

NOAA CHART
NOT TO SCALE

Prepared for:
HARBOUR REALTY LLC

WEST WIND MARINA

MARINA RECONFIGURATION PROJECT

WAITES WHARF NEWPORT, RHODE ISLAND 02840

REVISION 1 (4/14/25) - CRMC

REVISION SUMMARY:

- ADDED INFORMATION RELEVANT TO CODDINGTON MARINA INCLUDING AS BUILT DIMENSIONS, DOCKAGE RESTRICTION AND NOTED CODDINGTON MARINA PERIMETER LIMIT (MPL)
- REPRESENTATIVE VESSELS ADDED TO WW
- TEMPORARY ACCESS PLAN

FRIENDS OF THE WATERFRONT (FOW) CONDITIONS

- BENCH AND SHADE STRUCTURE AT FERRY STOP.
- PUBLIC ACCESS (WHILE FERRY ACTIVE) TO FERRY STOP
- REVISED MPL TO 10' FOR ENTIRE MARINA PERIMETER LIMIT

DRAWING INDEX

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RMA ENVIRONMENTAL LLC

Prepared by:



NARRAGANSETT ENGINEERING INC.



USGS LOCUS MAP
NOT TO SCALE



WEST WIND MARINA- PROJECT SPECIFICS

Project Location: 25 Waites Wharf
City | Town: Newport
Plat | Lot: Plat 32 | Lots 155, 268
Waterway: Newport Harbor
Water Use Category: Type 5; Recreational and Commercial Harbors
Shoreline Feature: Manmade developed shoreline
Facility Type: Recreational (Destination Harbor)
Permitted Slips: 27 total (23 inside)
Alteration or Activity: Marina Reconfiguration
Proposed Slips: 27 total (23 inside)
Parking Criteria: Met- under existing and future landside improvements
Sanitation Criteria: Met- under existing and future landside improvements
Fairway Criteria: Met-for proposed condition = 1.5 times boat length

TABLE 1: TIDAL AND STORM SURGE BENCHMARKS	
BENCHMARK	ELEVATION (MLW)
100 YEAR BASE FLOOD ELEVATION*	14.90
100 YEAR STILLWATER ELEVATION & WAVE SETUP	12.70
100 YEAR STILLWATER ELEVATION	12.40
50 YEAR STILLWATER ELEVATION	10.20
10 YEAR STILLWATER ELEVATION	7.20
MEAN HIGHER HIGH WATER (MHHW)	3.71
MEAN HIGH WATER (MHW)	3.47
NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88)	1.90
MEAN LOW WATER (MLW)	0.00
MEAN LOWER LOW WATER (MLLW)	-0.14
REFERENCES: 1. FEMA BENCHMARKS BASE FLOODS ELEVATION AND STILLWATER ELEVATIONS WERE OBTAINED FROM TRANSECT 40 WITHIN FEMA FLOOD INSURANCE FLOOD INSURANCE (FIS) STUDY FOR NEWPORT COUNTY DATED 2013 AND 2021. 2. ELEVATIONS ABOVE DENOTED WITH A *** INCLUDE WAVE ACTION - ALL OTHER ELEVATIONS DO NOT. 3. NOAA TIDAL BENCHMARKS OBTAINED FROM LOCAL TIDE GAUGE (STATION #8452660) LOCATED IN NEWPORT HARBOR. 4. ALL ELEVATIONS ARE REPORTED IN FEET 5. NAVIGATION CHART PRESENTED HEREIN WAS OBTAINED FROM NOAA CHART #13223 FOR NARRAGANSETT BAY INCLUDING NEWPORT HARBOR	

GENERAL CONSTRUCTION NOTES:

- ... ALL WORK SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS AS SHOWN IN THESE PLANS AND SPECIFICATIONS.
- ... PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE CONDITIONS SHOWN HEREIN AND NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES IN DIMENSIONS AND/OR SITE CONDITIONS PRIOR TO THE FABRICATION AND/OR ORDERING OF ANY CONSTRUCTION MATERIALS. THE CONTRACTOR SHALL NOT BEGIN CONSTRUCTION IN ANY SUCH AFFECTED AREA UNTIL THE DISCREPANCY HAS BEEN RESOLVED BY THE CONTRACTOR AND APPROVED BY THE ENGINEER.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BRINGING ALL ELEMENTS OF THE PROJECT IN CONFORMANCE WITH THESE PLANS AND SPECIFICATIONS. IF ANY MODIFICATIONS ARE REQUIRED IN ANY ELEMENT, THE CONTRACTOR SHALL SUBMIT PROPOSED CHANGES IN WRITING TO THE ENGINEER FOR REVIEW.
4. ALL SAFETY REGULATIONS ARE TO BE STRICTLY FOLLOWED. METHODS OF CONSTRUCTION AND ERECTION OF STRUCTURAL MATERIAL ARE THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL WORK SHALL COMPLY WITH FEDERAL LAWS, STATE REGULATIONS, AND LOCAL LAWS AND STATUTES AND THE REQUIREMENTS AND CONDITIONS OF ALL REGULATORY PERMITS ISSUED FOR THE WORK.
6. ALL WORK SHALL CONFORM TO THE LATEST EDITION OF THE OSHA CODE, THE RHODE ISLAND STATE BUILDING CODE, AND THE REFERENCED STANDARDS INCLUDED HEREIN THAT ARE APPLICABLE TO THIS PROJECT.
7. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE SURVEY SUPPORT NEEDED TO COMPLETE THE WORK, INCLUDING STAKEOUT, TO ENSURE THE WORK IS COMPLETED CONSISTENT WITH PROJECT PLANS AND ASSOCIATED REGULATORY APPROVALS. CONTRACTOR TO PRESERVE SURVEY BENCHMARKS.
8. ALL MATERIAL STORAGE SHALL BE DONE VIA BARGE IF NECESSARY. THE CONTRACTOR SHALL PROTECT ALL WETLANDS AND ASSOCIATED COASTAL RESOURCES FROM INTRUSION BY TURBID WATERS, CONSTRUCTION DEBRIS, CONSTRUCTION EQUIPMENT, OR PERSONNEL DURING ALL WORK ACTIVITIES.
9. DAMAGE TO ANY PROPERTY, PRIVATE OR OF PUBLIC TRUST, OCCURRING DURING THE CONSTRUCTION BY THE CONTRACTOR, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER AT THE EXPENSE OF THE CONTRACTOR.
10. ALL COMPONENTS SHALL BE INSTALLED PER EACH MANUFACTURERS SPECIFICATIONS AND/OR STANDARD INDUSTRY PRACTICE AS APPLICABLE.
11. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS, LICENSES, CERTIFICATES OF INSPECTION, AND PAY ALL LEGAL FEES IN CONNECTION WITH THE WORK OF THIS CONTRACT. THE OWNER HAS OBTAINED NECESSARY REGULATORY PERMITS REQUIRED FOR THE WORK IN REGULATED AREAS. THE CONTRACTOR SHALL REQUEST COPIES OF THOSE REGULATORY PERMITS AND MAKE PROVISION IN THIS WORK AND IN THE COST OF THE WORK FOR ALL APPLICABLE CONDITIONS OF THOSE PERMITS. FAILURE TO CONSIDER ANY CONDITION OF THE REGULATORY PERMITS AS A PART OF THE BID SHALL NOT RELIEVE THE CONTRACTOR FROM HIS RESPONSIBILITY TO APPLY THOSE CONDITIONS TO HIS WORK AT NO ADDITIONAL COST TO THE OWNER.

GENERAL NOTES:

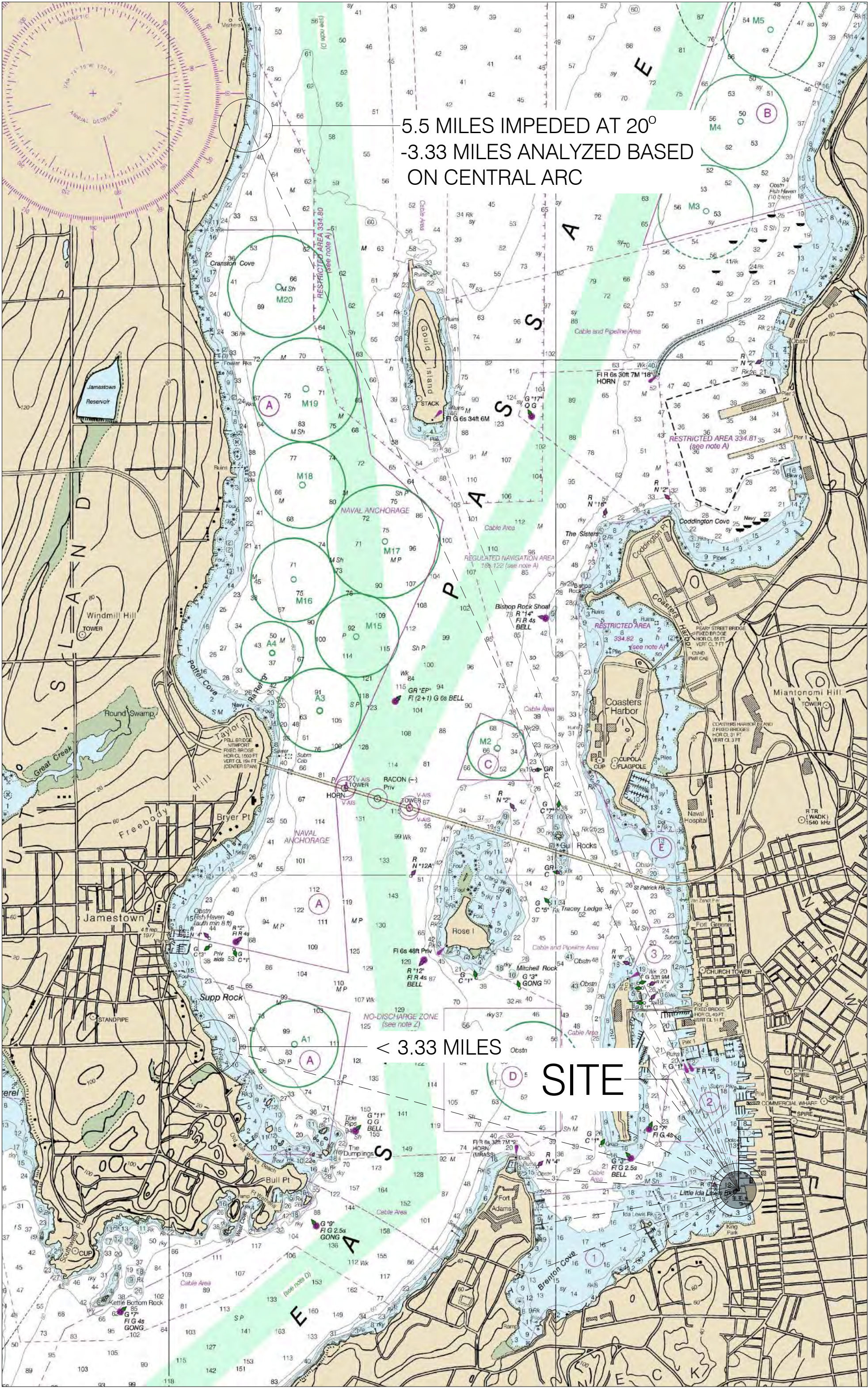
1. DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF RMA ENVIRONMENTAL, LLC & NARRAGANSETT ENGINEERING INC. DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR IN PART, FOR OTHER PROJECTS OR PURPOSES OR BY ANY OTHER PARTIES THAN THOSE AUTHORIZED BY CONTRACT. USE OF THIS PLAN FOR ANY OTHER WORK IS AT THE SOLE RISK OF THE END USER.
2. SEE SHEET EX-1 FOR SURVEY AND PLAN NOTES
3. SEE SHEET PR-1 FOR MARINA DESIGN CRITERIA

LEGEND	
	PARCEL BOUNDARY LINE
	PROPERTY LINE EXTENSION
	ABUTTER PARCEL BOUNDARY LINE
	TOPOGRAPHIC CONTOUR - EX. Major
	TOPOGRAPHIC CONTOUR - EX. Minor
	MARINA PERIMETER LINE (MPL)
	SITE FEATURE - EXISTING
	STRUCTURE - EXISTING
	COASTAL FEATURE
	UTILITY - WATERLINE
	ELECTRIC - UNDERDOCK
	UTILITY - SANITATION / SEWER
	FORMER RIPARIAN LINE
	FEMA FLOOD ZONE BOUNDARY
	MEAN LOW WATER / MEAN HIGH WATER

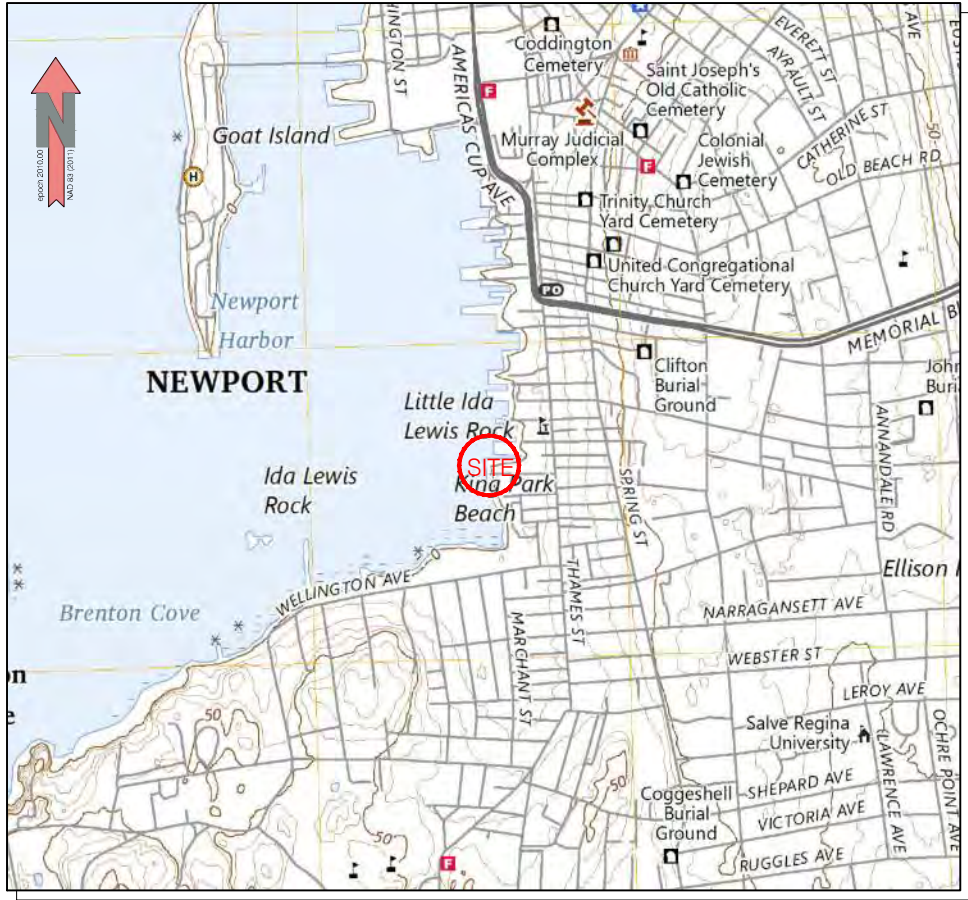
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FEMA FLOOD INSURANCE RATE MAP
NOT TO SCALE



NOAA CHART AND FETCH MAP
1" = 200'



LOCUS MAP
NOT TO SCALE



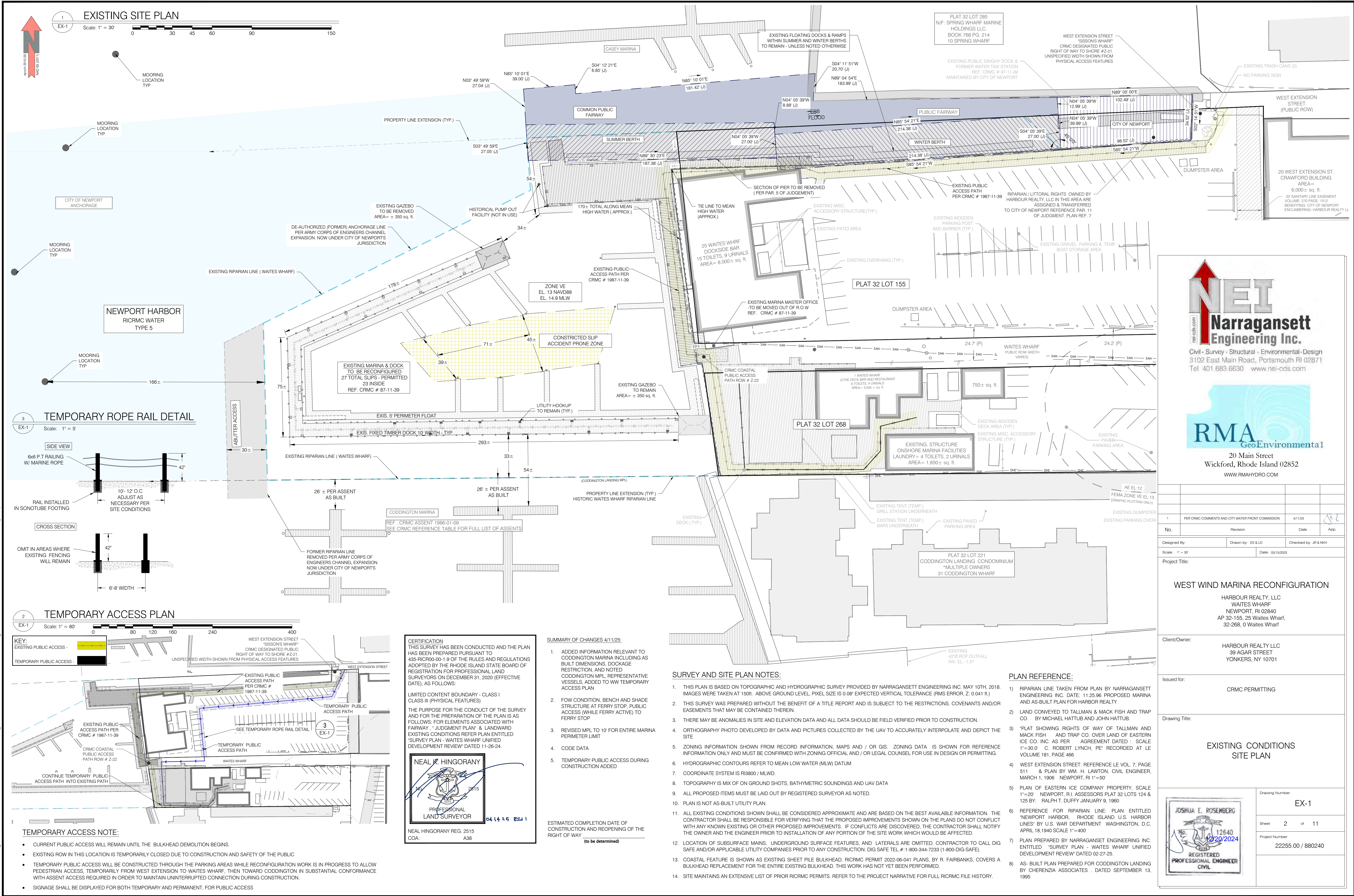
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3102 East Main Road, Portsmouth RI 02871
Tel. 401.683.6630 www.nei-cds.com



20 Main Street
Wickford, Rhode Island 02852
WWW.RMAHYDRO.COM

1	PER CRMC COMMENTS AND CITY WATER FRONT COMMISSION	4/11/25	
No.	Revision	Date	App.
Designed By:	JR & NHH	Drawn by:	ES & LD
Scale:	n/a	Checked by:	JR & NHH
Date:	12/20/2024		
Project Title:			
WEST WIND MARINA RECONFIGURATION			
HARBOUR REALTY, LLC WAITES WHARF NEWPORT, RI 02840 AP 32-155, 25 Waites Wharf, 32-268, 0 Waites Wharf			
Client/Owner:			
HARBOUR REALTY LLC 39 AGAR STREET YONKERS, NY 10701			
Issued for:			
CRMC PERMITTING			
Drawing Title:			
VICINITY MAPS & GENERAL NOTES			
		Drawing Number: V-1	
Sheet 1 of 11		Project Number: 2255.00 / 880240	

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Engineering Inc.
Civil • Survey • Structural • Environmental • Design
3102 East Main Road, Portsmouth RI 02871
Tel 401.683.6630 www.nei-cds.com

RMA
GeoEnvironmental
20 Main Street
Wickford, Rhode Island 02852
WWW.RMAHYDRO.COM

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Designed By:	Drawn by: ES & LD	Checked by: JR & NHI	
Scale: 1" = 30'	Date: 03/13/2025		
Project Title:	WEST WIND MARINA RECONFIGURATION		
Client/Owner:	HARBOR REALTY LLC WAITES WHARF NEWPORT, RI 02840 AP 32-155, 25 Waites Wharf, 32-268, 0 Waites Wharf		
Issued for:	CRMC PERMITTING		
Drawing Title:	EXISTING CONDITIONS SITE PLAN		
Drawing Number:	EX-1		
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UTILITY NOTES:

- 1) DOCK UTILITIES ARE APPROXIMATE AND ASSUMED FOR CONVENIENCE. BEFORE COMMENCING WORK IN ANY AREA, ACCURATELY LOCATE DOCK UTILITIES.
- 2) ALL NOTED UTILITIES TO BE REMOVED AND DISPOSED OF, RELOCATED OR CAPPED REPRESENT ALL KNOWN SITE CONDITIONS TO BE DEMOLISHED.
- CONTRACTOR TO COORDINATE ALL UNFORESEEN CONDITIONS WITH THE PROJECT ENGINEER, OWNER AND/OR RESPECTIVE UTILITY COMPANIES PRIOR TO PROCEEDING WITH WORK.

- 3) THERE SHALL BE NO INTERRUPTION OF UTILITY SERVICE DURING THE CONSTRUCTION OPERATION WITHOUT APPROVAL OF THE OWNER

*ALL DOCK UTILITIES NEED FIELD VERIFICATION PRIOR TO CONSTRUCTION

DEMOLITION NOTES:

- 1) ALL DEMOLITION SHALL BE COORDINATED WITH THE OWNER PRIOR TO START OF WORK.
- 2) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE CONDITIONS SHOWN HEREIN AND NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES IN DIMENSIONS AND/ OR SITE CONDITIONS PRIOR TO THE FABRICATION AND/OR ORDERING OF ANY CONSTRUCTION MATERIALS. THE CONTRACTOR SHALL NOT BEGIN CONSTRUCTION IN ANY SUCH AFFECTED AREA UNTIL THE DISCREPANCY HAS BEEN RESOLVED BY THE CONTRACTOR AND APPROVED BY THE ENGINEER.

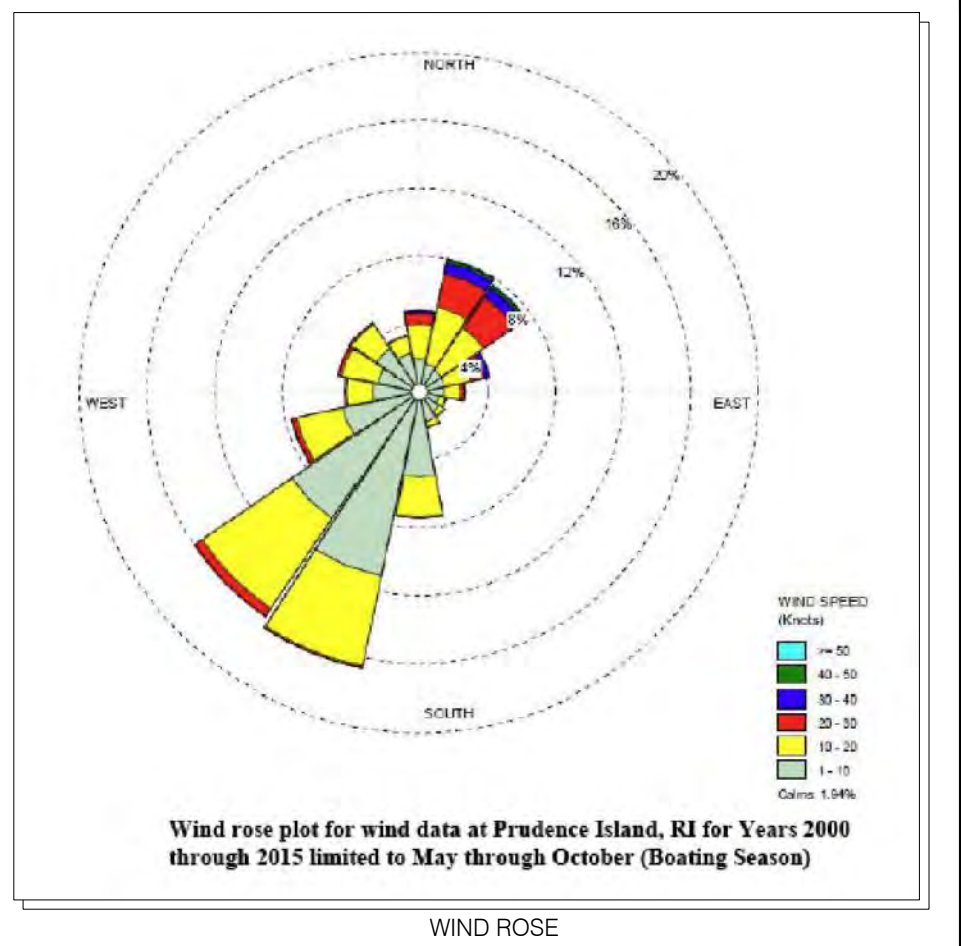
- 3) ALL PILES TO BE FULLY EXTRACTED OR CUT/REMOVED AT THE MUDLINE
- 4) ALL NOTED UTILITIES TO BE REMOVED AND DISPOSED OF, RELOCATED OR CAPPED REPRESENT ALL KNOWN SITE CONDITIONS TO BE DEMOLISHED. CONTRACTOR TO COORDINATE ALL UNFORESEEN CONDITIONS WITH THE PROJECT ENGINEER, OWNER AND/OR RESPECTIVE UTILITY COMPANIES PRIOR TO PROCEEDING WITH WORK.
- 5) THERE SHALL BE NO INTERRUPTION OF UTILITY SERVICE DURING THE CONSTRUCTION OPERATION WITHOUT APPROVAL OF THE OWNER.

- 6) UNLESS STATED OTHERWISE, ALL DEMOLISHED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE COMPLETELY REMOVED FROM THE JOB SITE AND DISPOSED OF IN A SAFE AND LEGAL MANNER.

- 7) THE CONTRACTOR SHALL MAKE AVAILABLE TO THE ENGINEER A DETAILED DISPOSAL PLAN THAT INCLUDES THE NAME, ADDRESS, AND TELEPHONE NUMBER OF THE DISPOSAL SITE; AND A SIGNED MANIFEST AND DISPOSAL TICKET(S) THAT SUBSTANTIATE APPROVED DISPOSAL OF MATERIAL REMOVED FROM SITE.

SURVEY AND SITE PLAN NOTES:

1. FOR SITE PLAN INFORMATION, SEE SHEET EX-1



1
PR-1

PR-1

1. LOADING:

1.1. OPERATIONAL (FULL OCCUPANCY) 10 YEAR RECURRENT INTERVAL CONDITION

1.1.1. WIND: 76 MPH

1.1.2. WAVE: Hs = 5.5 FEET T = 4 SEC (NNW) FETCH: 3.3 MILES

1.1.3. CURRENT 2 KNOTS

1.2. EXTREME (NO OCCUPANCY 100 YEAR RECURRENT INTERVAL CONDITION

1.2.1. WIND: 106 MPH

1.2.2. WAVE: Hs = 8 FEET T = 4.5 SEC (NNW) FETCH: 3.3 MILES

1.2.3. CURRENT 2 KNOTS

1.3. STORM PREPAREDNESS

1.3.1. VESSELS MUST BE REMOVED FROM THE FACILITY FOR ANY SIGNIFICANT STORM FORECASTED WITH A MAGNITUDE GREATER THAN A 10 YEAR RECURRENT

2. ADDITIONAL DESIGN STANDARDS AND REFERENCES UTILIZED

2.1. RICRMC "Redbook" 650 RICR 20 00 1

2.2. SBC-1 Rhode Island Building Code (and/or current building code at time of construction)

2.3. ASCE 7 (MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES)

2.4. FEMA MANUAL 55 (COASTAL CONSTRUCTION MANUAL)


2.5. COASTAL ENGINEERING RESEARCH CENTER (1984). SHORE PROTECTION MANUAL. U.S. ARMY CORPS OF ENGINEERS

2.6. AMERICANS WITH DISABILITIES ACT OF 1990 (ADA), AS AMENDED CODIFIED AT 42 U.S.C. § 12101 ET SEQ.

1. FOR SITE PLAN INFORMATION, SEE SHEET EX-1

NOTE:

HARBOR REALTY SHALL PREPARE AN ASSENT FOR THE DINGHY DOCK IMPROVEMENTS INCLUDING SWIM LADDER, KAYAK ENTRY PLATFORM AND REPAIRS TO THE DRAINAGE DITCH AREA AT THE TERMINUS OF WEST EXTENSION AT THEIR OWN EXPENSE. THEY SHALL BE RESPONSIBLE FOR ACCEPTING AND FORMALLY SUBMITTING THE APPLICATION.

1	PER CRMC COMMENTS AND CITY WATER FRONT COMMISSION	4/11/25	J.E
No.	Revision	Date	App.
Designed By: JR & NRH		Drawn by: ES & LD	Checked by: JR & NRH
Scale: 1" = 30'		Date: 12/20/2024	
Project Title:			
<p>WEST WIND MARINA RECONFIGURATION</p> <p>HARBOUR REALTY, LLC WAITES WHARF NEWPORT, RI 02840 AP 32-155, 25 Waites Wharf, 32-268, 0 Waites Wharf</p>			
Client/Owner:			
<p>HARBOUR REALTY LLC 39 AGAR STREET YONKERS, NY 10701</p>			
Issued for:			
CRMC PERMITTING			
Drawing Title:			
<p>PROPOSED CONDITIONS SITE PLAN</p>			
		Drawing Number:	
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		Sheet 4 of 11	
		Project Number:	
		22255.00 / 880240	



PLAT 32 LOT 265
N/F: SPRING WHARF MARINE
HOLDINGS LLC
BOOK 768 PG. 214
10 SPRING WHARF

ALL NEW MARINA FACILITIES SHALL MEET THE SETBACK POLICIES AND STANDARDS CONTAINED IN MUNICIPAL HARBOR MANAGEMENT PLANS AND/OR HARBOR ORDINANCES APPROVED BY THE COUNCIL. HOWEVER, IN ALL CASES MARINA FACILITIES SHALL BE SETBACK AT LEAST FIFTY (50) FEET FROM APPROVED MOORING FIELDS AND THREE TIMES THE AUTHORIZED PROJECT DEPTH FROM FEDERAL NAVIGATION PROJECTS (E.G. NAVIGATION CHANNELS AND ANCHORAGE AREAS).

NEWPORT
HARBOR
RICRMC WATER
TYPE 5

PROPOSED MARINA RECONFIGURATION

10' WIDTH FIXED PIER (ELEV. 9.4±), MATCH EXISTING
W/ 8' FLOATING DOCKS & 5' FINGERS
27 TOTAL SLIPS PERMITTED / 23 INSIDE REMAIN

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Tel. 401.683.6630 www.nei-cds.com



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Wickford, Rhode Island 02852
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1	PER CRMC COMMENTS AND CITY WATER FRONT COMMISSION	4/11/25	

Designed By: JR & NH	Drawn by: ES & LD	Checked by: JR & NH
Scale: 1" = 20'	Date: 12/20/2024	

Project Title:

WEST WIND MARINA RECONFIGURATION

HARBOUR REALTY, LLC
WAITES WHARF
NEWPORT, RI 02840
AP 32-155, 25 Waites Wharf,
32-268, 0 Waites Wharf

Client/Owner:

HARBOUR REALTY LLC
39 AGAR STREET
YONKERS, NY 10701

Issued for:

CRMC PERMITTING

Drawing Title:

PROPOSED CONDITIONS
SITE PLAN

Drawing Number:

PR-2

Sheet 5 of 11

Project Number:

22255.00 / 880240

JOSHUA E. ROSENBERG
12640
12/20/2024
REGISTERED
PROFESSIONAL ENGINEER
CIVIL

LEGEND
FIRE EXTINGUISHER
UTILITY PEDISTAL
PROPOSED HYDRANT
SLIP LOCATION / NUMBER
TRANSIENT SLIP LOCATION / NUMBER

SURVEY AND SITE PLAN NOTES:
1. FOR SITE PLAN INFORMATION, SEE SHEET EX-1

WATER & FIRE CODE NOTES:

- DESIGN SUBSTANTIALLY CONFORMS WITH NFPA 303 REQUIREMENTS. STATE FIRE MARSHALL SHALL APPROVE ALL PLANS PRIOR TO CONSTRUCTION. FIRE CODE COMPLIANCE WITH NFPA 303
- PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED IN CONFORMS WITH REQUIREMENTS OF NFPA 10
- STORAGE OF FLAMMABLE AND COMBUSTIBLE LIQUID MUST ME STORED IN ACCORDANCE WITH NFPA 303

FIRE CODE CONSULTANT: RAY GOMES

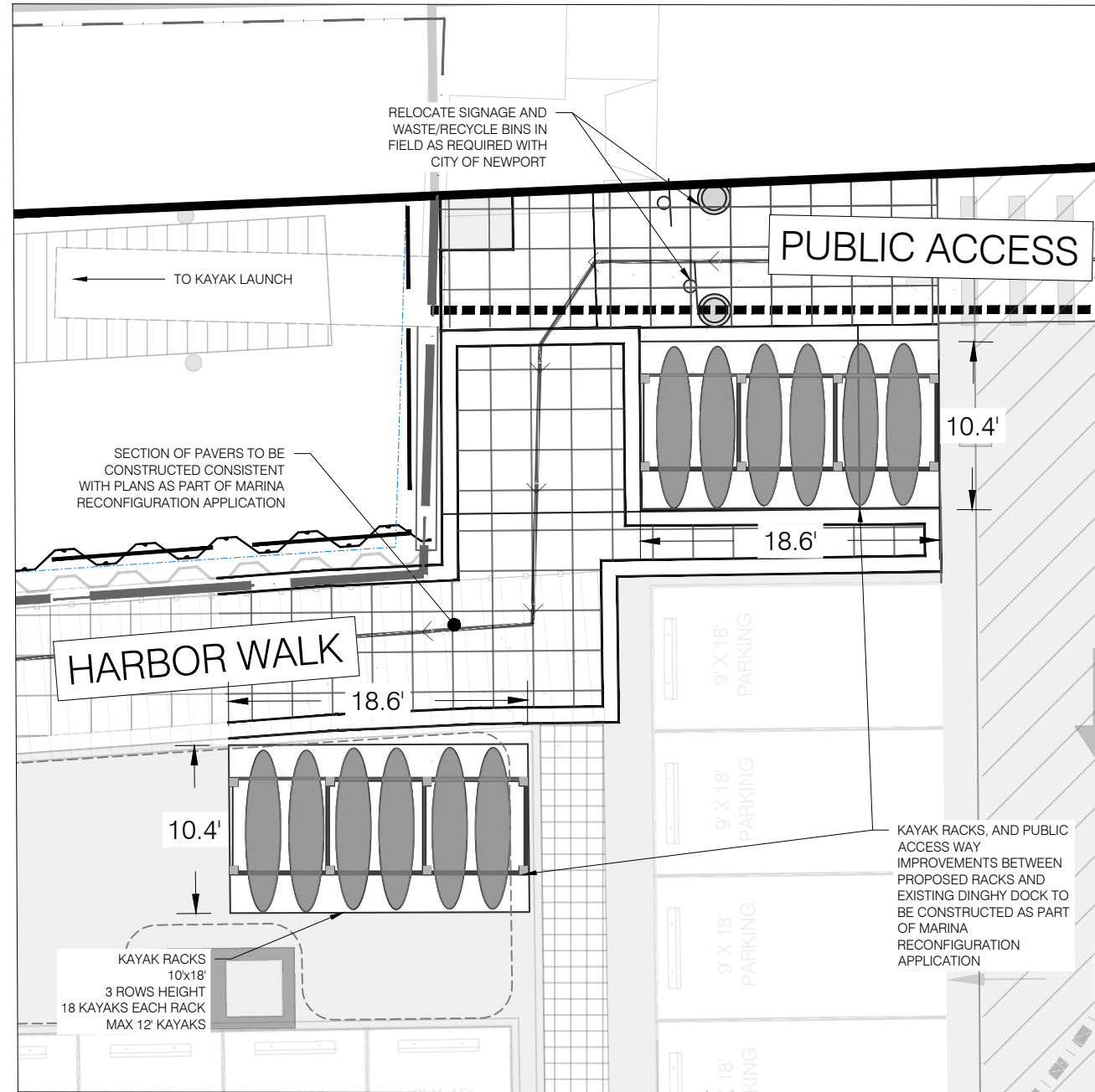
UTILITY SPECIFICATIONS:

- UTILITY DESIGN SHALL COMPLETE BY A MEP PROFESSIONAL
 - ELECTRICAL WIRE SHALL BE SIZED FOR POWER REQUIREMENTS FOR ANTICIPATED TYPES AND SIZES OF BOATS
 - WIRE SHALL BE ENCASED IN CONDUIT SPECIFIC FOR MARINE APPLICATION.
 - PEDESTAL HOOK-UP SHALL BE EXTERIOR TYPE, MARINE GRADE
- ALL UTILITY WORK SHALL BE PERFORMED BY LICENSED CONTRACTORS IN THEIR RESPECTIVE TRADES.
- ALL DESIGN AND WORK SHALL MEET REQUIREMENTS OF THE CURRENT STATE BUILDING CODE
 - RISBC-1 RHODE ISLAND BUILDING CODE (510-RICR-00-00-1) INCORPORATES THE INTERNATIONAL BUILDING CODE, 2018 EDITION, BY REFERENCE
 - RISBC-3 RHODE ISLAND PLUMBING CODE (510-RICR-00-00-3) INCORPORATES THE INTERNATIONAL PLUMBING CODE, 2018 EDITION, BY REFERENCE
 - RISBC-4 RHODE ISLAND MECHANICAL CODE (510-RICR-00-00-4) INCORPORATES THE INTERNATIONAL MECHANICAL CODE, 2018 EDITION, BY REFERENCE
 - RISBC-5 RHODE ISLAND ELECTRICAL CODE (510-RICR-00-00-5) INCORPORATES THE NATIONAL ELECTRICAL CODE, 2020 EDITION, BY REFERENCE

1
PR-2
Scale: 1" = 20'

PROPOSED CONDITIONS SITE PLAN

0 20 40 60 80 100

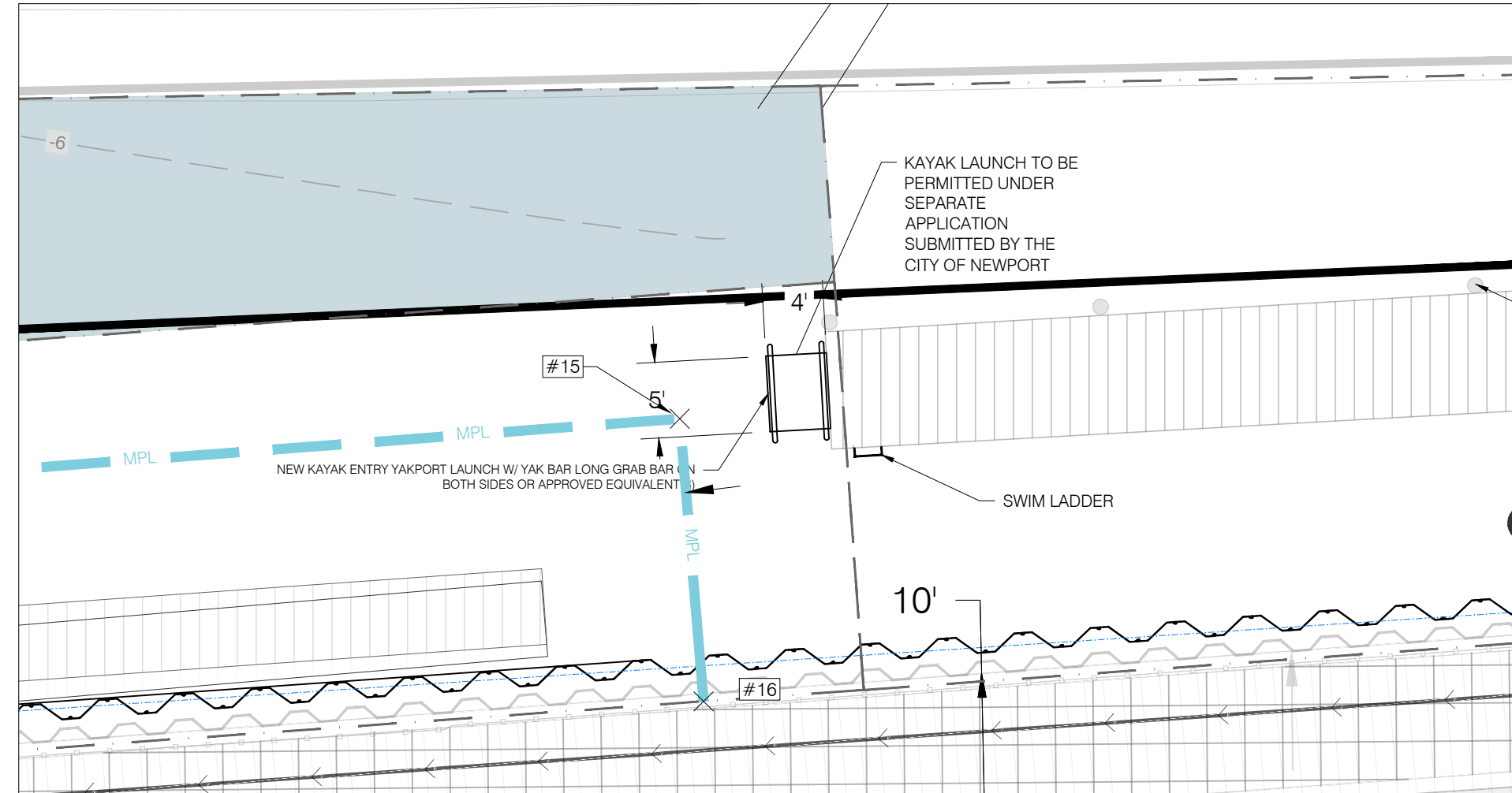


1 KAYAK RACK STORAGE AREA
PR-3 SCALE: 1" = 10'

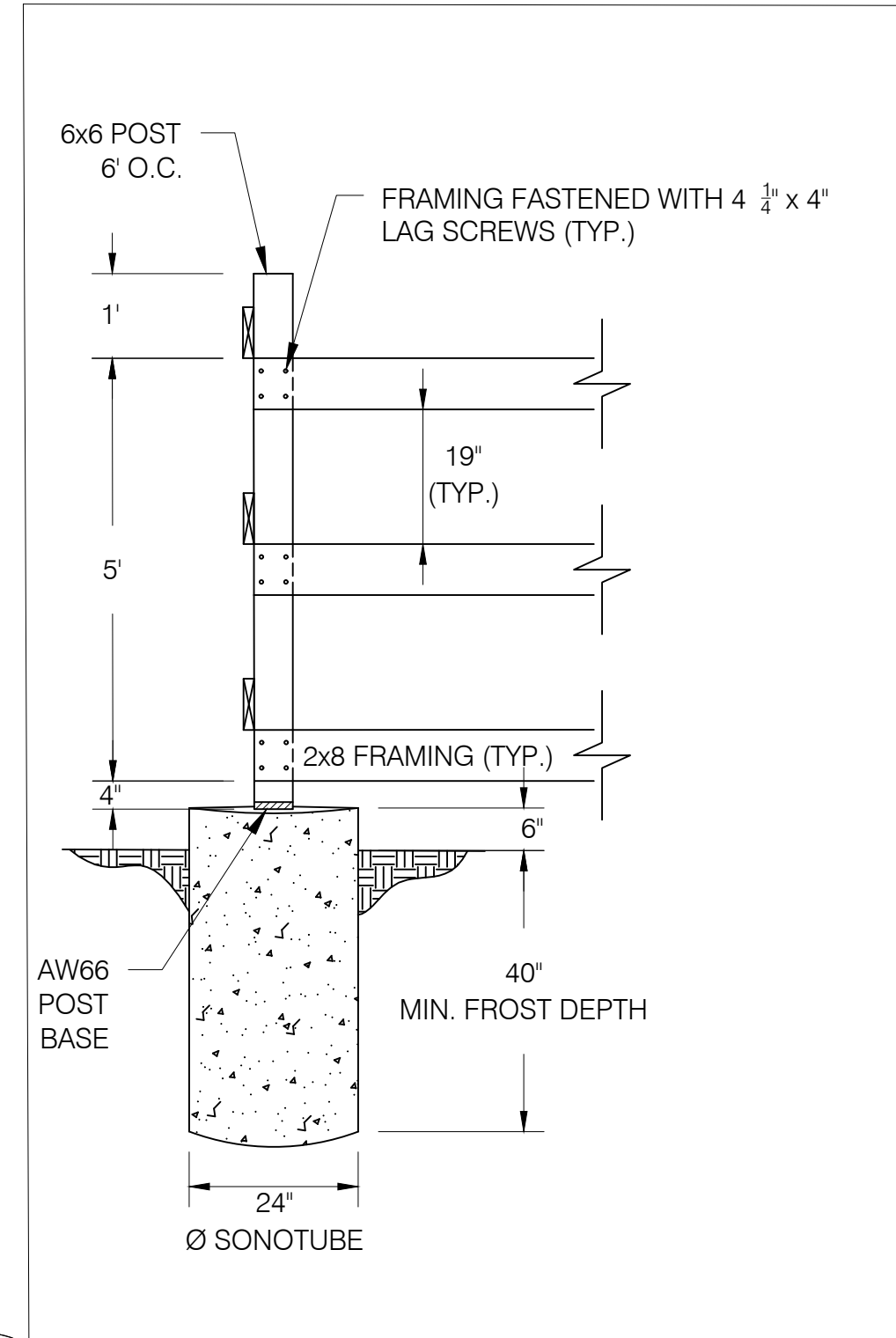
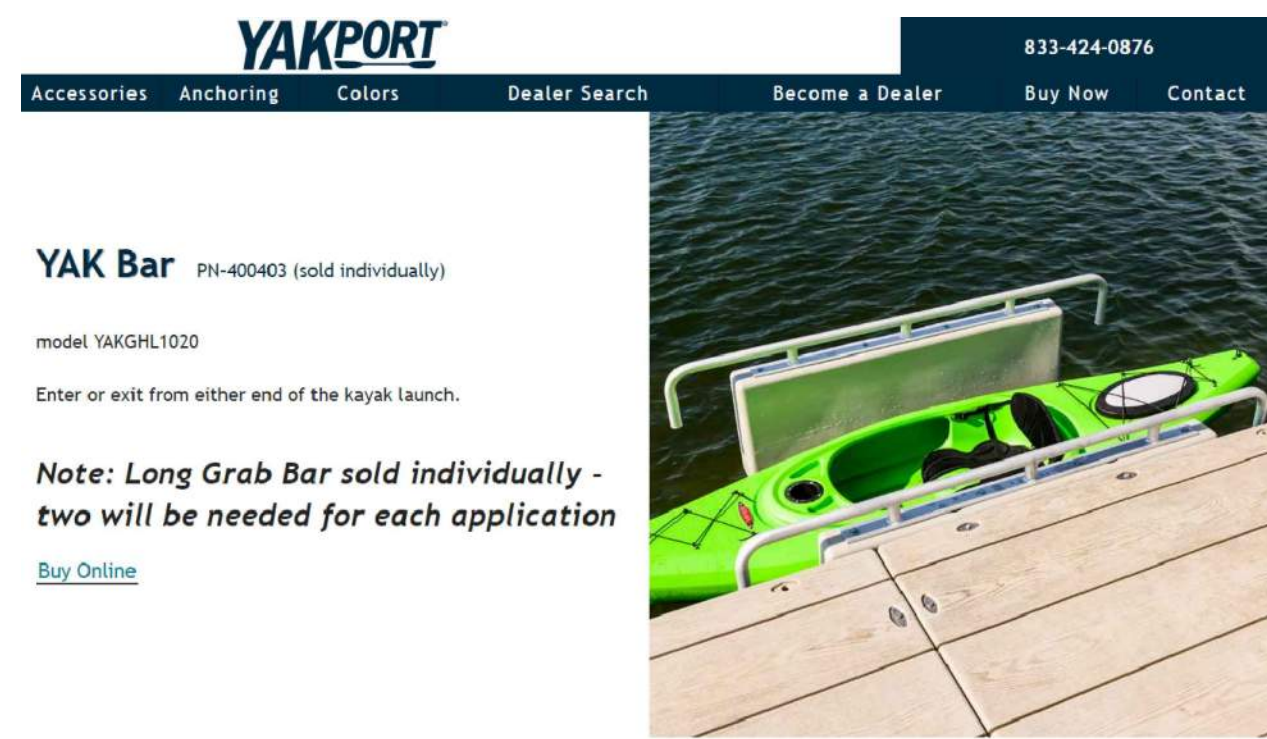
NOTES:

- PER DISCUSSION WITH THE CITY OF NEWPORT HARBOR COMMISSION DATED 11, JULY 2024 AND 8, AUGUST 2024 THE FOLLOWING ELEMENTS ARE TO BE PROVIDED TO THE CITY OF NEWPORT:
 - HARBOR REALTY LLC SHALL PROVIDE TWO (2) KAYAK RACKS APPROX. 10x18' IN SIZE FOR THE USE OF KAYAK STORAGE TO THE CITY, FOR THE CITY'S USE IN PERPETUITY.
 - HARBOR REALTY LLC SHALL PROVIDE A KAYAK ENTRY LUNCH (YAKPORT RACK WITH 2x LONG GRAB BARS, OR APPROVED EQUIVALENT), AT THE WESTERLY TERMINUS OF THE EXISTING DINGHY DOCK.
 - HARBOR REALTY LLC SHALL PROVIDE A NEW SWIM LADDER AS SHOWN, AT THE SOUTHERLY END OF THE DINGHY DOCK.

AS PORTIONS OF THESE ELEMENTS ARE LOCATED ON CITY OF NEWPORT PROPERTY, A SEPARATE ASSENT SHALL BE FILED BY HARBOR REALTY'S CONSULTANTS FOR THE CITY OF NEWPORT. HARBOR REALTY LLC SHALL BEAR THE EXPENSE OF MATERIALS AND LABOR FOR THESE AFOREMENTIONED ELEMENTS.



2 PUBLIC KAYAK LAUNCH
PR-3 SCALE: 1" = 10'



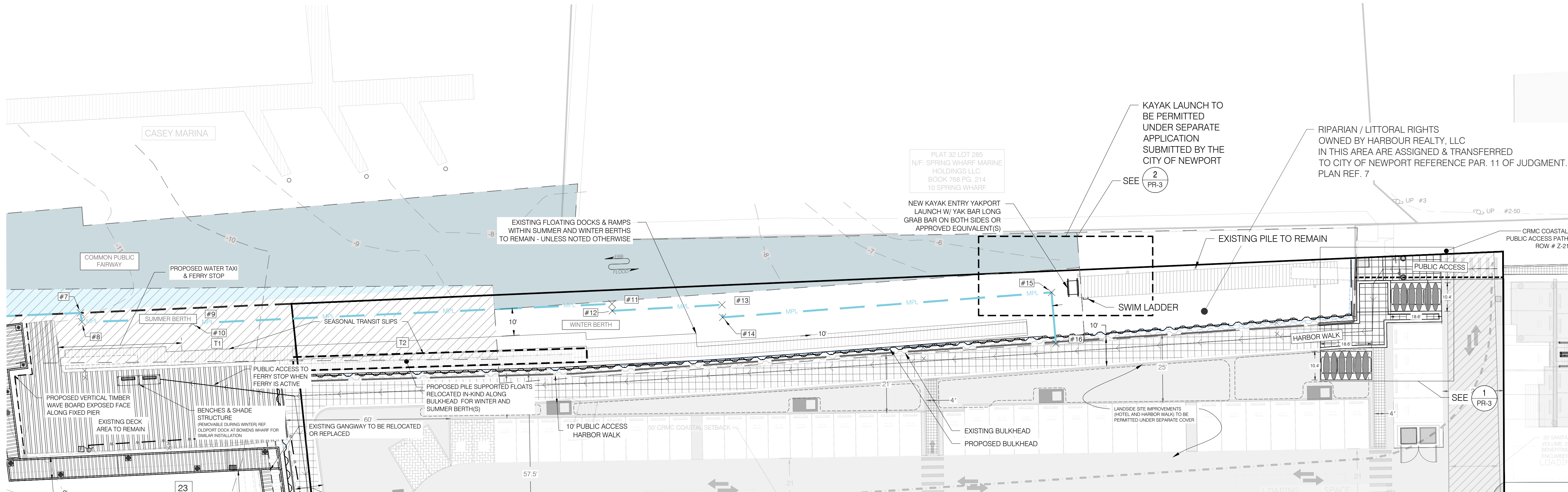
3 PUBLIC KAYAK RACK DETAIL
PR-3 SCALE: 1" = 10'

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GeoEnvironmental

20 Main Street
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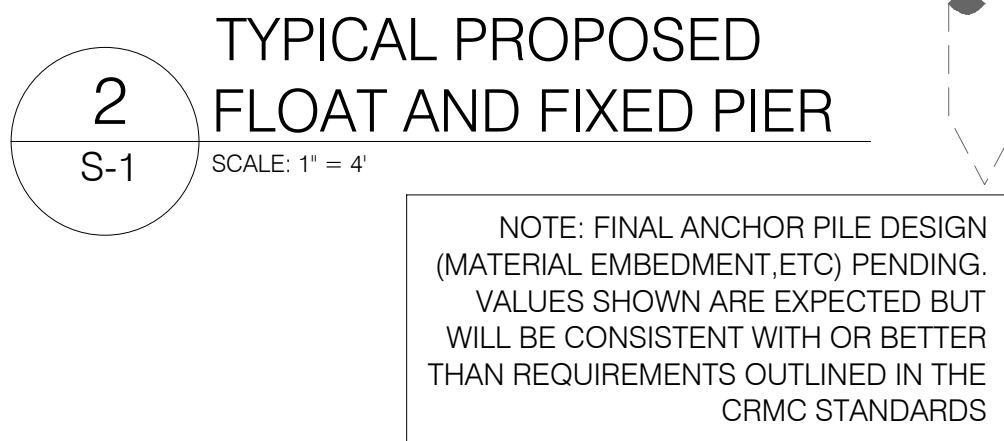


4 SITE - DETAIL VIEW
PR-3 SCALE: 1" = 20'

SURVEY AND SITE PLAN NOTES:
1. FOR SITE PLAN INFORMATION, SEE SHEET EX-1

1	PER CRMC COMMENTS AND CITY WATER FRONT COMMISSION	4/11/25	
No.	Revision	Date	App.
Designed By:	JR & NHI	Drawn by:	ES & LD
Scale:	VARIES	Date:	12/20/2024
Project Title:	WEST WIND MARINA RECONFIGURATION		
Client/Owner:	HARBOR REALTY, LLC WAITES WHARF NEWPORT, RI 02840 AP 32-155, 25 Waites Wharf, 32-268, 0 Waites Wharf		
Issued for:	CRMC PERMITTING		
Drawing Title:	PROPOSED CONDITIONS SITE PLAN - DETAIL VIEWS		
Drawing Number:	PR-3		
Sheet	6	of	11
Project Number:	22255.00 / 880240		

JOSHUA E. ROSENBERG
No. 12640
12/20/2024
REGISTERED
PROFESSIONAL ENGINEER
CIVIL



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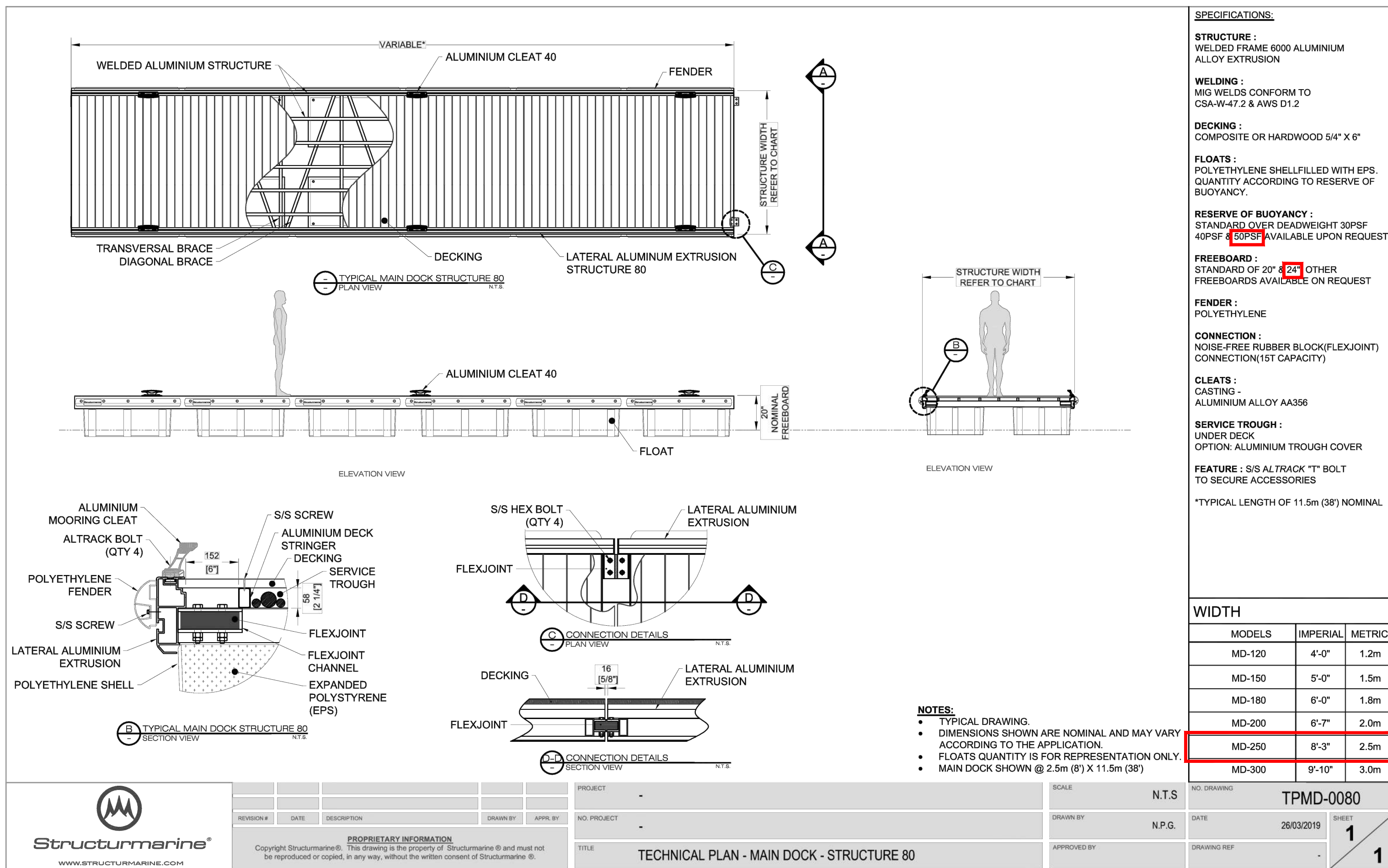
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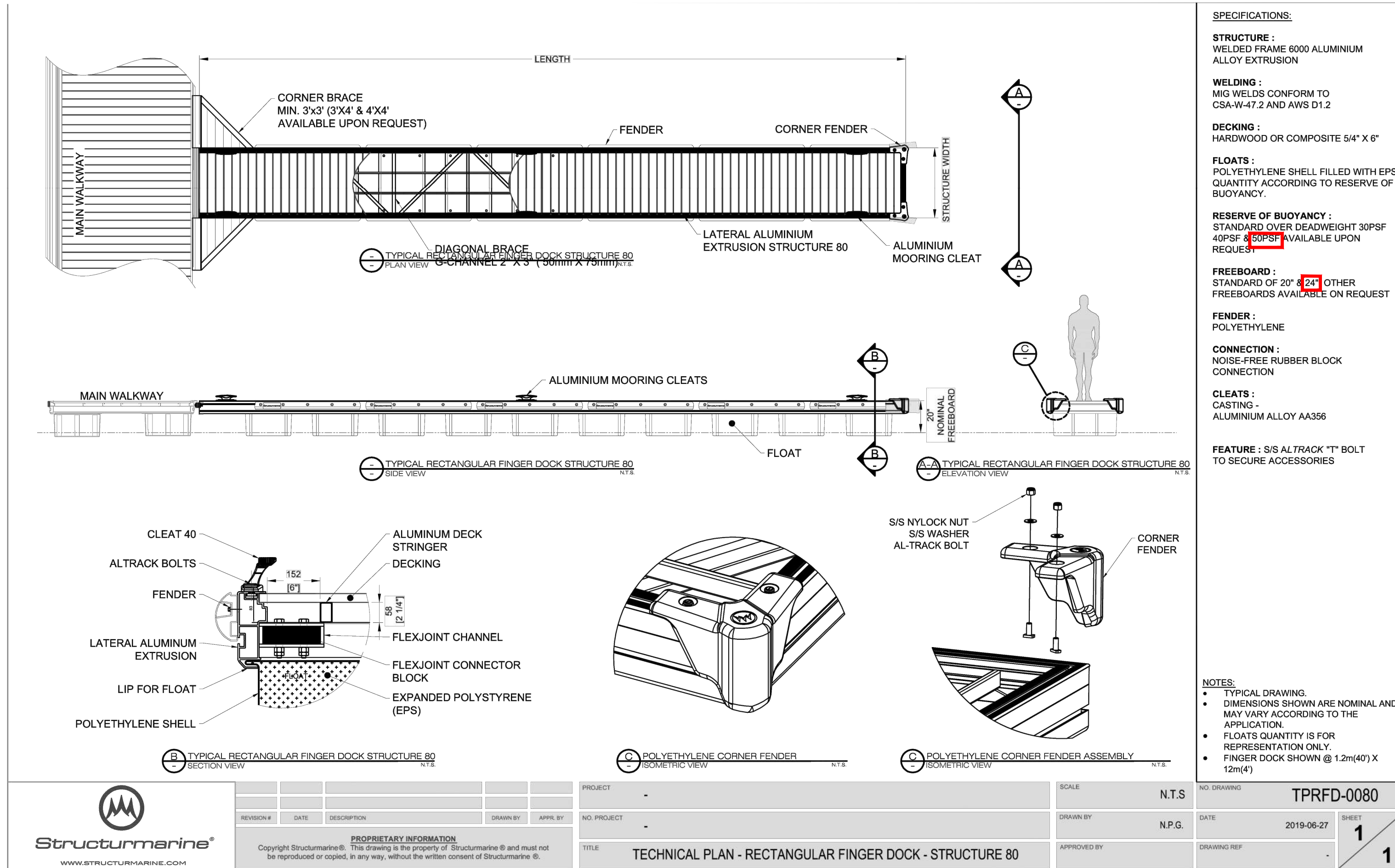
1	PER CRM COMMENTS AND CITY WATER FRONT COMMISSION	4/11/25	152
No.	Revision	Date	App.
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Scale: n/a		Checked by: JR & NHI	
		Date: 12/20/2024	
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<h2 style="margin: 0;">WEST WIND MARINA RECONFIGURATION</h2> <p style="margin: 5px 0;">HARBOUR REALTY, LLC WAITES WHARF NEWPORT, RI 02840 AP 32-155, 25 Waites Wharf, 32-268, 0 Waites Wharf</p>			
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Issued for:			
CRM/C PERMITTING			
Drawing Title:			
<h2 style="margin: 0;">SECTIONS NOTES & DETAILS</h2>			
		<div style="border: 1px solid black; padding: 5px; margin-bottom: 10px;">Drawing Number:</div> <div style="text-align: center; font-size: 24px; font-weight: bold; margin-bottom: 10px;">S-1</div> <div style="border: 1px solid black; padding: 5px; margin-bottom: 10px;">Sheet 7 of 11</div> <div style="border: 1px solid black; padding: 5px;"> Project Number: <div style="text-align: center; font-size: 18px;">22255.00 / 880240</div> </div>	

N:\PROJECTS\88240_4BRUZZI MARINA EXPANSION 2022\CAD\TITLE NOTES DETAILS DWG N-1 RMAV 4.ctb 4/13/2025 Craig Barry



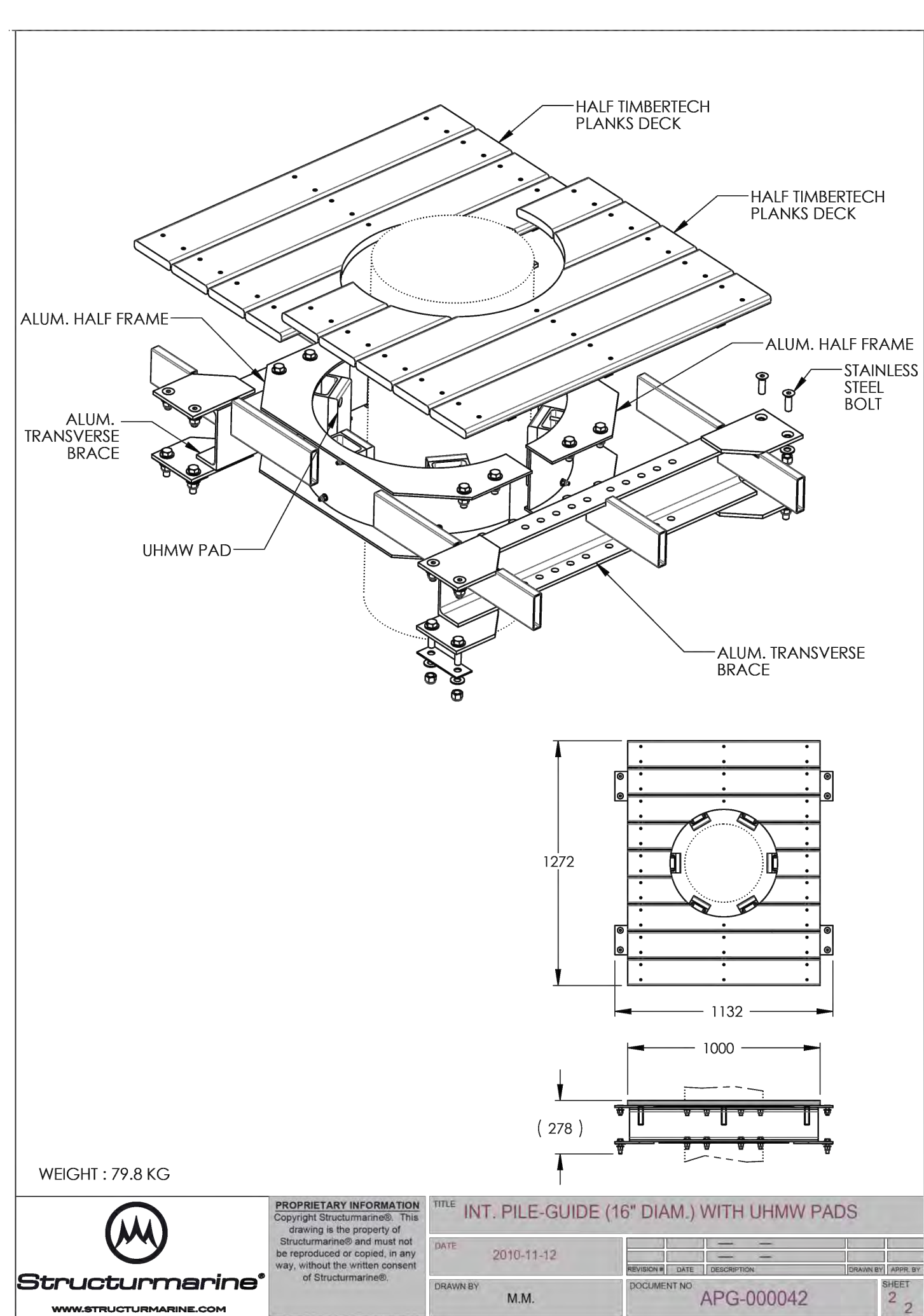
1 MANUFACTURED PERIMETER (MAIN) FLOAT DETAIL

N-1 SCALE: AS NOTED



2 MANUFACTURED FINGER FLOAT DETAILS

N-1 SCALE: AS NOTED



4 INTERNAL PILE GUIDE DETAIL

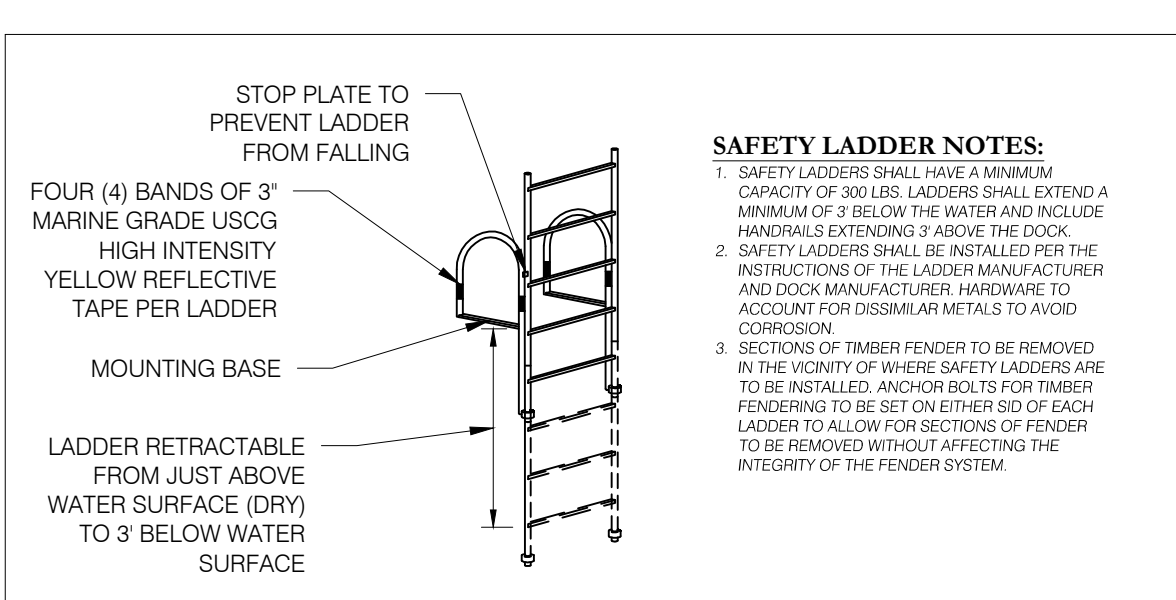
N-1 SCALE: 1" = 2'

ALUMINIUM FLOAT CONSTRUCTION:

- THE FLOAT MANUFACTURER SHALL SUPPLY ALUMINIUM FLOATS AS SPECIFIED HEREIN ALONG WITH THEIR ASSOCIATED APPURTENANCES (INCLUDING PILE GUIDES, PILE GUIDE COVERS, FENDERING, BOLLARDS/CLEATS (5-TON) WITH HARDWARE AND ALUMINIUM TRANSITION BRIDGE).
- THE FLOAT MANUFACTURER SHALL DELIVER FLOATS AND ASSOCIATED APPURTENANCES TO THE SITE OR OTHER LOCATION, AS DIRECTED BY THE CONTRACTOR. MANUFACTURER SHALL COORDINATE DELIVERIES WITH THE CONTRACTOR AND ENGINEER.
- THE FLOATING DOCK SYSTEM SHALL BE DESIGNED FOR A MINIMUM 30-YEAR LIFE EXPECTANCY IN THE MARINE ENVIRONMENT. FINAL DESIGN CALCULATIONS SHALL FURNISH PROOF THAT THE FLOATING DOCK SYSTEM IS DESIGNED TO WITHSTAND THE LOADING, SINGULARLY OR IN COMBINATIONS GIVEN HEREINAFTER, WITHOUT DAMAGE THROUGHOUT THE DESIGN LIFE OF THE SYSTEM. THE FLOAT MANUFACTURER SHALL SUBMIT WITH HIS BID/QUOTE THE PROPOSED DOCK SYSTEM DESCRIPTION, SPECIFICATIONS, TYPICAL SECTIONS/DETAILS (INCLUDING FLOATATION, FRAMING, DECKING, AND CONNECTIONS), CATALOG CUT SHEETS FOR ANY COMMERCIALLY AVAILABLE COMPONENTS (INCLUDING CLEATS, FENDERING, PILE GUIDES, ETC.) AND ANY NOTABLE EXCEPTIONS OR CHANGES FROM THESE DRAWINGS. SYSTEM SHOWN ON THIS SHEET IS AN EXAMPLE.
- FLOAT SHALL BE MANUFACTURED TO MANAGE A WAVE CLIMATE THAT INCLUDES THE FOLLOWING (DETERMINED BY OTHERS):
 - WAVE HEIGHT: 8 FEET
 - WAVE PERIOD: 4.5 SEC
 - WAVE LENGTH: 45 FEET
- THE DOCK MANUFACTURER SHALL PROVIDE CALCULATIONS TO SUBSTANTIATE THEIR PROPOSED FLOAT STRUCTURE CAN MANAGE THE SPECIFIED BUOYANCY REQUIREMENTS AND WAVE CRITERIA. CALCULATIONS SHOULD BE SIGNED AND SEALED BY A LICENSED PROFESSIONAL ENGINEER.
- ALL MATERIALS USED IN THE FABRICATION OF THE PONTOONS SHALL BE MADE FROM NEW MATERIAL SPECIFICALLY MANUFACTURED FOR THE INTENDED USE. NO REGRIND OF FOAM MATERIALS SHALL BE ALLOWED AND THE SUPPLIER OF THE MATERIAL SHALL CERTIFY THAT NO REGRIND MATERIAL IS USED IN THE FOAM FOR THIS PROJECT.
- ALL HARDWARE SHALL BE COUNTERSUNK ALONG DOCKING SURFACES.
- MANUFACTURER TO PROVIDE SHOP DRAWINGS TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
- WARRANTY - THE MANUFACTURER SHALL PROVIDE A MINIMUM 5 YEAR MEANINGFUL WRITTEN WARRANTY FOR THE INSTALLED FLOATING DOCK PRODUCT. A DETAILED OPERATIONS AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE ENGINEER AT THE TIME OF ACCEPTANCE.

ALUMINIUM FLOAT BUOYANCY REQUIREMENTS:

- DEAD LOAD SHALL CONSIST OF THE ENTIRE WEIGHT OF THE FLOATING STRUCTURE INCLUDING PROJECTED MARINE GROWTH, UTILITIES, AND ALL OTHER ACCESSORIES AND SUPPORT APPURTENANCES. SPECIAL FLOATS MUST BE DESIGNED TO SUPPORT THE ADDITIONAL CONCENTRATED LOADS IMPOSED BY GANGWAYS, TRANSFORMERS, ON-DOCK STRUCTURES, AND OTHER EQUIPMENT/UTILITIES. FLOATS WITH SPECIAL LOADING SHALL HAVE THE SAME FREEBOARD AS FLOATS WITH NO SUCH LOADING, SO THAT THERE WILL BE NO RESIDUAL STRESSES WHEN SUCH FLOATS ARE INTERCONNECTED.
- VERTICAL LIVE LOADS SHALL BE NO LESS THAN A UNIFORM VERTICAL LIVE LOAD OF 50 POUNDS PER SQUARE FOOT, BOTH FOR FLOATATION AND ON DOCK FRAME AND PIER STRUCTURES.
- THE FLOATATION SHALL BE SIZED AND LOCATED TO MAINTAIN THE FREEBOARD DIMENSIONS SHOWN (+/- 1 INCH).
- DEAD LOAD PLUS A CONCENTRATED LIVE LOAD OF 500 POUNDS APPLIED VERTICALLY AT ANY LOCATION ON THE MAIN DOCK SURFACE SHALL NOT TILT THE DOCK MORE THAN SIX DEGREES FROM HORIZONTAL OR OVERSTRESS THE FRAMING MEMBERS.
- MAXIMUM DEAD LOAD DEFLECTION FOR MAIN WALK DOCKS (APPLIES TO LENGTH AND WIDTH); ONE INCH IN 10 FEET AT ACCEPTANCE; 1.5 INCHES IN 10 FEET AT THE END OF WARRANTY PERIOD.
- DEAD LOAD FREEBOARD SHALL BE MAINTAINED WITHIN ONE INCH OF THAT IDENTIFIED IN THESE SPECIFICATIONS FOR A PERIOD OF FIVE YEARS FOLLOWING INSTALLATION.
- DOCK MANUFACTURER SHALL PROVIDE BUOYANCY AND LIVE LOAD (INCLUDING POINT LOAD AND DISTRIBUTED) CALCULATIONS TO FOR APPROVAL PRIOR TO FABRICATION



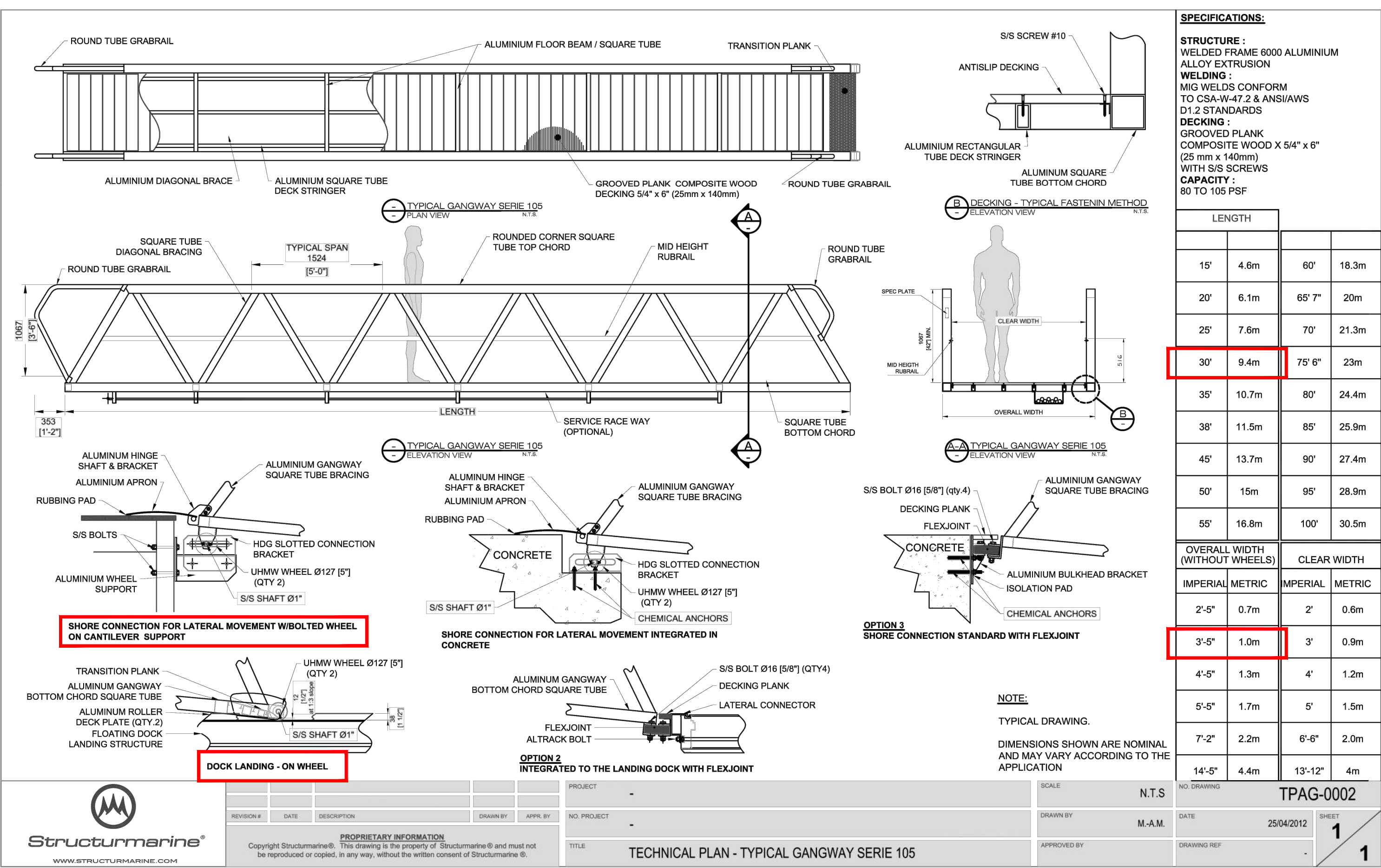
5 SAFETY LADDER DETAIL

N-1 SCALE: AS NOTED

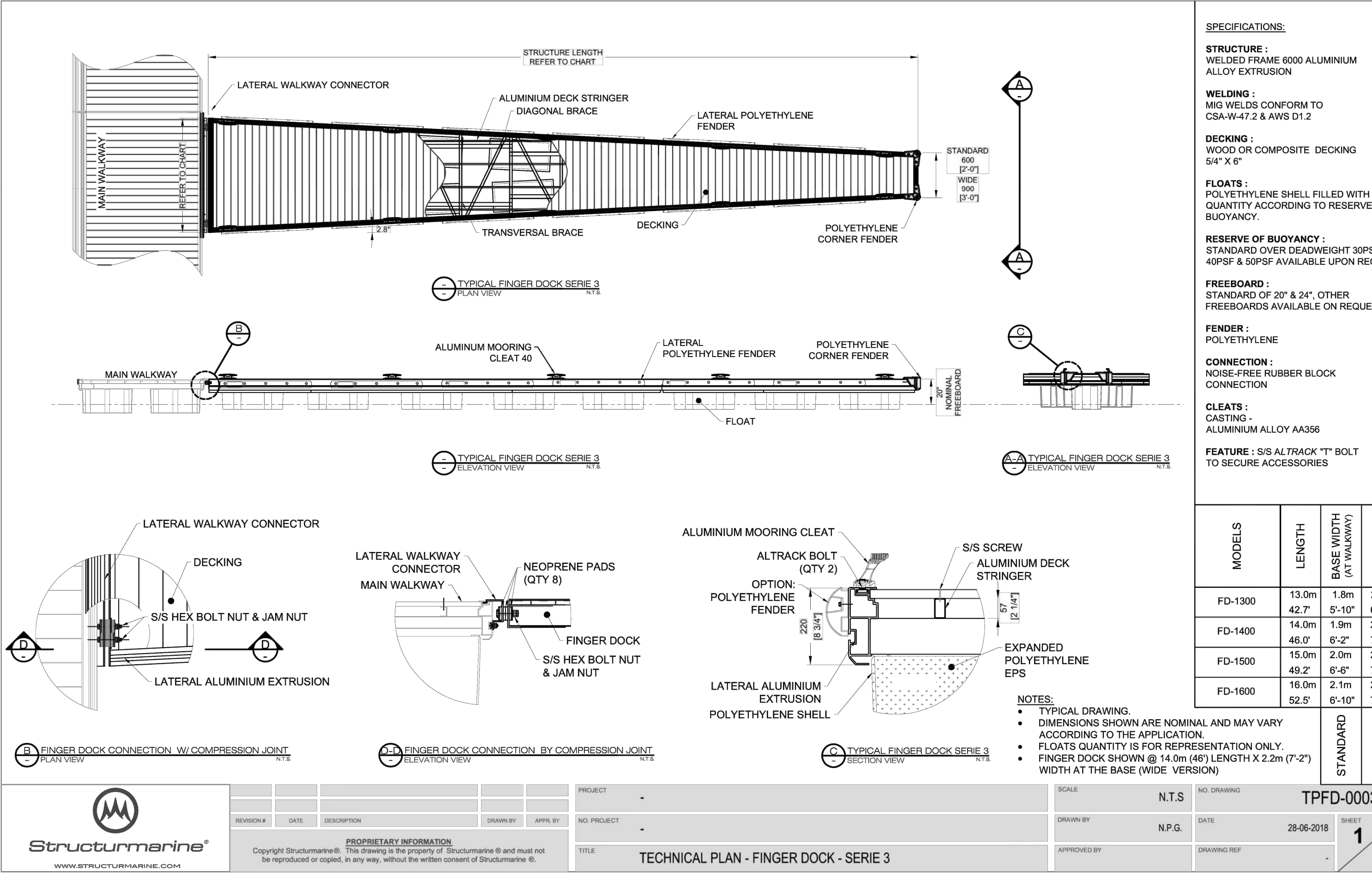
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Tel. 401.683.6630 www.nei-cds.com

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GeoEnvironmental
20 Main Street
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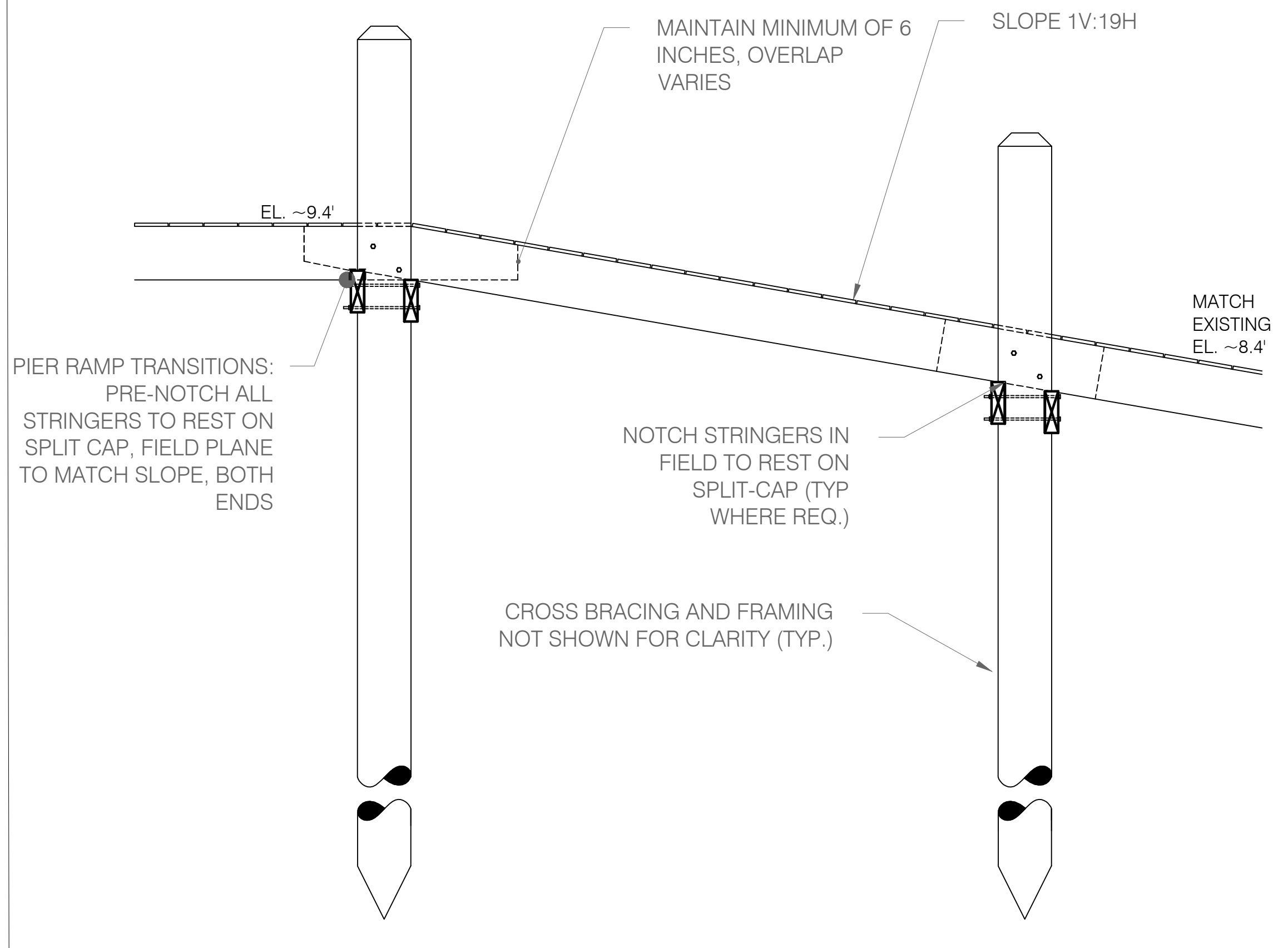
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No.	Revision	Date	App.
Designed By:	JR & NHI	Drawn by:	ES & LD
Scale:	n/a	Checked by:	JR & NHI
Date:	12/20/2024		
Project Title:	WEST WIND MARINA RECONFIGURATION		
Client/Owner:	HARBOUR REALTY, LLC WAITES WHARF NEWPORT, RI 02840 AP 32-155, 25 Waites Wharf, 32-268, 0 Waites Wharf		
Issued for:	CRMC PERMITTING		
Drawing Title:	NOTES & DETAILS		
Drawing Number:	N-1		
Sheet	8	of	11
Project Number:	22255.00 / 880240		



1 MANUFACTURED ALUMINUM GANGWAY DETAIL
N-2 SCALE: AS NOTED



2 ALTERNATIVE MANUFACTURED FINGER FLOAT DETAILS
N-2 SCALE: AS NOTED



3 TRANSITION RAMP DETAIL
N-2 SCALE: 1" = 2'

TRANSITION RAMP NOTES:
5. SEE SECTION A: FIXED PIER SECTION AND DETAIL, SHEET 7 OF 10 FOR FRAMING INFORMATION.

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Tel. 401.683.6630 www.nei-cds.com

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No.	Revision	Date	App.
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Designed By:	Drawn by:	Checked by:
JR & NHI	ES & LD	JR & NHI

Project Title: WEST WIND MARINA RECONFIGURATION

Client/Owner: HARBOUR REALTY, LLC
WAITES WHARF
NEWPORT, RI 02840
AP 32-155, 25 Waites Wharf,
32-268, 0 Waites Wharf

Issued for: CRMC PERMITTING

Drawing Title: NOTES & DETAILS

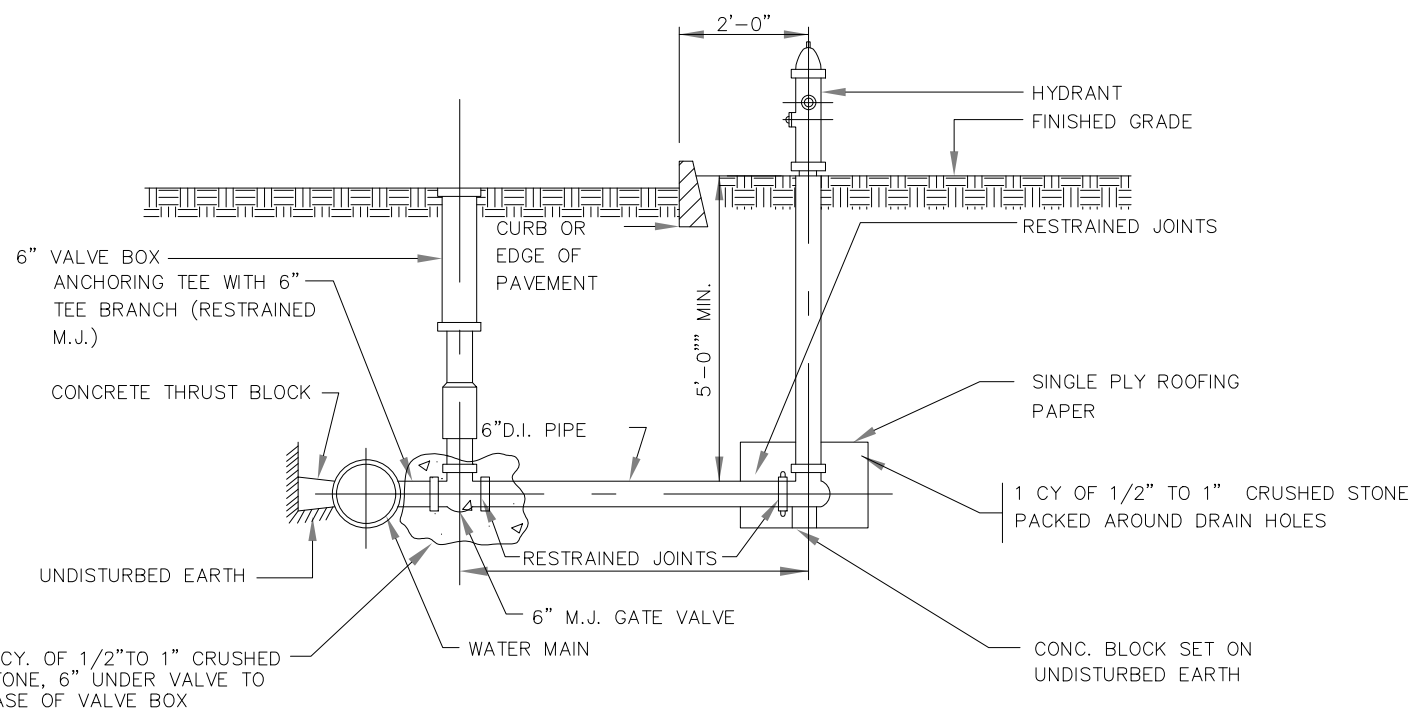
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N-2

Sheet	of
9	11

Project Number:
22255.00 / 880240

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NOTE: KENT COUNTY WATER AUTHORITY (KCWA) DETAILS HAVE BEEN SUPPLIED WHERE CITY OF NEWPORT DETAILS ARE NOT AVAILABLE. KCWA DETAILS ARE ROBUST AND FREQUENTLY USED FOR AJHS WITHOUT A STANDARD DETAIL SET. CITY OF NEWPORT UTILITIES DEPARTMENT IS THE AHJ FOR THIS PROJECT, AND IN THE CASE OF ANY CONFLICTS CITY OF NEWPORT UTILITIES DEPARTMENT REQUIREMENTS SUPERSEDE ANY OTHER REFERENCED INFORMATION.



- NOTE:
- 1.) KCWA COLOR SCHEME FOR HYDRANT.
 - 2.) INSTALLATION SHALL NOT OBSTRUCT SIDEWALK TO PEDESTRIAN OR PHYSICALLY IMPAIRED.
 - 3.) REMOVAL OF EXISTING HYDRANT MAY REQUIRE ADDITIONAL RESTRAINT DESIGNED BY A PROFESSIONAL ENGINEER.

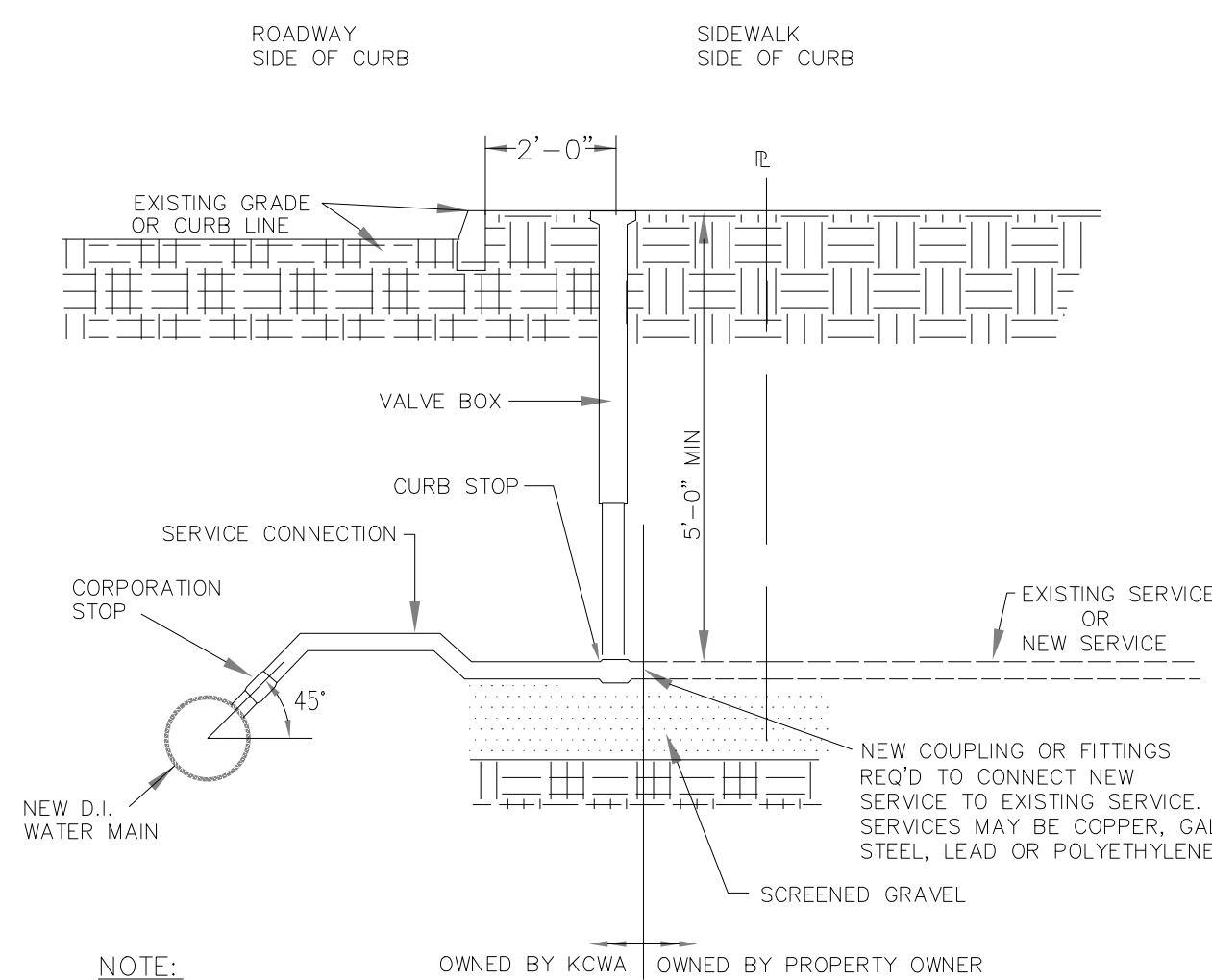
- NOTE:
MECHANICAL JOINT PIPE W/
RESTRAINED JOINTS FOR
BRANCHES OVER ONE LENGTH
OF PIPE

KCWA
"proudly serving"

KENT COUNTY WATER AUTHORITY

HYDRANT
NOT TO SCALE

DATE: 09/2006



- 1.) SERVICE MATERIALS PER KCWA SPECIFICATION UNLESS CITY OR TOWN CODES REQUIRE SPECIFIC MATERIALS THAT HAVE BEEN APPROVED BY KCWA.
- 2.) SERVICE LINE FROM CURB BOX TO BUILDING SHALL BE INSPECTED, TESTED AND APPROVED BY THE LOCAL PLUMBING INSPECTOR.

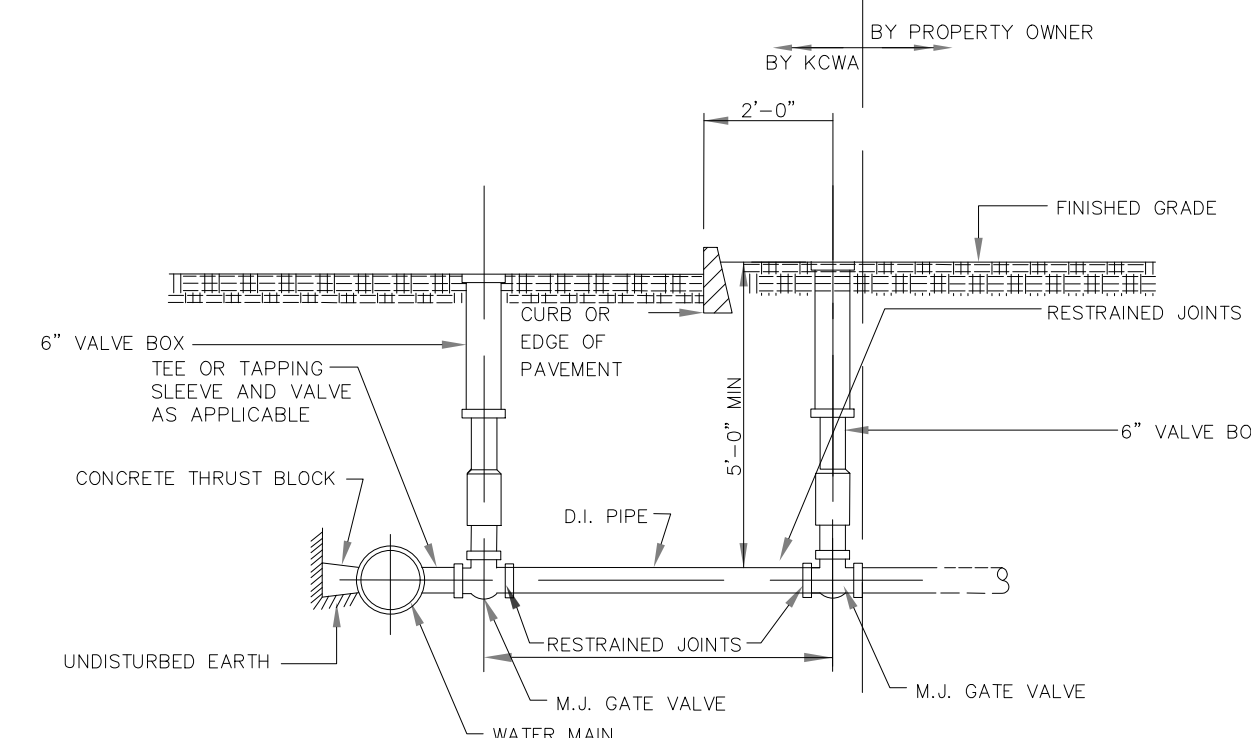
KCWA
"proudly serving"

KENT COUNTY WATER AUTHORITY

SERVICE CONNECTION

NOT TO SCALE

DATE: 09/2006




- NOTE:
1. MATERIALS PER KCWA SPECIFICATIONS

KCWA
"proudly serving"

KENT COUNTY WATER AUTHORITY
SERVICE CONNECTION
GREATER THAN 4 INCHES

DATE: 09/2006



1	PER CRM COMMENTS AND CITY WATER FRONT COMMISSION	4/11/25	
No.	Revision	Date	App.

Designed By: JR & NIKH	Drawn by: ES & LD	Checked by: JR & NIKH
Scale: n/a	Date: 12/20/2024	

Project Title:	
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WEST WIND MARINA RECONFIGURATION

HARBOUR REALTY, LLC
WAITES WHARF
NEWPORT, RI 02840
AP 32-155, 25 Waites Wharf,
32-268, 0 Waites Wharf

Client/Owner:

HARBOUR REALTY LLC
39 AGAR STREET
YONKERS, NY 10701

Issued for:

CRMC PERMITTING

Drawing Title:	
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NOTES & DETAILS



Drawing Number:

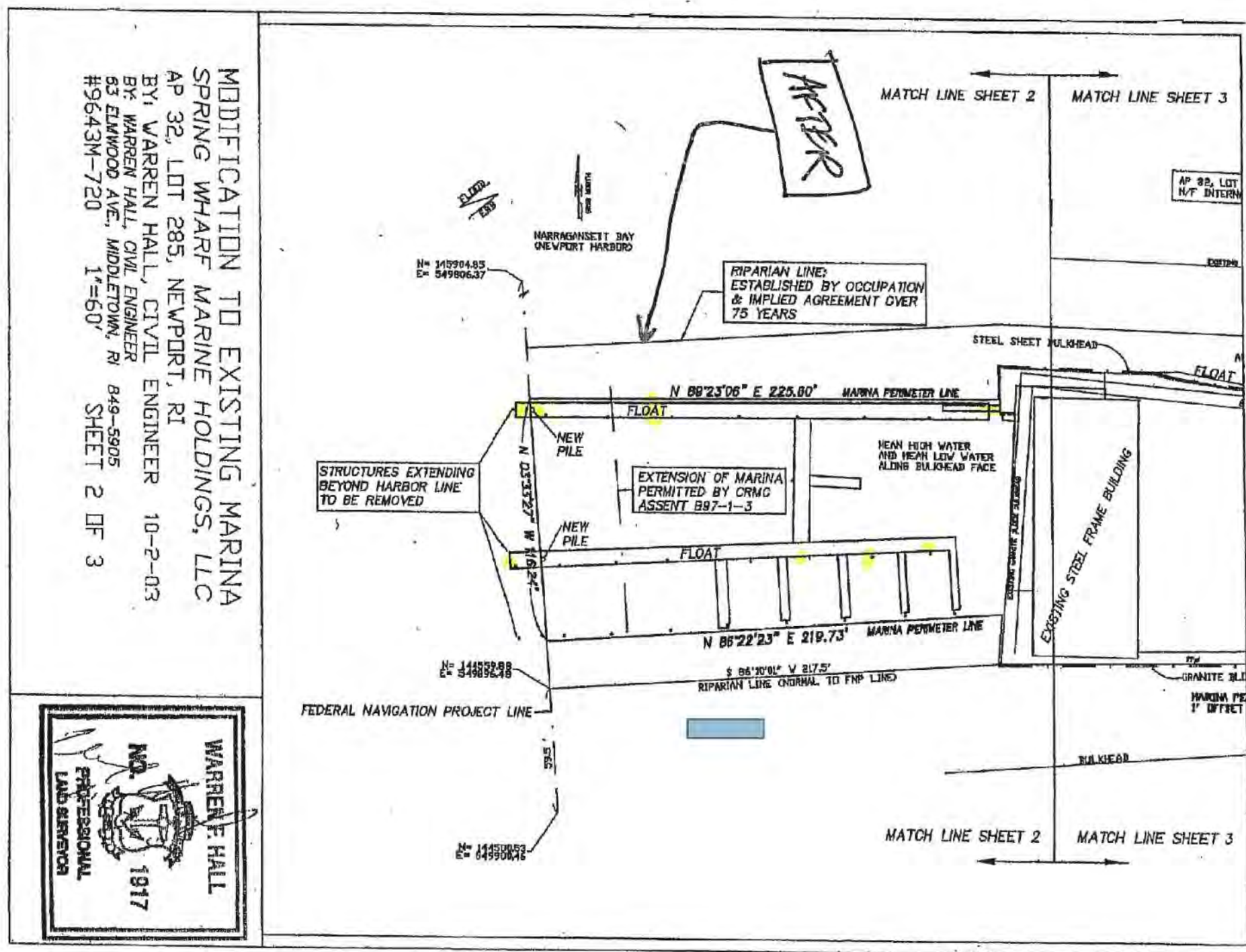
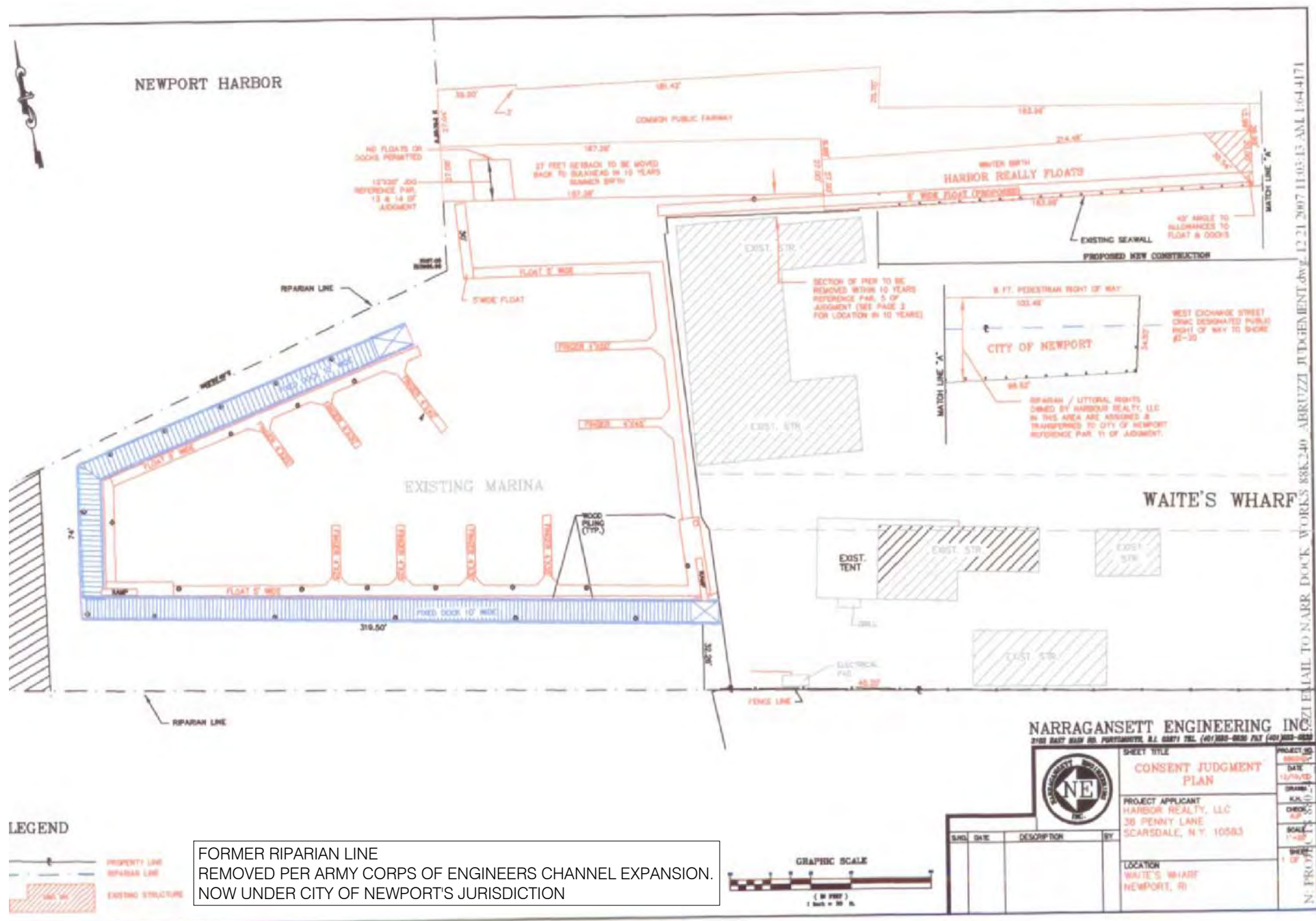
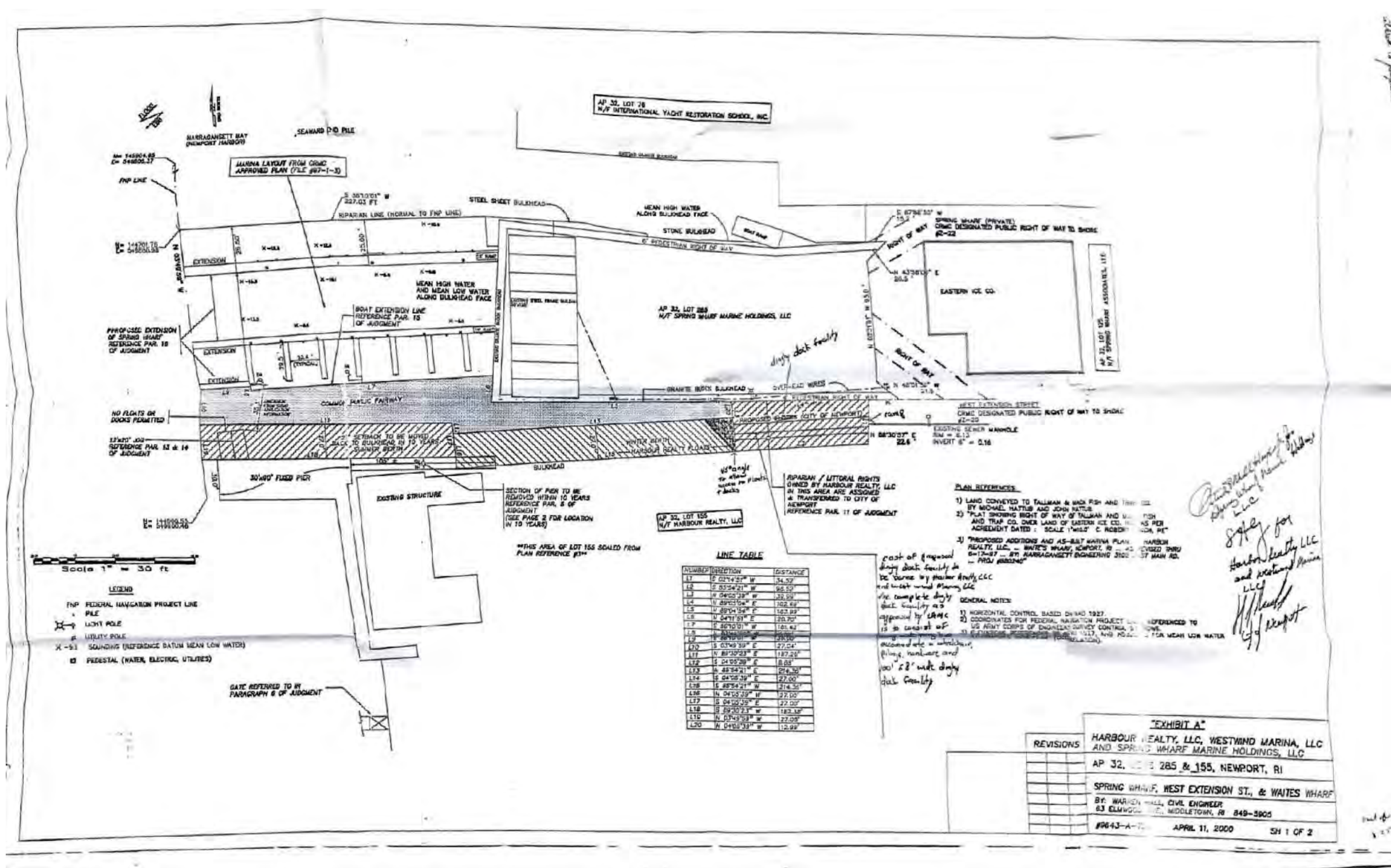
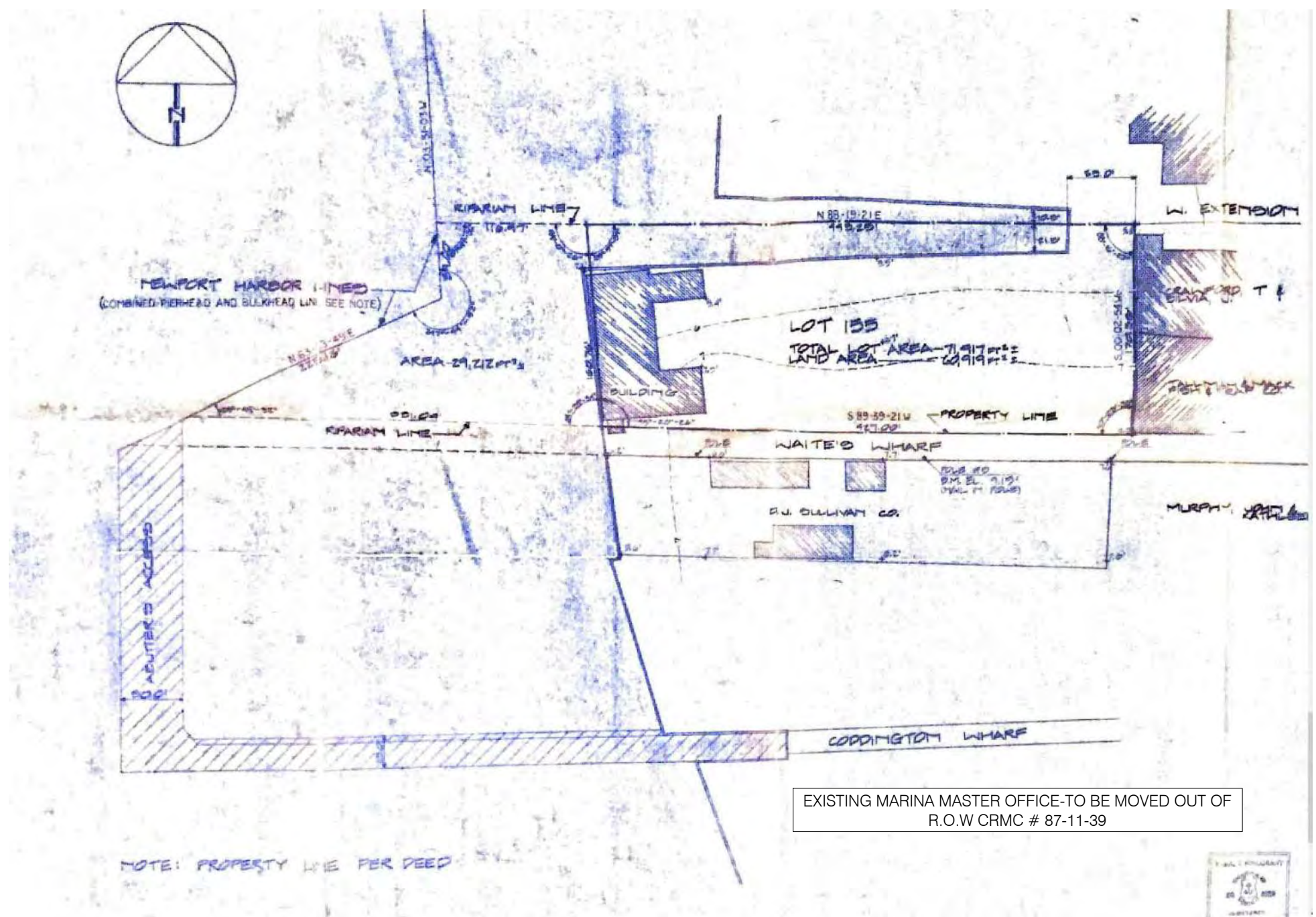
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Sheet 10 of 11

Project Number: 22255.00 / 880240

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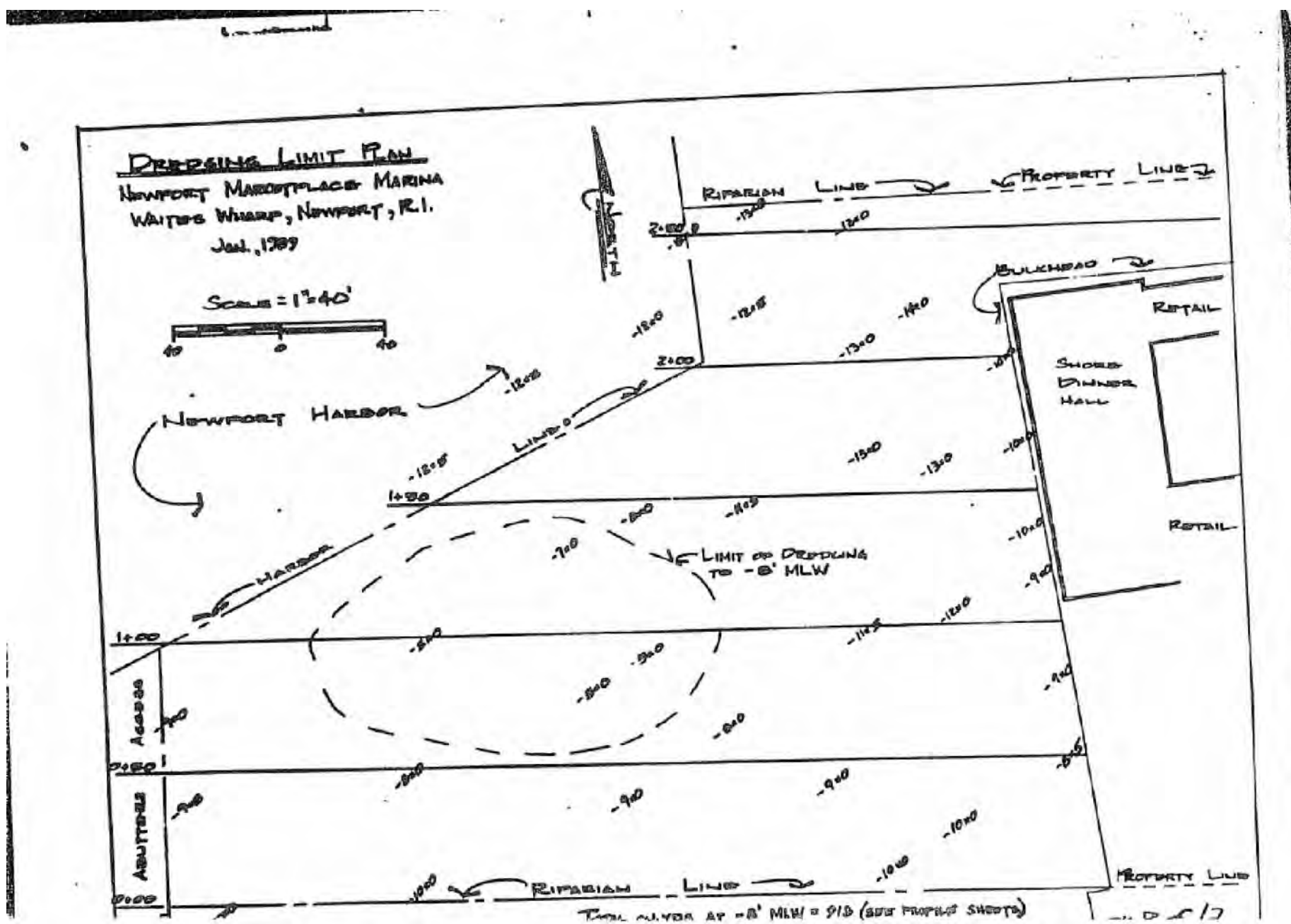
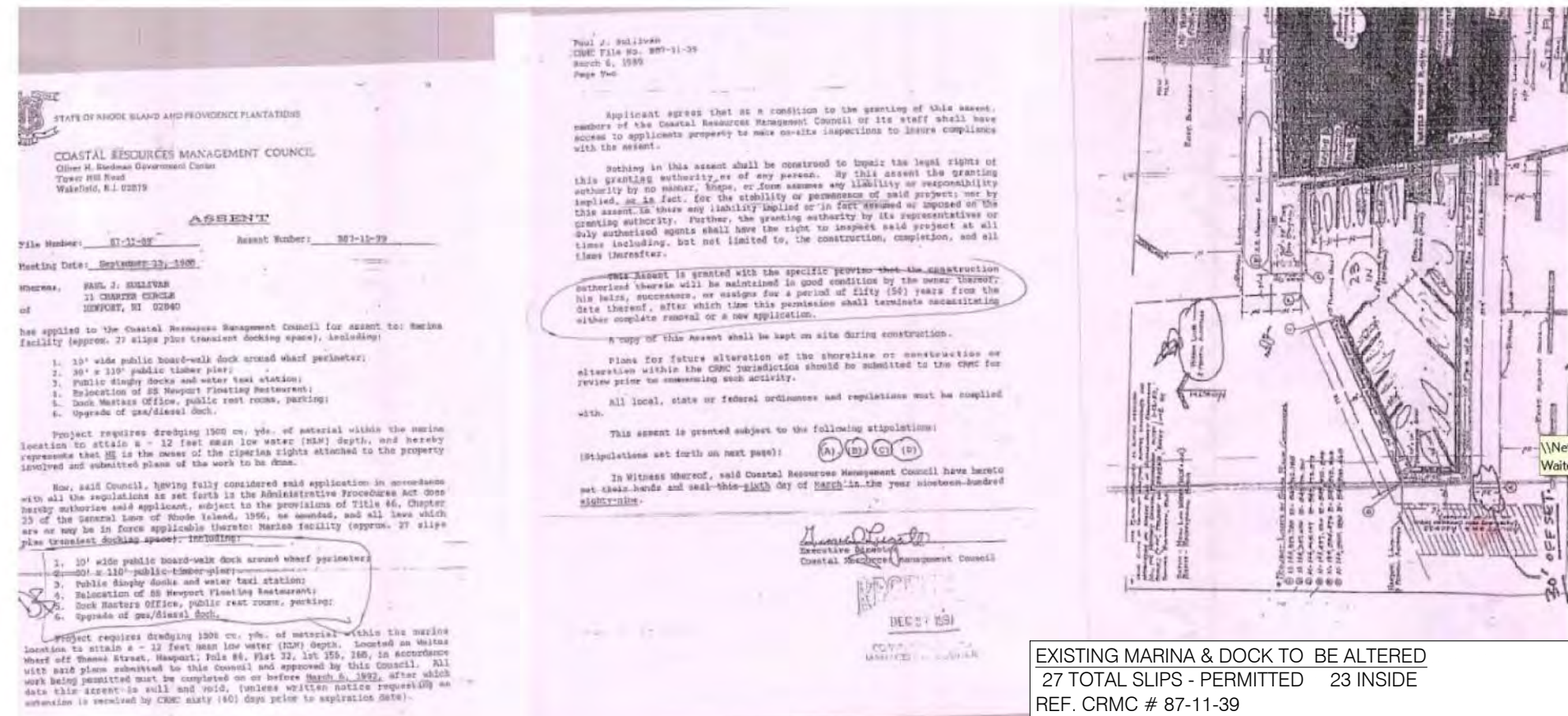
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CRMS Assent 9/13/1988

"approx. 27 slips plus transient dock space"

"this asset is granted with the specific provision that the construction authorized therein will be maintained in good condition by the owner thereof, his heirs, successors, or assigns for a period of fifty (50) years from the date thereof. After which time this permission shall terminate necessitating either complete removal or new application"



PAST PERMITTING NOTES:
PLEASE SEE ASSENT APPLICATION AND PROVIDED ATTACHMENTS FOR FULL SUMMARY OF CRMC PERMIT HISTORY AT THE PROJECT SITE.

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Drawing Title:	REGULATORY PERMIT REFERENCES		
Drawing Number:	R-1		
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Project Number:	22255.00 / 880240		



TEMPORARY PEDESTRIAN ACCESS PATH

THE EXISTING RIGHT OF WAY IN THIS LOCATION IS CLOSED DUE TO CONSTRUCTION AND SAFETY OF THE PUBLIC.

- CONSTRUCTION START DATE: _____
- ESTIMATED CONSTRUCTION END DATE: _____

IMPROVEMENTS TO THE WATERFRONT PUBLIC ACCESS ARE PROPOSED FOR THIS SITE, INCLUDING RESURFACING WITH PAVERS AS WELL AS A FUTURE CONNECTION PROVIDING ACCESS TO CODDINGTON STREET.

