

**ZONE 3:**

SHRUBS - NORTHERN BAYBERRY (MORELLA PENNSYLVANICA), WILD ROSE (ROSA VIRGINIANA)

HERBS - BEACH GRASS (AMMOPHILA BREVIOLATA), NEW ENGLAND COASTAL SALT TOLERANT GRASS MIX

**PLANTING DENSITY:**

TREES - 12' ON CENTER, 1" CALIPER (20# CONTAINER OR LARGER)

SHRUBS - 6' ON CENTER, 5# CONTAINER

HERBS - PLUGS 3" ON CENTER OR 1# CONTAINER, 1' ON CENTER

FOR ALL PLANTINGS: OTHER THAN INKBERY "HEDGEROW", CLUSTER SAME SPECIES IN GROUPS. THE HEDGEROW WILL BE A CONTINUOUS LINE OF INKBERY ALONG THE COURSE SIDE OF THE RESTORATION, MAINTAINED AT 3 TO 5 FEET HIGH. APPLY A ONE-TIME APPLICATION OF 1 TO 2 INCHES OF NON-DYED, SHREDDED HARDWOOD AND/OR LIGHTLY STREWN HAY MULCH AROUND PLANTINGS.

RECEIVED

MAR 31 2025

COASTAL RESOURCES  
MANAGEMENT COUNCIL



Jennifer R. Cervenka  
(401) 214-1022  
[jcervenka@cgdesq.com](mailto:jcervenka@cgdesq.com)

March 28, 2025

**VIA EMAIL ONLY**

Brian A. Harrington  
Environmental Scientist III  
Coastal Resources Management Council  
Oliver H. Stedman Government Center  
4808 Tower Hill Road, Suite 3  
Wakefield, RI 02879-1900  
[bharrington@crmc.ri.gov](mailto:bharrington@crmc.ri.gov)

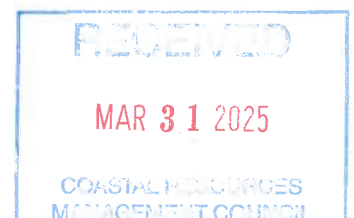
Re: Quidnessett Country Club, Inc. ("QCC") – Cease & Desist Order, Notices  
of Administrative Fines, CRMC Enforcement File No. 23-0185

Dear Mr. Harrington:

This letter is being provided in response to your letter dated March 19, 2025. In that letter, you stated that QCC has not submitted a complete, acceptable restoration plan. As you know, QCC has been working with enforcement staff on a restoration plan since last summer, having submitted three proposed plans, the last one being submitted on November 1, 2024. Since that time, QCC and the agency have met and exchanged documents and other information related to how far seaward the shoreline protection could extend, based upon the approved restoration in 2013. Despite compelling evidence of it extending to what's been referred to as the "magenta line", the agency rejected that line as non-compliant. Just this week, however, the agency produced pictures presumably taken by former CRMC staff (Janet Freedman), which corroborates that the shoreline protection did indeed extend well out from the bluff and close to the waterline, as documented on multiple occasions by staff. In light of that, we are submitting a final restoration plan which addresses the agency's last set of comments on November 22, 2024 and locates the shoreline protection at or landward of the magenta line.

While we had requested that the matter be set down for hearing before the Administrative Hearing Officer, who is authorized by statute to hear "all contested enforcement proceedings", the agency has ignored that request and instead scheduled an

**cervenka green & ducharme llc**  
225 Dyer Street, 2<sup>nd</sup> Floor, Providence, RI 02903  
[www.cgdesq.com](http://www.cgdesq.com) | p: (401) 214-1020



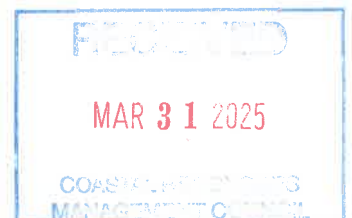
enforcement hearing before the Council on April 8, 2025. We believe that such a hearing is procedurally inappropriate. Notwithstanding and subject to our objection, we will be prepared to present the attached restoration plan at that meeting.

Sincerely,

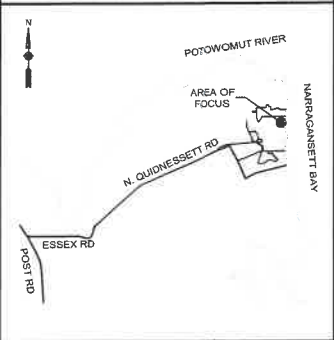
A handwritten signature in blue ink, appearing to read 'JRC', is written over a light blue grid background.

Jennifer R. Cervenka

cc: Janice Mathews, QCC  
Robin L. Main, Hinkley Allen  
Sergio F. Cherenzia, PE, Cherenzia & Associates, Ltd.  
Joseph Klinger, Ecotones, Inc.  
Joshua Rosenberg, PE, RMA Environmental, LLC  
Anthony DeSisto, CRMC Chief Legal Counsel  
Jeffrey M. Willis, CRMC Executive Director  
Elizabeth Waterhouse, ACOE







- NOTES:**
- THE DESIGN SHALL BE MAINTAINED AND RE-ESTABLISHED BASED ON THE HTL ESTABLISHED PER THE 2024 QUINSETT TIDE GAUGE PREDICTIONS AS STORMS IMPACT THE AREA. THE HTL IS SHOWN ON THE SURVEY PLAN PREPARED BY CHERENZIA & ASSOCIATES, LTD. TITLED EXISTING CONDITIONS PLAN, DATA ACCUMULATION SURVEY PREPARED FOR QUINNESSETT COUNTY CLUB DATED JUNE 7, 2024 REVISED JULY 23, 2024.
  - A BOUNDARY SURVEY HAS NOT BEEN PERFORMED FOR THE PROPERTY.
  - EXISTING SHORELINE VEGETATION SHALL BE PRESERVED BOTH DURING AND AFTER WORK COMPLETION.
  - ONLY EXISTING BEACH STONE FROM THE IMMEDIATE VICINITY (GENERALLY WITHIN 35 FEET) OF THE ERODED BLUFF MAY BE USED FOR BLUFF PROTECTION BY STACKING IT AGAINST THE SCARP (ERODED BLUFF FACE). EXCESS REMOVAL AND USE OF BEACH STONE BEYOND 35 FEET FROM THE ERODED BLUFF OR BELOW THE MEAN HIGH WATER MARK IS NOT ALLOWED. STONE FROM OFF-SITE AREAS MAY NOT BE USED UNLESS AUTHORIZED BY CRMC.
  - NO MORTAR OR CONCRETE MAY BE USED.
  - NO CONSTRUCTION DEBRIS INCLUDING ANY EXISTING SHORELINE DEBRIS MAY BE USED TO PROTECT ERODED AREAS BY PLACING AGAINST THE SCARP.
  - ONLY BIODEGRADABLE MATERIALS SHALL BE UTILIZED.
  - BIODEGRADABLE SAND BAGS SHALL BE BEDDED IN COMPACTED GRAVEL BORROW. GRAVEL BORROW SHALL BE REVIEWED AND VERIFIED BY A GEOTECHNICAL ENGINEER.
  - VEGETATION SHALL BE COORDINATED WITH A COASTAL BIOLOGIST. NATIVE PLANTS WILL BE SELECTED FROM THE CRMC COASTAL BUFFER ZONE PLANTING GUIDE REVISED AUGUST 2008.
  - CHERENZIA MAKES NO GUARANTEES OF THE EFFECTIVENESS AND/OR LASTING INTEGRITY OF THIS NON-STRUCTURAL RESTORATION.
  - THE PLAN HEREIN IS CONSIDERED A TEMPORARY MEASURE AND MAY REQUIRE REPAIR AFTER TIDAL SURGES AND/OR STORM EVENTS.

**PLAN REFERENCES:**

- SURVEY PLAN PREPARED BY CHERENZIA & ASSOCIATES, LTD. TITLED EXISTING CONDITIONS PLAN, DATA ACCUMULATION SURVEY PREPARED FOR QUINNESSETT COUNTY CLUB DATED JUNE 7, 2024 REVISED JULY 23, 2024.

PLAN REVISIONS				
REV.	DATE	DESCRIPTION	DESIGNED BY	CHECKED BY
1	9/20/24	CRMC COMMENTS	AKG	SFC
2	10/30/24	CRMC COMMENTS	AKG	SFC

SCALE: AS NOTED  
CA JOB # 224031  
DATE: AUG. 16, 2024

DRAWN BY: AKG  
CHECK BY: SFC

ISSUED FOR REVIEW

COASTAL RESTORATION PLAN

QUIDNESSETT COUNTRY CLUB  
950 NORTH QUIDNESSETT ROAD  
PLAT 167 LOT 2  
NORTH KINGSTOWN, RHODE ISLAND

PREPARED FOR  
QUIDNESSETT COUNTRY CLUB

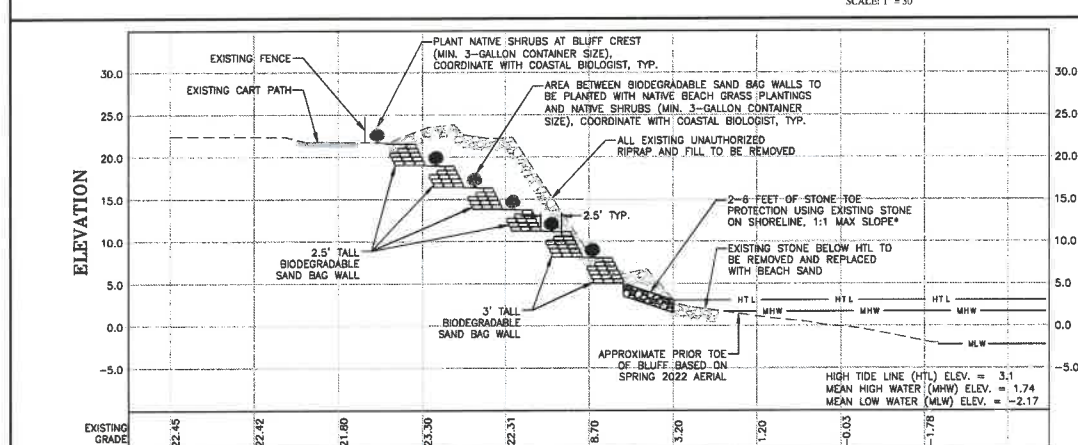
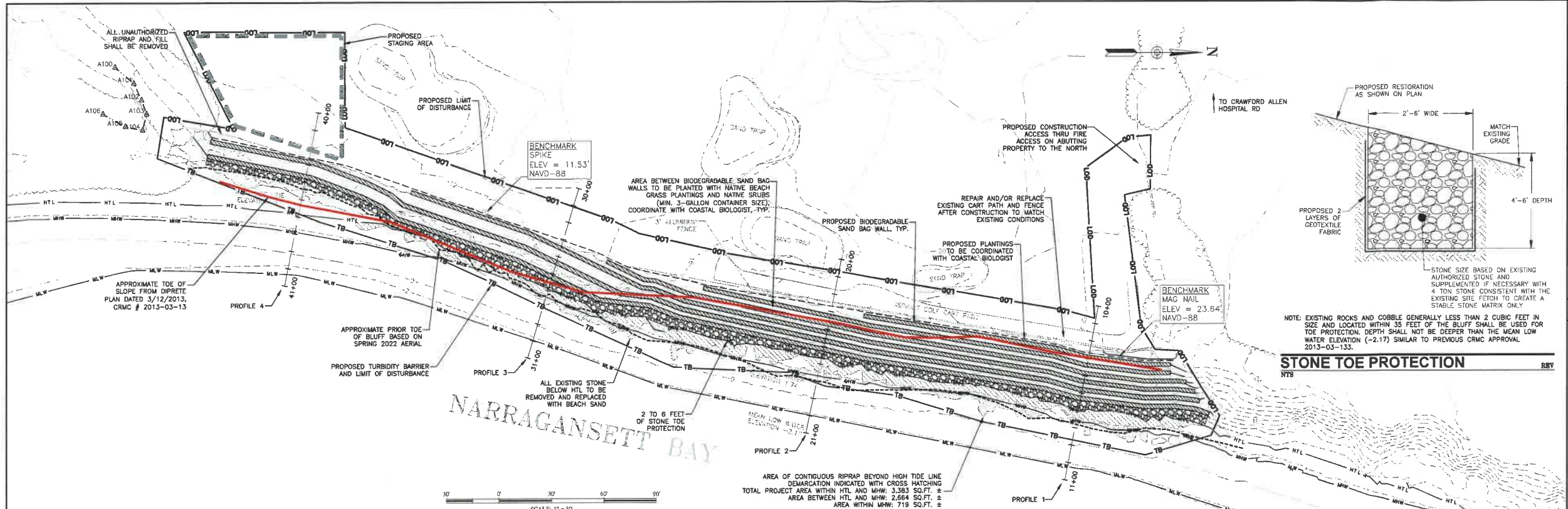
SERGIO F. CHERENZIA  
No. 8238  
REGISTERED PROFESSIONAL ENGINEER (CIVIL)

RECEIVED  
C-1  
MAR 31 2025

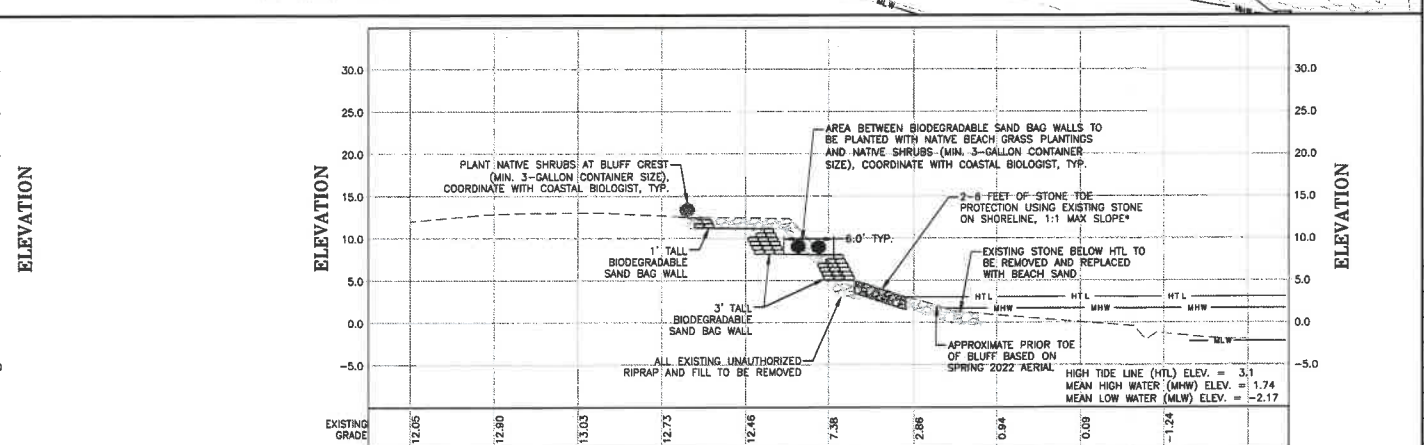
Sheet 1 of 2

COASTAL RESTORATION PLAN

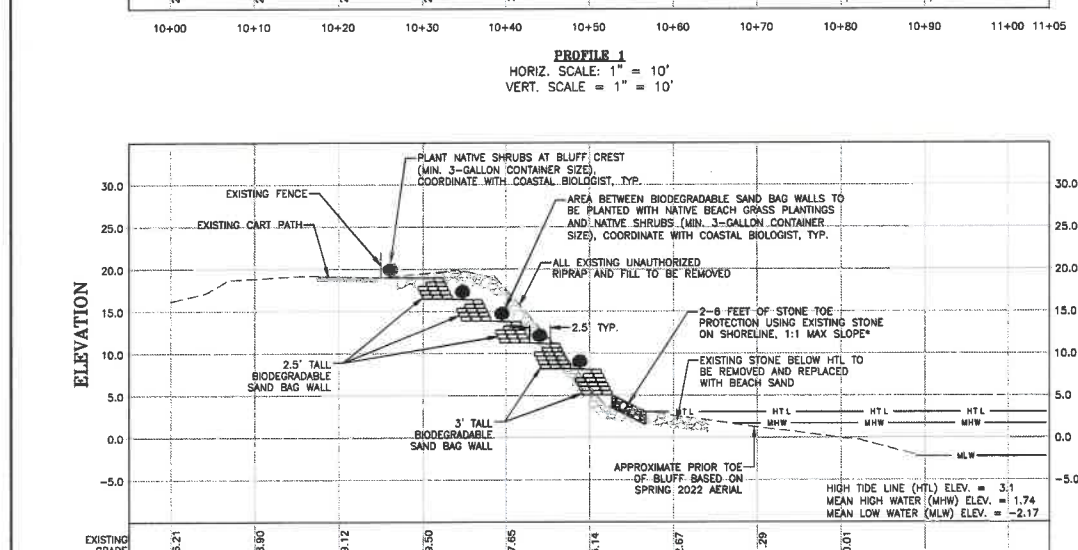
MAINTENANCE



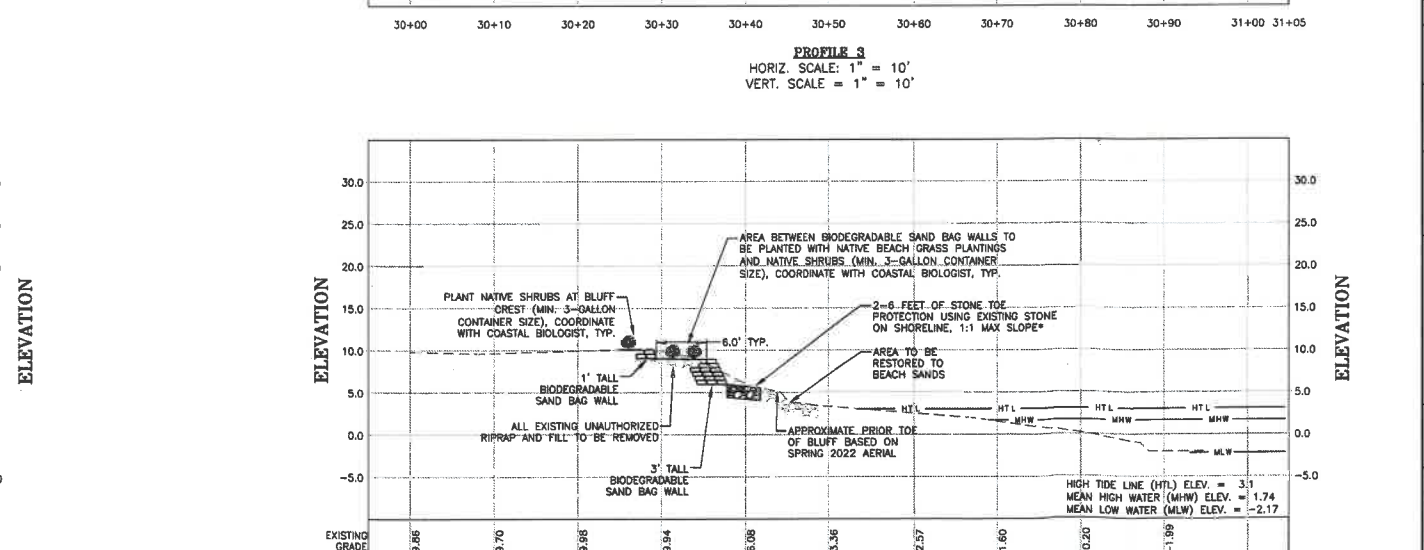
**PROFILE 1**  
HORIZ. SCALE: 1" = 10'  
VERT. SCALE: 1" = 10'



**PROFILE 3**  
HORIZ. SCALE: 1" = 10'  
VERT. SCALE: 1" = 10'



**PROFILE 2**  
HORIZ. SCALE: 1" = 10'  
VERT. SCALE: 1" = 10'



**PROFILE 4**  
HORIZ. SCALE: 1" = 10'  
VERT. SCALE: 1" = 10'

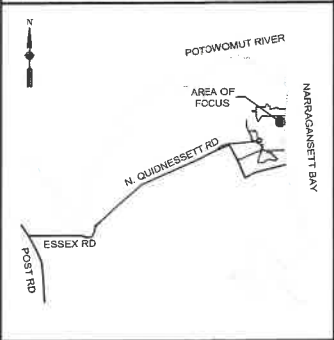
AREA OF CONTIGUOUS RIPRAP BEYOND HIGH TIDE LINE DEMARCATION INDICATED WITH CROSS HATCHING  
TOTAL PROJECT AREA WITHIN HTL AND MHW: 3,383 SQ.FT. ±  
AREA BETWEEN HTL AND MHW: 2,664 SQ.FT. ±  
AREA WITHIN MHW: 719 SQ.FT. ±

RECEIVED

MAR 31 2025

COASTAL RESOURCES  
MANAGEMENT COUNCIL





- NOTES:**
- THE DESIGN SHALL BE MAINTAINED AND RE-ESTABLISHED BASED ON THE HTL ESTABLISHED PER THE 2024 QUONSET TIDE GAUGE PREDICTIONS AS STORMS IMPACT THE AREA. THE HTL IS SHOWN ON THE SURVEY PLAN PREPARED BY CHERENZIA & ASSOCIATES, LTD. TITLED EXISTING CONDITIONS PLAN, DATA ACCUMULATION SURVEY PREPARED FOR QUIDNESSETT COUNTRY CLUB DATED JUNE 7, 2024 REVISED JULY 23, 2024.
  - A BOUNDARY SURVEY HAS NOT BEEN PERFORMED FOR THE PROPERTY.
  - EXISTING SHORELINE VEGETATION SHALL BE PRESERVED BOTH DURING AND AFTER WORK COMPLETION.
  - ONLY EXISTING BEACH STONE FROM THE IMMEDIATE VICINITY (GENERALLY WITHIN 35 FEET) OF THE ERODED BLUFF MAY BE USED FOR BLUFF PROTECTION BY STACKING IT AGAINST THE SCARP (ERODED BLUFF FACE). EXCESS REMOVAL AND USE OF BEACH STONE BEYOND 35 FEET FROM THE ERODED BLUFF OR BELOW THE MEAN HIGH WATER MARK IS NOT ALLOWED. STONE FROM OFF-SITE AREAS MAY NOT BE USED UNLESS AUTHORIZED BY CRMC.
  - NO MORTAR OR CONCRETE MAY BE USED.
  - NO CONSTRUCTION DEBRIS INCLUDING ANY EXISTING SHORELINE DEBRIS MAY BE USED TO PROTECT ERODED AREAS BY PLACING AGAINST THE SCARP.
  - ONLY BIODEGRADABLE MATERIALS SHALL BE UTILIZED.
  - BIODEGRADABLE SAND BAGS SHALL BE BEDDED IN COMPACTED GRAVEL BORROW. GRAVEL BORROW SHALL BE REVIEWED AND VERIFIED BY A GEOTECHNICAL ENGINEER.
  - VEGETATION SHALL BE COORDINATED WITH A COASTAL BIOLOGIST. NATIVE PLANTS WILL BE SELECTED FROM THE CRMC COASTAL BUFFER ZONE PLANTING GUIDE REVISED AUGUST 2008.
  - CHERENZIA MAKES NO GUARANTEES OF THE EFFECTIVENESS AND/OR LASTING INTEGRITY OF THIS NON-STRUCTURAL RESTORATION.
  - THE PLAN HEREIN IS CONSIDERED A TEMPORARY MEASURE AND MAY REQUIRED REPAIR AFTER TIDAL SURGES AND/OR STORM EVENTS.

**PLAN REVISIONS**

REV. NO.	DATE	DESCRIPTION	DRAWN BY	CHECK BY
1	9/20/24	CRMC COMMENTS	AKG	SFC
2	10/30/24	CRMC COMMENTS	AKG	SFC

SCALE: AS NOTED  
CA JOB # 224031  
DATE: AUG. 16, 2024

DRAWN BY: AKG  
CHECK BY: SFC

ISSUED FOR REVIEW

COASTAL RESTORATION PLAN

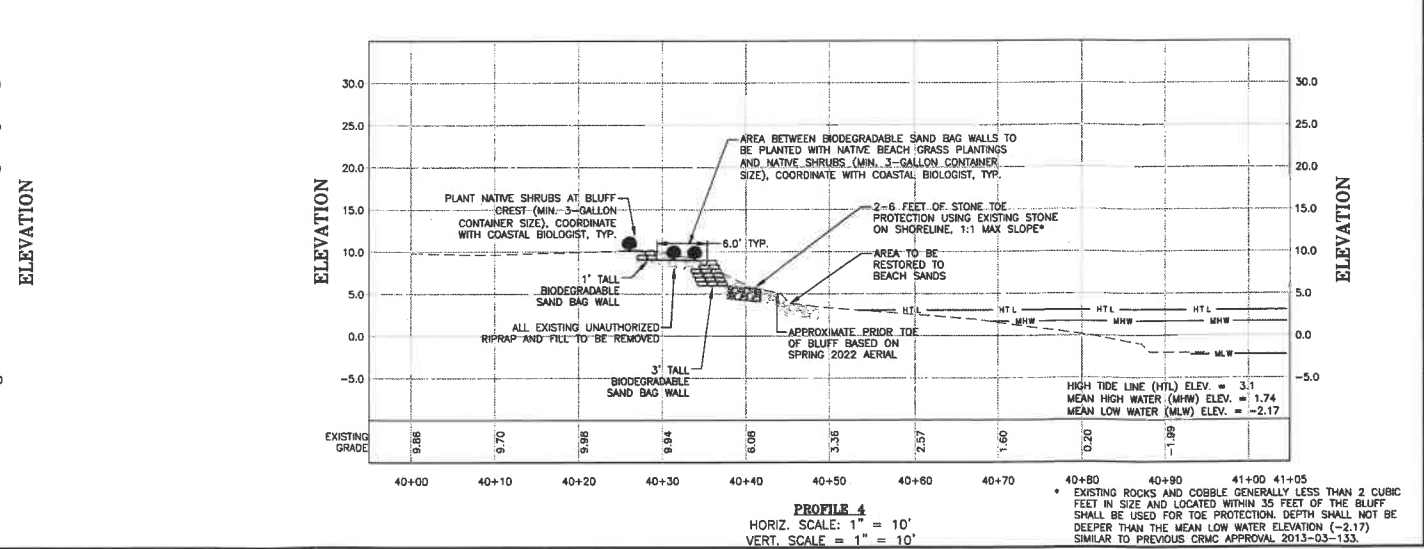
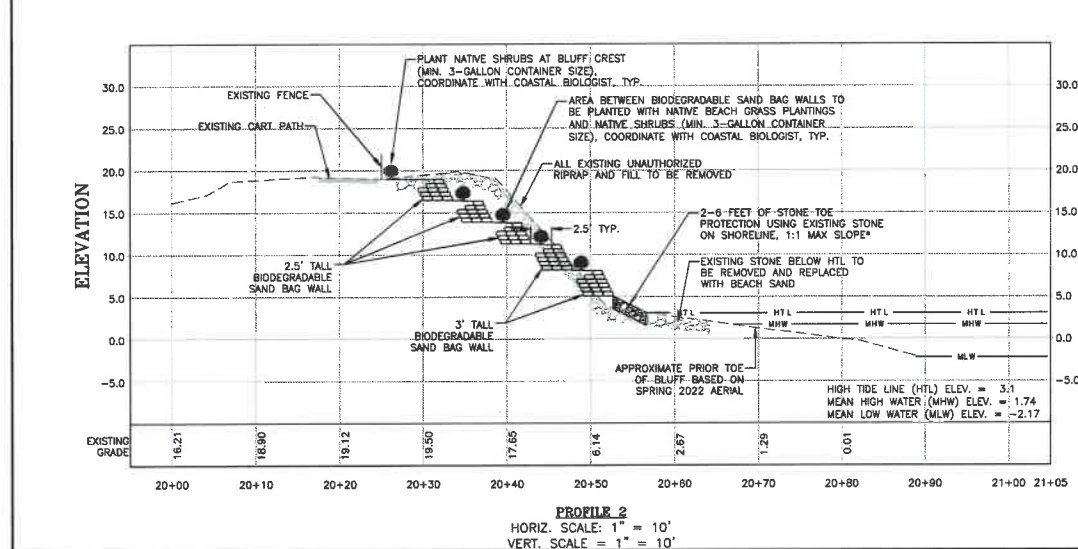
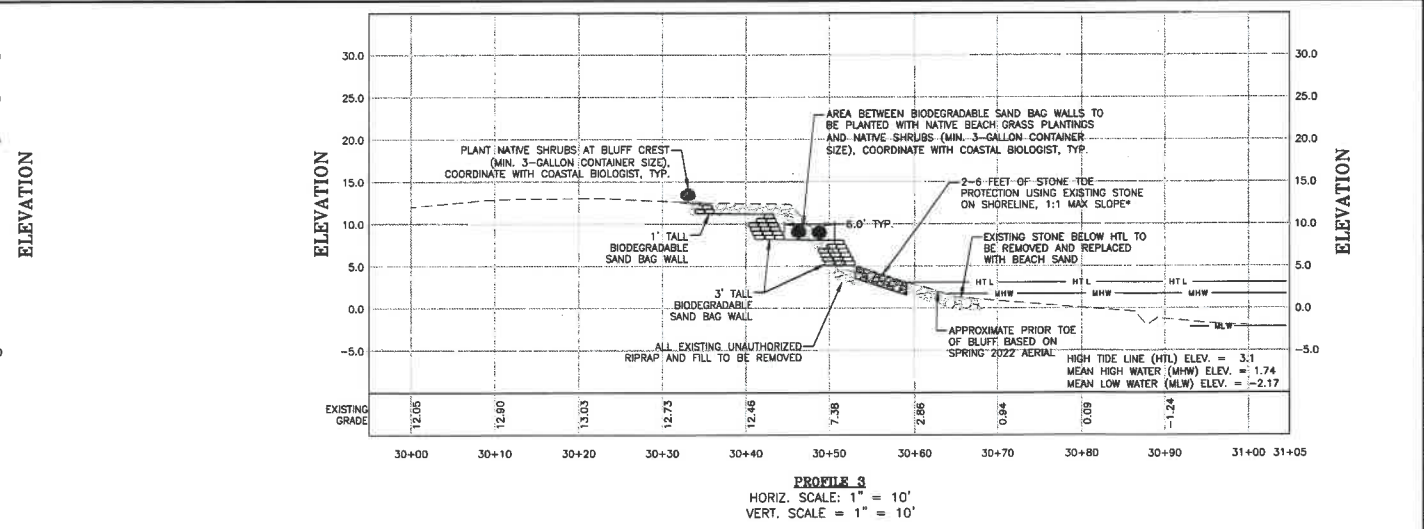
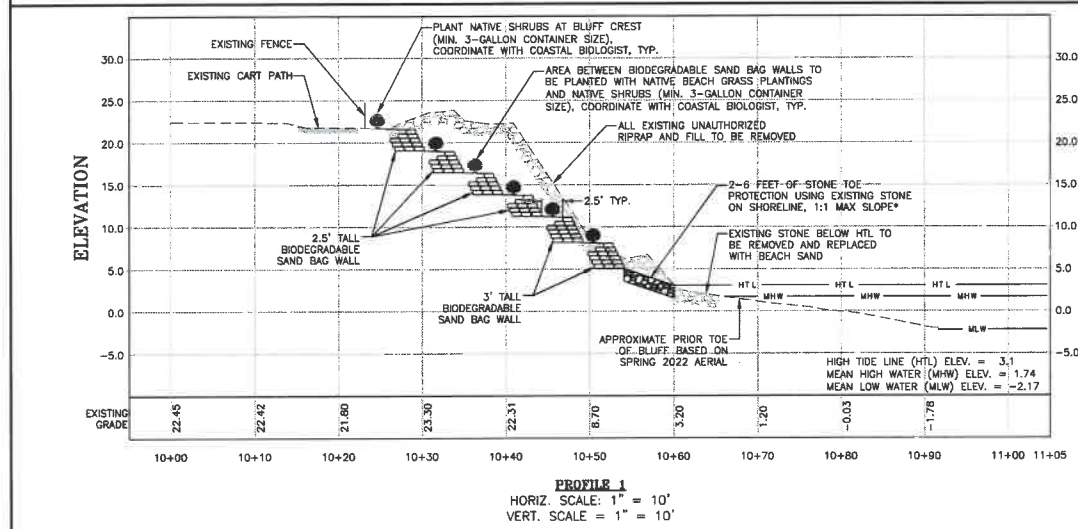
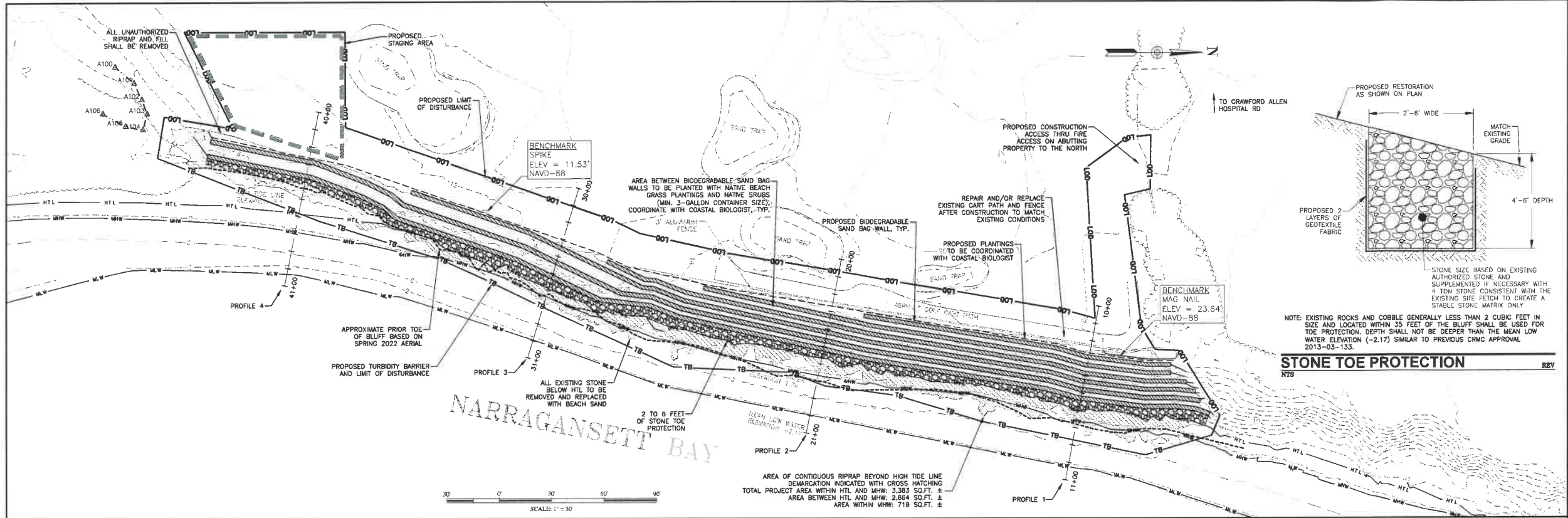
QUIDNESSETT COUNTRY CLUB  
950 NORTH QUIDNESSETT ROAD  
PLAT 167 LOT 2  
NORTH KINGSTOWN, RHODE ISLAND

PREPARED FOR  
QUIDNESSETT COUNTRY CLUB

**SERGIO F. CHERENZIA**  
No. 9238  
REGISTERED PROFESSIONAL ENGINEER (CIVIL)

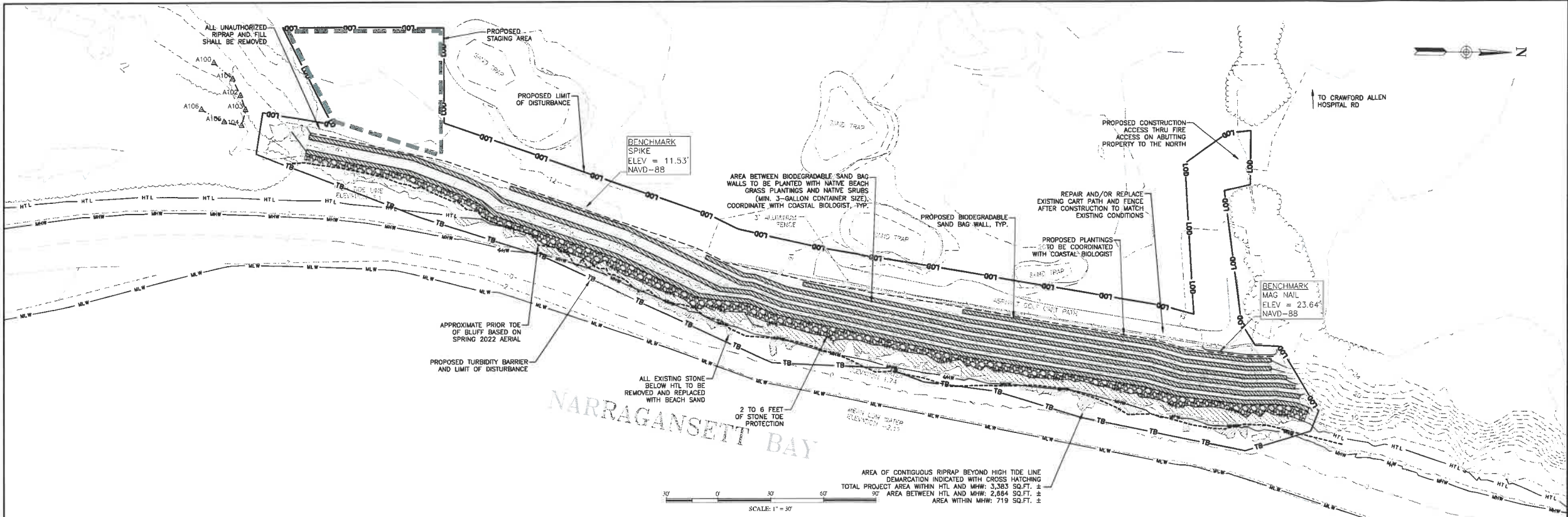
**C-1**  
MAR 31 2025

Sheet 1 of 2



\* EXISTING ROCKS AND COBBLE GENERALLY LESS THAN 2 CUBIC FEET IN SIZE AND LOCATED WITHIN 35 FEET OF THE BLUFF SHALL BE USED FOR TOE PROTECTION. DEPTH SHALL NOT BE DEEPER THAN THE MEAN LOW WATER ELEVATION (-2.17) SIMILAR TO PREVIOUS CRMC APPROVAL, 2013-03-133.

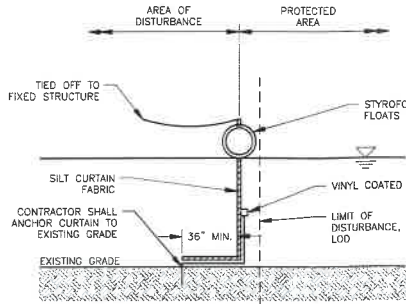




- SITE SPECIFIC DATA**
- TOTAL AREA OF DISTURBANCE = 0.98± ACRES
  - NATURAL HERITAGE AREA (NHA) IMPACT - NO
  - WATERSHED = WEST PASSAGE ID# R0007027E-03J, IMPAIRMENTS FOR DISSOLVED OXYGEN, NO TMDL
- EROSION CONTROLS/CONSTRUCTION SEQUENCING**
- PRIOR TO THE START OF CONSTRUCTION OF ANY EARTHWORK ACTIVITIES, THE CONTRACTOR SHALL NOTIFY ALL APPLICABLE AGENCIES AND INSTALL THE EROSION CONTROL MEASURES SHOWN ON THESE PLANS IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL PERMITS PERTAINING TO THIS PROJECT.
  - THE CONTRACTOR SHALL KEEP A COPY OF THE APPROVED PLAN SET AT THE CONSTRUCTION SITE AT ALL TIMES.
  - THE CONTRACTOR SHALL INSTALL ALL EROSION AND SEDIMENTATION (E&S) CONTROL MEASURES SHOWN ON THE PLAN SET IN ACCORDANCE WITH THE SESC PLAN AND THE MOST RECENT EDITION OF THE "RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK."
  - THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN AND/OR UPGRADE THESE MEASURES, AS NECESSARY, THROUGHOUT CONSTRUCTION, TO MEET THE REQUIREMENTS OF ALL RELATED PERMITS FOR THE PROJECT.
  - THE CONTRACTOR SHALL PREPARE AND MAINTAIN A RED-LINED COPY OF THE SITE PLANS SHOWING INTENDED AREAS FOR STAGING, STOCKPILING, WASHOUT, SOLID WASTE CONTAINMENT, AND TEMPORARY SEDIMENTATION CONTROL AREAS. ALL SUCH AREAS SHALL BE LOCATED OUTSIDE OF REGULATED WETLAND AREAS OR AREAS INTENDED FOR INFILTRATION PRACTICES.
  - EROSION CONTROL DEVICES
    - ROADS ADJACENT TO THE CONSTRUCTION SITE SHALL BE CLEAN AT THE END OF EACH WORK DAY.
    - SILT FENCE SHALL BE INSTALLED AROUND ALL EARTH STOCKPILES.
    - ALL OTHER EROSION CONTROL DEVICES SHOWN ON THESE PLANS SHALL BE IN ACCORDANCE WITH "RHODE ISLAND STORMWATER MANAGEMENT, DESIGN, AND INSTALLATION RULES" AND THE "RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK."
  - THE EROSION CONTROL MEASURES SHOWN ON THESE PLANS ARE INTENDED TO BE THE MINIMUM NECESSARY AT THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN AND SUPPLEMENT THESE EROSION CONTROLS, AS NECESSARY THROUGHOUT CONSTRUCTION, TO PREVENT DAMAGE TO WETLANDS AND/OR SURROUNDING PROPERTIES.
  - THE CONTRACTOR SHALL PREVENT DUST, DEBRIS, OR SEDIMENTS FROM LEAVING THE SITE DURING CONSTRUCTION AND SHALL BE RESPONSIBLE TO REPAIR, CLEAN UP, OR TAKE OTHER CORRECTIVE ACTION IMMEDIATELY OR NO LATER THAN 24 HOURS AFTER ANY ISSUE ARISES.
  - THE CONTRACTOR SHALL CONTROL CONSTRUCTION STORMWATER RUNOFF IN SUCH A MANNER AS TO PREVENT DAMAGE TO DOWN-GRADIENT PROPERTIES. ANY PROPERTIES SO DAMAGED SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
  - THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL DEVICES ON A WEEKLY BASIS AND WITHIN 12 HOURS AFTER A RAINFALL EVENT THE CONTRACTOR SHALL IMMEDIATELY REPAIR DAMAGED DEVICES AND SHALL REMOVE ACCUMULATED SEDIMENTS IN ACCORDANCE WITH LOCAL STATE REQUIREMENTS. WHEN APPLICABLE, ACCUMULATED SEDIMENTS SHALL BE REMOVED FROM THE SITE OR PLACED AWAY FROM WETLANDS AND CLOSED DRAINAGE SYSTEMS.
  - THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PERFORM EARTHWORK IN PHASES THAT ALLOW FOR STABILIZATION OF THESE AREAS IN A RELATIVELY SHORT TIME PERIOD AND TO DISCOURAGE EROSION AND SEDIMENTATION. ANY EXPOSED SOILS INTENDED TO REMAIN FOR MORE THAN 14 DAYS SHALL BE STABILIZED WITH MULCH, OR TEMPORARY SEED AND WATERED TO ENCOURAGE VEGETATION.
  - THE CONTRACTOR SHALL INSTALL PERMANENT SEEDING BETWEEN APRIL 15TH AND JUNE 15TH AND/OR AUGUST 15TH TO OCTOBER 15TH.
  - THE CONTRACTOR SHALL APPLY PERMANENT SOIL STABILIZATION MEASURES TO ALL GRADED AREAS WITHIN SEVEN (7) DAYS OF ESTABLISHING FINAL GRADE.
  - THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL E&S MEASURES ONLY AFTER VEGETATION IN LANDSCAPE AREAS IS WELL ESTABLISHED.

- OPERATIONS PLAN**
- CONSTRUCTION ACCESS SHALL BE FROM CRAWFORD ALLEN HOSPITAL ROAD, EXITING INTO THE PARKING LOT FOR THE FRANCISCAN APOSTOLIC SISTERS CHURCH AND TRAVELING ALONG THE WESTERN THEN SOUTHERN SIDES OF THE CHURCH TO AN EXISTING FIRE PATH THE THE PROJECT AREA.
  - IMPERVIOUS MATS OR OTHER SURFACE PROTECTION COORDINATED WITH THE OWNER SHALL BE PLACED OVER ANY GOLF COURSE AREAS SUBJECT TO CONSTRUCTION TRAFFIC TO PROTECT EXISTING SURFACES BEFORE START OF CONSTRUCTION.
  - TURBIDITY BARRIERS SHALL BE PLACED ON THE DOWN GRADIENT SIDE OF THE PROPOSED WORK.
  - EXISTING RIPRAP AND FILL SHALL BE REMOVED FROM THE PROJECT AREA. WORK SHALL BE PERFORMED FROM THE TOP OF THE BLUFF WORKING DOWN UNTIL ALL PREVIOUSLY IMPORTED MATERIAL IS REMOVED.
  - ALL PREVIOUSLY IMPORTED RIPRAP AND FILL SHALL BE REMOVED FROM THE PROJECT. ALL NATIVE ROCK SHALL BE STOCKPILED FOR REUSE FOR THE TOE PROTECTION.
  - PROPOSED RESTORATION SHALL TAKE PLACE FROM THE BOTTOM OF THE BLUFF WORKING UPWARD TO THE TOP OF THE BLUFF. THE RESTORATION SHALL CONSIST OF 2-6 FEET OF STONE TOE PROTECTION, BIODEGRADABLE SAND BAG WALLS, AND AREAS PLANTED WITH NATIVE BEACH GRASSES AND SHRUBS.
  - THE CONTRACTOR SHALL COORDINATE ON THE EXACT METHOD OF CONSTRUCTION SEQUENCING AND PHASING.
  - TOP OF BLUFF SHALL BE RESTORED TO MATCH EXISTING CONDITIONS AT THE END OF THE PROJECT.
  - EQUIPMENT USED SHALL BE STANDARD EXCAVATION EQUIPMENT. EQUIPMENT SHALL GENERALLY CONSIST OF AN EXCAVATOR WITH GRAPPLE AND BUCKET AND DUMP TRUCKS. EXACT EQUIPMENT SHALL BE COORDINATED BY THE CONTRACTOR.
  - PROJECT STAGING SHALL TAKE PLACE ON THE TOP OF THE BLUFF ON THE EXISTING GOLF COURSE.

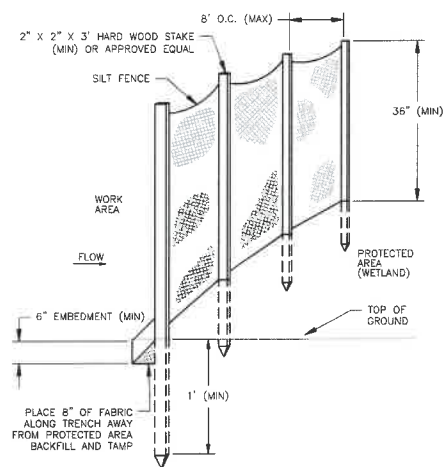
- REPORTING REQUIREMENTS**
- BIWEEKLY MONITORING REPORTS SHALL BE SENT TO CRMC ENFORCEMENT STAFF.



NOTES:  
1. REQUIRED DEPTH OF CURTAIN MAY VARY

**TURBIDITY BARRIER DETAIL**

NTS CA-EC-008



NOTES:  
1. SILT FENCE SHALL BE LOCATED AT 10' FROM TOE OF SLOPE FOR MAINTENANCE.  
2. 8\"/>

**SILT FENCE**

NTS CA-EC-001



**CONSTRUCTION ACCESS MAP**

1"=160'

PLAN REVISIONS				
REV. NO.	DATE	DESCRIPTION	DWN BY	CHK BY
1	9/20/24	CRMC COMMENTS	AKG	SFC
2	10/30/24	CRMC COMMENTS	AKG	SFC

SCALE: AS NOTED  
CA JOB # 224031  
DATE: AUG. 16, 2024

DRAWN BY: AKG  
CHECK BY: SFC

ISSUED FOR REVIEW

SOIL EROSION AND SEDIMENT  
CONTROL PLAN

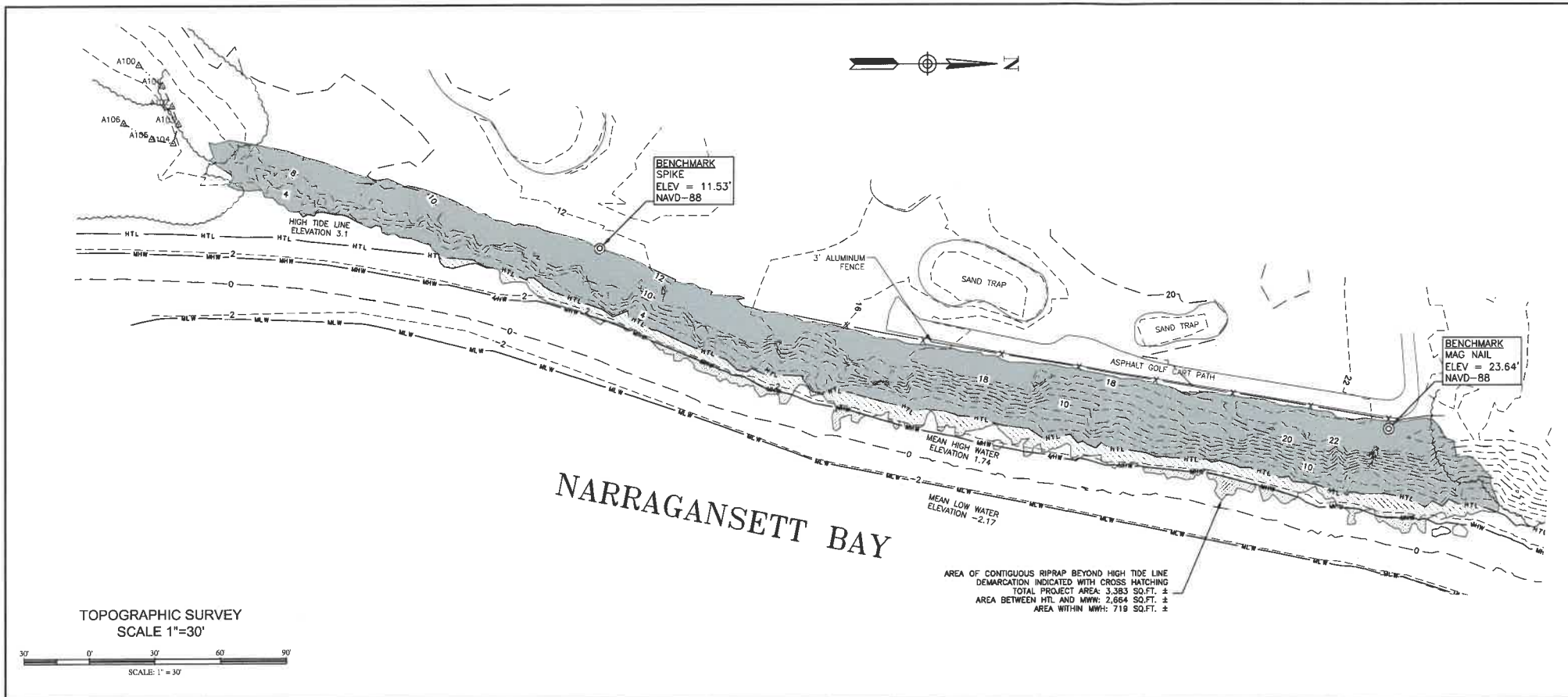
QUIDNESSETT COUNTRY CLUB  
950 NORTH QUIDNESSETT ROAD  
PLAT 167 LOT 2  
NORTH KINGSTOWN, RHODE ISLAND

PREPARED FOR  
QUIDNESSETT COUNTRY CLUB

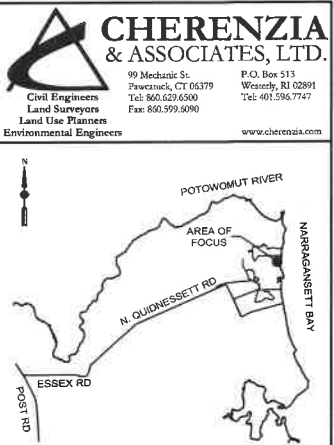


C-2  
MAR 31 2025

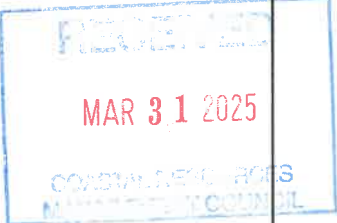




- LEGEND
- MAJOR CONTOUR - 10' INTERVAL
  - MINOR CONTOUR - 2' INTERVAL
  - FENCE LINE
  - EDGE OF VEGETATION
  - MEAN LOW WATER
  - MEAN HIGH WATER
  - HIGH TIDE LINE
  - DELINEATED WETLAND
  - RIPRAP (GRAPHICAL REPRESENTATION)
  - WETLAND DELINEATION FLAG



LOCATION MAP



- NOTES:
- ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD-88). VERTICAL CONTROL DERIVED FROM GNSS OBSERVATIONS UTILIZING THE CTDOT ACORN RTK NETWORK WITH CORS ID REFERENCE "URIL", KINGSTON, RI. & GEOID MODEL GEOID18.
  - LIMITS OF FIELD TOPOGRAPHY SHOWN HEREON REPRESENTS INFORMATION GATHERED FROM FIELD SURVEYS CONDUCTED BY CHERENZIA & ASSOCIATES, LTD ON 05/14/24, 06/03/24, 07/17/24.
  - SOURCE OF MEASUREMENT DATA IS BASED UPON CONVENTIONAL FIELD SURVEYING, GNSS OBSERVATIONS, AND THE USE OF UNMANNED AERIAL SYSTEMS LIDAR EQUIPPED WITH A HESAI PANDAR XT32 SCANNER.
  - MEAN HIGH WATER AND MEAN LOW WATER ELEVATIONS WERE INTERPOLATED FROM NOAA TIDAL STATIONS 8454049 (QUONSET POINT) AND 8454578 (EAST GREENWICH) TIDAL EPIC 1983-2001. HIGHEST TIDE OF THE 2024 CALENDAR YEAR, 10/18/2024, BASED ON PREDICTED TIDE ELEVATIONS FOR STATION QUONSET, PUBLISHED BY THE NOAA.

CERTIFICATION:

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF SURVEY:  
MEASUREMENT SPECIFICATION:  
DATA ACCUMULATION-PLANIMETRICS  
TOPOGRAPHY

CLASS III  
CLASS T-2

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND THE PREPARATION OF THE PLAN IS TO SHOW EXISTING CONDITIONS OF THE SEAWALL SHOWN HEREON.

BY: *MA Castellanos*

PLS SIGNATURE

MARK A. CASTELLANOS PLS #2511

PRINTED PLS NAME & LICENSE NO.

LS.000A133-COA

PLAN REVISIONS				
REV. NO.	DATE	DESCRIPTION	DWN BY	CHK BY
1	7-3-24	HIGH TIDE LINE, WETLAND	MC	MC
1	7-23-24	UPDATED TOPOGRAPHY	JF	MC

SCALE: 1"=20'  
CA JOB #224031  
DATE: JUNE 7, 2024

DRAWN BY: JF  
CHECKED BY: MAC

EXISTING CONDITIONS PLAN

DATA ACCUMULATION  
SURVEY

980 NORTH QUIDNESSETT ROAD  
PLAT 167 LOT 2  
NORTH KINGSTOWN, RHODE ISLAND

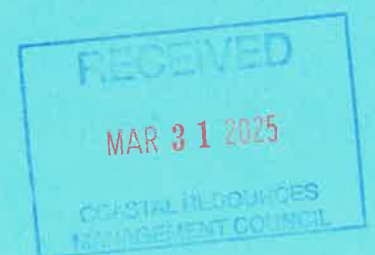
PREPARED FOR  
QUIDNESSETT COUNTRY CLUB

MARK A. CASTELLANOS

No. 2511

PROFESSIONAL  
LAND SURVEYOR

SV-1





Jennifer R. Cervenka  
(401) 214-1022  
jcervenka@cgdesq.com

November 1, 2024

**VIA EMAIL ONLY**

Brian A. Harrington  
Environmental Scientist III  
Coastal Resources Management Council  
Oliver H. Stedman Government Center  
4808 Tower Hill Road, Suite 3  
Wakefield, RI 02879-1900  
[bharrington@crmc.ri.gov](mailto:bharrington@crmc.ri.gov)

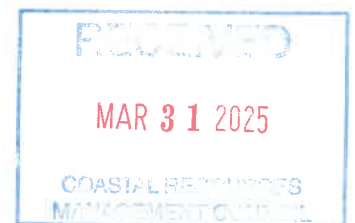
Re: Quidnessett Country Club, Inc. ("QCC") – Cease & Desist Order, Notices  
of Administrative Fines, CRMC Enforcement File No. 23-0185

Dear Mr. Harrington:

This letter is provided in response to your letter dated October 11, 2024, which included two comments on the proposed restoration plan by Cherenzia & Associates, LTD dated September 20, 2024.

First, you note that QCC's proposed stone toe protection "extends farther seaward than the previously authorized location of the toe of the bluff" and that it "can extend no farther seaward than the location of the proposed toe berm as approved by CRMC assent 2013-03-133, and shown on the plan titled 'Quidnessett Country Club', prepared by DiPrete Engineering, dated March 12, 2013." As depicted on the attached restoration plan as a red line, that approximate location is substantially landward of where QCC proposes to place the stone. If QCC were pushed back to this line, then there would be no room for the proposed terraced sandbag system (nor any other non-structural system) along approximately two-thirds of the bluff. The previously approved stone location was designed to protect burritos that were staggered on top of one another adjacent to the bluff. As you know, that system failed catastrophically. We are proposing a different shoreline protection system that is built out further seaward in a more gradual, terraced configuration. The proposed stone ends at an average of twelve feet from the mean high water line, thereby preserving lateral access. As noted in your letter, QCC must ensure the

**cervenka green & ducharme llc**  
225 Dyer Street, 2<sup>nd</sup> Floor, Providence, RI 02903  
[www.cgdesq.com](http://www.cgdesq.com) | p: (401) 214-1020



safety of the players at all times and it simply cannot meet this objective with the 2013-approved toe of the berm line.

Given the above, we request that the agency reconsider its position on the location of the stone north of the plan's "Profile 3" line and accept the location that we have proposed in the attached Cherenzia plan (revised October 30, 2024). Use of the 2013 toe of the berm line to the south of the Profile 3 line does work for the proposed terraced sandbag system.

With respect to your second comment requesting that QCC show erosion and sedimentation controls on the plan, we have added a turbidity barrier. *See* attached revised plan from Cherenzia & Associates, Ltd. dated October 30, 2024.

As indicated in previous correspondence to the agency, QCC reserves its rights to pursue its Water Type Change Petition, CRMC File No. 2024-04-071, (and, if approved, a Category B shoreline protection application), and objects to restoration of the bluff pending the outcome of any CRMC proceedings.<sup>1</sup> To require QCC to situate its shoreline protection system based on 2013 toe of the berm line is arbitrary and capricious and eliminates any viable option for non-structural shoreline protection in that area.

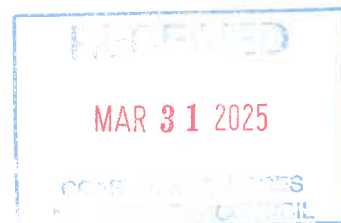
Sincerely,



Jennifer R. Cervenka

Attachments

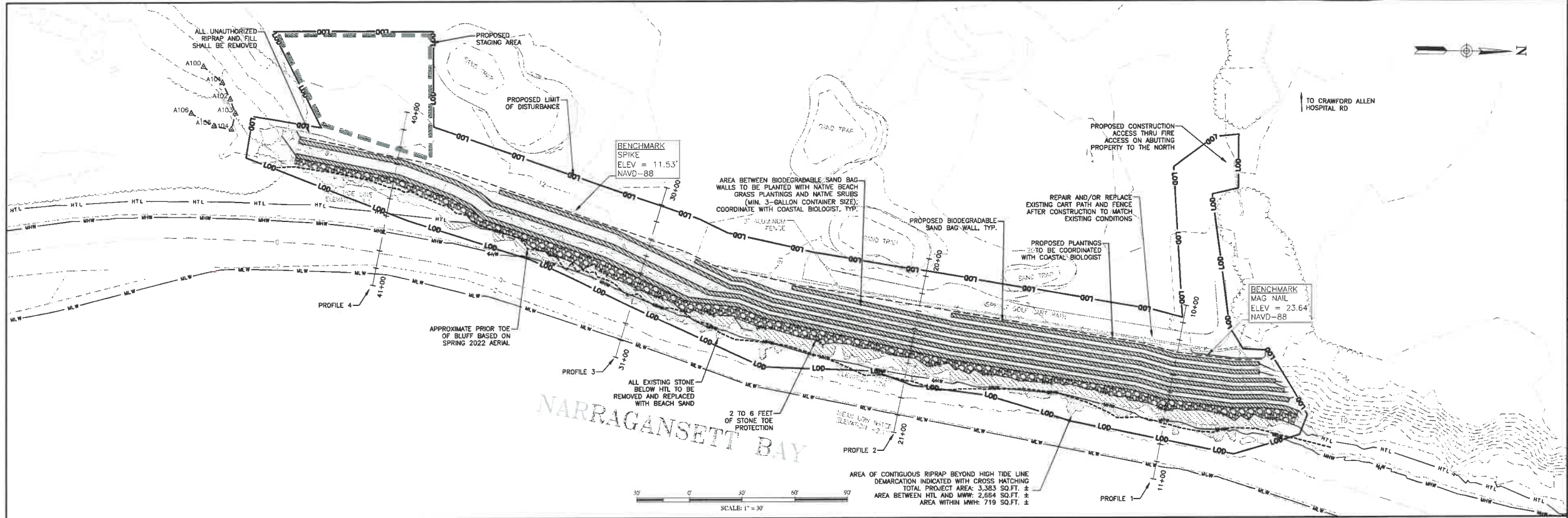
cc: Janice Mathews, QCC  
Robin L. Main, Hinkley Allen  
Sergio Cherenzia, Cherenzia & Associates, Ltd.  
Joseph Klinger, Ecotones, Inc.  
Anthony DeSisto, CRMC Chief Legal Counsel  
Jeffrey M. Willis, CRMC Executive Director



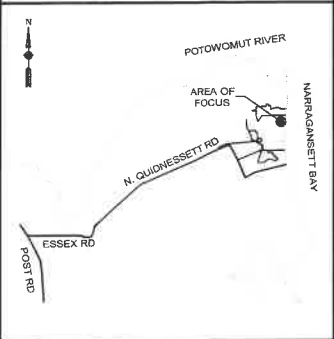
---

<sup>1</sup> At its September 24, 2024 meeting, the CRMC's Policy and Planning subcommittee voted to allow QCC to make a presentation with witnesses on the Water Type Change Petition at an upcoming meeting.





**CHERENZIA & ASSOCIATES, LTD.**  
Civil Engineers  
Land Use Planners  
Environmental Engineers  
99 Mechanic St.  
Pawcatuck, CT 06379  
Tel: 860.629.5500  
Fax: 860.599.6090  
P.O. Box 513  
Westbury, RI 02891  
Tel: 401.596.7747  
www.cherenzia.com



- NOTES:**
- THE DESIGN SHALL BE MAINTAINED AND RE-ESTABLISHED BASED ON THE HTL ESTABLISHED PER THE 2024 QUINSETT TIDE GAUGE PREDICTIONS AS STORMS IMPACT THE AREA. THE HTL IS SHOWN ON THE SURVEY PLAN PREPARED BY CHERENZIA & ASSOCIATES, LTD. TITLED EXISTING CONDITIONS PLAN, DATA ACCUMULATION SURVEY PREPARED FOR QUINNESSETT COUNTY CLUB DATED JUNE 7, 2024 REVISED JULY 23, 2024.
  - A BOUNDARY SURVEY HAS NOT BEEN PERFORMED FOR THE PROPERTY.
  - EXISTING SHORELINE VEGETATION SHALL BE PRESERVED BOTH DURING AND AFTER WORK COMPLETION.
  - ONLY EXISTING BEACH STONE FROM THE IMMEDIATE VICINITY (GENERALLY WITHIN 35 FEET) OF THE ERODED BLUFF MAY BE USED FOR BLUFF PROTECTION BY STACKING IT AGAINST THE SCARP (ERODED BLUFF FACE). EXCESS REMOVAL AND USE OF BEACH STONE BEYOND 35 FEET FROM THE ERODED BLUFF OR BELOW THE MEAN HIGH WATER MARK IS NOT ALLOWED. STONE FROM OFF-SITE AREAS MAY NOT BE USED UNLESS AUTHORIZED BY CRMC.
  - NO MORTAR OR CONCRETE MAY BE USED.
  - NO CONSTRUCTION DEBRIS INCLUDING ANY EXISTING SHORELINE DEBRIS MAY BE USED TO PROTECT ERODED AREAS BY PLACING AGAINST THE SCARP.
  - ONLY BIODEGRADABLE MATERIALS SHALL BE UTILIZED.
  - BIODEGRADABLE SAND BAGS SHALL BE BEDDED IN COMPACTED GRAVEL BORROW. GRAVEL BORROW SHALL BE REVIEWED AND VERIFIED BY A GEOTECHNICAL ENGINEER.
  - VEGETATION SHALL BE COORDINATED WITH A COASTAL BIOLOGIST. NATIVE PLANTS WILL BE SELECTED FROM THE CRMC COASTAL BUFFER ZONE PLANTING GUIDE REVISED AUGUST 2008.
  - CHERENZIA MAKES NO GUARANTEES OF THE EFFECTIVENESS AND/OR LASTING INTEGRITY OF THIS NON-STRUCTURAL RESTORATION.
  - THE PLAN HEREIN IS CONSIDERED A TEMPORARY MEASURE AND MAY REQUIRED REPAIR AFTER TIDAL SURGES AND/OR STORM EVENTS.

**PLAN REFERENCES:**

1. SURVEY PLAN PREPARED BY CHERENZIA & ASSOCIATES, LTD. TITLED EXISTING CONDITIONS PLAN, DATA ACCUMULATION SURVEY PREPARED FOR QUINNESSETT COUNTY CLUB DATED JUNE 7, 2024 REVISED JULY 23, 2024.

PLAN REVISIONS				
REV. NO.	DATE	DESCRIPTION	DWN BY	CHK BY
1	9/20/24	CRMC COMMENTS	AKG	SFC

SCALE: AS NOTED  
CA JOB # 224031  
DATE: AUG. 16, 2024

DRAWN BY: AKG  
CHECK BY: SFC

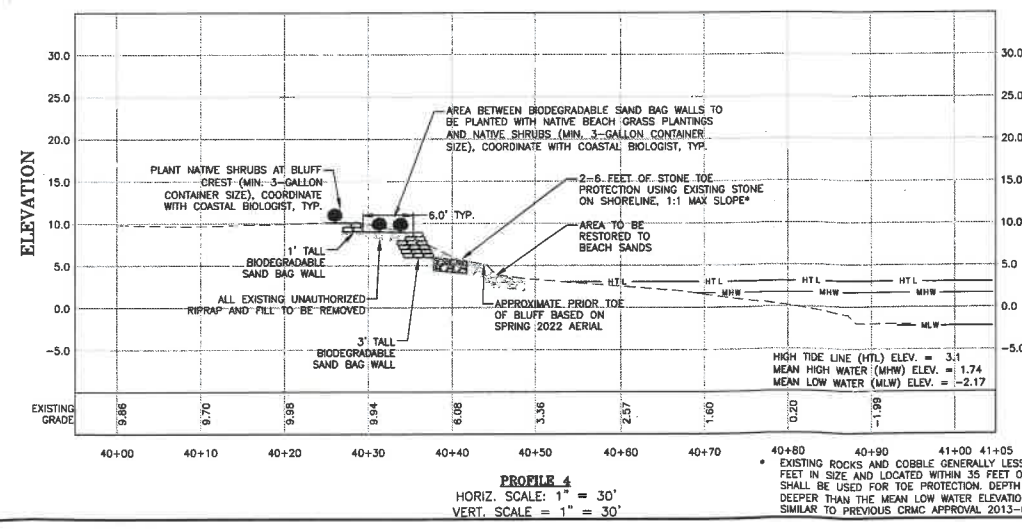
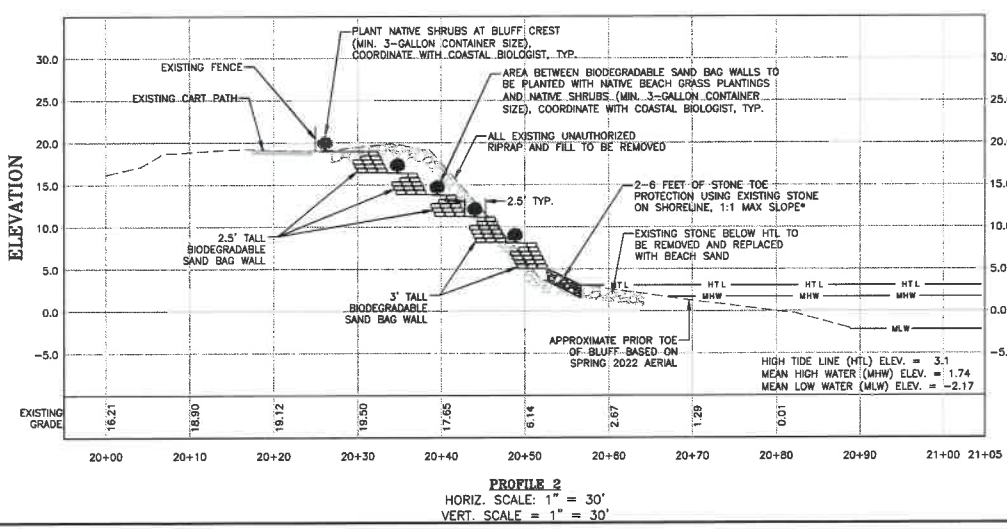
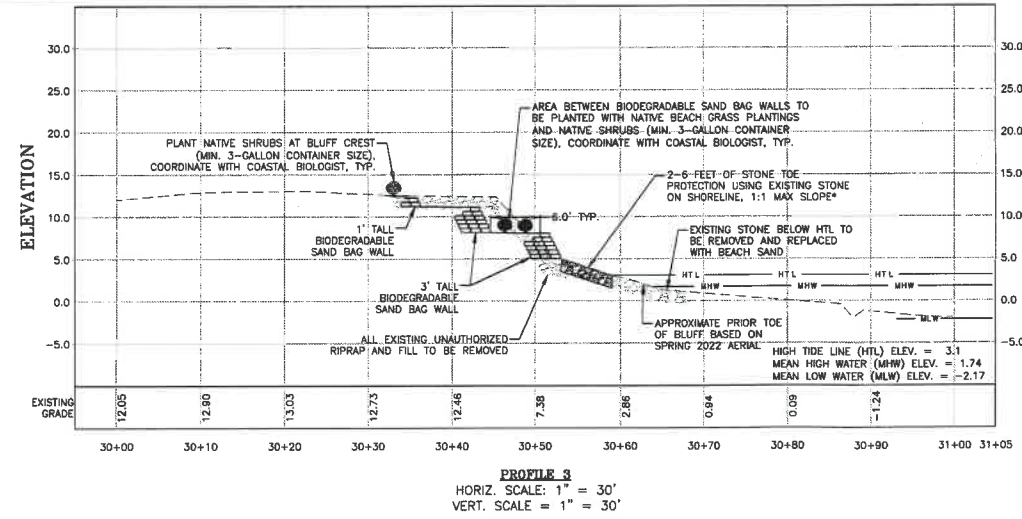
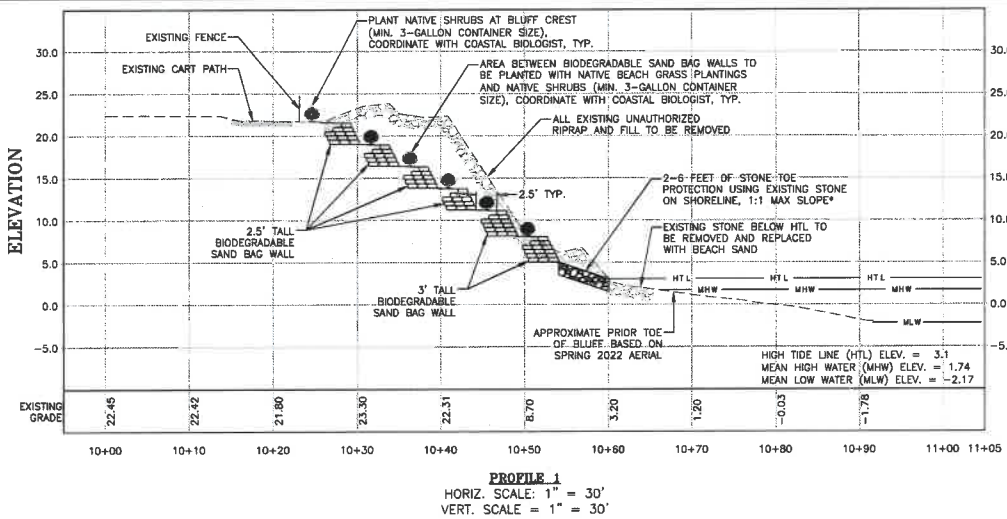
ISSUED FOR REVIEW

COASTAL RESTORATION PLAN

QUIDNESSETT COUNTRY CLUB  
950 NORTH QUIDNESSETT ROAD  
PLAT 167 LOT 2  
NORTH KINGSTOWN, RHODE ISLAND

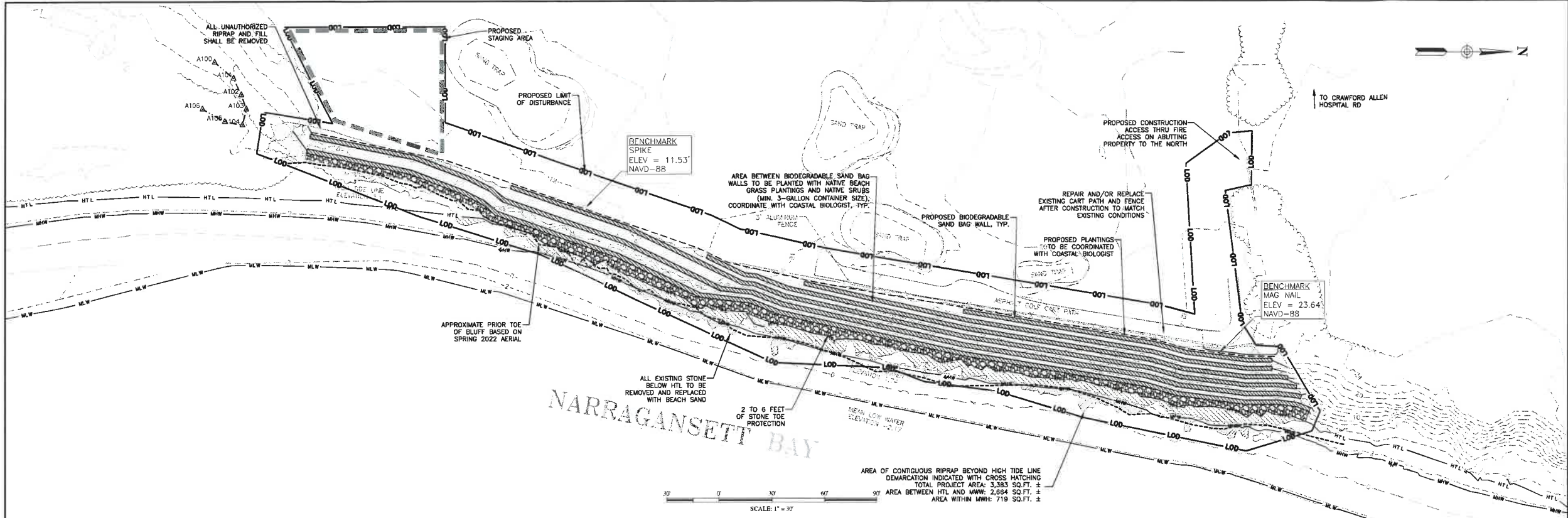
PREPARED FOR  
QUIDNESSETT COUNTRY CLUB

**SERGIO F. CHERENZIA**  
No. 9238  
REGISTERED PROFESSIONAL ENGINEER (CIVIL)  
C-1  
MAR 31 2025  
Sheet 1 of 2



\* EXISTING ROCKS AND COBBLE GENERALLY LESS THAN 2 CUBIC FEET IN SIZE AND LOCATED WITHIN 35 FEET OF THE BLUFF SHALL BE USED FOR TOE PROTECTION. DEPTH SHALL NOT BE DEEPER THAN THE MEAN LOW WATER ELEVATION (-2.17) SIMILAR TO PREVIOUS CRMC APPROVAL 2013-03-133.





**SITE SPECIFIC DATA**  
1. TOTAL AREA OF DISTURBANCE = 0.98± ACRES  
2. NATURAL HERITAGE AREA (NHA) IMPACT - NO  
3. WATERSHED = WEST PASSAGE ID# RI0007027E-033.  
IMPAIRMENTS FOR DISSOLVED OXYGEN, NO TMDL.

**EROSION CONTROLS/CONSTRUCTION SEQUENCING**

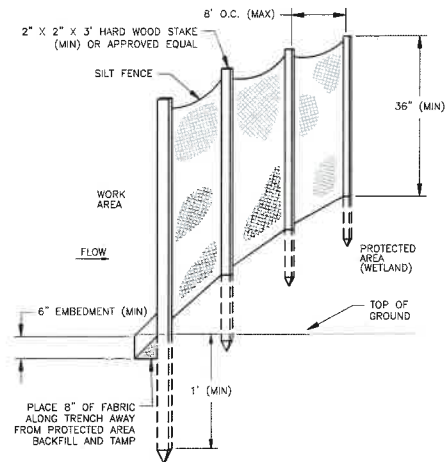
- PRIOR TO THE START OF CONSTRUCTION OF ANY EARTHWORK ACTIVITIES, THE CONTRACTOR SHALL NOTIFY ALL APPLICABLE AGENCIES AND INSTALL THE EROSION CONTROL MEASURES SHOWN ON THESE PLANS IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL PERMITS PERTAINING TO THIS PROJECT.
- THE CONTRACTOR SHALL KEEP A COPY OF THE APPROVED PLAN SET AT THE CONSTRUCTION SITE AT ALL TIMES.
- THE CONTRACTOR SHALL INSTALL ALL EROSION AND SEDIMENTATION (E&S) CONTROL MEASURES SHOWN ON THE PLAN SET IN ACCORDANCE WITH THE SESC PLAN AND THE MOST RECENT EDITION OF THE "RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK."
- THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN AND/OR UPGRADE THESE MEASURES, AS NECESSARY, THROUGHOUT CONSTRUCTION, TO MEET THE REQUIREMENTS OF ALL RELATED PERMITS FOR THE PROJECT.
- THE CONTRACTOR SHALL PREPARE AND MAINTAIN A RED-LINED COPY OF THE SITE PLANS SHOWING INTENDED AREAS FOR STAGING, STOCKPILING, WASHOUT, SOLID WASTE CONTAINMENT, AND TEMPORARY SEDIMENTATION CONTROL AREAS. ALL SUCH AREAS SHALL BE LOCATED OUTSIDE OF REGULATED WETLAND AREAS OR AREAS INTENDED FOR INFILTRATION PRACTICES.
- EROSION CONTROL DEVICES
  - AT LEAST ONE STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED FOR ACCESS TO THE PROJECT BY CONSTRUCTION VEHICLES. THE CONSTRUCTION ENTRANCE SHALL BE INSTALLED BEFORE CONSTRUCTION VEHICLES WILL BE ALLOWED TO ENTER THE CONSTRUCTION SITE. ADDITIONAL ENTRANCES/EXITS SHALL BE INSTALLED, IF MORE THAN ONE ACCESS POINT IS ANTICIPATED BY THE CONTRACTOR. A WASH OUT PAD MAY ALSO BE INSTALLED TO WASH CONSTRUCTION VEHICLES EXITING THE SITE.
  - ROADS ADJACENT TO THE CONSTRUCTION SITE SHALL BE CLEAN AT THE END OF EACH WORK DAY.
  - SILT FENCE SHALL BE INSTALLED AROUND ALL EARTH STOCKPILES.
  - ALL OTHER EROSION CONTROL DEVICES SHOWN ON THESE PLANS SHALL BE IN ACCORDANCE WITH "RHODE ISLAND STORMWATER MANAGEMENT, DESIGN, AND INSTALLATION RULES" AND THE "RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK."
- THE EROSION CONTROL MEASURES SHOWN ON THESE PLANS ARE INTENDED TO BE THE MINIMUM NECESSARY AT THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN AND SUPPLEMENT THESE EROSION CONTROLS, AS NECESSARY THROUGHOUT CONSTRUCTION, TO PREVENT DAMAGE TO WETLANDS AND/OR SURROUNDING PROPERTIES.
- THE CONTRACTOR SHALL PREVENT DUST, DEBRIS, OR SEDIMENTS FROM LEAVING THE SITE DURING CONSTRUCTION AND SHALL BE RESPONSIBLE TO REPAIR, CLEAN UP OR TAKE OTHER CORRECTIVE ACTION IMMEDIATELY OR NO LATER THAN 24 HOURS AFTER ANY ISSUE ARISES.
- THE CONTRACTOR SHALL CONTROL CONSTRUCTION STORMWATER RUNOFF IN SUCH A MANNER AS TO PREVENT DAMAGE TO DOWN-GRADIENT PROPERTIES; ANY PROPERTIES SO DAMAGED SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL DEVICES ON A WEEKLY BASIS AND WITHIN 12 HOURS AFTER A RAINFALL EVENT. THE CONTRACTOR SHALL IMMEDIATELY REPAIR DAMAGED DEVICES AND SHALL REMOVE ACCUMULATED SEDIMENTS IN ACCORDANCE WITH LOCAL STATE REQUIREMENTS, WHEN APPLICABLE. ACCUMULATED SEDIMENTS SHALL BE REMOVED FROM THE SITE OR PLACED AWAY FROM WETLANDS AND CLOSED DRAINAGE SYSTEMS.
- THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PERFORM EARTHWORK IN PHASES THAT ALLOW FOR STABILIZATION OF THESE AREAS IN A RELATIVELY SHORT TIME PERIOD AND TO DISCOURAGE EROSION AND SEDIMENTATION. ANY EXPOSED SOILS INTENDED TO REMAIN FOR MORE THAN 14 DAYS SHALL BE STABILIZED WITH MULCH, OR TEMPORARY SEED AND WATERED TO ENCOURAGE VEGETATION.
- THE CONTRACTOR SHALL INSTALL PERMANENT SEEDING BETWEEN APRIL 15TH AND JUNE 15TH AND/OR AUGUST 15TH TO OCTOBER 15TH.
- THE CONTRACTOR SHALL APPLY PERMANENT SOIL STABILIZATION MEASURES TO ALL GRADED AREAS WITHIN SEVEN (7) DAYS OF ESTABLISHING FINAL GRADE.
- THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL E&S MEASURES ONLY AFTER VEGETATION IN LANDSCAPE AREAS IS WELL ESTABLISHED.

**OPERATIONS PLAN**

- CONSTRUCTION ACCESS SHALL BE FROM CRAWFORD ALLEN HOSPITAL ROAD, EXITING INTO THE PARKING LOT FOR THE FRANCISCAN APOSTOLIC SISTERS CHURCH AND TRAVELING ALONG THE WESTERN THEN SOUTHERN SIDES OF THE CHURCH TO AN EXISTING FIRE PATH THE PROJECT AREA.
- IMPERVIOUS MATS OR OTHER SURFACE PROTECTION COORDINATED WITH THE OWNER SHALL BE PLACED OVER ANY GOLF COURSE AREAS SUBJECT TO CONSTRUCTION TRAFFIC TO PROTECT EXISTING SURFACES BEFORE START OF CONSTRUCTION.
- EXISTING RIPRAP AND FILL SHALL BE REMOVED FROM THE PROJECT AREA. WORK SHALL BE PERFORMED FROM THE TOP OF THE BLUFF WORKING DOWN UNTIL ALL PREVIOUSLY IMPORTED MATERIAL IS REMOVED.
- ALL PREVIOUSLY IMPORTED RIPRAP AND FILL SHALL BE REMOVED FROM THE PROJECT. ALL NATIVE ROCK SHALL BE STOCKPILED FOR REUSE FOR THE TOE PROTECTION.
- PROPOSED RESTORATION SHALL TAKE PLACE FROM THE BOTTOM OF THE BLUFF WORKING UPWARD TO THE TOP OF THE BLUFF. THE RESTORATION SHALL CONSIST OF 2-6 FEET OF STONE TOE PROTECTION, BIODEGRADABLE SAND BAG WALLS, AND AREAS PLANTED WITH NATIVE BEACH GRASSES AND SHRUBS.
- THE CONTRACTOR SHALL COORDINATE ON THE EXACT METHOD OF CONSTRUCTION SEQUENCING AND PHASING.
- TOP OF BLUFF SHALL BE RESTORED TO MATCH EXISTING CONDITIONS AT THE END OF THE PROJECT.
- EQUIPMENT USED SHALL BE STANDARD EXCAVATION EQUIPMENT. EQUIPMENT SHALL GENERALLY CONSIST OF AN EXCAVATOR WITH GRAPPLE AND BUCKET AND DUMP TRUCKS. EXACT EQUIPMENT SHALL BE COORDINATED BY THE CONTRACTOR.
- PROJECT STAGING SHALL TAKE PLACE ON THE TOP OF THE BLUFF ON THE EXISTING GOLF COURSE.

**REPORTING REQUIREMENTS**

- WEEKLY MONITORING REPORTS SHALL BE SENT TO CRMC ENFORCEMENT STAFF.

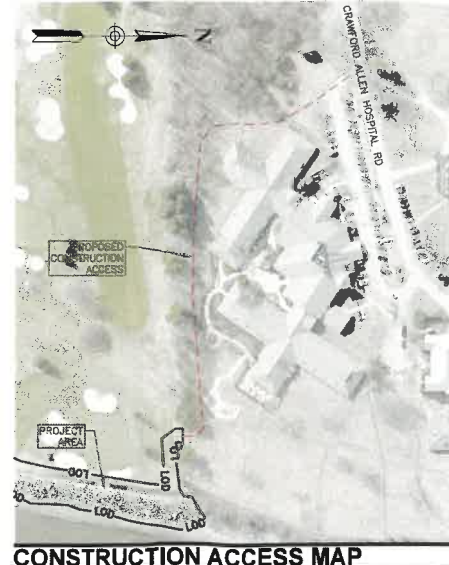


- NOTES:**
- SILT FENCE SHALL BE LOCATED AT 10' FROM TOE OF SLOPE FOR MAINTENANCE.
  - 8' WITH WIRE OR 6' WITHOUT WIRE (MAX).
  - WIRE FENCING - 6" MESH OPENING (MAX) AND 14 GAUGE (MIN).
  - MAINTAIN UNTIL UP-GRADE AREAS HAVE BEEN PERMANENTLY STABILIZED.

**SILT FENCE**

NTS

CA-EC-001



**CONSTRUCTION ACCESS MAP**

1"=100'

**PLAN REVISIONS**

REV. NO.	DATE	DESCRIPTION	DWN BY	CHK BY
1	9/20/24	CRMC COMMENTS	AKG	SFC

SCALE: AS NOTED  
CA JOB # 224031  
DATE: AUG. 16, 2024

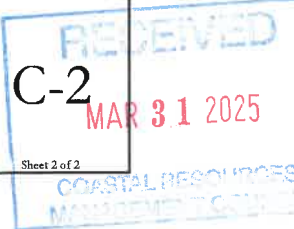
DRAWN BY: AKG  
CHECK BY: SFC

**ISSUED FOR REVIEW**

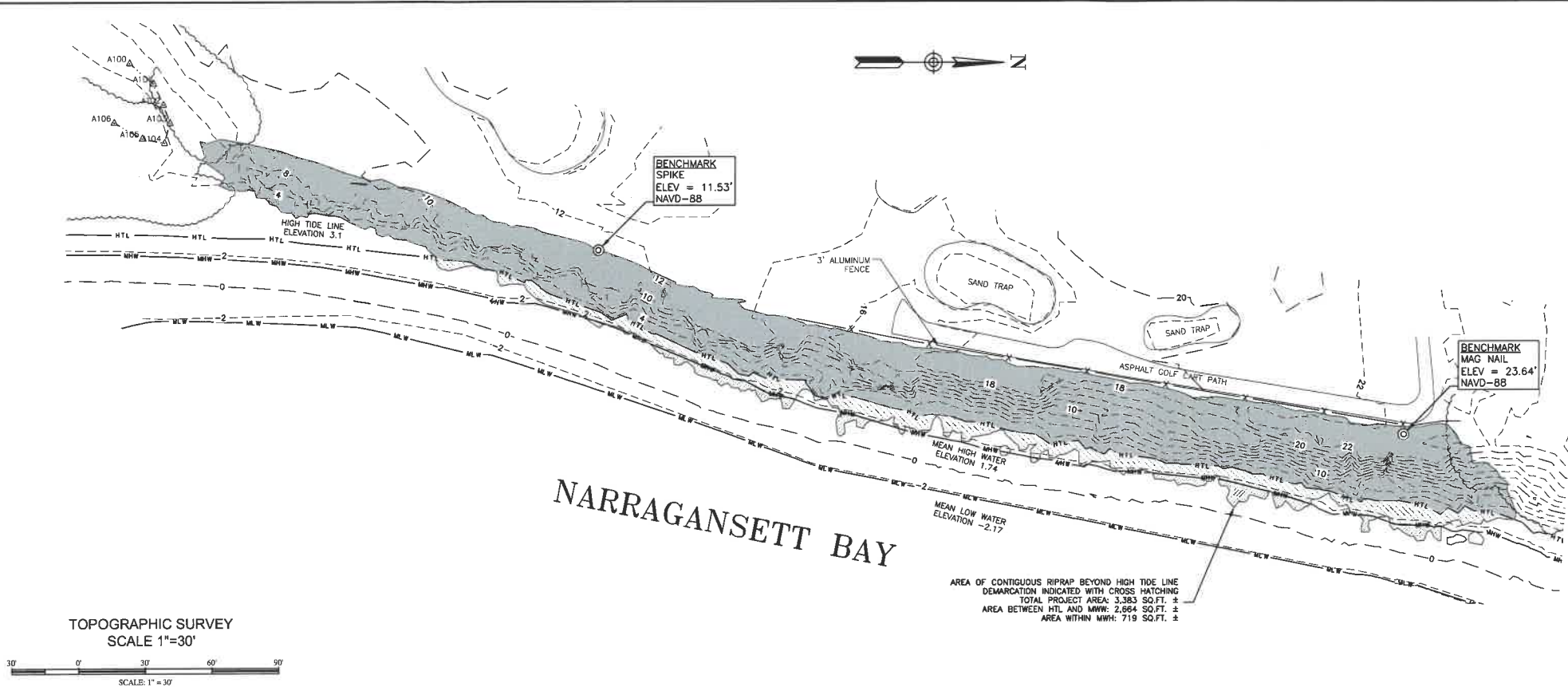
**SOIL EROSION AND SEDIMENT CONTROL PLAN**

QUIDNESSETT COUNTRY CLUB  
950 NORTH QUIDNESSETT ROAD  
PLAT 167 LOT 2  
NORTH KINGSTOWN, RHODE ISLAND

PREPARED FOR  
QUIDNESSETT COUNTRY CLUB



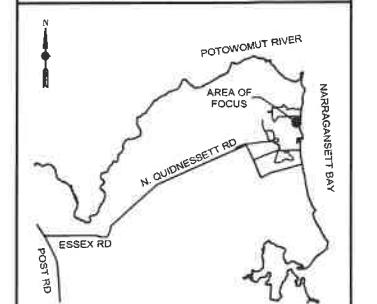




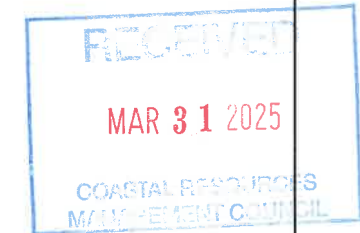
#### LEGEND

- MAJOR CONTOUR - 10' INTERVAL
- MINOR CONTOUR - 2' INTERVAL
- FENCE LINE
- EDGE OF VEGETATION
- MEAN LOW WATER
- MEAN HIGH WATER
- HIGH TIDE LINE
- DELINEATED WETLAND
- RIPRAP (GRAPHICAL REPRESENTATION)
- WETLAND DELINEATION FLAG

**CHERENZIA & ASSOCIATES, LTD.**  
99 Main Street  
Pawtucket, RI 02861  
Tel: 401.596.6500  
Fax: 401.596.6500  
P.O. Box 513  
Westerly, RI 02891  
Tel: 401.596.7747  
Civil Engineers  
Land Surveyors  
Land Use Planners  
Environmental Engineers  
www.cherenzia.com



#### LOCATION MAP



#### NOTES:

- ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD-88). VERTICAL CONTROL DERIVED FROM GNSS OBSERVATIONS UTILIZING THE CTDOT ACORN RTK NETWORK WITH CORS ID REFERENCE "URIL", KINGSTON, RI. & GEOID MODEL GEOID18.
- LIMITS OF FIELD TOPOGRAPHY SHOWN HEREON REPRESENTS INFORMATION GATHERED FROM FIELD SURVEYS CONDUCTED BY CHERENZIA & ASSOCIATES, LTD ON 05/14/24, 06/03/24, 07/17/24.
- SOURCE OF MEASUREMENT DATA IS BASED UPON CONVENTIONAL FIELD SURVEYING, GNSS OBSERVATIONS, AND THE USE OF UNMANNED AERIAL SYSTEMS LIDAR EQUIPPED WITH A HESAI PANDAR XT32 SCANNER.
- MEAN HIGH WATER AND MEAN LOW WATER ELEVATIONS WERE INTERPOLATED FROM NOAA TIDAL STATIONS 8454049 (QUONSET POINT) AND 8454578 (EAST GREENWICH) TIDAL EPIC 1983-2001. HIGH TIDE ELEVATION (3.1 FEET), REPRESENT THE PREDICTED HIGHEST TIDE OF THE 2024 CALENDAR YEAR, 10/18/2024, BASED ON PREDICTED TIDE ELEVATIONS FOR STATION QUONSET, PUBLISHED BY THE NOAA.

#### CERTIFICATION:

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF SURVEY:  
MEASUREMENT SPECIFICATION:  
DATA ACCUMULATION-PLANIMETRICS  
TOPOGRAPHY

CLASS III  
CLASS T-2

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND THE PREPARATION OF THE PLAN IS TO SHOW EXISTING CONDITIONS OF THE SEAWALL SHOWN HEREON.

BY: *Mark A. Castellanos*  
PLS SIGNATURE  
MARK A. CASTELLANOS PLS #2511  
PRINTED PLS NAME & LICENSE NO.  
LS.000A133-COA

PLAN REVISIONS				
REV. NO.	DATE	DESCRIPTION	DWN BY	CHK BY
1	7-3-24	HIGH TIDE LINE, WETLAND	MC	MC
1	7-23-24	UPDATED TOPOGRAPHY	JF	MC

SCALE: 1"=20'  
CA JOB #224031  
DATE: JUNE 7, 2024  
DRAWN BY: JF  
CHECKED BY: MAC

#### EXISTING CONDITIONS PLAN

#### DATA ACCUMULATION SURVEY

980 NORTH QUIDNESSETT ROAD  
PLAT 167 LOT 2  
NORTH KINGSTOWN, RHODE ISLAND

#### PREPARED FOR QUIDNESSETT COUNTRY CLUB

MARK A. CASTELLANOS  
No. 2511  
PROFESSIONAL  
LAND SURVEYOR

SV-1





**CHERENZIA  
& ASSOCIATES, LTD.**

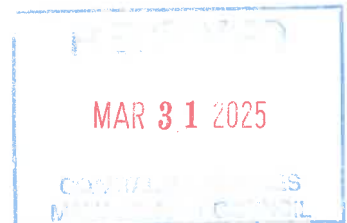
Civil Engineers • Land Surveyors  
Land Use Planners • Environmental Consultants

Raymond F. Cherenzia, P.E., L.S., Founder  
Sergio F. Cherenzia, P.E., President

September 20, 2024

Brian A. Harrington, Environmental Scientist  
RI CRMC  
Oliver H. Stedman Government Center  
4808 Tower Hill Rd, Suite 3  
Wakefield, RI 02879-1900

Subject: Response to Comments- CRMC Cease & Desist Order 23-0185  
Quidnessett Country Club  
950 North Quidnessett Rd  
N Kingstown, RI  
AP 167 Lot 2



Dear Mr. Harrington:

Cherenzia & Associates, Ltd. (Cherenzia) has reviewed the above-referenced Comment Letter dated September 3, 2024 and offers our responses to these comments below. Revised documents based on these comments are included with this resubmittal and are listed below:

- a. Site Plans (24" x 36") titled, "Quidnessett Country Club" Sheets C-1 through C-2, prepared by Cherenzia & Associates, Ltd., dated August 16, 2024, revised September 20, 2024 and Existing Conditions Plan prepared by Cherenzia & Associates, Ltd. Dated June 7, 2024, revised July 23, 2024.

**REVIEW COMMENTS:**

1. *The coastal restoration plan and associated narrative prepared by Cherenzia & Associates, LTD., dated August 16, 2024 (the Plan) submitted on August 16, 2024, are not acceptable for the following reasons:*
  - *The Plan does not propose removal of all unauthorized riprap and fill. The proposed location of the "stone toe protection" can extend no farther seaward than the location of the toe of bluff prior to unauthorized riprap installation (CRMP §1.2.2 (G.3.d)). The size of the existing stone to be utilized for toe protection shall be shown on any subsequent submitted plans. The existing stone shall be the stone that was in place prior to the violation. Include details of depth of toe protection.*

**Response to Comment:** The callout identifying all existing stone shall be removed has been revised to state that all unauthorized riprap and fill shall be removed. The previous extent of the toe of the bluff has been estimated based on the spring 2022 aerial and is shown on the plan. The proposed restoration has been revised to be upgradient from this line. The existing stone is



now identified as less than 2 cubic feet in size and the toe protection depth shall not be deeper than the mean low water elevation similar to the previous CRMC approval 2013-03-133.

- *The proposed native beach grass plantings are inadequate for stabilizing the proposed slope. Native shrubs with a minimum 3-gallon container size are required.*

Response to Comment: The plan has been revised to include shrubs between the sand bags and the minimum size has been added to all callouts for shrubs.

- *The proposed sandbags must be constructed of a biodegradable material and identified as such on the restoration plan.*

Response to Comment: All references to the sand bags now refer to them as biodegradable.

- *The Plan must detail appropriate erosion and sedimentation controls to be utilized throughout the restoration process.*

Response to Comment: A Soil Erosion and Sediment Control Plan has been prepared for the project.

2. Additionally, the Plan must include the following:

- *An Operations Plan for the removal of stones and an Operations Plan for the Restoration of the embankment, containing the following minimum details:*
  - *Detail construction access*
  - *Equipment to be used*
  - *Staging Areas*
  - *Methods for removal of stone, detailing how the existing embankment is to be protected during removal, including:*
    - *Disposal of stones*
    - *Placement of toe stones*
  - *Erosion and Sedimentation Control methods*
  - *Biweekly monitoring reports, which are to be sent to CRMC enforcement staff.*

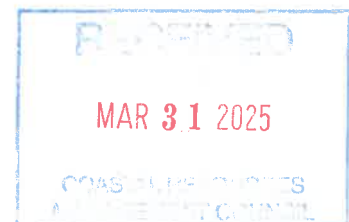
Response to Comment: A Soil Erosion and Sediment Control Plan has been prepared for the project which includes these notes.

I trust that these responses adequately address the comments received. Should you have any additional questions or concerns, please do not hesitate to contact me at 401-596-7747.

Sincerely,



Sergio F. Cherenzia, P.E.  
President



RECEIVED

MAR 31 2025

COASTAL RESOURCES  
MANAGEMENT COUNCIL



Jennifer R. Cervenka  
(401) 214-1022  
jcervenka@cgdesq.com

September 20, 2024

**VIA EMAIL ONLY**

Brian A. Harrington  
Environmental Scientist III  
Coastal Resources Management Council  
Oliver H. Stedman Government Center  
4808 Tower Hill Road, Suite 3  
Wakefield, RI 02879-1900  
[bharrington@crmc.ri.gov](mailto:bharrington@crmc.ri.gov)

Re: Quidnessett Country Club, Inc. ("QCC") – Cease & Desist Order, Notices  
of Administrative Fines, CRMC Enforcement File No. 23-0185

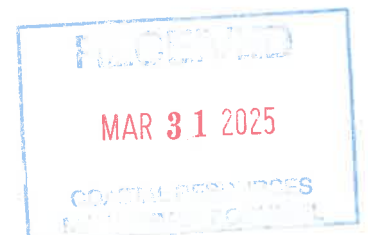
Dear Mr. Harrington:

This is being provided in response to your letter dated September 3, 2024. As indicated in previous correspondence to the agency, QCC reserves its rights to pursue its Water Type Change Petition, CRMC File No. 2024-04-071, (and, if approved, a Category B shoreline protection application), and objects to restoration of the bluff pending the outcome on that Petition.<sup>1</sup> As you know, the agency's recommended and approved use of biodegradable materials and vegetation failed to arrest significant erosion next to the 14<sup>th</sup> hole and catastrophically failed in 2022. Given this history, to insist upon its re-installation is both arbitrary and capricious, and contrary to NOAA guidance. It also risks irreversible damage to the golf course and injury to players.

Subject to the above, attached is an updated restoration plan narrative and plan from Cherenzia & Associates, Ltd., which together provide clarification and additional detail responsive to information requested in your September 3, 2024 letter.

<sup>1</sup> The Petition is the subject of proposed rulemaking. In addition to public comment already received, per notice dated September 9, 2024, it will be reviewed at the Council's Planning and Procedures Subcommittee next Tuesday, September 24, 2024.

**cervenka green & ducharme llc**  
225 Dyer Street, 2<sup>nd</sup> Floor, Providence, RI 02903  
[www.cgdesq.com](http://www.cgdesq.com) | p: (401) 214-1020





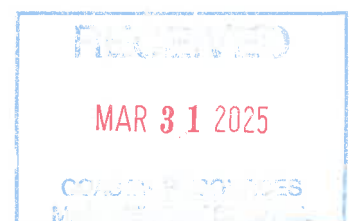
Sincerely,

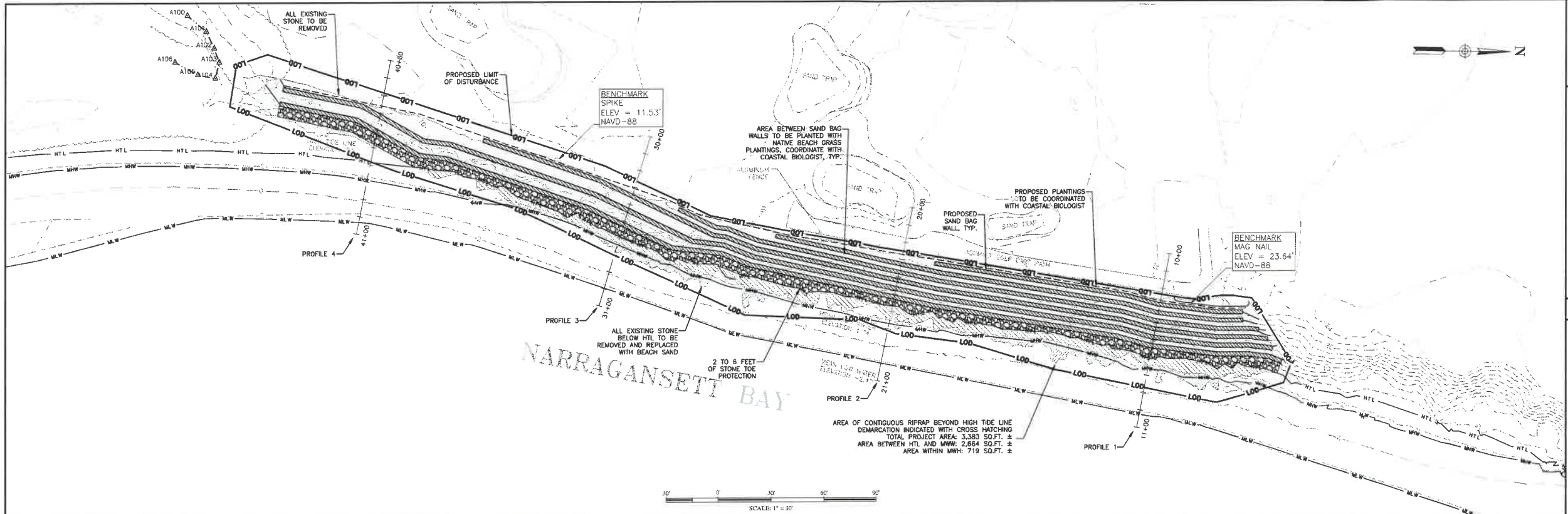
A handwritten signature in blue ink, appearing to read 'JRC', is written over a faint, larger signature.

Jennifer R. Cervenka

Attachments

cc: Janice Mathews, QCC  
Sergio Cherenzia, Cherenzia & Associates, Ltd.  
Joseph Klinger, Ecotones, Inc.  
Anthony DeSisto, CRMC Chief Legal Counsel  
Jeffrey M. Willis, CRMC Executive Director

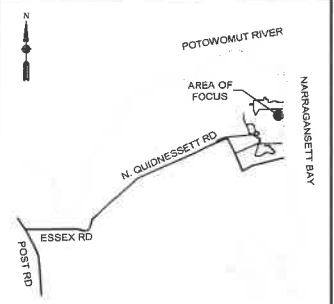




**CHERENZIA & ASSOCIATES, LTD.**  
Civil Engineers  
Land Surveyors  
Land Use Planners  
Environmental Engineers  
www.cherenzia.com

99 Mechanic St.  
Pawcatuck, CT 06257  
Tel: 860.629.6500  
Fax: 860.599.6999

P.O. Box 513  
Westbury, RI 02891  
Tel: 401.556.7747



- LOCATION MAP**
- NOTES:**
- THE DESIGN SHALL BE MAINTAINED AND RE-ESTABLISHED BASED ON THE HTL ESTABLISHED PER THE 2024 QUIDNESSETT TIDE GAUGE PREDICTIONS AS STORMS IMPACT THE AREA. THE HTL IS SHOWN ON THE SURVEY PLAN PREPARED BY CHERENZIA & ASSOCIATES, LTD. TITLED EXISTING CONDITIONS PLAN, DATA ACCUMULATION SURVEY PREPARED FOR QUIDNESSETT COUNTY CLUB DATED JUNE 7, 2024 REVISED JULY 23, 2024.
  - A BOUNDARY SURVEY HAS NOT BEEN PERFORMED FOR THE PROPERTY.
  - EXISTING SHORELINE VEGETATION SHALL BE PRESERVED BOTH DURING AND AFTER WORK COMPLETION.
  - ONLY EXISTING BEACH STONE FROM THE IMMEDIATE VICINITY (GENERALLY WITHIN 35 FEET) OF THE ERODED BLUFF MAY BE USED FOR BLUFF PROTECTION BY STACKING IT AGAINST THE SCARP (ERODED BLUFF FACE). EXCESS REMOVAL AND USE OF BEACH STONE BEYOND 35 FEET FROM THE ERODED BLUFF OR BELOW THE MEAN HIGH WATER MARK IS NOT ALLOWED. STONE FROM OFF-SITE AREAS MAY NOT BE USED UNLESS AUTHORIZED BY CRMC.
  - NO MORTAR OR CONCRETE MAY BE USED.
  - NO CONSTRUCTION DEBRIS INCLUDING ANY EXISTING SHORELINE DEBRIS MAY BE USED TO PROTECT ERODED AREAS BY PLACING AGAINST THE SCARP.
  - ONLY BIODEGRADABLE MATERIALS SHALL BE UTILIZED.
  - SAND BAGS SHALL BE BEDDED IN COMPACTED GRAVEL BORROW. GRAVEL BORROW SHALL BE REVIEWED AND VERIFIED BY A GEOTECHNICAL ENGINEER.
  - VEGETATION SHALL BE COORDINATED WITH A COASTAL BIOLOGIST. NATIVE PLANTS WILL BE SELECTED FROM THE CRMC COASTAL BUFFER ZONE PLANTING GUIDE REVISED AUGUST 2008.
  - CHERENZIA MAKES NO GUARANTEES OF THE EFFECTIVENESS AND/OR LASTING INTEGRITY OF THIS NON-STRUCTURAL RESTORATION.
  - THE PLAN HEREIN IS CONSIDERED A TEMPORARY MEASURE AND MAY REQUIRED REPAIR AFTER TIDAL SURGES AND/OR STORM EVENTS.
- PLAN REFERENCES:**
- SURVEY PLAN PREPARED BY CHERENZIA & ASSOCIATES, LTD. TITLED EXISTING CONDITIONS PLAN, DATA ACCUMULATION SURVEY PREPARED FOR QUIDNESSETT COUNTY CLUB DATED JUNE 7, 2024 REVISED JULY 23, 2024.

PLAN REVISIONS				
REV. NO.	DATE	DESCRIPTION	DWN BY	CHK BY

SCALE: AS NOTED  
CA JOB # 224031  
DATE: AUG. 16, 2024

DRAWN BY: AKG  
CHECK BY: SPC

ISSUED FOR REVIEW

COASTAL RESTORATION PLAN

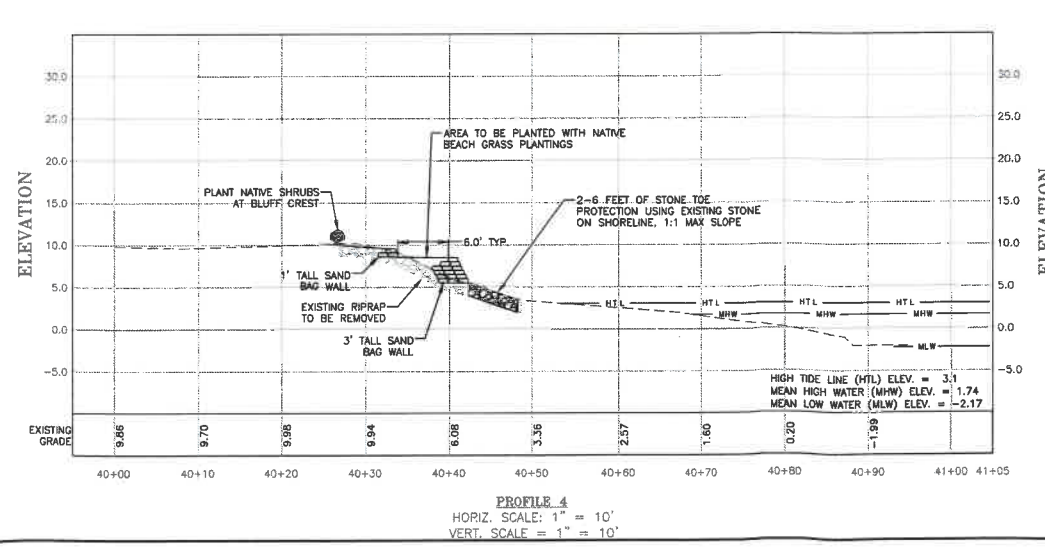
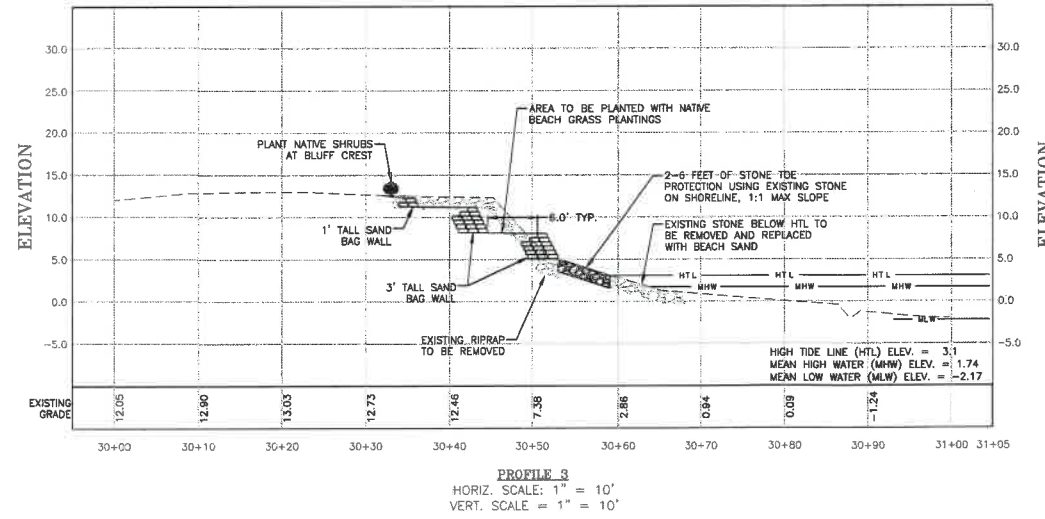
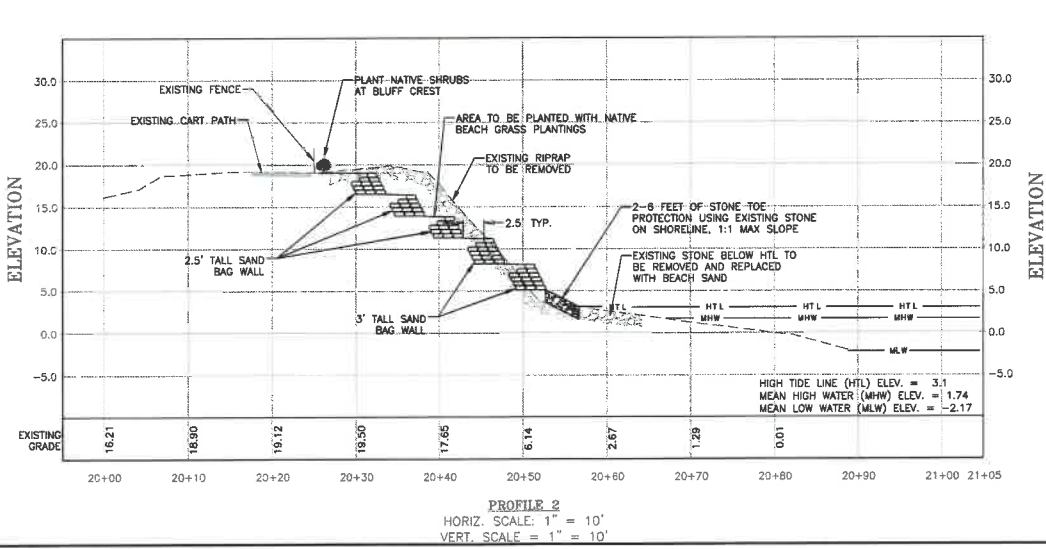
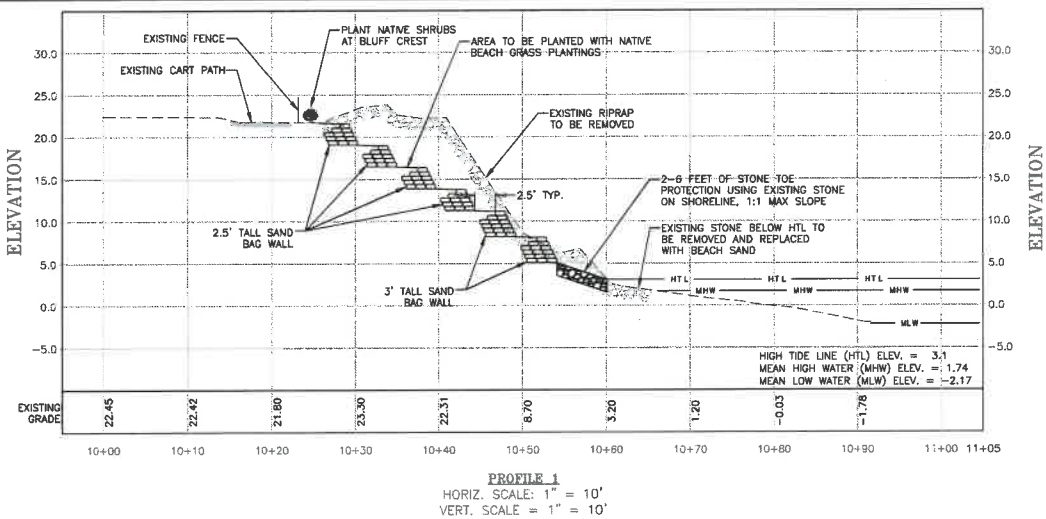
QUIDNESSETT COUNTRY CLUB  
950 NORTH QUIDNESSETT ROAD  
PLAT 167 LOT 2  
NORTH KINGSTOWN, RHODE ISLAND

PREPARED FOR  
QUIDNESSETT COUNTRY CLUB

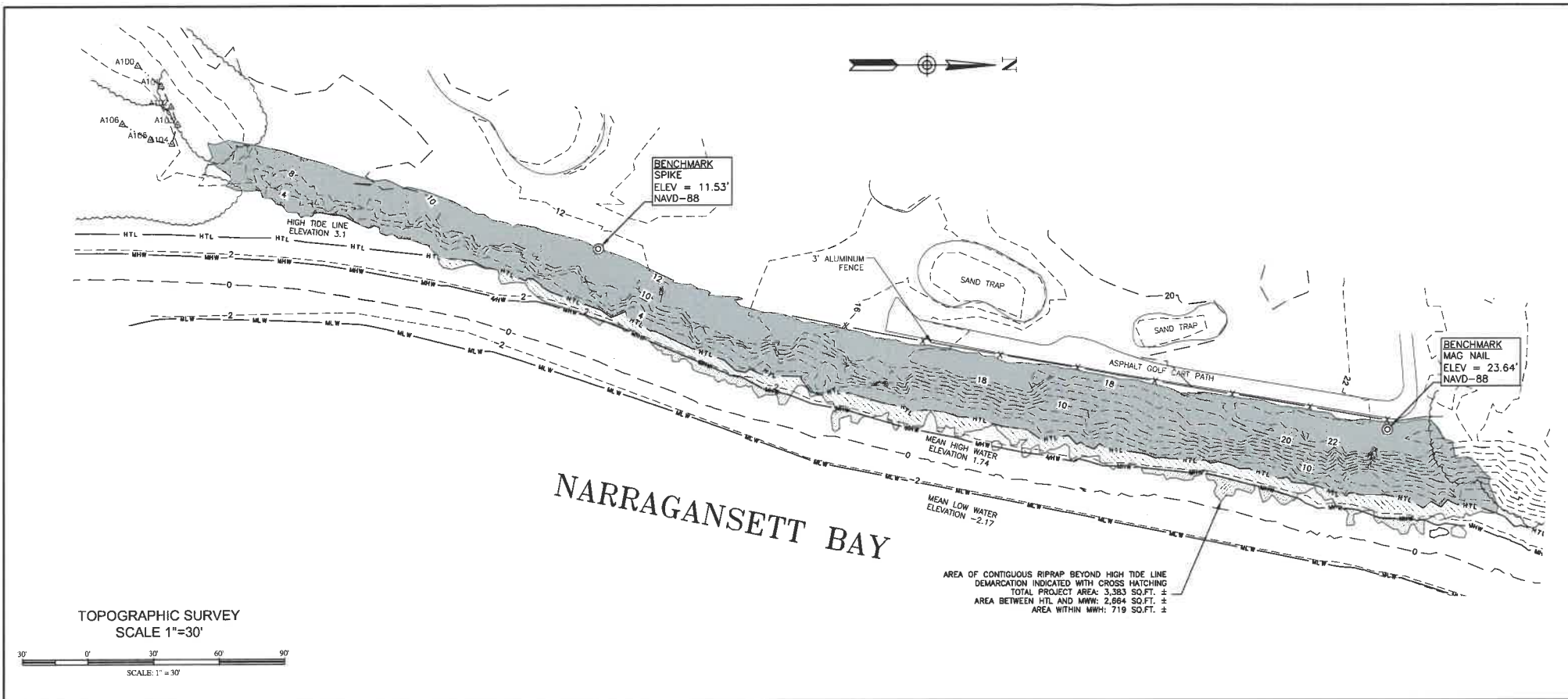
**SERGIO F. CHERENZIA**  
No. 9238  
REGISTERED  
PROFESSIONAL ENGINEER  
(CIVIL)

**C-1**  
MAR 31 2025

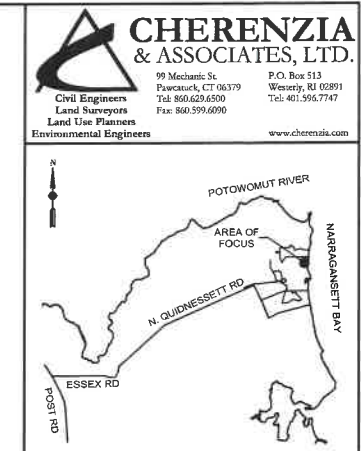
Sheet 1 of 1







- LEGEND
- MAJOR CONTOUR - 10' INTERVAL
  - MINOR CONTOUR - 2' INTERVAL
  - FENCE LINE
  - EDGE OF VEGETATION
  - MEAN LOW WATER
  - MEAN HIGH WATER
  - HIGH TIDE LINE
  - DELINEATED WETLAND
  - RIPRAP (GRAPHICAL REPRESENTATION)
  - WETLAND DELINEATION FLAG



LOCATION MAP

- NOTES:
- ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD-88). VERTICAL CONTROL DERIVED FROM GNSS OBSERVATIONS UTILIZING THE CTDOT ACORN RTK NETWORK WITH CORS ID REFERENCE "URIL", KINGSTON, RI. & GEOID MODEL GEOID18.
  - LIMITS OF FIELD TOPOGRAPHY SHOWN HEREON REPRESENTS INFORMATION GATHERED FROM FIELD SURVEYS CONDUCTED BY CHERENZIA & ASSOCIATES, LTD ON 05/14/24, 06/03/24, 07/17/24.
  - SOURCE OF MEASUREMENT DATA IS BASED UPON CONVENTIONAL FIELD SURVEYING, GNSS OBSERVATIONS, AND THE USE OF UNMANNED AERIAL SYSTEMS LIDAR EQUIPPED WITH A HESAI PANDAR XT32 SCANNER.
  - MEAN HIGH WATER AND MEAN LOW WATER ELEVATIONS WERE INTERPOLATED FROM NOAA TIDAL STATIONS 8454049 (QUONSET POINT) AND 8454578 (EAST GREENWICH) TIDAL EPIC 1983-2001. HIGHEST TIDE OF THE 2024 CALENDAR YEAR, 10/18/2024, BASED ON PREDICTED TIDE ELEVATIONS FOR STATION QUONSET, PUBLISHED BY THE NOAA.

CERTIFICATION:

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF SURVEY: MEASUREMENT SPECIFICATION:  
DATA ACCUMULATION-PLANIMETRICS TOPOGRAPHY CLASS III CLASS T-2

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND THE PREPARATION OF THE PLAN IS TO SHOW EXISTING CONDITIONS OF THE SEAWALL SHOWN HEREON.

BY: *MA Castellanos*  
PLS SIGNATURE  
MARK A. CASTELLANOS PLS #2511  
PRINTED PLS NAME & LICENSE NO.  
LS.000A133-COA

PLAN REVISIONS				
REV. NO.	DATE	DESCRIPTION	OWN BY	CHK BY
1	7-3-24	HIGH TIDE LINE, WETLAND	MC	MC
1	7-23-24	UPDATED TOPOGRAPHY	JF	MC

SCALE: 1"=20'  
CA JOB #224031  
DATE: JUNE 7, 2024

DRAWN BY: JF  
CHECKED BY: MAC

EXISTING CONDITIONS PLAN

DATA ACCUMULATION SURVEY

980 NORTH QUIDNESSETT ROAD  
PLAT 167 LOT 2  
NORTH KINGSTOWN, RHODE ISLAND

PREPARED FOR  
QUIDNESSETT COUNTRY CLUB

MARK A. CASTELLANOS  
No. 2511  
PROFESSIONAL LAND SURVEYOR

SV-1  
MAR 31 2025  
SHEET 1 OF 1

RECEIVED

MAR 31 2025

COASTAL RESOURCES  
MANAGEMENT COUNCIL



Jennifer R. Cervenka  
(401) 214-1022  
jcervenka@cgdesq.com

August 16, 2024

**VIA EMAIL ONLY**

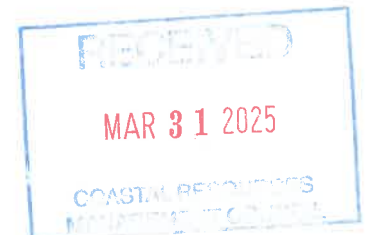
Brian A. Harrington  
Environmental Scientist III  
Coastal Resources Management Council  
Oliver H. Stedman Government Center  
4808 Tower Hill Road, Suite 3  
Wakefield, RI 02879-1900  
[bharrington@crmc.ri.gov](mailto:bharrington@crmc.ri.gov)

Re: Quidnessett Country Club, Inc. ("QCC") – Cease & Desist Order, Notices  
of Administrative Fines, CRMC Enforcement File No. 23-0185

Dear Mr. Harrington:

This is being provided in response to your letter dated August 2, 2024 directing submission of a restoration plan from a qualified professional that includes non-structural stabilization of the coastal feature and plantings in the "previously vegetated natural buffer zone". As attested to and depicted in our Petition for Water Type Change, the CRMC-approved, large-scale non-structural shoreline protection installed by the Club in 2013 has failed to protect the Club's golf course from rapid erosion, even with annual maintenance. Despite repeated efforts, much of the approved plantings failed to grow successfully over the course of the last decade, and any established vegetation, including trees and shrubs, was ripped out or carried away by a December 2022 storm. Indeed, there is no previously vegetated buffer zone to restore. The agency is well aware of the significant erosion on our shoreline over the last thirty years, measuring between 42 and 57 feet, all the while using an extensive range of non-structural measures. Given this history, we are stunned that the agency would arbitrarily order the Club to stabilize its shoreline using the same non-structural methods that have been demonstrated to be completely ineffective in protecting its property and create a threat to the safety of its golfers. Due to the shoreline's highly erosive conditions, there is no non-structural design that will provide true stabilization of the bluff. *See* NOAA's Guidance for Considering the Use of Living Shorelines (2015) (indicating that green (soft) shoreline stabilization techniques are not appropriate for high

**cervenka green & ducharme llc**  
225 Dyer Street, 2<sup>nd</sup> Floor, Providence, RI 02903  
[www.cgdesq.com](http://www.cgdesq.com) | p: (401) 214-1020



wave energy environments).

In light of the above, and subject to our reservation of rights and continuing objection to implement a restoration plan while we pursue our Water Type Change Petition<sup>1</sup>, we enclose a Coastal Restoration Plan prepared by Cherenzia & Associates, which provides for temporary non-structural stabilization of the Club's northeastern shoreline. Please note our engineer's opinion that "any non-structural restoration measures will be more susceptible to tidal surges and storm events that can partially or completely erode such measures in place and *are not viable for long-term stabilization*." Cherenzia Coastal Restoration Narrative, p.2 (emphasis supplied).

As far as authorization from USACE, we have been directed to file a permit application, which we will complete once CRMC approves a restoration plan.

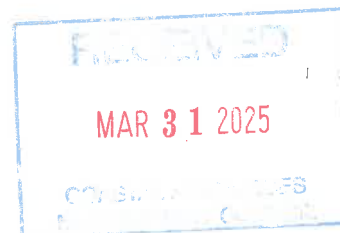
Sincerely,



Jennifer R. Cervenka

#### Attachments

cc: Janice Mathews, QCC  
Sergio Cherenzia, Cherenzia & Associates, Ltd.  
Joseph Klinger, Ecotones, Inc.  
Michael McCaffrey, Esq.  
Anthony DeSisto, CRMC Chief Legal Counsel  
Jeffrey M. Willis, CRMC Executive Director  
Elizabeth Waterhouse, USACE



---

<sup>1</sup> The Club stands ready to remove immediately rock that is located below Mean High Water. In doing so, this would implement a partial restoration and resolve fully the agency's cited violation for filling of tidal waters. See Notice of Administrative Fine dated August 28, 2023.



RECEIVED

MAR 31 2025

CONSULTATION  
MANAGEMENT UNIT



**CHERENZIA  
& ASSOCIATES, LTD.**

Civil Engineers • Land Surveyors  
Land Use Planners • Environmental Consultants

Raymond F. Cherenzia, P.E., L.S., Founder  
Sergio F. Cherenzia, P.E., President

## COASTAL RESTORATION NARRATIVE

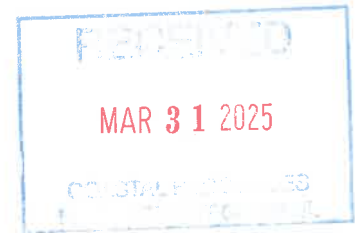
**TO:** Whom it May Concern

**FROM:** Sergio F. Cherenzia, P.E.

**DATE:** August 16, 2024

**SUBJECT:** Quidnessett Country Club  
950 North Quidnessett Road  
North Kingstown, Rhode Island  
Plat 167 Lot 2

**PROJECT NO.:** 224031



On behalf of our client, Quidnessett Country Club, Inc. (QCC), Cherenzia & Associates, Ltd. (Cherenzia) has prepared the narrative herein to supplement the proposed restoration plan entitled "Coastal Restoration Plan" prepared for Quidnessett Country Club, 950 North Quidnessett Rd, Plat 167 Lot 2, North Kingstown Rhode Island" Dated August 16, 2024.

Cherenzia is in receipt of the following documents in consideration in preparing the proposed plan:

1. CRMC Emergency General Permit #2013-03-133.
2. Cease and Desist Order dated August 28, 2023 to Quidnessett Country Club, Inc. signed by Brian Harrington, Sr. Environmental Scientist, CRMC in addition to Notices of Administrative Fines signed by Laura Miguel, Deputy Director CRMC.
3. Quidnessett Country Club Petition for Change to Map of Water Type Classification dated April 12, 2024 and associated Ecotones, Inc. report dated April 11, 2024.
4. Letter dated May 22, 2024 from Brian Harrington, CRMC to Quidnessett Country Club, Inc. re: Cease and Desist Order 23-0185.
5. Letter dated May 23, 2024 to Brian Harrington, CRMC from Jennifer Cervenka, CRMC Re: Quidnessett Country Club, Inc. ("QCC") – Cease & Desist Order and associated letter of Notices of Administrative Fines, CRMC Enforcement File No. 23-0185.
6. CRMC Letters dated June 18, 2024 and July 22, 2024 regarding CRMC Cease & Desist Order 23-0185.



7. Letter dated July 19, 2024 to Brian A. Harrington, CRMC from Jennifer Cervenka, re: Quidnessett Country Club, Inc. ("QCC") – Cease & Desist Order, Notices of Administrative Fines, CRMC Enforcement File No. 23-0185.
8. Letter dated July 26, 2024 to Brian A. Harrington, CRMC from Jennifer Cervenka, re: Quidnessett Country Club, Inc. ("QCC") – Cease & Desist Order, Notices of Administrative Fines, CRMC Enforcement File No. 23-0185.
9. Letter dated August 2, 2024 to Quidnessett Country Club, Inc. re: Cease and Desist Order #23-0185 signed by Brian Harrington.

The Cease & Desist Order asserted that there had been unauthorized construction of a rip-rap revetment on a coastal feature, cutting of vegetation on a coastal feature, and filling of tidal waters without a CRMC Assent.

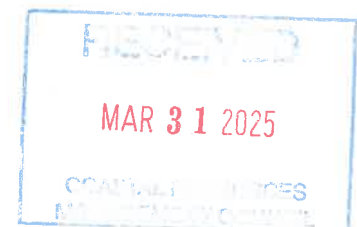
The August 2, 2024 letter from Mr. Harrington indicates that the letter submitted on July 26, 2024 is not an acceptable restoration plan and the plan is to be prepared by a qualified professional and shall address the following:

- Removal of all unauthorized riprap and fill.
- Nonstructural stabilization of the coastal feature (reference CRMC Program, section 1.3.1.G).
- Proposed native shrub and tree plantings, of appropriate size and density, throughout all areas of the previously vegetated natural buffer zone.
- Restoration must also receive approval from the Army Corps of Engineers.

As such, Cherenzia has prepared the aforementioned plan which addresses each of these items. The plan proposes to remove all unauthorized riprap and fill, proposes short-term non-structural stabilization, and notes coordination with the owner's project biologist to specify native plantings which shall include addressing acceptable size and density. Native plants will be selected from the CRMC Coastal Buffer Zone Planting Guide Revised August 2008. Our client has also been engaged with Army Corps of Engineers and will continue to coordinate for the applicable approval(s) required. The proposed plan submitted herewith has addressed the Army Corps concern of removal of rip-rap fill seaward of the high tide line.

Cherenzia has also reviewed the CRMC file for Emergency General Permit #2013-03-133 in consideration of CRMC requirements outlined above and proposed restoration plan. It is our understanding in reviewing the Water Type Change Petition, including pictures, that the plan associated with permit 2013-03-133 was implemented, but, despite annual maintenance, worked poorly to stabilize the shoreline and was ultimately completely wiped out by a storm event in December 2022. It is important to note that it is our professional opinion that any non-structural restoration measures will be more susceptible to tidal surges and storm events that can partially or completely erode such measures in place and are not viable for long-term stabilization. The measures may have to be repaired and replaced depending on coastal weather and tidal events.

We acknowledge that there are regulatory restrictions to structural methods of stabilization; however, structural or hybrid models of structural and non-structural methods of stabilization have a higher probability of maintaining the integrity of the shoreline to protect the land behind it from persistent erosion and loss of property.





**CHERENZIA  
& ASSOCIATES, LTD.**

Civil Engineers • Land Surveyors  
Land Use Planners • Environmental Consultants

Raymond F. Cherenzia, P.E., L.S., Founder  
Sergio F. Cherenzia, P.E., President

February 27, 2025

Elizabeth Waterhouse  
U.S. Army Corps. of Engineers  
Senior Project Manager  
RI State Lead  
New England District  
696 Virginia Road  
Concord, MA 01742-2751

Subject: Application for the Department of the Army Permit  
File Number NAE-2024-01164  
Quidnessett Country Club  
950 N Quidnessett Road  
North Kingstown, RI 02852

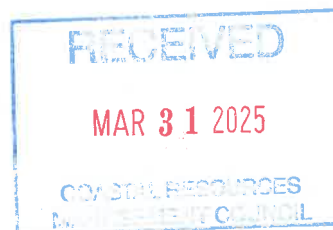
On behalf of our clients, Quidnessett Country Club, Cherenzia & Associates, Ltd. is pleased to submit the following application materials for an Application for the Department of the Army Permit at the above-referenced location. The following items are submitted for your review:

1. Completed Application for the Department of the Army Permit
2. Site Photographs
3. ESA Section 7 List
4. IPaC Species List
5. Site Plans (11"x17") titled, "Rock Removal Below High Tide Line," Sheets C-0, C-1, & C-2, prepared by Cherenzia & Associates, Ltd., dated February 27, 2025 and Existing Conditions Plan Sheet SV-1, prepared by Cherenzia & Associates, Ltd., dated June 7, 2024, revised February 27, 2025.

Should you have any questions or concerns, please contact me at 401-596-7747.

Sincerely,

Sergio F. Cherenzia, P.E.  
President



RECEIVED

MAR 31 2025

COASTAL RESOURCES  
MANAGEMENT COUNCIL





17. DIRECTIONS TO THE SITE

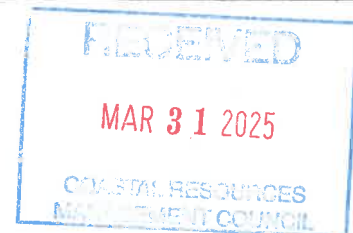
Rock removal area is located at the existing revetment on the northeastern shoreline of the project site. Access to the site should be coordinated with the contractor for access over the abutting property to the north via Crawford Allen Hospital Road or the country club front office at 950 North Quidnessett Road for access over the golf course.

18. Nature of Activity (Description of project, include all features)

The nature of the activity is to remove rock from below the high tide line.

19. Project Purpose (Describe the reason or purpose of the project, see instructions)

The purpose of the project is to remove rock from below the high tide line.



USE BLOCKS 20-23 IF DREDGED AND/OR FILL MATERIAL IS TO BE DISCHARGED

20. Reason(s) for Discharge

- In response to the emergency erosion occurring on site, stone was placed at the toe to control erosion of the coastal bank. The severity of the erosion was compromising the integrity of the entire bank and associated landside features. In two cases, the stone is scheduled to remain below high-tide line (HTL); (1) 80 feet at the southern end of the work area, due to the excessive and unnecessary impacts to the naturally accumulated beach, (2) 60 feet along the northern portion of the work area where additional and significant engineering is required to provide a stable and safe working environment to systematically stabilize the toe and slope for proper removal.
- It is noted that the intent of this project is to remove as much of the rock below the high-tide line in a timely but safe manner and additional phases to be permitted will consider modifications to any and all areas of the work.

21. Type(s) of Material Being Discharged and the Amount of Each Type in Cubic Yards:

Type Amount in Cubic Yards	Type Amount in Cubic Yards	Type Amount in Cubic Yards
-------------------------------	-------------------------------	-------------------------------

Toe Stone/Armor - 22.4 CY

22. Surface Area in Acres of Wetlands or Other Waters Filled (see instructions)

Acres 0.0139 AC

or

Linear Feet

23. Description of Avoidance, Minimization, and Compensation (see instructions)

This project aims to avoid and minimize impacts to waters of the US by removing as much of the stone in a timely and practical manner. On the southern end of the area, 80 feet of stone is scheduled to remain due to the unnecessary impacts to the coastal environment that has established in this area (rocky shoreline/beach). On the northern end, the Engineer has identified two areas (60 feet total) that stone removal at the toe could result in widespread and uncontrolled failures of large portions of the slope and is a significant safety hazard. Additional engineering is currently evaluating potential options to address this in the future. Appropriate erosion controls shall be utilized to prevent impacts to the surrounding areas. The existing natural rocky shoreline will remain in place and not be disturbed.

24. Is Any Portion of the Work Already Complete? ☒ Yes ☐ No IF YES, DESCRIBE THE COMPLETED WORK

This project aims to remove stones previously placed below the high-tide line. As noted above, approximately 140 linear feet (of ~570 total linear feet) is proposed to remain.

25. Addresses of Adjoining Property Owners, Lessees, Etc., Whose Property Adjoins the Waterbody (If more than can be entered here, please attach a supplemental list).

a. Address- Bayview Real Property LLC, 1608 ROUTE 88, Ste 200

City - Brick

State - NJ

Zip - 08724

b. Address- Quidnessett Country Club Inc., PO Box 860

City - East Greenwich

State - RI

Zip - 02818

c. Address- Fouad Zeidan Declaration of Trust, c/o Fouad Y. Zeidan, Trustee, 3107 Beluche Dr

City - Galveston

State - TX

Zip - 77551

d. Address-

City -

State -

Zip -

e. Address-

City -

State -

Zip -

RECEIVED

MAR 31 2025

COASTAL RESOURCES  
MANAGEMENT COUNCIL

26. List of Other Certificates or Approvals/Denials received from other Federal, State, or Local Agencies for Work Described in This Application.

AGENCY	TYPE APPROVAL*	IDENTIFICATION NUMBER	DATE APPLIED	DATE APPROVED	DATE DENIED

\* Would include but is not restricted to zoning, building, and flood plain permits

27. Application is hereby made for permit or permits to authorize the work described in this application. I certify that this information in this application is complete and accurate. I further certify that I possess the authority to undertake the work described herein or am acting as the duly authorized agent of the applicant.

SIGNATURE OF APPLICANT

DATE

SIGNATURE OF AGENT

DATE

The application must be signed by the person who desires to undertake the proposed activity (applicant) or it may be signed by a duly authorized agent if the statement in block 11 has been filled out and signed.

18 U.S.C. Section 1001 provides that: Whoever, in any manner within the jurisdiction of any department or agency of the United States knowingly and willfully falsifies, conceals, or covers up any trick, scheme, or disguises a material fact or makes any false, fictitious or fraudulent statements or representations or makes or uses any false writing or document knowing same to contain any false, fictitious or fraudulent statements or entry, shall be fined not more than \$10,000 or imprisoned not more than five years or both.



RECEIVED

MAR 31 2025

CHESAPEAKE DIVISION  
MANAGEMENT COUNCIL



Photograph 1: Current Site – 2/10/2025.



Photograph 2: Current Site – 2/10/2025.

RECEIVED  
MAR 31 2025  
COASTAL RESOURCES  
MANAGEMENT COUNCIL

RECEIVED

MAR 31 2025

COASTAL RESOURCES  
MANAGEMENT COUNCIL





## Drawn Action Area & Overlapping S7 Consultation Areas

### Area of Interest (AOI) Information

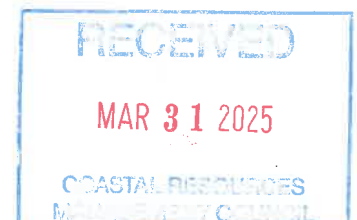
Area : 2,363.8 acres

Feb 6 2025 13:57:06 Eastern Standard Time



Atlantic Sturgeon Sea Turtles  
Shortnose Sturgeon

1:4,514  
0 0.03 0.06 0.11 mi  
0 0.04 0.09 0.18 km  
Map, SA Community Maps, Copyrights University of Rhode Island  
MapInfo, © Comprehensive Mapping, Inc., Portland, Maine, Portland



## Summary

Name	Count	Area(acres)	Length(mi)
Atlantic Sturgeon	2	2,581.78	N/A
Shortnose Sturgeon	1	1,290.89	N/A
Atlantic Salmon	0	0	N/A
Sea Turtles	4	5,163.54	N/A
Atlantic Large Whales	4	298.95	N/A
In or Near Critical Habitat	0	0	N/A

## Atlantic Sturgeon

#	Feature ID	Species	Lifestage	Behavior	Zone	From	Until	From (2)	Until (2)	Area(acres)
1	ANS_NRB_SUB_MAF	Atlantic sturgeon	Subadult	Migrating & Foraging	Narragansett Bay	01/01	12/31	N/A	N/A	1,290.89
2	ANS_NRB_ADU_MAF	Atlantic sturgeon	Adult	Migrating & Foraging	Narragansett Bay	01/01	12/31	N/A	N/A	1,290.89

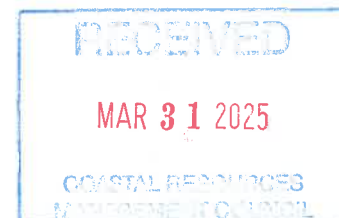
## Shortnose Sturgeon

#	Feature ID	Species	Life Stage	Behavior	Zone	From	Until	From (2)	Until (2)	Area(acres)
1	SNS_NRB_ADU_MAF	Shortnose sturgeon	Adult	Migrating & Foraging	Narragansett Bay	04/01	11/30	N/A	N/A	1,290.89

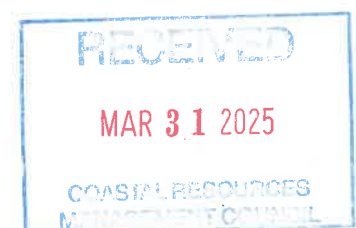
## Sea Turtles

#	Feature ID	Species	Life Stage	Behavior	Zone	From	Until	From (2)	Until (2)	Area(acres)
1	GRN_STS_AJV_MAF	Green sea turtle	Adults and juveniles	Migrating & Foraging	Massachusetts (S of Cape Cod) through Virginia	5/1	11/30	No Data	No Data	1,290.89
2	KMP_STS_AJV_MAF	Kemp's ridley sea turtle	Adults and juveniles	Migrating & Foraging	Massachusetts (S of Cape Cod) through Virginia	5/1	11/30	No Data	No Data	1,290.89
3	LTR_STS_AJV_MAF	Leatherback sea turtle	Adults and juveniles	Migrating & Foraging	Massachusetts (S of Cape Cod) through Virginia	5/1	11/30	No Data	No Data	1,290.89
4	LOG_STS_AJV_MAF	Loggerhead sea turtle	Adults and juveniles	Migrating & Foraging	Massachusetts (S of Cape Cod) through Virginia	5/1	11/30	No Data	No Data	1,290.89

## Atlantic Large Whales



#	Feature ID	Species	Lifestage	Behavior	Zone	From	Until	From (2)	Until (2)	Area(acres)
1	RIT_WRN_AJV_FOR	North Atlantic right whale	Adults and juveniles	Foraging	Northeast (ME to Cape Cod, MA)	1/1	12/31	No Data	No Data	74.74
2	RIT_WRN_AJV_WIN	North Atlantic right whale	Adults and juveniles	Overwintering	Northeast (ME to Cape Cod, MA)	11/1	1/31	No Data	No Data	74.74
3	FIN_WFN_AJV_WIN	Fin whale	Adults and juveniles	Overwintering	Northeast (ME to Cape Cod, MA)	11/1	3/31	No Data	No Data	74.74
4	FIN_WFN_AJV_FOR	Fin whale	Adults and juveniles	Foraging	Northeast (ME to Cape Cod, MA)	1/1	12/31	No Data	No Data	74.74









## United States Department of the Interior

FISH AND WILDLIFE SERVICE  
New England Ecological Services Field Office  
70 Commercial Street, Suite 300  
Concord, NH 03301-5094  
Phone: (603) 223-2541 Fax: (603) 223-0104



In Reply Refer To:

02/27/2025 17:48:04 UTC

Project Code: 2025-0061957

Project Name: Quidnessett Country Club Rock Removal Below High Tide Line

Subject: List of threatened and endangered species that may occur in your proposed project location or may be affected by your proposed project

To Whom It May Concern:

*Updated 4/12/2023 - Please review this letter each time you request an Official Species List, we will continue to update it with additional information and links to websites may change.*

### **About Official Species Lists**

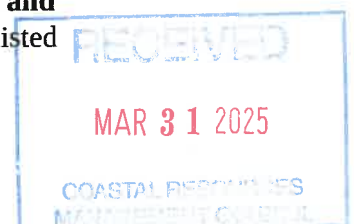
The purpose of the Act is to provide a means whereby threatened and endangered species and the ecosystems upon which they depend may be conserved. Federal and non-Federal project proponents have responsibilities under the Act to consider effects on listed species.

The enclosed species list identifies threatened, endangered, proposed, and candidate species, as well as proposed and final designated critical habitat, that may occur within the boundary of your proposed project and/or may be affected by your proposed project. The species list fulfills the requirements of the U.S. Fish and Wildlife Service (Service) under section 7(c) of the Endangered Species Act (Act) of 1973, as amended (16 U.S.C. 1531 et seq.).

New information based on updated surveys, changes in the abundance and distribution of species, changed habitat conditions, or other factors could change this list. Please note that under 50 CFR 402.12(e) of the regulations implementing section 7 of the Act, the accuracy of this species list should be verified after 90 days. The Service recommends that verification be completed by visiting the IPaC website at regular intervals during project planning and implementation for updates to species lists and information. An updated list may be requested by returning to an existing project's page in IPaC.

### **Endangered Species Act Project Review**

Please visit the “**New England Field Office Endangered Species Project Review and Consultation**” website for step-by-step instructions on how to consider effects on listed



species and prepare and submit a project review package if necessary:

<https://www.fws.gov/office/new-england-ecological-services/endangered-species-project-review>

**\*NOTE\*** Please do not use the **Consultation Package Builder** tool in IPaC except in specific situations following coordination with our office. Please follow the project review guidance on our website instead and reference your **Project Code** in all correspondence.

**Northern Long-eared Bat - (Updated 4/12/2023)** The Service published a final rule to reclassify the northern long-eared bat (NLEB) as endangered on November 30, 2022. The final rule went into effect on March 31, 2023. You may utilize the **Northern Long-eared Bat Rangewide Determination Key** available in IPaC. More information about this Determination Key and the Interim Consultation Framework are available on the northern long-eared bat species page:

<https://www.fws.gov/species/northern-long-eared-bat-myotis-septentrionalis>

For projects that previously utilized the 4(d) Determination Key, the change in the species' status may trigger the need to re-initiate consultation for any actions that are not completed and for which the Federal action agency retains discretion once the new listing determination becomes effective. If your project was not completed by March 31, 2023, and may result in incidental take of NLEB, please reach out to our office at [newengland@fws.gov](mailto:newengland@fws.gov) to see if reinitiation is necessary.

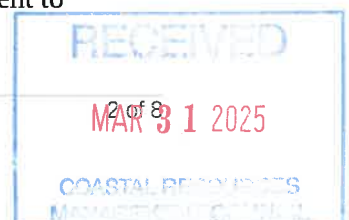
#### *Additional Info About Section 7 of the Act*

Under section 7(a)(2) of the Act and its implementing regulations (50 CFR 402 et seq.), Federal agencies are required to determine whether projects may affect threatened and endangered species and/or designated critical habitat. If a Federal agency, or its non-Federal representative, determines that listed species and/or designated critical habitat may be affected by the proposed project, the agency is required to consult with the Service pursuant to 50 CFR 402. In addition, the Federal agency also may need to consider proposed species and proposed critical habitat in the consultation. 50 CFR 402.14(c)(1) specifies the information required for consultation under the Act regardless of the format of the evaluation. More information on the regulations and procedures for section 7 consultation, including the role of permit or license applicants, can be found in the "Endangered Species Consultation Handbook" at:

<https://www.fws.gov/service/section-7-consultations>

In addition to consultation requirements under Section 7(a)(2) of the ESA, please note that under sections 7(a)(1) of the Act and its implementing regulations (50 CFR 402 et seq.), Federal agencies are required to utilize their authorities to carry out programs for the conservation of threatened and endangered species. Please contact NEFO if you would like more information.

**Candidate species** that appear on the enclosed species list have no current protections under the ESA. The species' occurrence on an official species list does not convey a requirement to





consider impacts to this species as you would a proposed, threatened, or endangered species. The ESA does not provide for interagency consultations on candidate species under section 7, however, the Service recommends that all project proponents incorporate measures into projects to benefit candidate species and their habitats wherever possible.

### **Migratory Birds**

In addition to responsibilities to protect threatened and endangered species under the Endangered Species Act (ESA), there are additional responsibilities under the Migratory Bird Treaty Act (MBTA) and the Bald and Golden Eagle Protection Act (BGEPA) to protect native birds from project-related impacts. Any activity, intentional or unintentional, resulting in take of migratory birds, including eagles, is prohibited unless otherwise permitted by the U.S. Fish and Wildlife Service (50 C.F.R. Sec. 10.12 and 16 U.S.C. Sec. 668(a)). For more information regarding these Acts see:

<https://www.fws.gov/program/migratory-bird-permit>

<https://www.fws.gov/library/collections/bald-and-golden-eagle-management>

Please feel free to contact us at **newengland@fws.gov** with your **Project Code** in the subject line if you need more information or assistance regarding the potential impacts to federally proposed, listed, and candidate species and federally designated and proposed critical habitat.

Attachment(s): Official Species List

Attachment(s):

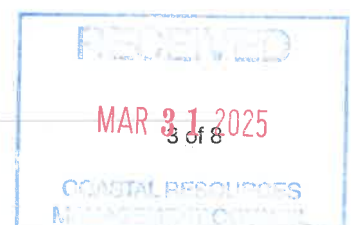
- Official Species List
- Coastal Barriers

## **OFFICIAL SPECIES LIST**

This list is provided pursuant to Section 7 of the Endangered Species Act, and fulfills the requirement for Federal agencies to "request of the Secretary of the Interior information whether any species which is listed or proposed to be listed may be present in the area of a proposed action".

This species list is provided by:

**New England Ecological Services Field Office**  
70 Commercial Street, Suite 300  
Concord, NH 03301-5094  
(603) 223-2541



## PROJECT SUMMARY

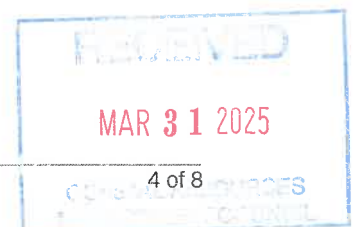
Project Code: 2025-0061957  
Project Name: Quidnessett Country Club Rock Removal Below High Tide Line  
Project Type: Restoration / Enhancement - Wetland  
Project Description: 950 N. Quidnessett Road, North Kingstown, RI 02852  
22.4 cubic yards of rock removal area at the existing revetment located on the northeastern shoreline of the project site.

### Project Location:

The approximate location of the project can be viewed in Google Maps: <https://www.google.com/maps/@41.64499925,-71.40865957516752,14z>



Counties: Washington County, Rhode Island



## ENDANGERED SPECIES ACT SPECIES

There is a total of 3 threatened, endangered, or candidate species on this species list.

Species on this list should be considered in an effects analysis for your project and could include species that exist in another geographic area. For example, certain fish may appear on the species list because a project could affect downstream species.

IPaC does not display listed species or critical habitats under the sole jurisdiction of NOAA Fisheries<sup>1</sup>, as USFWS does not have the authority to speak on behalf of NOAA and the Department of Commerce.

See the "Critical habitats" section below for those critical habitats that lie wholly or partially within your project area under this office's jurisdiction. Please contact the designated FWS office if you have questions.

- 
1. [NOAA Fisheries](#), also known as the National Marine Fisheries Service (NMFS), is an office of the National Oceanic and Atmospheric Administration within the Department of Commerce.





**MAMMALS**

NAME	STATUS
Tricolored Bat <i>Perimyotis subflavus</i> No critical habitat has been designated for this species. Species profile: <a href="https://ecos.fws.gov/ecp/species/10515">https://ecos.fws.gov/ecp/species/10515</a>	Proposed Endangered

**BIRDS**

NAME	STATUS
Roseate Tern <i>Sterna dougallii dougallii</i> Population: Northeast U.S. nesting population No critical habitat has been designated for this species. Species profile: <a href="https://ecos.fws.gov/ecp/species/2083">https://ecos.fws.gov/ecp/species/2083</a>	Endangered

**INSECTS**

NAME	STATUS
Monarch Butterfly <i>Danaus plexippus</i> There is <b>proposed</b> critical habitat for this species. Your location does not overlap the critical habitat. Species profile: <a href="https://ecos.fws.gov/ecp/species/9743">https://ecos.fws.gov/ecp/species/9743</a>	Proposed Threatened

**CRITICAL HABITATS**

THERE ARE NO CRITICAL HABITATS WITHIN YOUR PROJECT AREA UNDER THIS OFFICE'S JURISDICTION.

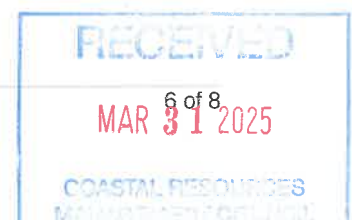
YOU ARE STILL REQUIRED TO DETERMINE IF YOUR PROJECT(S) MAY HAVE EFFECTS ON ALL ABOVE LISTED SPECIES.

**COASTAL BARRIERS**

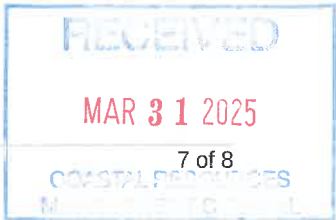
Projects within the [John H. Chafee Coastal Barrier Resources System](#) (CBRS) may be subject to the restrictions on Federal expenditures and financial assistance and the consultation requirements of the Coastal Barrier Resources Act (CBRA) (16 U.S.C. 3501 et seq.). For more information, please contact the local [Ecological Services Field Office](#) or visit the [CBRA Consultations website](#). The CBRA website provides tools such as a flow chart to help determine whether consultation is required and a template to facilitate the consultation process.

**SYSTEM UNIT (SU)**

*Most new Federal expenditures and financial assistance, including Federal flood insurance, are prohibited within System Units. **Federally-funded projects within System Units require consultation with the Service.** Consultation is not required for projects using private, state, or local funds.*



UNIT	NAME	TYPE	SYSTEM UNIT ESTABLISHMENT DATE	FLOOD INSURANCE PROHIBITION DATE
D02B	Prudence Island	SU	11/16/1990	11/16/1990

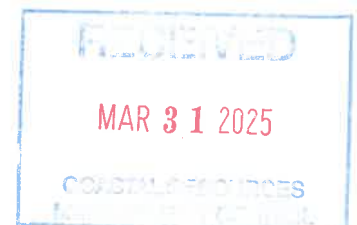


## IPAC USER CONTACT INFORMATION

Agency: Private Entity  
Name: Joseph Klinger  
Address: PO Box 1131  
City: East Greenwich  
State: RI  
Zip: 02818  
Email: jklinger@ecotonesinc.com  
Phone: 4013591924

## LEAD AGENCY CONTACT INFORMATION

Lead Agency: Army Corps of Engineers





RECEIVED

MAR 31 2025

COASTAL RESOURCES  
MANAGEMENT COUNCIL

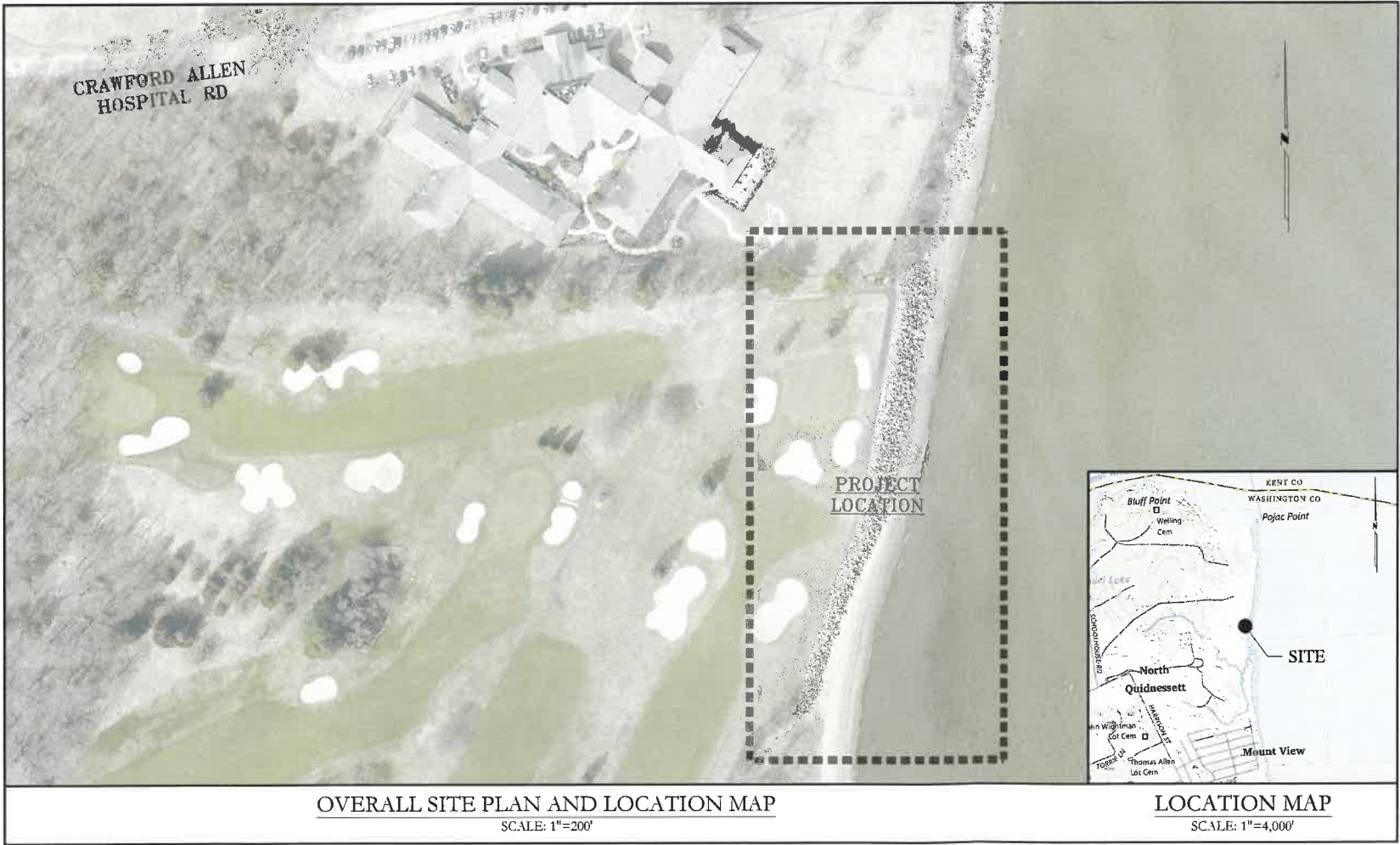
# ROCK REMOVAL BELOW HIGH TIDE LINE SITE DEVELOPMENT PLANS

950 NORTH QUIDNESSETT ROAD  
PLAT 167 LOT 2  
NORTH KINGSTOWN, RHODE ISLAND

ISSUED FOR PERMITTING

PREPARED FOR  
**QUIDNESSETT COUNTRY CLUB INC.**

DATE ISSUED: FEBRUARY 27, 2025



**PROJECT TEAM**  
CIVIL & GEOENVIRONMENTAL ENGINEER:



RMA ENVIRONMENTAL LLC  
20 MAIN STREET  
NORTH KINGSTOWN, RI 02852

ENVIRONMENTAL SCIENTIST:



LAND SURVEYOR & CIVIL ENGINEER:



Civil Engineers  
Land Surveyors  
Land Use Planners  
Environmental Engineers

INDEX TO SHEETS	
No.	SHEET TITLE
C-0	COVER
SV-1	EXISTING CONDITIONS PLAN
C-1	SITE PLAN
C-2	DETAILS



ISSUED FOR REGULATORY REVIEW  
ONLY - NOT FOR CONSTRUCTION

**OWNER/APPLICANT**

QUIDNESSETT COUNTRY CLUB INC.  
PO BOX 860  
EAST GREENWICH, RHODE ISLAND 02818

ROCK REMOVAL BELOW  
HIGH TIDE LINE  
QUIDNESSETT COUNTRY CLUB  
950 NORTH QUIDNESSETT ROAD  
PLAT 167 LOT 2  
NORTH KINGSTOWN, RHODE ISLAND  
CA JOB # 224031



**CHERENZIA  
& ASSOCIATES, LTD.**

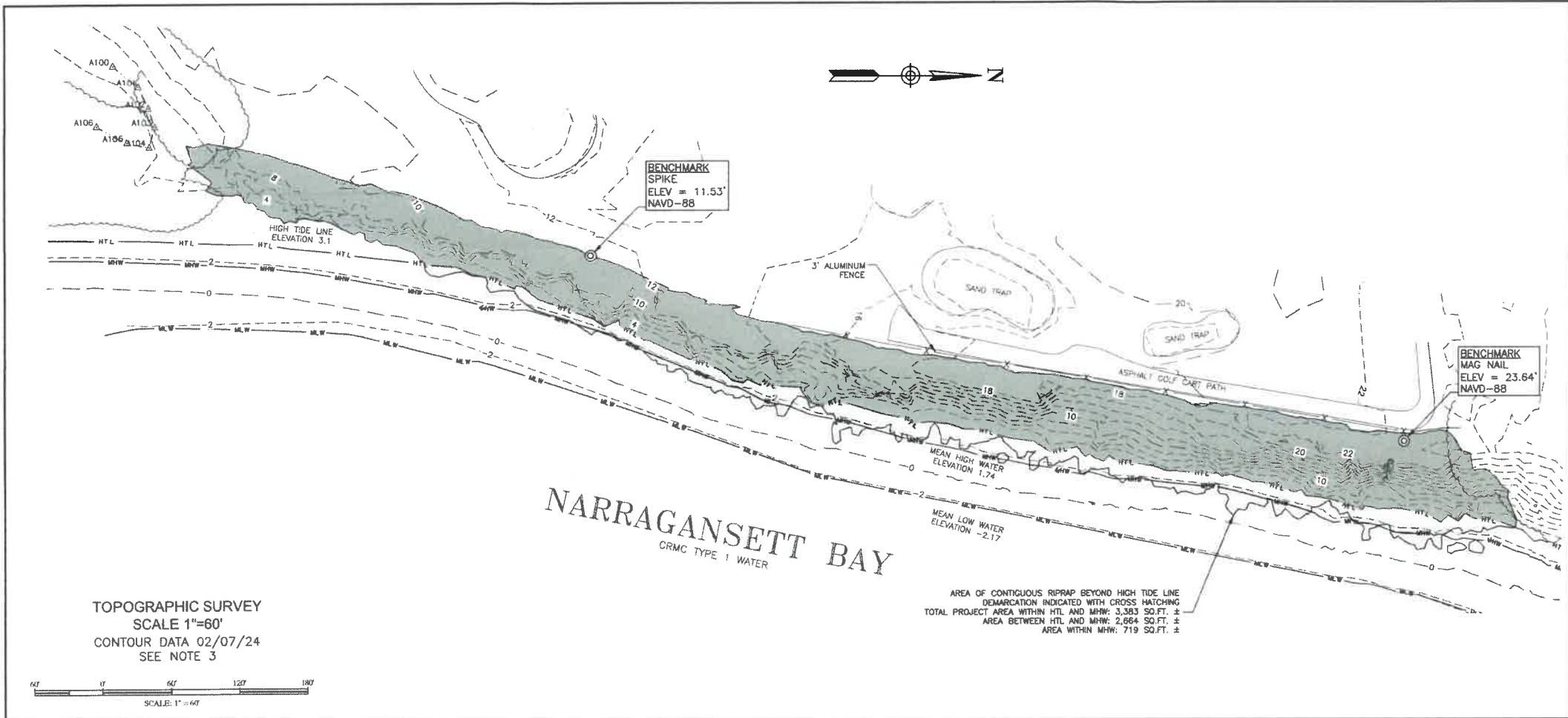
Civil Engineers  
Land Surveyors  
Land Use Planners  
Environmental Engineers

99 Mechanic St.  
Pawcatuck, CT 06379  
Tel: 860.629.6500  
Fax: 860.599.6090

P.O. Box 513  
Westerly, RI 02891  
Tel: 401.596.7747

www.cherenzia.com





**CHERENZIA & ASSOCIATES, LTD.**  
Civil Engineers  
Land Surveyors  
Land Use Planners  
Environmental Engineers  
99 Merchants St.  
Pawcatuck, CT 06379  
Tel: 860.439.6590  
Fax: 860.599.6090  
P.O. Box 513  
Westbury, RI 02891  
Tel: 401.596.7747  
www.cherenzia.com

**LOCATION MAP**

MARK A. CASTELLANOS  
No. 2511  
PROFESSIONAL LAND SURVEYOR

**PLAN REVISIONS**

REV. NO.	DATE	DESCRIPTION	DWN BY	CHK BY
1	7-3-24	HIGH TIDE LINE, WETLAND	MC	MC
2	7-23-24	UPDATED TOPOGRAPHY	JF	MC
3	2-27-25	RESIZE TO 11X17	AKG	MC

SCALE: 1"=60'  
CA JOB #224031  
DATE: JUNE 7, 2024

DRAWN BY: JF  
CHECKED BY: MAC

**EXISTING CONDITIONS PLAN**

**DATA ACCUMULATION SURVEY**

980 NORTH QUIDNESSETT ROAD  
PLAT 167 LOT 2  
NORTH KINGSTOWN, RHODE ISLAND

PREPARED FOR  
QUIDNESSETT COUNTRY CLUB

**NOTES:**

- ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD-88). VERTICAL CONTROL DERIVED FROM GNSS OBSERVATIONS UTILIZING THE CTDOT ACORN RTK NETWORK WITH CORS ID REFERENCE "URIL", KINGSTON, RI. & GEOID MODEL GEOID18.
- LIMITS OF FIELD TOPOGRAPHY SHOWN HEREON REPRESENTS INFORMATION GATHERED FROM FIELD SURVEYS CONDUCTED BY CHERENZIA & ASSOCIATES, LTD ON 05/14/24, 06/03/24, 07/17/24.
- SOURCE OF MEASUREMENT DATA IS BASED UPON CONVENTIONAL FIELD SURVEYING, GNSS OBSERVATIONS, AND THE USE OF UNMANNED AERIAL SYSTEMS LIDAR EQUIPPED WITH A HESAI PANDAR XT32 SCANNER.
- MEAN HIGH WATER AND MEAN LOW WATER ELEVATIONS WERE INTERPOLATED FROM NOAA TIDAL STATIONS 8454049 (QUONSET POINT) AND 8454578 (EAST GREENWICH) TIDAL EPIC 1983-2001. HIGH TIDE ELEVATION (3.1 FEET), REPRESENT THE PREDICTED HIGHEST TIDE OF THE 2024 CALENDAR YEAR, 10/18/2024, BASED ON PREDICTED TIDE ELEVATIONS FOR STATION QUONSET, PUBLISHED BY THE NOAA.
- WETLANDS HAVE BEEN DELINEATED BY ECOTONES INC. AND SURVEY LOCATED BY CHERENZIA.

**CERTIFICATION:**

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

**TYPE OF SURVEY:**  
**MEASUREMENT SPECIFICATION:**  
DATA ACCUMULATION-PLANIMETRICS  
TOPOGRAPHY

CLASS III  
CLASS T-2

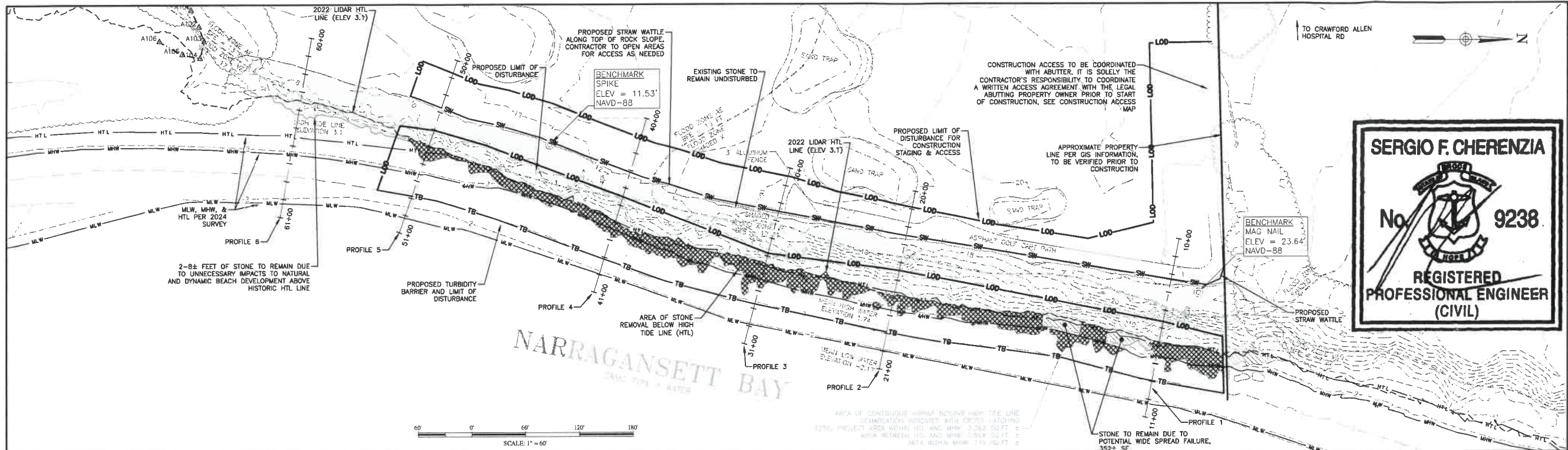
THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND THE PREPARATION OF THE PLAN IS TO SHOW EXISTING CONDITIONS OF THE SEAWALL SHOWN HEREON.

BY: *Mark A. Castellanos*

PLS SIGNATURE  
MARK A. CASTELLANOS · PLS #2511  
PRINTED PLS NAME & LICENSE NO.  
LS.000A133-COA

**RECEIVED**  
MAR 31 2025  
SV-1  
SHEET 1 OF 1





**CHERENZIA & ASSOCIATES, LTD.**  
Civil Engineers  
Land Surveyors  
Land Use Planners  
Environmental Engineers  
99 Mechanic St.  
Pawcatuck, CT 06379  
Tel: 860.629.6500  
Fax: 860.599.6090  
www.cherenzia.com

**SERGIO F. CHERENZIA**  
No. 9238  
REGISTERED PROFESSIONAL ENGINEER (CIVIL)

- NOTES:**
- THE DESIGN BASED ON THE HTL ESTABLISHED PER THE 2024 QUINSETT TIDE GAUGE PREDICTIONS AS STORMS IMPACT THE AREA. THE HTL IS SHOWN ON THE SURVEY PLAN PREPARED BY CHERENZIA & ASSOCIATES, LTD. TITLED EXISTING CONDITIONS PLAN, DATA ACCUMULATION SURVEY SHEET SV-1 PREPARED FOR QUINNESSETT COUNTY CLUB DATED JUNE 7, 2024 REVISED JULY 23, 2024.
  - A BOUNDARY SURVEY HAS NOT BEEN PERFORMED FOR THE PROPERTY.
  - ANY EXISTING SHORELINE VEGETATION SHALL BE PRESERVED BOTH DURING AND AFTER WORK COMPLETION.
  - STONE BELOW THE HTL LINE SHALL BE REMOVED AND REPLACED WITH BEACH SAND AS NEEDED. SAND SHALL COME FROM AN UPLAND SOURCE AND CONSIST OF NATURAL SAND GRAINS THAT ARE SIMILAR IN GRAIN SIZE, SHAPE, AND COMPOSITION TO SAND CURRENTLY ON THE BEACH. SAND SHALL CONSIST OF 90% OR MORE SAND SIZED GRAINS. SAND SHALL NOT BE MINED FROM THE ACTIVE COASTAL FEATURES (E.G. DUNES AND BEACH).
  - REMOVED STONE SHALL EITHER BE REMOVED FROM THE SITE OR BASED ON DIRECTION FROM THE PROJECT ENGINEER, USED TO SUPPLEMENT THE EXISTING STONE SLOPE ABOVE THE HTL.
  - IN ADDITION TO THE HTL PROVIDED ON THE 2024 SURVEY, A HTL LINE (ELEV. 3.1) IS COMPILED FROM THE 2022 LIDAR ELEVATION INFORMATION. THE 2022 LIDAR WAS BEFORE THE STONE SLOPE WAS CONSTRUCTED AND THE STORMS THAT ERODED THE PREVIOUS SLOPE.
  - THE PROJECT AREA IS LOCATED IN FEMA FLOOD ZONE VE WITH BFE=17 FEET, ZONE AE WITH BFE=13 FEET, AND AREAS OF 0.2% ANNUAL CHANCE FLOOD HAZARD BASED ON FEMA MAP #44099C0018J WITH EFFECTIVE DATE OF OCTOBER 15, 2013.
  - THE AREA OFFSHORE IS A RIDGEM SHELLFISH MANAGEMENT AREA (HIGH BANKS MANAGEMENT AREA 9B).

- PLAN REFERENCES:**
- SURVEY PLAN PREPARED BY CHERENZIA & ASSOCIATES, LTD. TITLED EXISTING CONDITIONS PLAN, DATA ACCUMULATION SURVEY PREPARED FOR QUINNESSETT COUNTY CLUB DATED JUNE 7, 2024 REVISED FEB. 27, 2025.
  - WETLANDS HAVE BEEN DELINEATED BY ECOTONES INC. AND SURVEY LOCATED.

PLAN REVISIONS				
REV. NO.	DATE	DESCRIPTION	DWN BY	CHK BY

SCALE: AS NOTED  
CA JOB # 224031  
DATE: FEB. 27, 2025

DRAWN BY: AKG  
CHECK BY: SFC

ISSUED FOR REGULATORY REVIEW ONLY - NOT FOR CONSTRUCTION

SITE PLAN

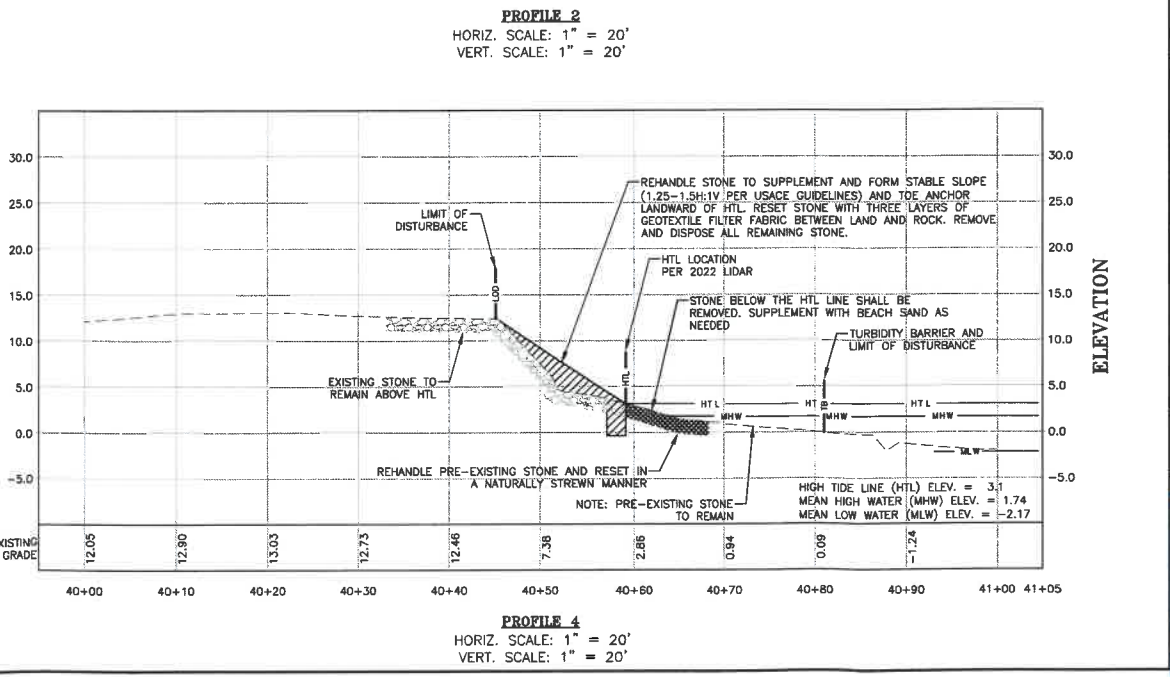
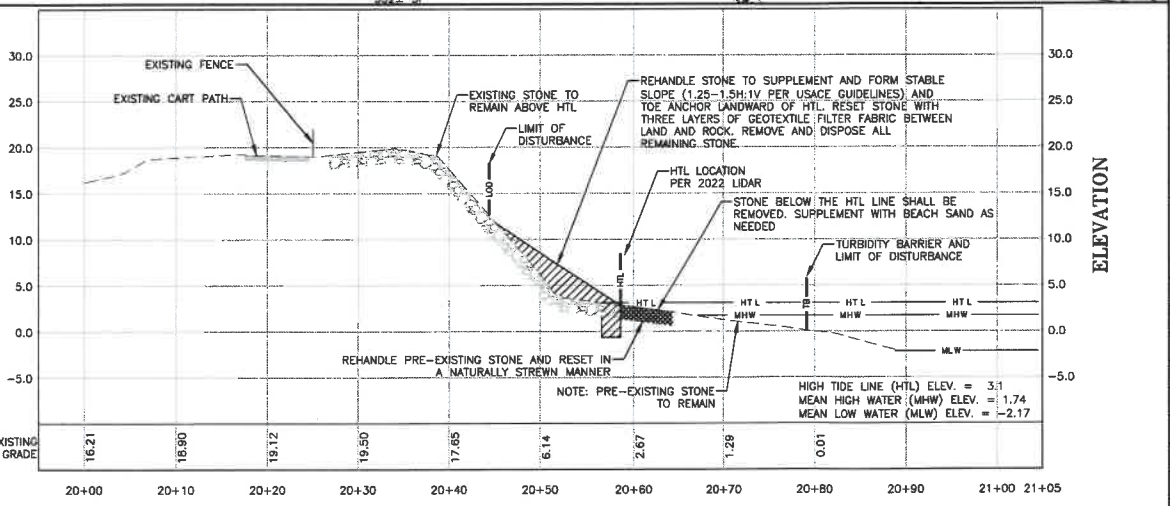
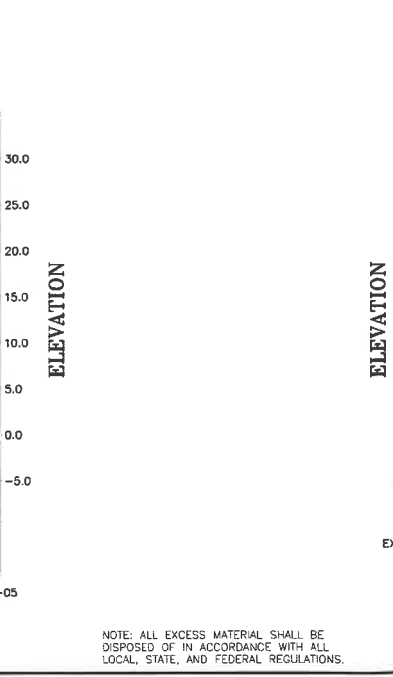
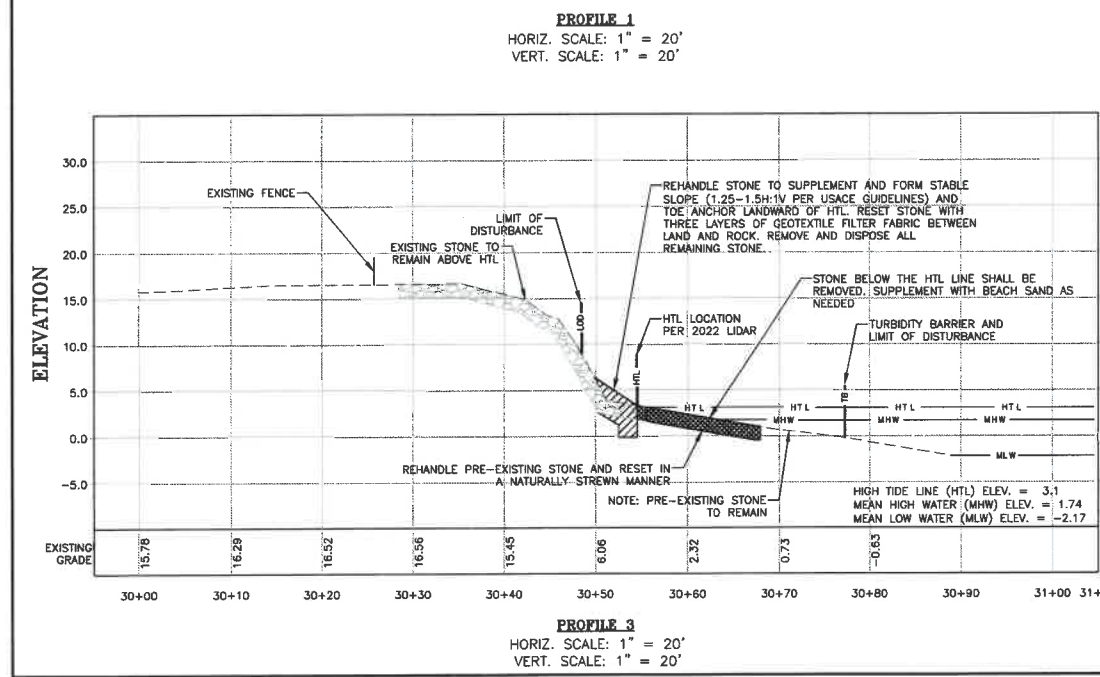
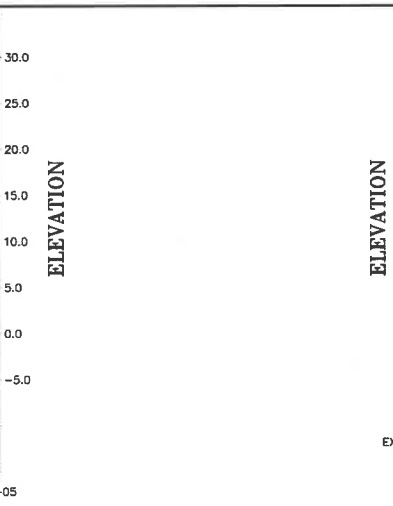
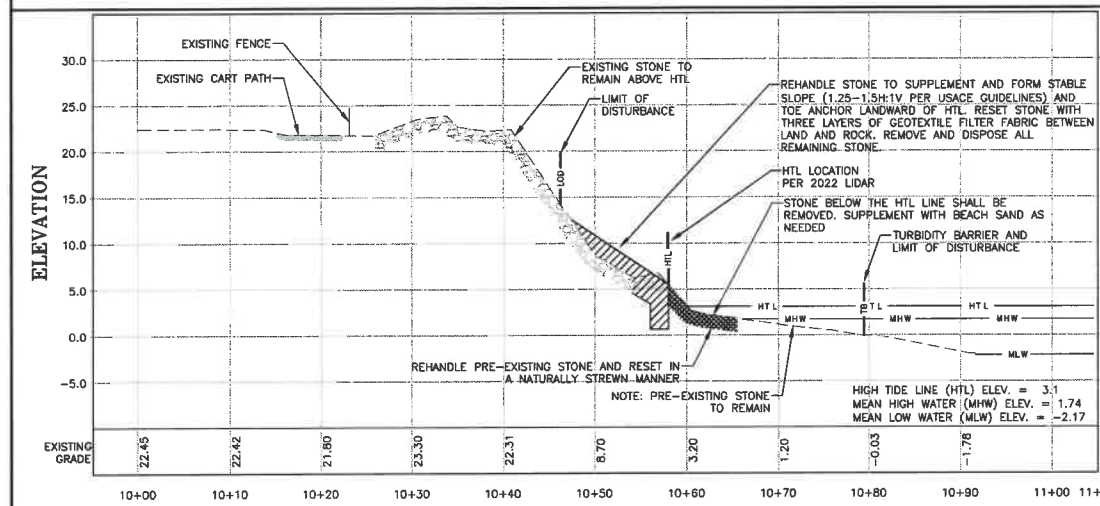
ROCK REMOVAL BELOW  
HIGH TIDE LINE  
QUINNESSETT COUNTRY CLUB  
950 NORTH QUINNESSETT ROAD  
PLAT 167 LOT 2  
NORTH KINGSTOWN, RHODE ISLAND

PREPARED FOR  
QUINNESSETT COUNTRY CLUB INC.

RECEIVED  
MAR 31 2025  
C-1

COASTAL RESOURCE COUNCIL

Sheet 1 of 2

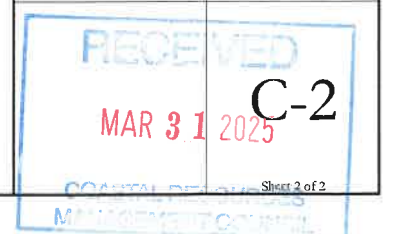
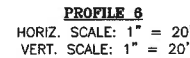
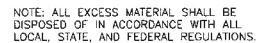


NOTE: ALL EXCESS MATERIAL SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.



13. IF REGULATED, CONSTRUCTION TO OCCUR OUTSIDE PIPING PLOVER  
NESTING SEASONS

\* ALL ELEVATIONS ON THE SITE PLANS REFER TO NAVD 88







STATE OF RHODE ISLAND AND PROVIDENCE PLANTATIONS

No 1018

Permit Type: HV-F

2013-03-133

**COASTAL RESOURCES MANAGEMENT COUNCIL**

Oliver H. Stedman Government Center

Tower Hill Road

Wakefield, R.I. 02879

Phone: ~~277-2476~~  
783-3370

**EMERGENCY GENERAL PERMIT**

OWNER: QUIDNESSETT COUNTRY CLUB, INC.

LOCATION: 950 NORTH QUIDNESSETT ROAD, N.K. (P 167, L 2)

INVESTIGATOR: DAVE REIS DATE: 3/19/13

TIME: OFFICE REVIEW

TITLE: SUPERVISING ENVIRONMENTAL SCIENTIST

DESCRIPTION OF WORK: UNDERTAKE STORM EROSION REPAIRS  
OF COASTAL BLUFF TO INCLUDE INSTALLATION OF  
SAND FILLED COIR ENVELOPES, STONE TIE PROTECTION  
USING EXISTING STONE ON SHORELINE, BEACH  
NOURISHMENT WITH BEACH GRASS PLANTINGS AND  
BEACH GRASS SLOPE PLANTINGS WITH NATIVE SHROUBS AT BLUFF  
CREST.

PHOTOS/DESCRIPTION: SEVERAL SITE INSPECTIONS WERE UNDERTAKEN BY  
CRMC STAFF TO DOCUMENT POST-STORM & PRE-STORM  
CONDITIONS (SEE CRMC FILE NO 2012-05-071)

WORK APPROVED OR REJECTED (circle one)

CONDITIONS OF APPROVAL: ALL WORK MUST BE CONSISTENT WITH  
THE SUBMITTED PLAN ENTITLED: "CRMC EMERGENCY  
ASSENT SUBMISSION, SITE PLAN, QUIDNESSETT COUNTRY  
CLUB, INC." DATED 3/12/13, BY DIPRETE ENGINEERING  
AND STAMPED CRMC APPROVED 3/19/13. SAND FILL MUST  
BE TEXTURALLY COMPATIBLE WITH BEACH SAND

NOTE: ALL WORK SUBJECT TO RESTRICTIONS/REQUIREMENTS AS SPECIFIED ON THE  
ATTACHED PERMIT CONDITIONS.

REASONS FOR REJECTION (if rejected): \_\_\_\_\_

**MAR 31 2013**

**THIS APPROVAL VALID FOR 90 DAYS OF INSPECTION NOTED ABOVE; IF ALL WORK IS NOT COMPLETED WITHIN THIS PERIOD, A NEW APPLICATION TO THE CRMC SHALL BE REQUIRED.**



**Emergency General Permit**  
**Protection of Storm Eroded Coastal Bluffs with Available Beach Stone and**  
**Non-structural Shoreline Protection Measures and Native Plantings**  
**HU-F**

This emergency permit authorizes the protection of storm-eroded coastal bluffs with a combination of existing stone, which was either eroded from the coastal bluff by the storm or otherwise available on the adjacent beach/shorefront, and includes the use of nonstructural shoreline protection measures and native plantings.

**Definitions:**

**Existing Beach Stone** – Rocks and cobble generally less than 2 cubic feet in size that are within 35 feet of the eroded bluff and above mean high water.

**Non-structural Shoreline Protection:** Biodegradable materials including blankets, mats or logs which are placed on a shoreline for temporary erosion protection and to help support native vegetation and plantings.

**Native Plantings:** Native coastal shrubs are ~~included on the attached list.~~

*to be used per approved plan. D. Reis*

**Coir Logs:** Coconut fiber material woven into mats and rolled to form elongated cylinders or “logs” which are staked into the ground to provide erosion protection and as a base for plantings.

**General Conditions:**

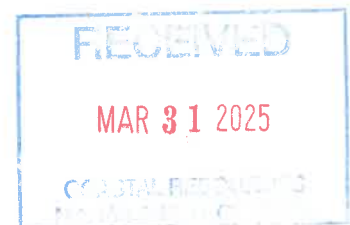
1. Existing shoreline vegetation shall be preserved both during and after work completion.
- N/A 2. The contractor must contact CRMC Staff prior to work, as a preconstruction meeting or consultation may be required before work can commence.
- D. Reis 3. Photos of the completed work shall be provided to the CRMC immediately upon work completion.

**Conditions for the Placement of Existing Beach Stone:**

1. Only existing beach stone from the immediate vicinity (generally within 35 feet) of the eroded bluff may be used for bluff protection by stacking it against the scarp (eroded bluff face). Excess removal and use of beach stone beyond 35 feet from the eroded bluff or below the mean high water mark is not allowed.
2. Stone from off-site areas may not be used.
3. No mortar or concrete may be used.
4. No construction debris including any existing shoreline debris may be used to protect eroded areas by placing against the scarp.

**Conditions for the Use of Nonstructural Shoreline Protection and Native Plantings:**

1. Only biodegradable erosion control blankets (such as jute mesh/mats) or logs may be utilized.
2. Coir logs or erosion control blankets may be placed above a base layer of bluff “toe” protection using existing beach stone. Coir logs shall be adequately anchored with wooded stakes. Supplemental native plantings are recommended.
3. Steep erosive slopes shall be cut back (rather than filling out) to create a gentle slope conducive to native plantings and the establishment of protective vegetation.



## CRMC Application Review Sheet

**File Number:** 2013-03-133

**Owner Name:** Quidnessett Country Club

**Site Address:** 950 North Quidnessett Road, North Kingstown

**Plat:** 167 **Lot:** 2

### Administrative Review

**Reviewer:** WJM

**Completed on** \_\_\_\_\_

☐ Application Complete

☐ Application Deficient

☐ FONSI

☐ Enforcement compliance \_\_\_\_\_

☐ EXTENSION (Enforcement review)  
\_\_\_\_\_

**Missing**

\_\_\_\_\_ Application

\_\_\_\_\_ Fee

\_\_\_\_\_ ISDS

\_\_\_\_\_ Proof of Ownership

\_\_\_\_\_ Building Permit

\_\_\_\_\_ Site Plans

**Notes** \_\_\_\_\_

\_\_\_\_\_

### Team Review for Acceptance

**Application Deficient**

☐ Deficiency Letter Required

☐ Notified Via Phone Call – waiting for \_\_\_\_\_

<input type="checkbox"/> Application Accepted  Date _____	Assigned To:		Date Completed	Denial Recommendation	Management Sign-off
	Engineer				
	Biologist				
	Geologist				
	Aqua				
	Dredge				
	Other				

**Category:**

**Project Type:** \_\_\_\_\_

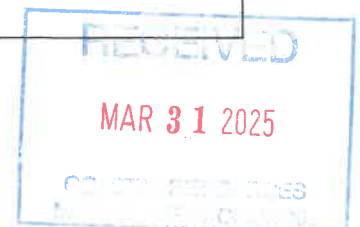
**Water Type:** \_\_\_\_\_

**Water Area:** \_\_\_\_\_

**PGP Category:** 1 2 IP ☐ Public Access 355 ☐ Public Access Easement

**Short Project Description:** SANDY: storm erosion repairs to coastal bluff

REV 11/09/04





## DiPrete Engineering

### Letter of Transmittal

To:	Coastal Resources Management Council 4808 Tower Hill Road Suite 3 Wakefield, Rhode Island 02879 401-783-3370
-----	---

Attention:	<b>Dave Reis</b>
Date:	3/15/2013
Re:	Quidnessett Country Club
Job No:	1928-001

#### We are Sending You:

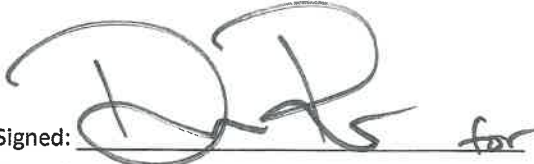
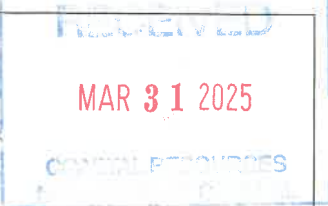

<input type="checkbox"/> Progress Prints	<input checked="" type="checkbox"/> Submission Plans	<input checked="" type="checkbox"/> Supporting Material	<input type="checkbox"/> Other
--	--	---	--------------------------------

Copies:	Description:
4	24" x 36" CRMC Assent Submission Plans

#### Items Transmitted as Checked Below:

<input checked="" type="checkbox"/> For Approval	<input type="checkbox"/> For Your Use	<input type="checkbox"/> As Requested	<input type="checkbox"/> For Review
--	---------------------------------------	---------------------------------------	-------------------------------------

#### Remarks:

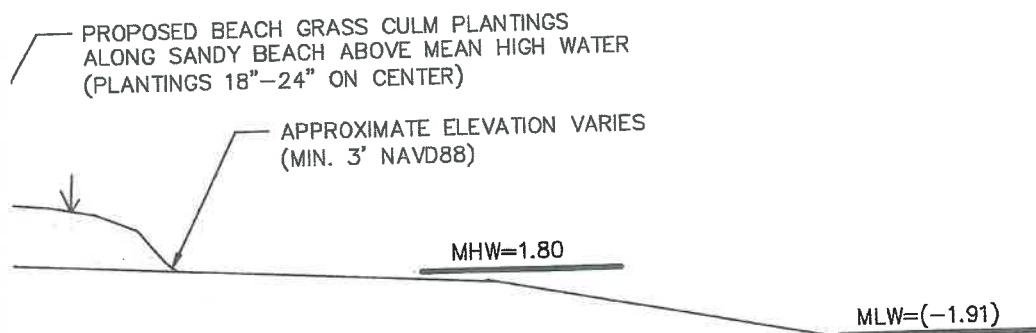
 Signed: <b>Kevin Morin, PE</b> Vice President <a href="mailto:Kevin@diprete-eng.com">Kevin@diprete-eng.com</a>	  Copy: File
---	--



INSTRUCTION.

CRMC SHALL BE RETAINED TO OVERSEE CONSTRUCTION. CRMC SHALL BE NOTIFIED OF THE PROGRESS OF CONSTRUCTION.

PROGRESS REPORT TO CRMC VIA EMAIL. A FINAL WRITTEN COMPLIANCE REPORT WITH PROJECT COMPLETION.



COASTAL RESOURCES MANAGEMENT COUNCIL  
APPROVED PLANS  
DATE 3/19/13  
STAFF MEMBER D. R.  
SUBJECT TO STIPULATIONS CONTAINED IN  
ASSENT NUMBER \_\_\_\_\_

TAIL



## CRMC Emergency Assent Submission

### Site Plan

### Quidnessett Country Club

North Kingstown, Rhode Island  
Assessor's Plat 167, Lot 2

Applicant

Quidnessett Country Club c/o Janice Mathews

P.O. Box 860

This regulatory construction project Construction representative

The contractor methods, safe and OSHA cor this plan and

No.	Date	CRMC Emergency Assent Submission Description	D.A.R. By:
0	3-12-13		

Design By: D.A.R.



SOR'S PLAT 167 LOT 2. THE CONSTRUCTION IS TO BE BUILT IN TWO PHASES.

RY CLUB, INC.

02818

FLOOD INSURANCE RATE MAP 44009C0018H, MAP REVISED OCTOBER 19, 2010.

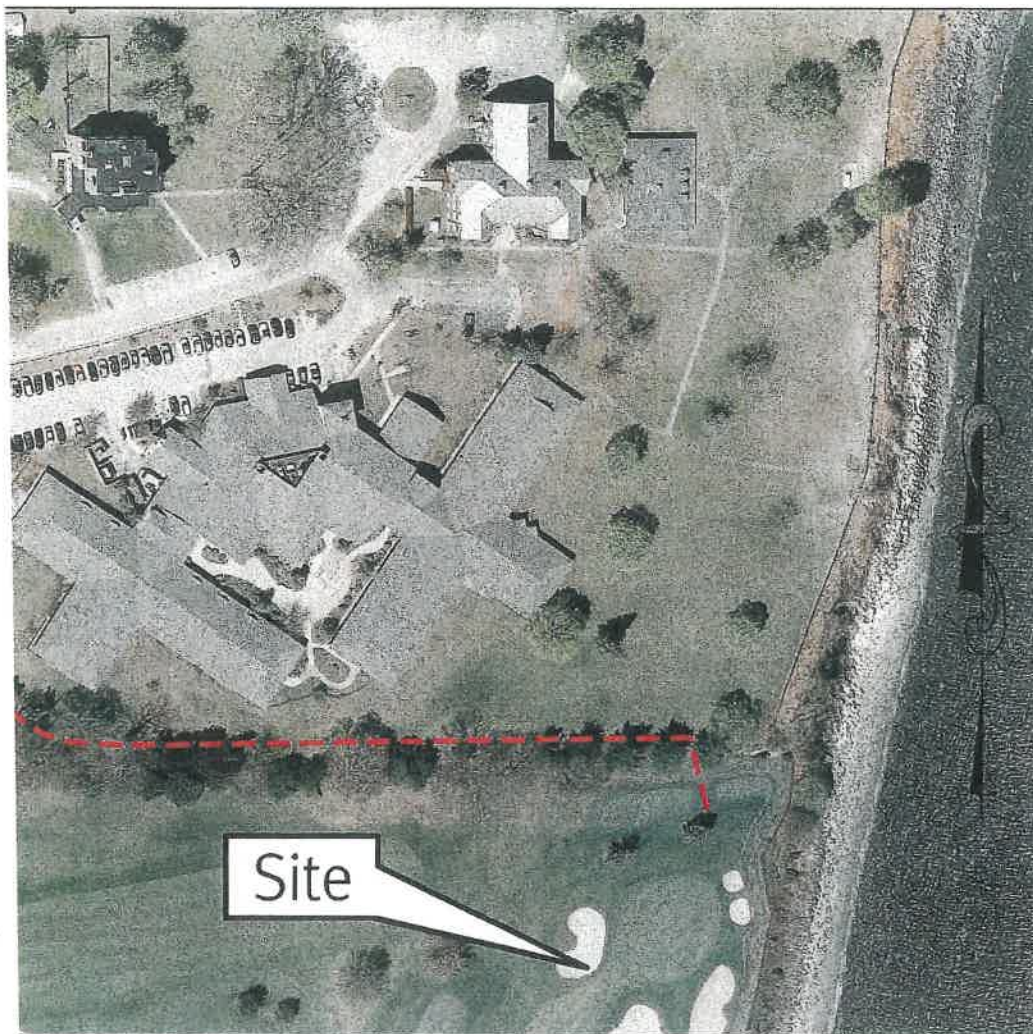
ZONE AE ARE SPECIAL FLOOD HAZARD AREAS INUNDATED BY 100-YEAR FLOOD. BASE

DIPRETE ENGINEERING, 2 STAFFORD COURT, CRANSTON, RI 02920.

ENGINEERING ON MARCH 4, 2013. DATUM IS NAVD88.

STABILIZE THE COASTAL BANK AND PROTECT AGAINST FURTHER EROSION USING  
ES.

INSTRUCTION. ALL EXISTING UTILITIES SHOWN ARE SCHEMATIC IN NATURE. ANY PERSON /  
DEPICTED ON THIS PLAN IS RESPONSIBLE FOR INDEPENDENTLY VERIFYING THE SUBSURFACE  
PLAN ALONE.



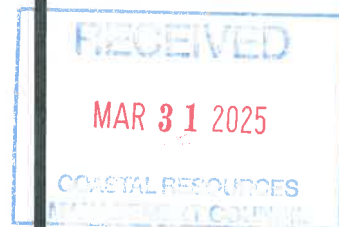
## ION ACCESS MAP

ALE 1"=150'



Two Stafford Court Cranston, RI 02920  
tel 401-943-1000 fax 401-464-6006 www.DiPrete-Eng.com

Engineers • Planners • Surveyors



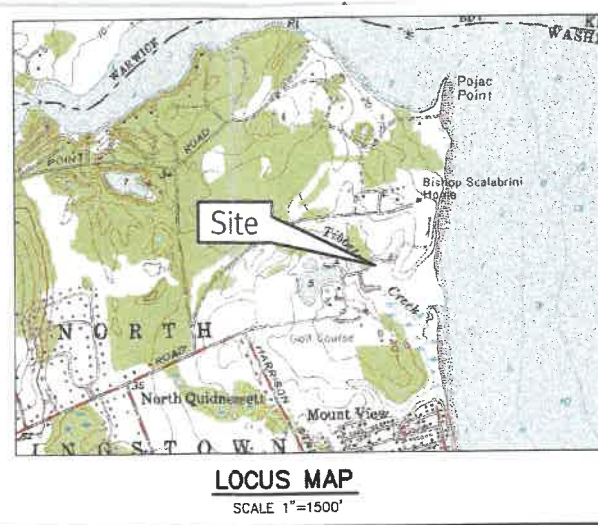
set shall not be used for  
is stamped 'Issued for  
a DiPrete Engineering

e for all of the means,  
s and requirements,  
re implementation of







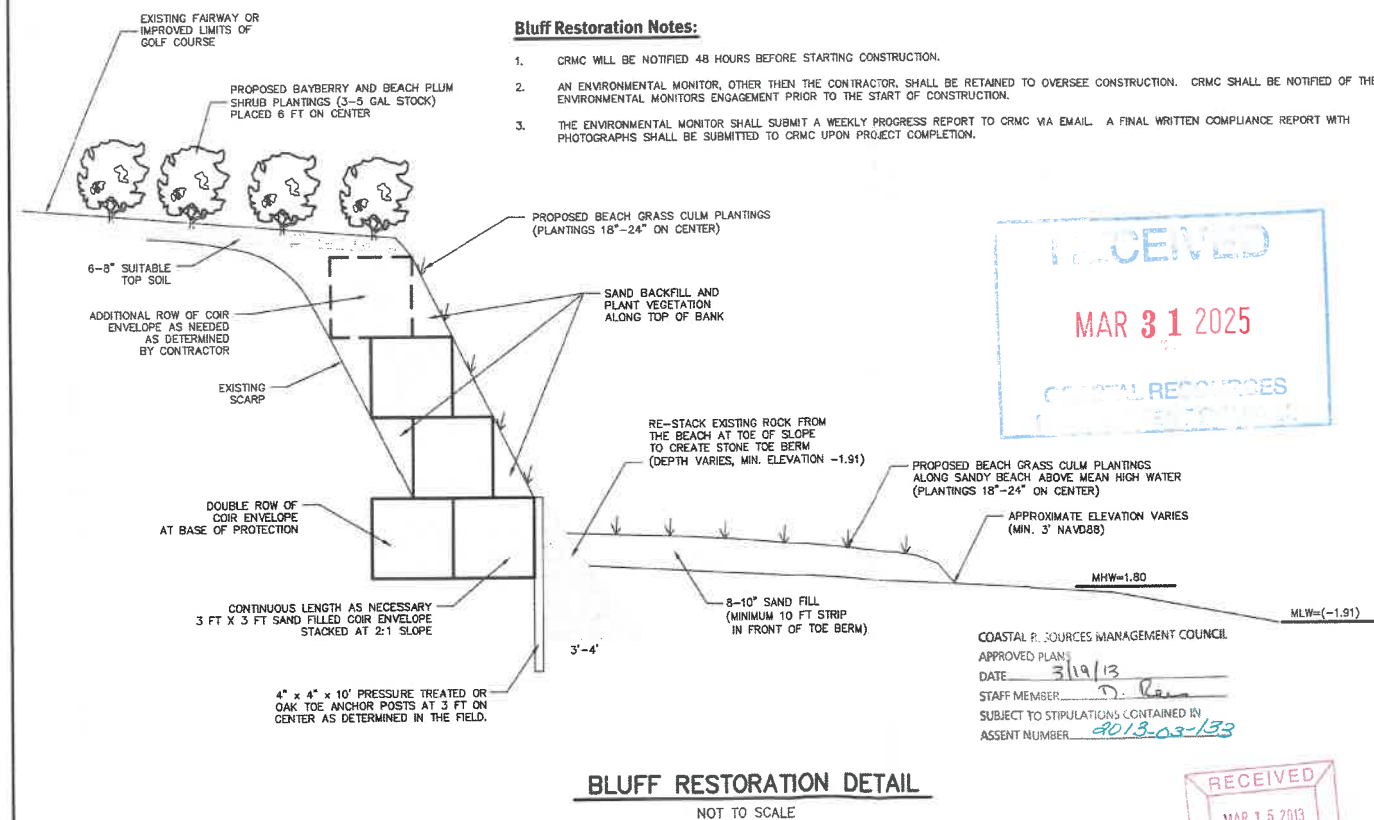


#### General Notes:

1. THE SITE IS LOCATED ON THE TOWN OF NORTH KINGSTOWN ASSESSOR'S PLAT 167 LOT 2. THE CONSTRUCTION IS TO BE BUILT IN TWO PHASES.
2. THE SITE IS APPROXIMATELY 72± ACRES AND IS ZONED RR'.
3. THE OWNER AND APPLICANT IS: QUIDNESSETT COUNTRY CLUB, INC.  
P.O. BOX 860  
EAST GREENWICH, RI 02818
4. THIS SITE IS LOCATED IN FEMA FLOOD ZONE AE. REFERENCE FEMA FLOOD INSURANCE RATE MAP 44090C0018H, MAP REVISED OCTOBER 19, 2010.  
ZONE AE (14) - THIS SITE IS LOCATED IN FEMA FLOOD ZONE AE. ZONE AE ARE SPECIAL FLOOD HAZARD AREAS INUNDATED BY 100-YEAR FLOOD. BASE FLOOD ELEVATIONS HAVE BEEN DETERMINED.
5. EXISTING CONDITIONS DATA GROUND SURVEYED AND PREPARED BY DIPRETE ENGINEERING, 2 STAFFORD COURT, CRANSTON, RI 02920.
6. EXISTING TOPOGRAPHY SHOWN IS FROM FIELD SURVEY BY DIPRETE ENGINEERING ON MARCH 4, 2013. DATUM IS NAVD83.
7. THE PURPOSE OF THIS APPLICATION IS AN EMERGENCY ASSENT TO STABILIZE THE COASTAL BANK AND PROTECT AGAINST FURTHER EROSION USING NON-STRUCTURAL STABILIZATION WITH SAND FILLED COIR ENVELOPES.

#### Construction Notes:

1. THE CONTRACTOR IS TO NOTIFY DIO SAFE PRIOR TO THE START OF CONSTRUCTION. ALL EXISTING UTILITIES SHOWN ARE SCHEMATIC IN NATURE. ANY PERSON / CONTRACTOR WORKING IN THE VICINITY OF THE SUBSURFACE UTILITIES DEPICTED ON THIS PLAN IS RESPONSIBLE FOR INDEPENDENTLY VERIFYING THE SUBSURFACE CONDITIONS PRIOR TO EXCAVATION, AND SHOULD NOT RELY ON THIS PLAN ALONE.



#### BLUFF RESTORATION DETAIL

NOT TO SCALE

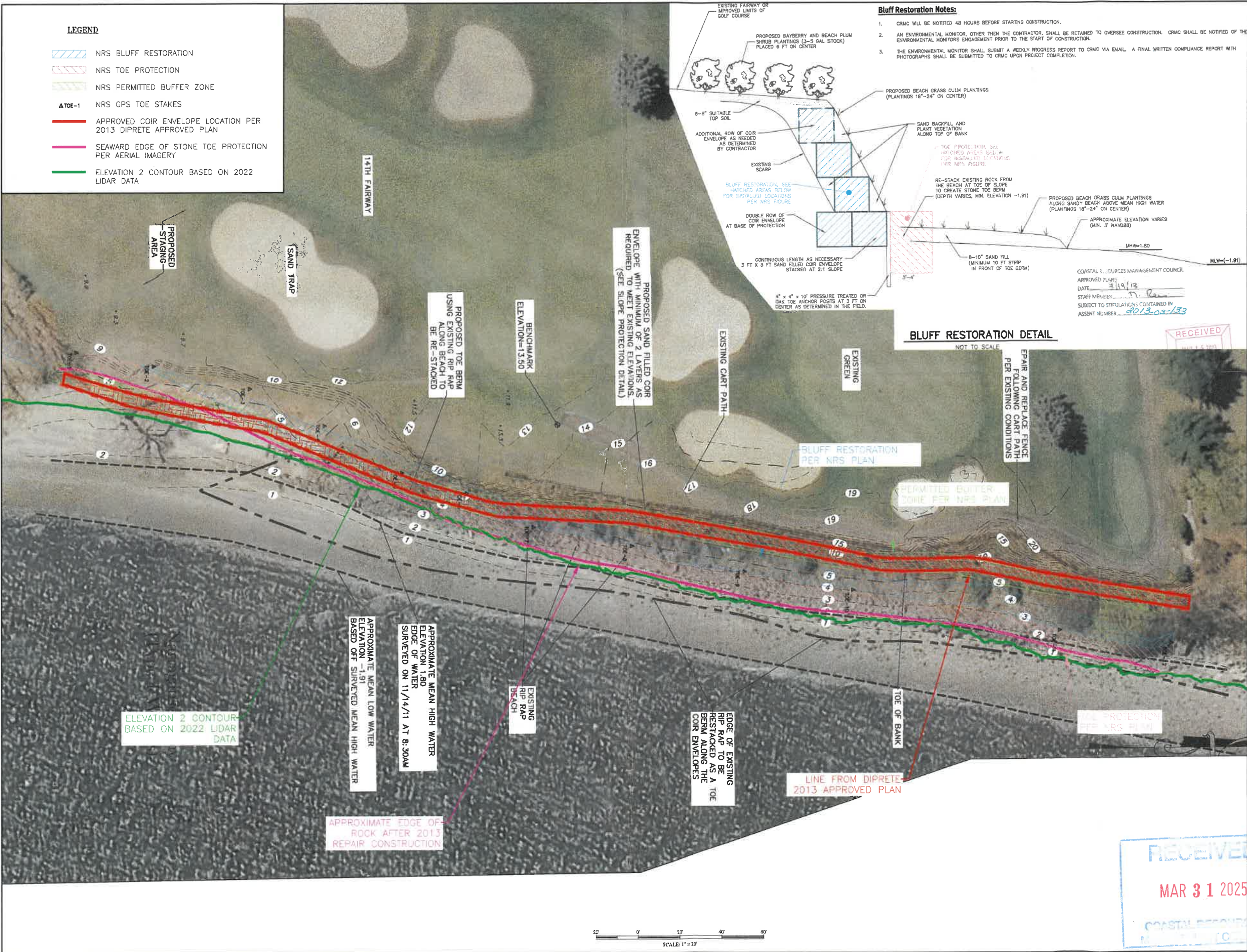


Legend

- Bluff Restoration
- Toe Protection
- Ramp
- Permitted Buffer Zone
- Toe Stakes
- Property Line







**CHERENZIA & ASSOCIATES, LTD.**  
Civil Engineers  
Land Surveyors  
Land Use Planners  
Environmental Engineers  
99 Main Street  
Pawcatuck, CT 06379  
Tel: 860.629.6500  
Fax: 860.599.6090  
P.O. Box 513  
Westbury, RI 02891  
Tel: 401.596.7747  
www.cherenzia.com

**LOCATION MAP**

NOTES:

1. DETAIL AND PLAN OVERLAP WITH CRMC APPROVED PLAN #2013-03-133 PREPARED BY DIPRETE ENGINEERING, DATED MARCH 12, 2013
2. REFERENCES MADE TO NATURAL RESOURCE SERVICES, INC. (NRS) FIGURE DATED JUNE 12, 2013.

PLAN REVISIONS				
REV. NO.	DATE	DESCRIPTION	DWN. BY	CHK. BY
1	2/13/25	SUPERIMPOSE NRS INFORMATION	AKG	SFC

SCALE: 1"=20'  
CA JOB # 224031  
DATE: JAN. 21, 2025

DRAWN BY: AKG  
CHECK BY: SFC

ISSUED FOR REVIEW

PREVIOUS APPROVED PLAN OVERLAY

QUIDNESSETT COUNTRY CLUB  
950 NORTH QUIDNESSETT ROAD  
PLAT 167 LOT 2  
NORTH KINGSTOWN, RHODE ISLAND

PREPARED FOR  
QUIDNESSETT COUNTRY CLUB

**FIG-1**





**Natural Resource Services, Inc.**

P.O. Box 3711 W. Pawtucket, RI 02830

# Invoice

Date

6/30/2013

Invoice #

15813

## Bill To

QUIDNESSETT COUNTRY CLUB  
JANICE MATHEWS, V.P.  
35 SOCKANOSSET CROSSROADS  
CRANSTON, RI 02920

Amount  
enclosed

detach top portion and send with payment

Project

12-091 NORTH KINGSTOWN, QUIDNESSETT CC

P.O. No.

Date	Description	Hours	Rate	Amount
6/11/2013	Weekly and post storm site monitoring	2	150.00	300.00
6/12/2013	Bluff Restoration and GPS work	6	75.00	450.00
6/12/2013	Final monitoring; GPS mapping for CRMC final report	2	150.00	300.00

Thank you for your business.

Terms

Due on receipt

Total \$1,050.00

Payments/Credits \$0.00

Balance Due \$1,050.00

Natural Resource Services, Inc.

Phone # 401-568-7390

Fax # 401-568-7490

RECEIVED

MAR 31 2025

COASTAL RESOURCES  
MANAGEMENT COUNCIL

8



Natural Resource Services, Inc.

# Invoice

Date
5/31/2013

Invoice #
15767

## Bill To

QUIDNESSETT COUNTRY CLUB  
JANICE MATHEWS, V.P.  
35 SOCKANOSSET CROSSROADS  
CRANSTON, RI 02920

JUN 5 - 2013

Amount  
enclosed

detach top portion and send with payment

Project		P.O. No.		
12-091 NORTH KINGSTOWN, QUIDNESSETT CC				
Date	Description	Hours	Rate	Amount
5/14/2013	Site inspection with client	2	150.00	300.00
5/23/2013	Weekly site inspection; CRMC email	2	150.00	300.00
5/29/2013	Weekly site inspection; client meeting	2.5	150.00	375.00
OR 000 1105, 000				
02-000-1105-000				

Thank you for your business.

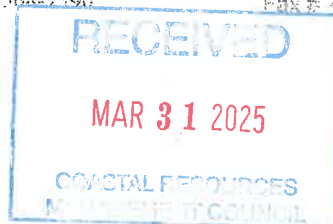
Terms
Due on receipt

Total	\$975.00
Payments/Credits	\$0.00
Balance Due	\$975.00

Natural Resource Services, Inc.

Phone # 401-568-7390

Fax # 401-568-7390



8



Natural Resource Services, Inc.

P.O. Box 17 • Cranston, RI 02910

# Invoice

Date

5/5/2013

Invoice #

15706

## Bill To

QUIDNESSETT COUNTRY CLUB  
JANICE MATHEWS, V.P.  
35 SOCKANOSSET CROSSROADS  
CRANSTON, RI 02920

Amount  
enclosed

Detach top portion and send with payment

## Project

12-091 NORTH KINGSTOWN, QUIDNESSETT CC

## P.O. No.

Date	Description	Hours	Rate	Amount
4/3/2013	Review of bids; client calls	2	150.00	300.00
4/8/2013	Site meeting for bluff restoration startup	3	150.00	450.00
4/11/2013	NETCO meeting to layout slope restoration	2	150.00	300.00
4/12/2013	GPS stakes	1.5	75.00	112.50
4/18/2013	Site monitoring for bluff restoration	1.5	150.00	225.00
4/24/2013	Weekly site monitoring; CRMC email report	2	150.00	300.00
5/1/2013	Weekly monitoring inspection; CRMC email report	2	150.00	300.00

MAY - 7 2013

Thank you for your business.

Total \$1,987.50

Payments/Credits \$0.00

Balance Due \$1,987.50

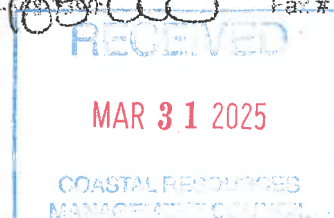
## Terms

Due on receipt

Natural Resource Services, Inc.

Phone # 401-562-7490

Fax # 401-562-7490



19



**Natural Resource Services, Inc.**

P.O. Box 311 • Harrisville, RI 02830

**Invoice****Date**

3/30/2013

**Invoice #**

15631

**Bill To**

QUIDNESSETT COUNTRY CLUB  
JANICE MATHEWS, V.P.  
35 SOCKANOSSET CROSSROADS  
CRANSTON, RI 02920

**Amount  
enclosed**

detach top portion and send with payment

Project		P.O. No.		
12-091 NORTH KINGSTOWN, QUIDNESSETT CC				
Date	Description	Hours	Rate	Amount
3/1/2013	Site meeting with client and CRMC	4	150.00	600.00
3/6/2013	Review of draft bluff restoration plan	0.75	150.00	112.50
3/12/2013	Review of bluff plan; edits to permit application	1.5	150.00	225.00
3/14/2013	CRMC meeting for bluff restoration	1.5	150.00	225.00
3/15/2013	Detail sketch to DiPrete and CRMC	0.5	50.00	25.00
3/19/2013	Research coir envelope suppliers and phone calls	0.5	85.00	42.50
3/20/2013	Research coir envelope suppliers and phone calls	3	85.00	255.00
3/26/2013	Site meeting with client and contractor	2	150.00	300.00

Thank you for your business.

**Total** \$1,785.00**Payments/Credits** \$0.00**Balance Due** \$1,785.00**Terms**

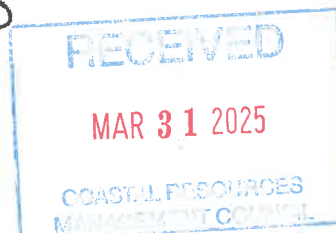
Due on receipt

Natural Resource Services, Inc.

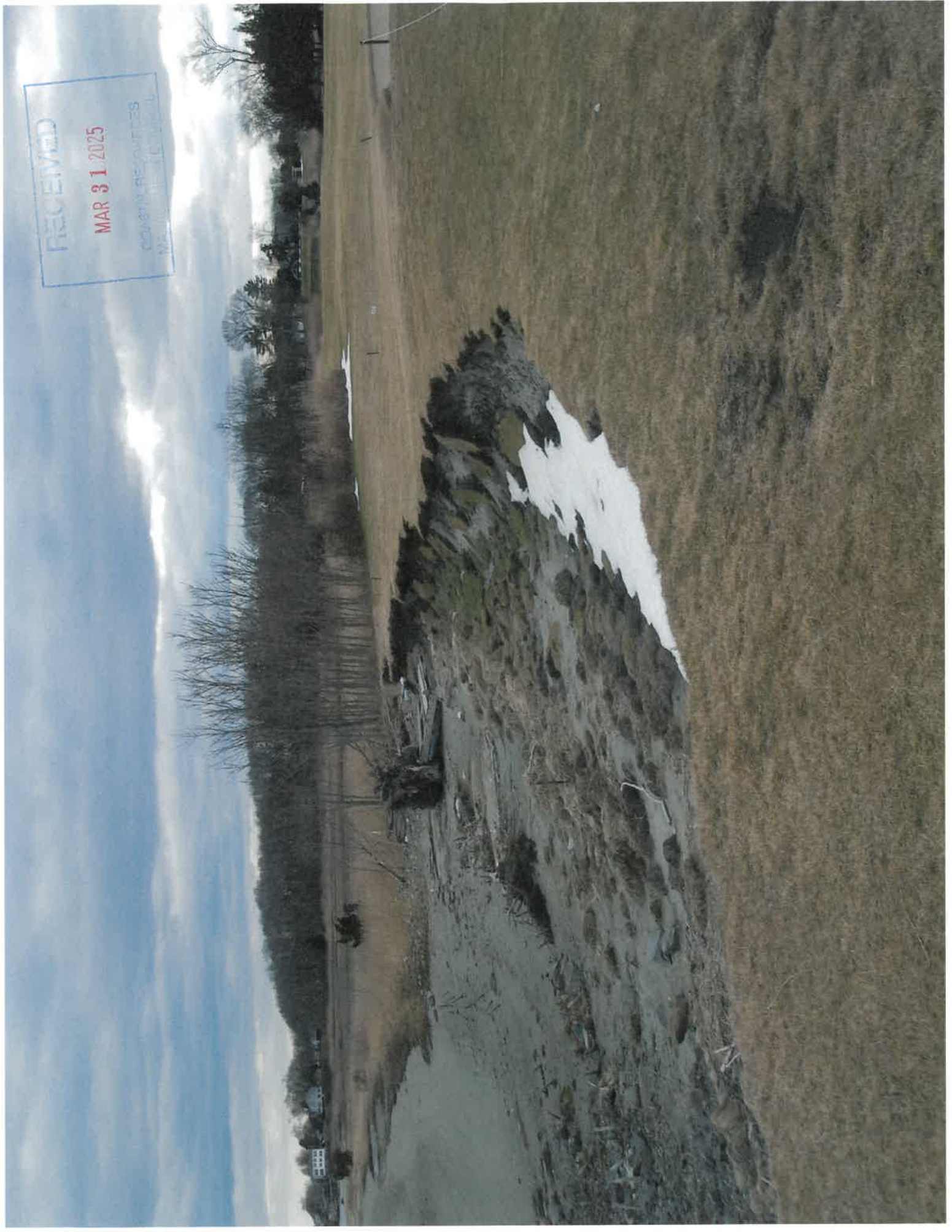
Phone # 401-568-7390

Fax # 401-568-

02-000-1105-000



(12)



RECEIVED

MAR 31 2025

OKLAHOMA RESOURCES  
NATURAL RESOURCES

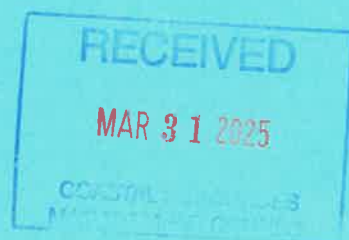
RECEIVED

MAR 31 2025



FILED  
MAR 31 2025  
COUNTY CLERK  
MILWAUKEE, WISCONSIN







RECEIVED









RECEIVED

MAR 31 2025

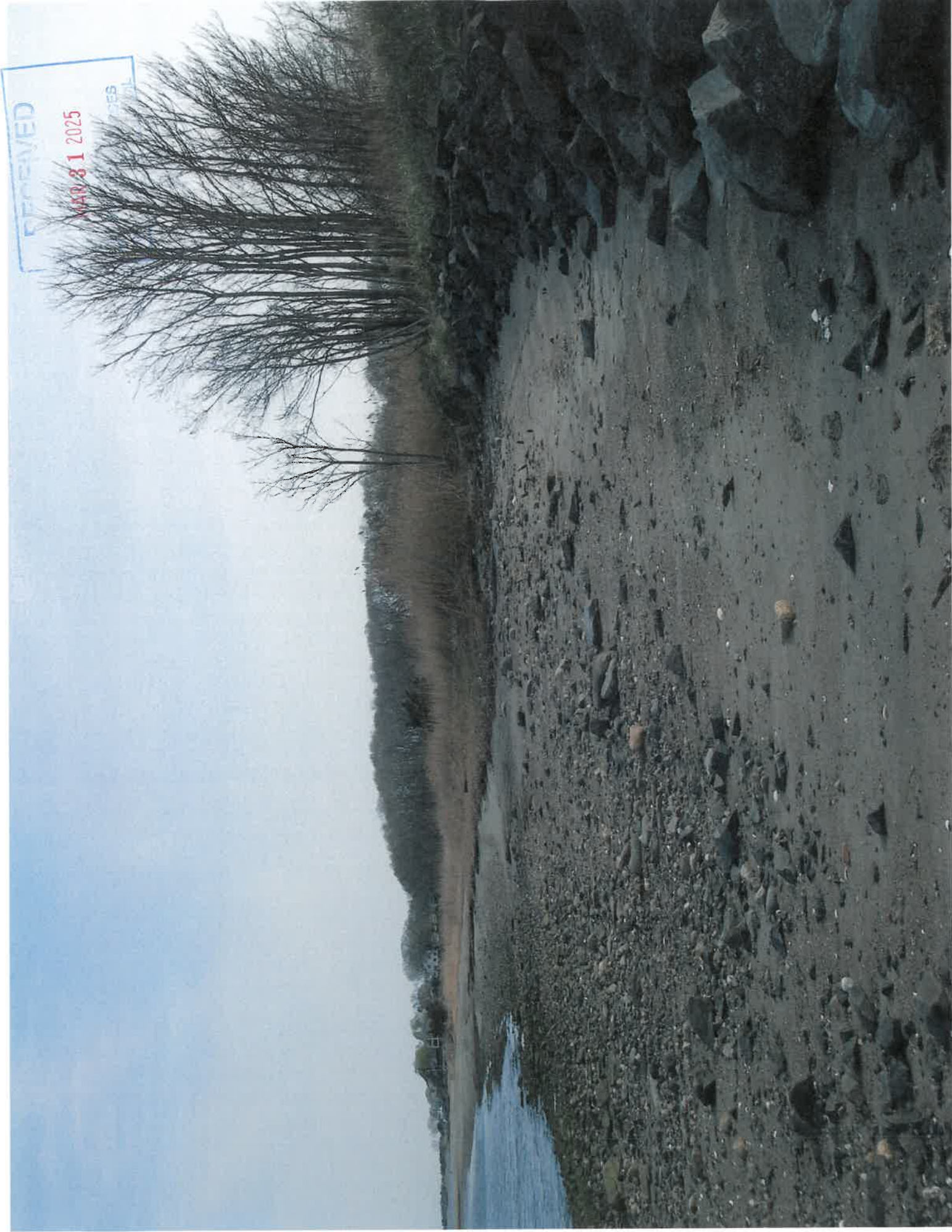
COASTAL RESOURCES  
MANAGEMENT COUNCIL







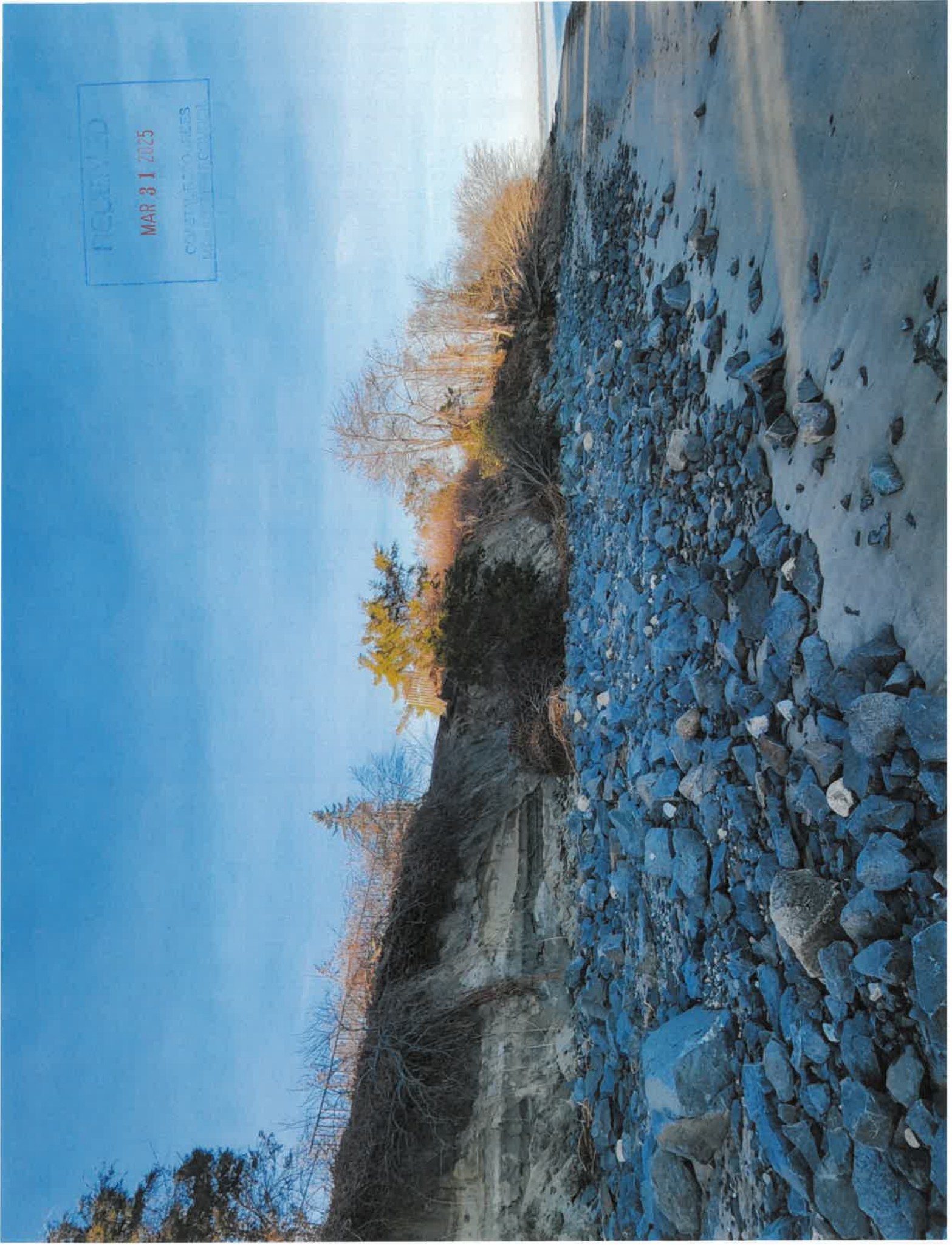




RECEIVED  
MAR 31 2025  
MAIL



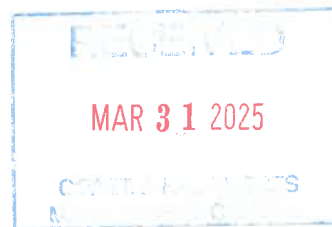
RECEIVED  
MAR 31 2025  
COUNTY OF COCHISE  
MEANS & ENGINEERING





Civil Engineers • Land Surveyors  
Land Use Planners • Environmental Engineers

Raymond F. Cherenzia, P.E., L.S., Founder



**Sergio F. Cherenzia, P.E.**  
**President/Project Manager**

Sergio Cherenzia, P.E. is Cherenzia & Associates' President and Project Manager. His primary responsibility is the management, coordination, and design of commercial and residential civil engineering projects with specialization in septic system design and stormwater management systems (over 193 septic systems designed and permitted in RI). Other responsibilities include design, project management, coordination and construction oversight of residential conventional and advanced septic systems, wetlands permitting, subdivision design, and coastal permitting on State & Local levels in Rhode Island and Connecticut. Also provides engineering design support on various other projects such as multifamily attached housing, municipal facilities, mixed-use developments, and manufacturing facilities.

## **PROJECT EXPERIENCE**

***Westerly Police Station Headquarters, Westerly, RI*** - The new Westerly Police Station Headquarters, located on a 2.82-acre lot at 60 Airport Road, was completed and opened in September of 2007. The facility houses all police operations including patrol, dispatch, investigation, detention and administration. The new facility also serves as a regional emergency operations center. Site engineering and construction included grading, drainage, public sanitary sewer and other utility connections. Stormwater runoff from the site is captured, conveyed, stored and infiltrated onsite by a subsurface drainage system and infiltration units. In addition to the 18,400 square foot police station building with adjoining sally port, the facility also includes a 960 square foot garage and fueling facility, paved parking with three entrances/exits, secure fence enclosures, sidewalks, site lighting, and a telecommunications tower. The project was completed on-time and under budget.

***Westerly DPW Highway Garage, Westerly, RI*** - Cherenzia provided civil and environmental engineering services to the Town of Westerly in support of the permitting, design, and construction of their new Department of Public Works Highway Garage. The Town of Westerly constructed their new DPW Highway Garage on a portion of their former recycling drop-off area, which consisted of fill material associated with historical dumping and burning activities. Constructing a facility on this material required design changes and construction flexibility throughout the project. Major design challenges included balancing the site grades while minimizing disturbance to waste materials, and managing significant storm water volumes above the ground surface because excavation into the former landfill would have been cost prohibitive. Cherenzia provided survey and site design, drainage design, State permitting, construction documents and construction administration.

***Westerly Bus Garage, Westerly, RI*** – Conceptual design work was prepared for site layout for potential site improvements for the existing municipal school bus garage located at 8 Springbrook Road. The concept plans were prepared to optimize site utilization, provide internal traffic flow and parking (adequate for large vehicles), and meet local zoning criteria. We worked

Headquarters Location: 99 Mechanic St. • Pawcatuck, CT 06379 • Tel (860) 629-6500

Mailing Address: PO Box 513 • Westerly, RI 02891 • Tel (401) 596-7747



closely with Town officials to identify objectives and priorities to accommodate the needs of Town staff in building a new or renovated facility. Cherenzia provided site survey, two conceptual plans, and assessment report summarizing site logistics and permit considerations.

***Liberty Crossing Commercial Development, Stonington, CT*** – Project consisted of two 130,000 square foot buildings and one 3,000 square foot building with associated site improvements on 36 acres of a 68-acre parcel. Tasks included site layout, stormwater management, utility analysis and design, coordination with peer consultant project team and owner's representative, coordination of in-house staff and general project management, and preparation of various permit applications on State and local permitting agency levels.

***Seaside Beach Club Septic Design, Westerly, RI*** - Project consisted of design of an advanced treatment septic system with design flow of 3,900 gallons per day (GPD) consisting of food store w/ deli, restrooms, takeout ice cream shop, cabanas, four bedroom cottage, and 30 seat restaurant. Cherenzia also was successful in securing an easement across a public right-of-way from the Town of Westerly for a pressurized sewer line that transported pumped effluent from a septic tank to treatment components and leaching field on separate properties. The system utilized multiple pumps, tanks, gravity and pressurized systems, and innovative leaching field.

***Watch Hill Drainage Project, Westerly, RI*** – This coastal project consists of the rehabilitation and design for the existing Watch Hill stormwater drainage system. Project consisted of assessment of adequacy of existing system and design of Best Management Practices to reduce peak discharges and address water quality concerns of Rhode Island Sound to the greatest extent feasible.

## **EDUCATION**

B.S.; Worcester Polytechnic Institute (WPI); Civil Engineering; 2004  
University of Rhode Island; Course work completed for M.S., Environmental Science and Management (MESM); 2008-2013

## **PROFESSIONAL EXPERIENCE**

Project Engineer, Cherenzia & Associates, Ltd.; Spring 2004 to Present  
Laborer, Cherenzia Excavation; Summers; 1998-2001, 2003  
Surveyor/Researcher, Cherenzia & Associates Ltd.; Summer 2002  
Owner/Landscaper, J&S Landscaping; Seasonal 1998-2005

## **REGISTRATIONS/CERTIFICATIONS**

Professional Engineer – Rhode Island #9238  
Professional Engineer – Connecticut #27955  
RI DEM Class III Designer's License

