



State of Rhode Island
Coastal Resources Management Council
Oliver H. Stedman Government Center
4808 Tower Hill Road, Suite 3
Wakefield, RI 02879-1900

(401) 783-3370
Fax (401) 783-2069

PUBLIC NOTICE

File Number: 2024-12-052 Date: February 14, 2025

This office has under consideration the application of:

**Harbour Realty, LLC
c/o Thomas Abruzese
39 Agar Street
Yonkers, NY 10701**

for a State of Rhode Island Assent to construct/reconfigure: The existing fixed pier configuration, installation of new floating docks, and establish a new Marina Perimeter Limit (MPL). See attached plan drawings for existing and proposed configurations. Previous CRMC Assent for a New Marina was 1987-11-039.

Project Location:	Waites Wharf
City/Town:	Newport
Plat/Lot:	Plat 32, lots 155, 268
Waterway:	Newport Harbor

Plans of the proposed work can be requested at Cstaff1@crmc.ri.gov.

In accordance with the Administrative Procedures Act (Chapter 42-35 of the Rhode Island General Laws) you may request a hearing on this matter.

You are advised that if you have good reason to enter protests against the proposed work it is your privilege to do so. It is expected that objectors will review the application and plans thoroughly, visit site of proposed work if necessary, to familiarize themselves with the conditions and cite what law or laws, if any, would in their opinion be violated by the work proposed.

If you desire to protest, you must attend the scheduled hearing and give sworn testimony. A notice of the time and place of such hearing will be furnished you as soon as possible after receipt of your request for hearing. If you desire to request a hearing, to receive consideration, it should be in writing (**with your correct mailing address, e-mail address and valid contact number**) and be received at this office on or before **March 16, 2025**.

Please email your comments/hearing requests to: cstaff1@crmc.ri.gov; or mail via USPS to: Coastal Resources Management Council; O. S. Government Center, 4808 Tower Hill Road, Rm 116; Wakefield, RI 02879.

/lat

CRMC Mailing List for Harbour Realty, LLC
CRMC File Number 2024-12-052

Harbour Realty, LLC
c/o Thomas Abruzese
39 Agar Street
Yonkers, NY 10701
agaroffice@aol.com

Narragansett Engineering Inc.
Neal K. Hingorany, MS, PLS
Nhingorany@nei-cds.com

CRMC (2024-12-052)
O. S. Government Center
4808 Tower Hill Road
Wakefield, RI 02879
Cstaff1@crmc.ri.gov

Turner Scott, Esq
Miller Scott Holbrook & Jackson
122 Touro Street
Newport, RI 02840
tscott@millerscott.com

Matthew J. Landry, Esq. on behalf
of Coddington Homeowners Association
30 Exchange Terrace # 3
Providence, RI 02903
mjl@blishcavlaw.com

Rick Bischoff – Coddington Landing Condo Assoc
Rbischoff3@gmail.com

Colin K. Kennedy, MPA
Newport City Manager
43 Broadway
Newport, RI 02840
ckennedy@cityofnewport.com

David J. Kane
Chairman, Newport Waterfront Commission
43 Broadway
Newport, RI 02840

Joanna Salvo
JSalvo3719@yahoo.com



State of Rhode Island and Providence Plantations
Coastal Resources Management Council
Oliver H. Stedman Government Center
4808 Tower Hill Road, Suite 3
Wakefield, RI 02879-1900

(401) 783-3370
Fax (401) 783-3767

March 4, 2025

Colin K. Kennedy, MPA
Newport City Manager
City Hall- 43 Broadway
Newport, RI 02840

Re: CRMC File No. 2024-12-052 -- Request for Public Notice Extension end date.

Dear Mr. Kennedy:

CRMC is in receipt of the City of Newport's of February 19, 2025 requesting an Extension to the Public Notice period for CRMC File 2024-12-052 – Harbour Realty, LLC.

The request to extend the Public Notice Period end date from March 16, 2025 to March 31, 2025 has been granted.

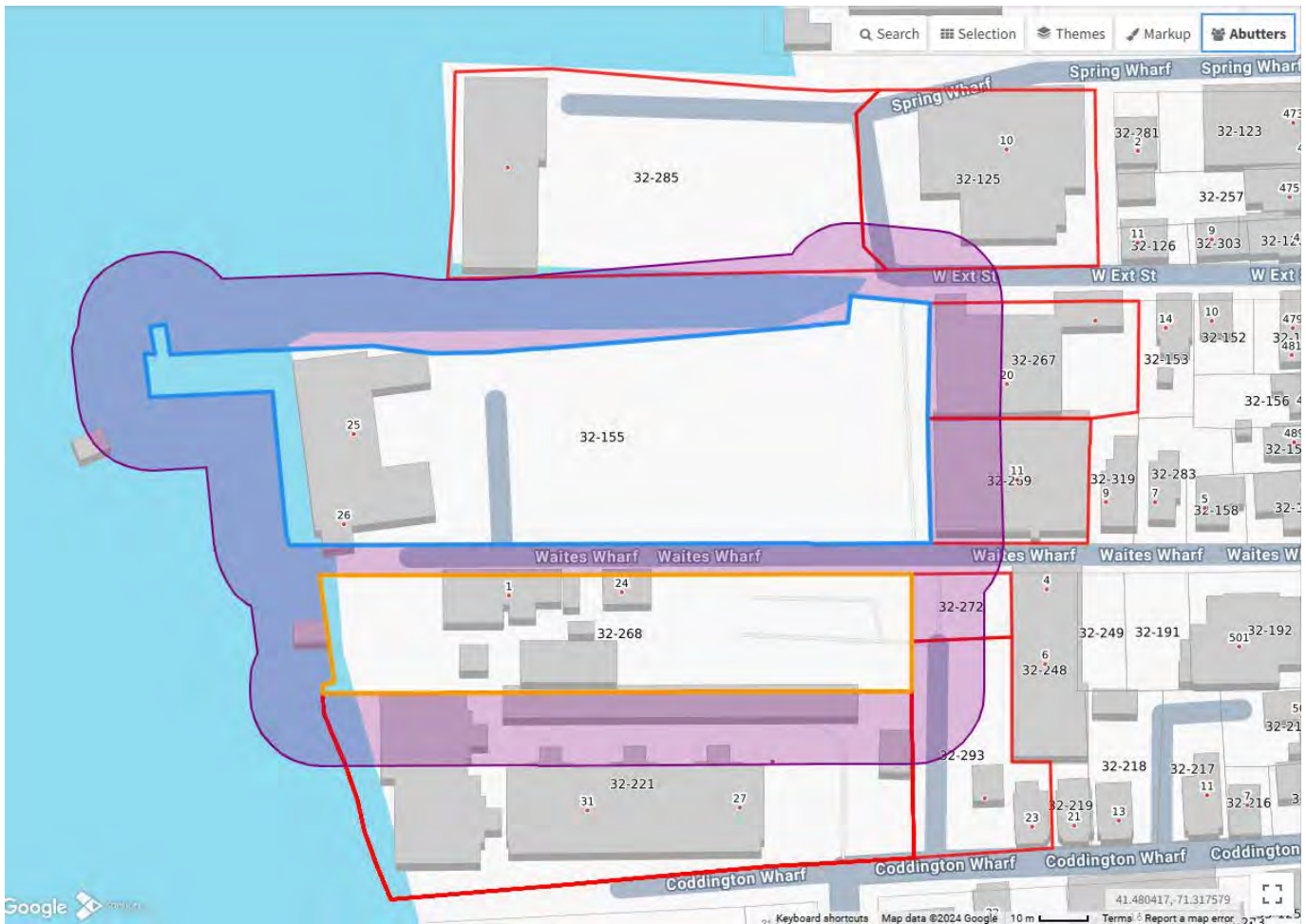
If you require additional information, please do not hesitate to contact me. Thank you.

Sincerely,

Lisa A. Turner, Office Manager
Coastal Resources Management Council

/lat

WEST WIND MARINA RECONFIGURATION
 DIRECT ABUTTER LIST
 DEVELOPED BY CITY OF NEWPORT GIS 12/10/24



32-267
 20 WEST EXTENSION LLC
 39 AGAR ST
 YONKERS, NY 10701

32-269
 CASEY WILLIAM R & ELIZABETH
 A11 WAITES WHF
 NEWPORT, RI 02840

32-272
 WAITES WHARF REALTY
 ASSO LLCDC/O THOMAS
 ABRUZESE
 39 AGAR ST
 YONKERS, NY 10701

32-285
 SPRING WHARF MARINE HOLD
 INGS LLC
 SPRING WHF
 NEWPORT, RI 02840

32-293
 ABRUZESE THOMAS B
 39 AGAR ST
 YONKERS, NY 10701



32-125
INTERNATIONAL YACHT RESTORATIO
N SCHOOL
10 SPRING WHF
NEWPORT, RI 02840

32-221
RAMOS JAMES M &
CRAUSMAN RAMOS RAQUEL
31 CODDINGTON WHF UNIT 1
NEWPORT, RI 02840

32-221
RESTATED PETER B NOONAN &
MARGARET L NOONAN TRUST
1270 S WINCHESTER BLVD
SAN JOSE, CA 95128

32-221
FIRTH INVESTMENT PROP LLC
1260 HIDDEN HARBOUR WAY
SARASOTA, FL 24242

32-221
MICHAEL DIVON TRUST AGREEMENT
DIVON MICHAEL TRUSTEE
100 GONDOLA AVE
JAMESTOWN, RI 02835

32-221
RICHARD W HYDE JR FAM TR
VIVIAN P HYDE FAMILY TR
33 CHURCHILL AVE
ARLINGTON, MA 02476

32-221
MINIOR VICTORIA K
62 OCEAN DR EAST
STAMFORD, CT 06902

32-221
J MICHAEL HARRELL LIVING TRUST
MARGARET CECCHINE HARRELL
31 CODDINGTON WHF, Unit 7
Newport, RI 02840

32-221
CALLAHAN JOHN
CALLAHAN SUSAN
411 WALNUT ST, Unit 16330
GREEN COVE SPRINGS, FL 32043

32-221
GARY G GOSSELIN AND
CHARLEEN C GOSSELIN
511 HARBORPOINT RD
LONGBOAT KEY, FL 34228

32-221
DANGELO CHRISTOPHER
25 BUXTON DRIVE
CRANSTON, RI 02921

32-221
HABLEY ANDRA J REVOCABLE TRUST
HABLEY ANDRA J-TRUSTEE
31 CODDINGTON WHF UNIT 12
NEWPORT, RI 02840

32-221
GOSSELIN GARY G
CHARLEEN C
511 HARBOR POINT RD
LONGBOAT KEY, FL 34228

32-221
STEVENS TRACY
7 THE GLADE
SIMSBURY, CT 06070

32-221
ADAMS ROBERT N & ADAMS LORI A
400 N CHURCH ST, Unit 713
CHARLOTTE, NC 28202-2258

32-221
GEORGAKOPOULOS DIMITRIOS ET AL
S
66 BROWN ST
WESTON, MA 02493

32-221
MELLOR HUGH II
267 FOX HILL ST
WESTWOOD, MA 02090

32-221
RENEHAN PETER D
31 CODDINGTON WHF UNIT 18
NEWPORT, RI 02840

32-221
ZARBA JOHN JOSEPH & ZARBA SUE LEE LEMOIE
455 STATE RD
TISBURY, MA 02568

32-221
VILLANTE 2011 GIFT TRUST
VILLANTE CHRISTINA TRUSTEE
56 BROOK FARM RD
BEDFORD, NY 10506

32-221
SHEA JOHN E
TRACY D
11 CORDIE STREET
CHARLESTOWN, MA 02129

32-221
VESSELLA PETER JAMES
2001 SECOFFEE ST
MIAMI, FL 33133

32-221
RSLH LLC
31 CODDINGTON WHF, Unit 23
Newport, RI 02840

32-221
ALTA LLC
7 DURHAM DR
ANDOVER, MA 01810

32-221
ROSENBERG ROBERT D
CAROL
PO BOX 1275
ORANGE, CT 06477

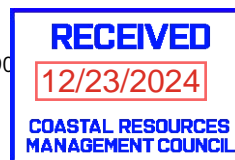
32-221
JOHNSON III CARL V LIFE ESTATE
CYNTHIA H CURTIS LIVING TRUST
PO BOX 455
CHARLESTOWN, RI 02813

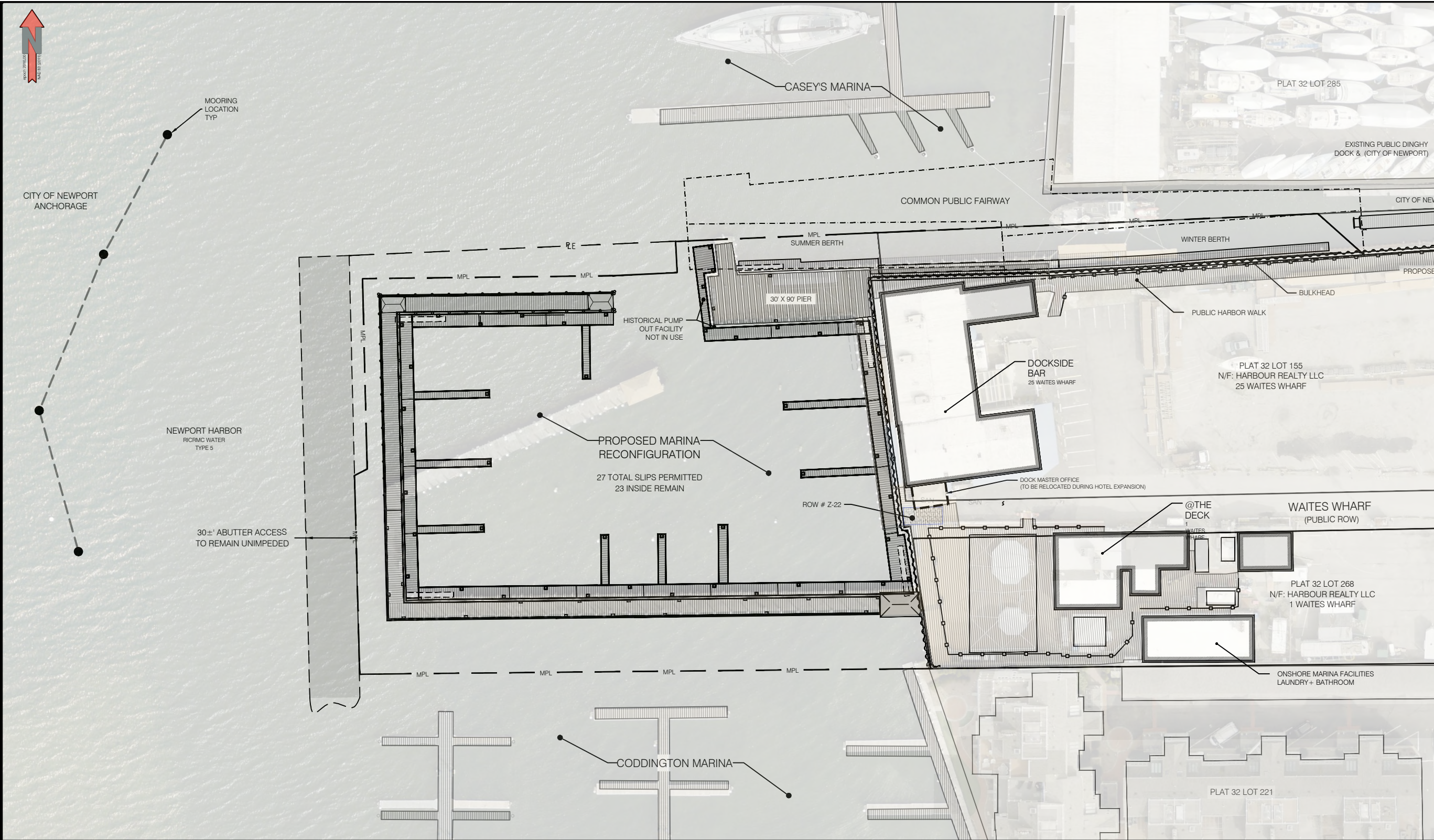
32-221
HARRELL J MICHAEL & HARRELL MARGARET C
31 CODDINGTON WHF, Unit 27
Newport, RI 02840


32-221
PASSANANTI VINCENT J
MERIDIEN BENEFIT GROUP, INC
475 KILVERT ST STE 350
WARWICK, RI 02886

32-221
BISCHOFF TRUST
BISCHOFF RICHARD J-TRUSTEE
1430 SOUTH DIXIE HWY, Unit 105
CORAL GABLES, FL 33146

32-221
INISHEER LLC
407 GAY ST
WESTWOOD, MA 02090








NEI
Narragansett
Engineering Inc.

Civil • Survey • Structural • Environmental • Design
3102 East Main Road, Portsmouth RI 02871
Tel. 401.683.6630 www.nei-cds.com



RMA
GeoEnvironmental

20 Main Street
Wickford, Rhode Island 02852
WWW.RMAHYDRO.COM

No.	Revision	Date	App.

Designed By: JR & N04

Drawn by: LD

Date: 12/20/2024

Checked by: JR & N04

Project Title:

WEST WIND MARINA RECONFIGURATION

HARBOUR REALTY, LLC
WAITES WHARF
NEWPORT, RI 02840
AP 32-155, 25 Waites Wharf,
32-268, 0 Waites Wharf

Client/Owner:

HARBOUR REALTY LLC
39 AGAR STREET
YONKERS, NY 10701

Issued for:

CRMC PERMITTING

Drawing Title:

OPERATIONS AND MAINTENANCE PLAN

11x17 PLAN

Drawing Number:

O & M

Sheet

1 of 1

Project Number:

22255.00 / 880240

1

O & M

O & M PLAN

Scale: 1" = 60'

0

60

90

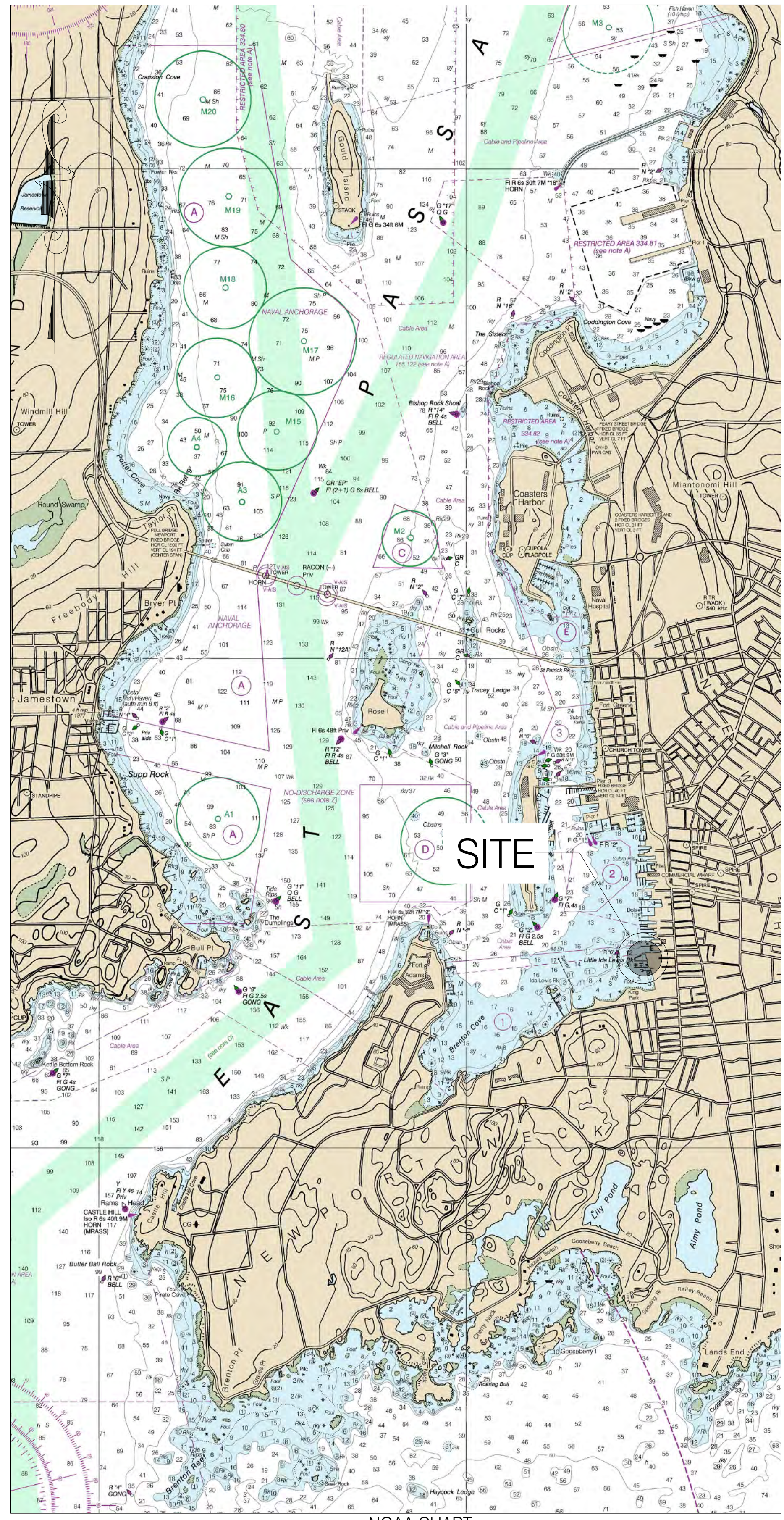
120

180

300

NOTES:

- COORDINATE SYSTEM IS RI3800
- ORTHOGRAPHY SHOWN PER RIGIS STATEWIDE DIGITAL MULTISPECTRAL ORTHORECTIFIED AERIAL PHOTOGRAPHS. DATED SPRING 2024



NOAA CHART
NOT TO SCALE

Prepared for:
HARBOUR REALTY LLC

WEST WIND MARINA

MARINA RECONFIGURATION PROJECT

WAITES WHARF NEWPORT, RHODE ISLAND 02840

DRAWING INDEX

VICINITY MAPS & GENERAL NOTES	01
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PROPOSED CONDITIONS	04
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REGULATORY PERMIT REFERENCES	11



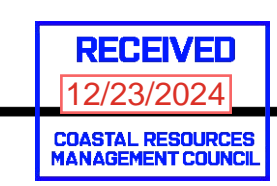
RMA ENVIRONMENTAL LLC



NARRAGANSETT ENGINEERING INC.



USGS LOCUS MAP
NOT TO SCALE


















Project Location:	25 Waites Wharf
City Town:	Newport
Plat Lot:	Plat 32 Lots 155, 268
Waterway:	Newport Harbor
Water Use Category:	Type 5; Recreational and Commercial Harbors
Shoreline Feature:	Manmade developed shoreline
Facility Type:	Recreational (Destination Harbor)
Permitted Slips	27 total (23 inside)
Alteration or Activity:	Marina Reconfiguration
Proposed Slips	27 total (23 inside)
Parking Criteria	Met- under existing and future landside improvements
Sanitation Criteria	Met- under existing and future landside improvements
Fairway Criteria	Met-for proposed condition = 1.5 times boat length

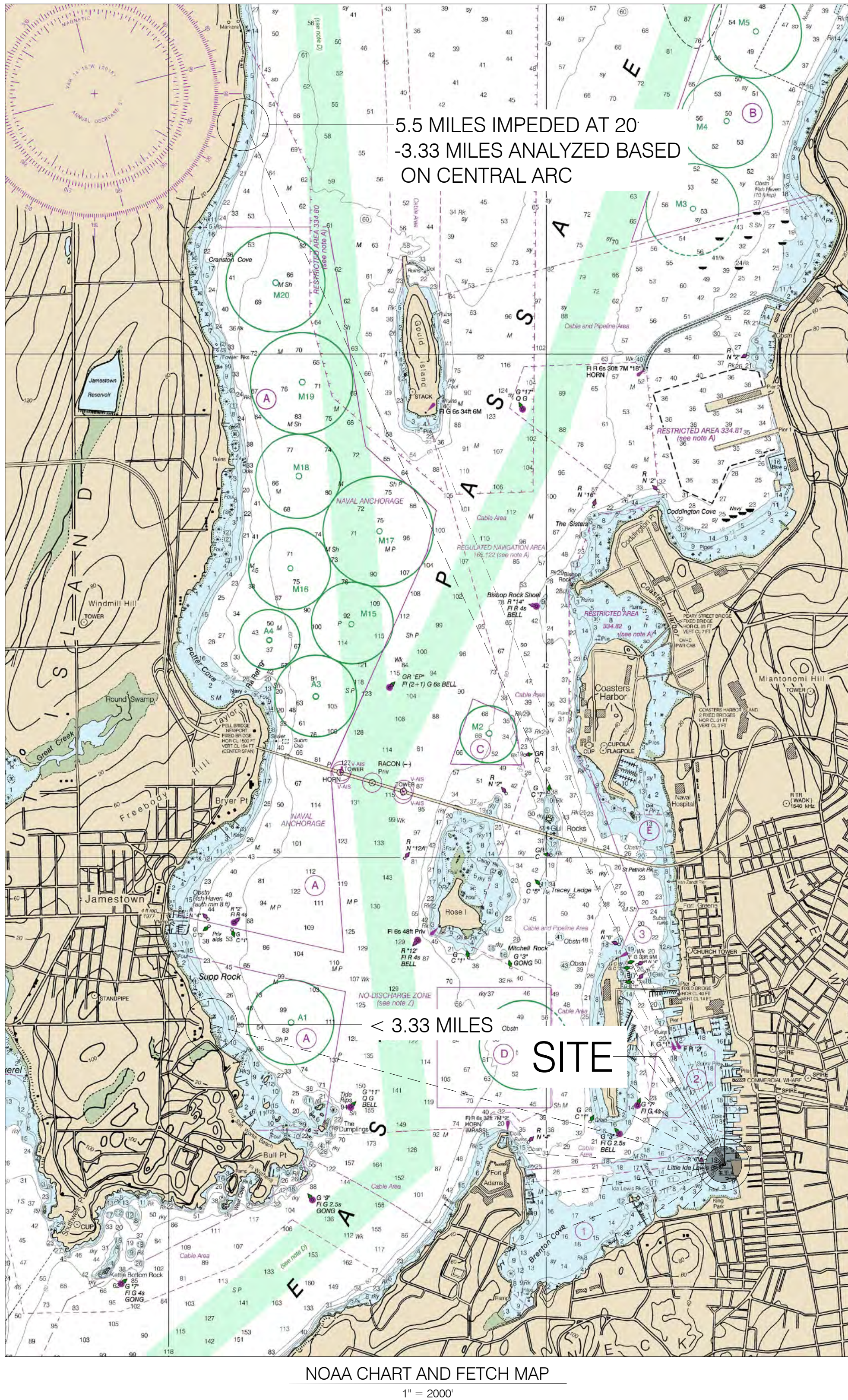
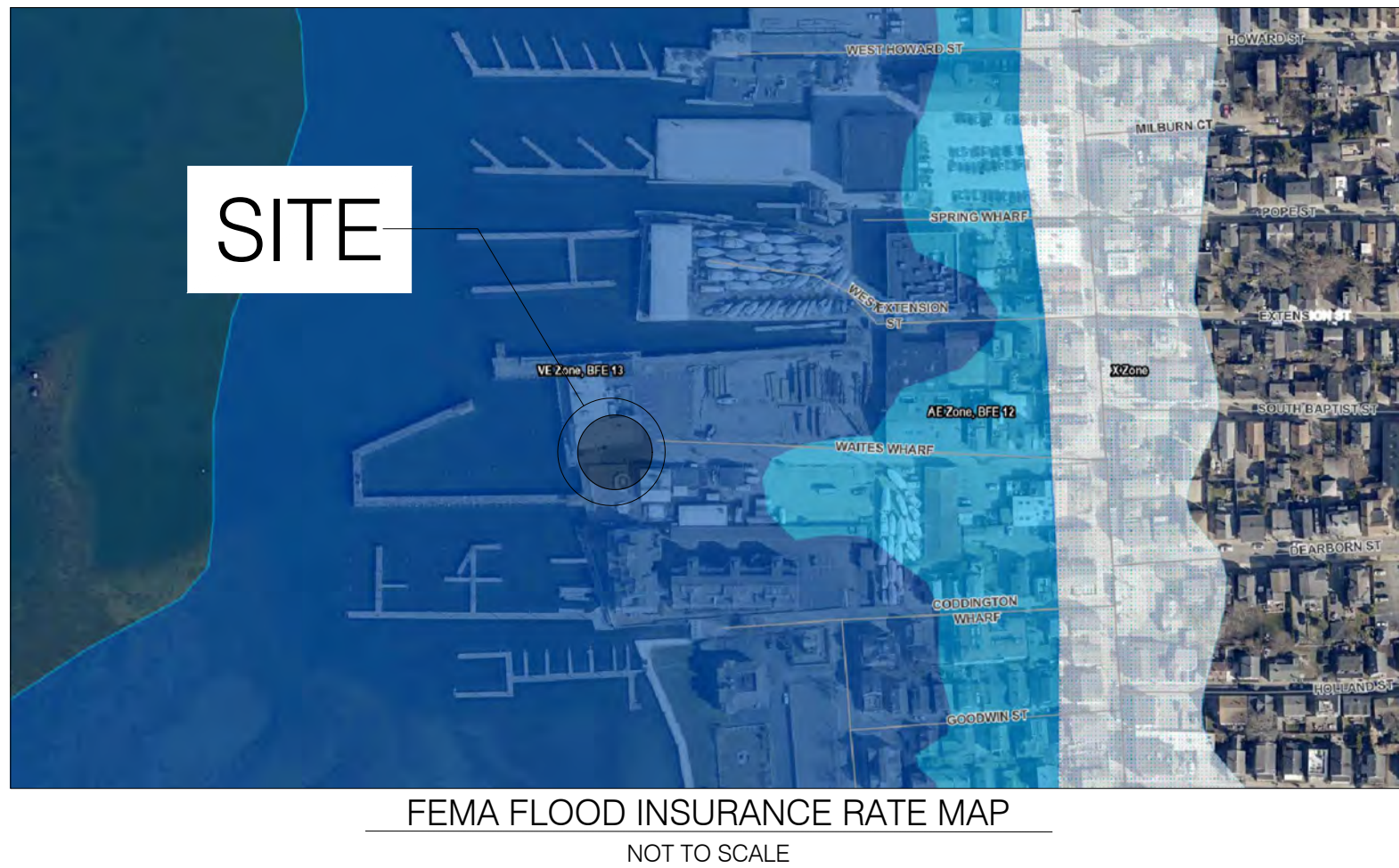
GENERAL CONSTRUCTION NOTES:


1. ALL WORK SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS AS SHOWN IN THESE PLANS AND SPECIFICATIONS.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE CONDITIONS SHOWN HEREIN AND NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES IN DIMENSIONS AND/ OR SITE CONDITIONS PRIOR TO THE FABRICATION AND/OR ORDERING OF ANY CONSTRUCTION MATERIALS. THE CONTRACTOR SHALL NOT BEGIN CONSTRUCTION IN ANY SUCH AFFECTED AREA UNTIL THE DISCREPANCY HAS BEEN RESOLVED BY THE CONTRACTOR AND APPROVED BY THE ENGINEER.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BRINGING ALL ELEMENTS OF THE PROJECT IN CONFORMANCE WITH THESE PLANS AND SPECIFICATIONS. IF ANY MODIFICATIONS ARE REQUIRED IN ANY ELEMENT, THE CONTRACTOR SHALL SUBMIT PROPOSED CHANGES IN WRITING TO THE ENGINEER FOR REVIEW.
4. ALL SAFETY REGULATIONS ARE TO BE STRICTLY FOLLOWED. METHODS OF CONSTRUCTION AND ERECTION OF STRUCTURAL MATERIAL ARE THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL WORK SHALL COMPLY WITH FEDERAL LAWS, STATE REGULATIONS, AND LOCAL LAWS AND STATUTES AND THE REQUIREMENTS AND CONDITIONS OF ALL REGULATORY PERMITS ISSUED FOR THE WORK.
6. ALL WORK SHALL CONFORM TO THE LATEST EDITION OF THE OSHA CODE, THE RHODE ISLAND STATE BUILDING CODE, AND THE REFERENCED STANDARDS INCLUDED HEREIN THAT ARE APPLICABLE TO THIS PROJECT.
7. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO OBTAIN THE SURVEY SUPPORT NEEDED TO COMPLETE THE WORK, INCLUDING STAKEOUT, TO ENSURE THE WORK IS COMPLETED CONSISTENT WITH PROJECT PLANS AND ASSOCIATED REGULATORY APPROVALS. CONTRACTOR TO PRESERVE SURVEY BENCHMARKS.
8. ALL MATERIAL STORAGE SHALL BE DONE VIA BARGE IF NECESSARY. THE CONTRACTOR SHALL PROTECT ALL WETLANDS AND ASSOCIATED COASTAL RESOURCES FROM INTRUSION BY TURBID WATERS, CONSTRUCTION DEBRIS, CONSTRUCTION EQUIPMENT, OR PERSONNEL DURING ALL WORK ACTIVITIES.
9. DAMAGE TO ANY PROPERTY, PRIVATE OR OF PUBLIC TRUST, OCCURRING DURING THE CONSTRUCTION BY THE CONTRACTOR, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER AT THE EXPENSE OF THE CONTRACTOR.
10. ALL COMPONENTS SHALL BE INSTALLED PER EACH MANUFACTURER'S SPECIFICATIONS AND/OR STANDARD INDUSTRY PRACTICE AS APPLICABLE.
11. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS, LICENSES, CERTIFICATES OF INSPECTION, AND PAY ALL LEGAL FEES IN CONNECTION WITH THE WORK OF THIS CONTRACT. THE OWNER HAS OBTAINED NECESSARY REGULATORY PERMITS REQUIRED FOR THE WORK IN REGULATED AREAS. THE CONTRACTOR SHALL REQUEST COPIES OF THOSE REGULATORY PERMITS AND MAKE PROVISION IN THIS WORK AND IN THE COST OF THE WORK FOR ALL APPLICABLE CONDITIONS OF THOSE PERMITS. FAILURE TO CONSIDER ANY CONDITION OF THE REGULATORY PERMITS AS A PART OF THE BID SHALL NOT RELIEVE THE CONTRACTOR FROM HIS RESPONSIBILITY TO APPLY THOSE CONDITIONS TO HIS WORK AT NO ADDITIONAL COST TO THE OWNER.

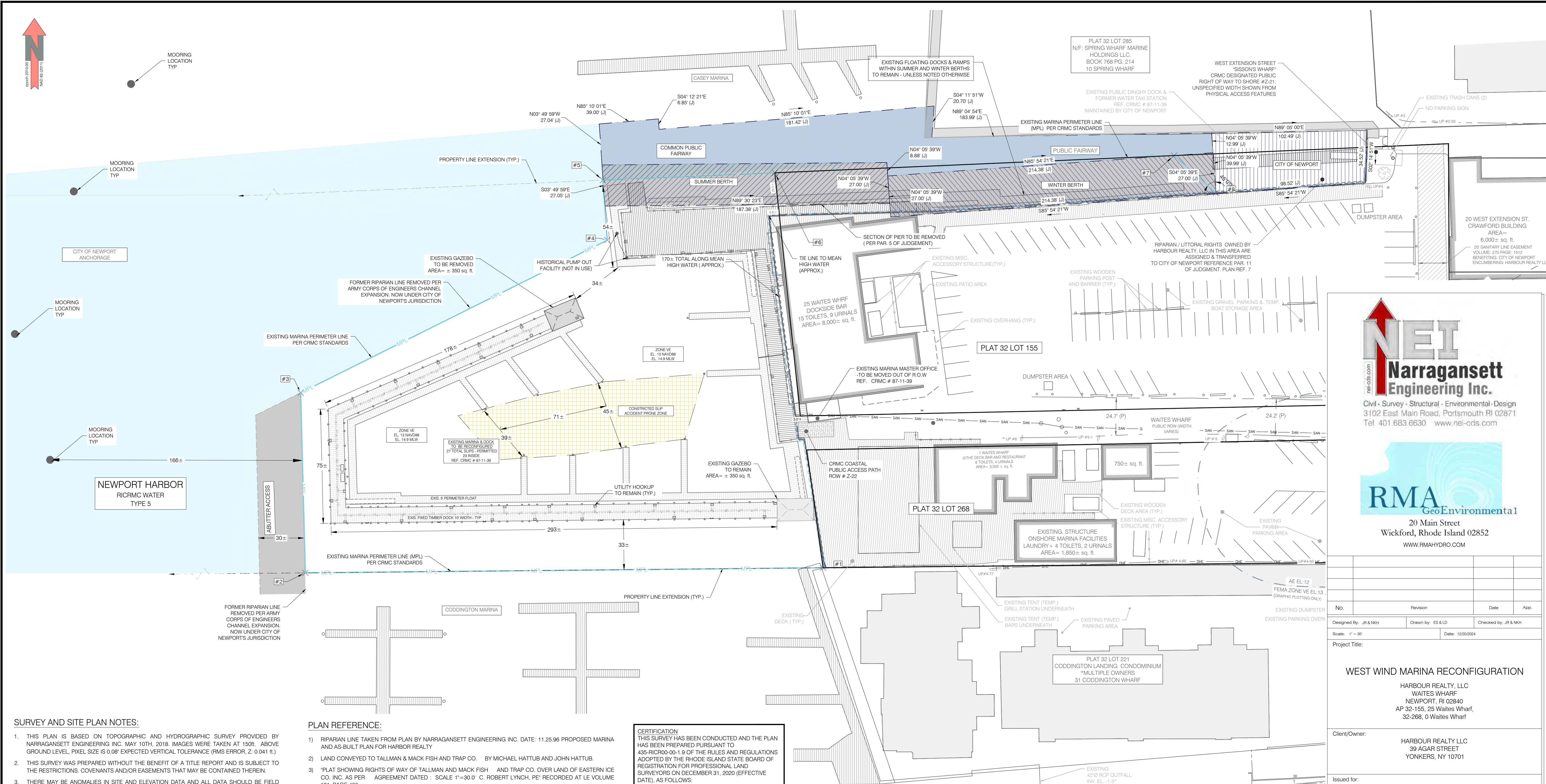
1. DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF RMA ENVIRONMENTAL, LLC & NARRAGANSETT ENGINEERING INC. DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR IN PART, FOR OTHER PROJECTS OR PURPOSES OR BY ANY OTHER PARTIES THAN THOSE AUTHORIZED BY CONTRACT. USE OF THIS PLAN FOR ANY OTHER WORK IS AT THE SOLE RISK OF THE END USER.
2. SEE SHEET EX-1 FOR SURVEY AND PLAN NOTES
3. SEE SHEET PR-1 FOR MARINA DESIGN CRITERIA

LEGEND

	PARCEL BOUNDARY LINE		COASTAL FEATURE
	PROPERTY LINE EXTENSION		UTILITY - WATERLINE
	ABUTTER PARCEL BOUNDARY LINE		ELECTRIC - UNDERGROUD
	TOPOGRAPHIC CONTOUR - EXISTING (EX)		UTILITY - SANITATION / SEWER
	TOPOGRAPHIC CONTOUR - EX Major		FORMER RIPARIAN LINE
	MARINA PERIMETER LINE (MPL)		FEMA FLOOD ZONE BOUNDARY
	SITE FEATURE - EXISTING		MEAN LOW WATER / MEAN HIGH WATER
	STRUCTURE - EXISTING		



No.		Revision		Date	App.
Designed By: JR & NH		Drawn by: ES & LD		Checked by: JR & NH	
Scale: n/a		Date: 12/20/2024			
Project Title:					
WEST WIND MARINA RECONFIGURATION					
HARBOUR REALTY, LLC WAITES WHARF NEWPORT, RI 02840 AP 32-155, 25 Waites Wharf, 32-268, 0 Waites Wharf					
Client/Owner:					
HARBOUR REALTY LLC 39 AGAR STREET YONKERS, NY 10701					
Issued for:					
CRMC PERMITTING					
Drawing Title:					
VICINITY MAPS & GENERAL NOTES					
		<div>Drawing Number:</div> <div>V-1</div> <div>Sheet 1 of 11</div> <div>Project Number:</div> <div>22255.00 / 880240</div>			



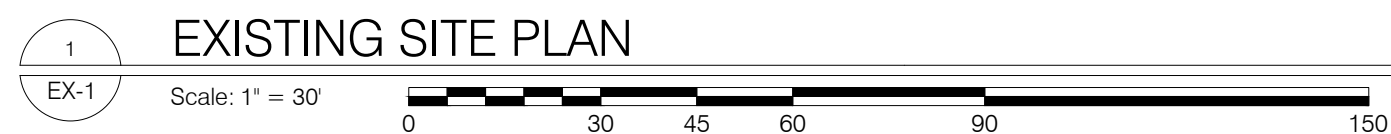
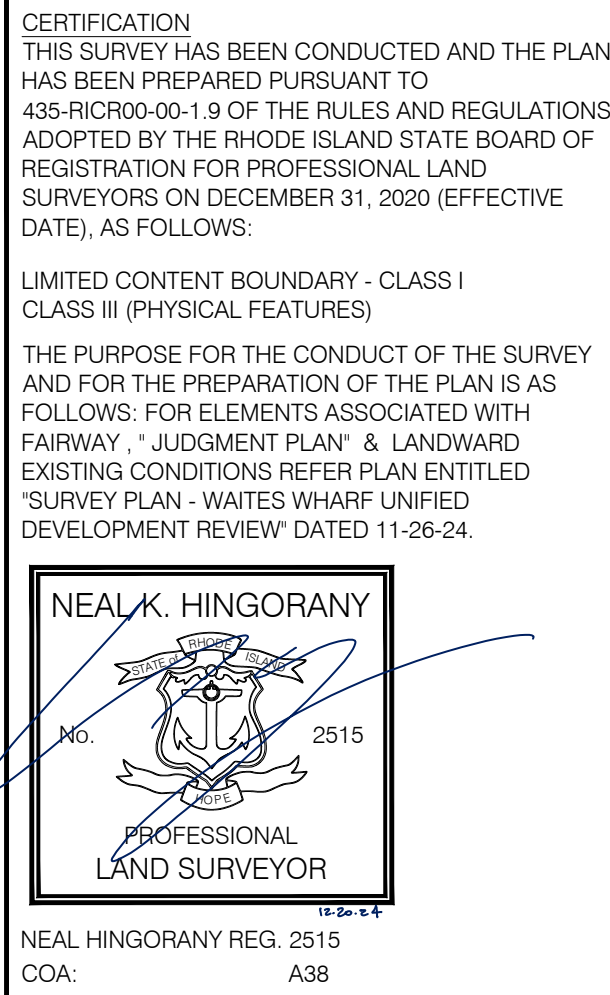
SURVEY AND SITE PLAN NOTES:

- THIS PLAN IS BASED ON TOPOGRAPHIC AND HYDROGRAPHIC SURVEY PROVIDED BY NARRAGANSETT ENGINEERING INC. MAY 10TH, 2018. IMAGES WERE TAKEN AT 150ft. ABOVE GROUND LEVEL. PIXEL SIZE IS 0.08" EXPECTED VERTICAL TOLERANCE (RMS ERROR, Z: 0.041 ft.)
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
- THERE MAY BE ANOMALIES IN SITE AND ELEVATION DATA AND ALL DATA SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- ORTHOGRAPHY PHOTO DEVELOPED BY DATA AND PICTURES COLLECTED BY THE UAV TO ACCURATELY INTERPOLATE AND DEPICT THE SITE
- ZONING INFORMATION SHOWN FROM RECORD INFORMATION, MAPS AND / OR GIS. ZONING DATA IS SHOWN FOR REFERENCE INFORMATION ONLY AND MUST BE CONFIRMED WITH ZONING OFFICIAL AND / OR LEGAL COUNSEL FOR USE IN DESIGN OR PERMITTING.
- HYDROGRAPHIC CONTOURS REFER TO MEAN LOW WATER (MLW) DATUM
- COORDINATE SYSTEM IS R1980 / MLWD.
- TOPOGRAPHY IS MIX OF ON GROUND SHOTS, BATHYMETRIC SOUNDINGS AND UAV DATA
- ALL PROPOSED ITEMS MUST BE LAID OUT BY REGISTERED SURVEYOR AS NOTED.
- PLAN IS NOT AS-BUILT UTILITY PLAN.
- ALL EXISTING CONDITIONS SHOWN SHALL BE CONSIDERED APPROXIMATE AND ARE BASED ON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK WHICH WOULD BE AFFECTED.
- LOCATION OF SUBSURFACE MAINS, UNDERGROUND SURFACE FEATURES, AND LATERALS ARE OMITTED. CONTRACTOR TO CALL DIG SAFE AND/OR APPLICABLE UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION. DIG SAFE TEL #1-800-344-7233 (1-800-DIG-SAFE).
- COASTAL FEATURE IS SHOWN AS EXISTING SHEET PILE BULKHEAD. RICRMC PERMIT 2022-06-041 PLANS, BY R. FAIRBANKS, COVERS A BULKHEAD REPLACEMENT FOR THE ENTIRE EXISTING BULKHEAD. THIS WORK HAS NOT YET BEEN PERFORMED.
- SITE MAINTAINS AN EXTENSIVE LIST OF PRIOR RICRMC PERMITS. REFER TO THE PROJECT NARRATIVE FOR FULL RICRMC FILE HISTORY.

PLAN REFERENCE:

- RIPIARIAN LINE TAKEN FROM PLAN BY NARRAGANSETT ENGINEERING INC. DATE: 11.25.96 PROPOSED MARINA AND AS-BUILT PLAN FOR HARBOR REALTY
- LAND CONVEYED TO TALLMAN & MACK FISH AND TRAP CO. BY MICHAEL HATTUB AND JOHN HATTUB.
- 'PLAT SHOWING RIGHTS OF WAY OF TALLMAN AND MACK FISH AND TRAP CO. OVER LAND OF EASTERN ICE CO. INC. AS PER AGREEMENT DATED : SCALE 1"=30.0' C. ROBERT LYNCH, PE' RECORDED AT LE VOLUME 181, PAGE 466
- WEST EXTENSION STREET: REFERENCE LE VOL. 7, PAGE 511 & PLAN BY WM. H. LAWTON, CIVIL ENGINEER, MARCH 1, 1906 NEWPORT, RI 1"=50'
- PLAN OF EASTERN ICE COMPANY PROPERTY, SCALE 1"=20' NEWPORT, R.I. ASSESSORS PLAT 32 LOTS 124 & 125 BY: RALPH T. DUFFY JANUARY 9, 1960
- REFERENCE FOR RIPIARIAN LINE: PLAN ENTITLED 'NEWPORT HARBOR, RHODE ISLAND U.S. HARBOR LINES' BY U.S. WAR DEPARTMENT WASHINGTON, D.C. APRIL 18, 1940 SCALE 1"=400'
- PLAN PREPARED BY NARRAGANSETT ENGINEERING INC. ENTITLED "SURVEY PLAN - WAITES WHARF UNIFIED DEVELOPMENT REVIEW" DATED 11-26-24.

M.P.L. NORTHING & EASTING TABLE			
Point #	Description	Northing	Easting
1	MPL EXISTING	144331.44	378261.85
2	MPL EXISTING	144328.08	377921.42
3	MPL EXISTING	144446.50	377918.36
4	MPL EXISTING	144546.84	378119.92
5	MPL EXISTING	144586.25	378117.02
6	MPL EXISTING	144591.13	378230.14
7	MPL EXISTING	144602.44	378492.54
8	MPL EXISTING	144577.89	378520.08



NEI
Narragansett
Engineering Inc.
Civil • Survey • Structural • Environmental • Design
3102 East Main Road, Portsmouth RI 02871
Tel. 401.683.6630 www.nei-cds.com

RMA
GeoEnvironmental
20 Main Street
Wickford, Rhode Island 02852
WWW.RMAHYDRO.COM

No.	Revision	Date	App.
Designed By:	JR & NHI	Drawn by:	ES & LD
Scale:	1" = 30'	Checked by:	JR & NHI
Date:	12/20/2024		
Project Title:	WEST WIND MARINA RECONFIGURATION		
Client/Owner:	HARBOR REALTY, LLC WAITES WHARF NEWPORT, RI 02840 AP 32-155, 25 Waites Wharf, 32-268, 0 Waites Wharf		
Issued for:	HARBOR REALTY LLC 39 AGAR STREET YONKERS, NY 10701		
Drawing Title:	EXISTING CONDITIONS SITE PLAN		
Drawing Number:	EX-1		
Sheet	2	of	11
Project Number:	22255.00 / 880240		

UTILITY NOTES:

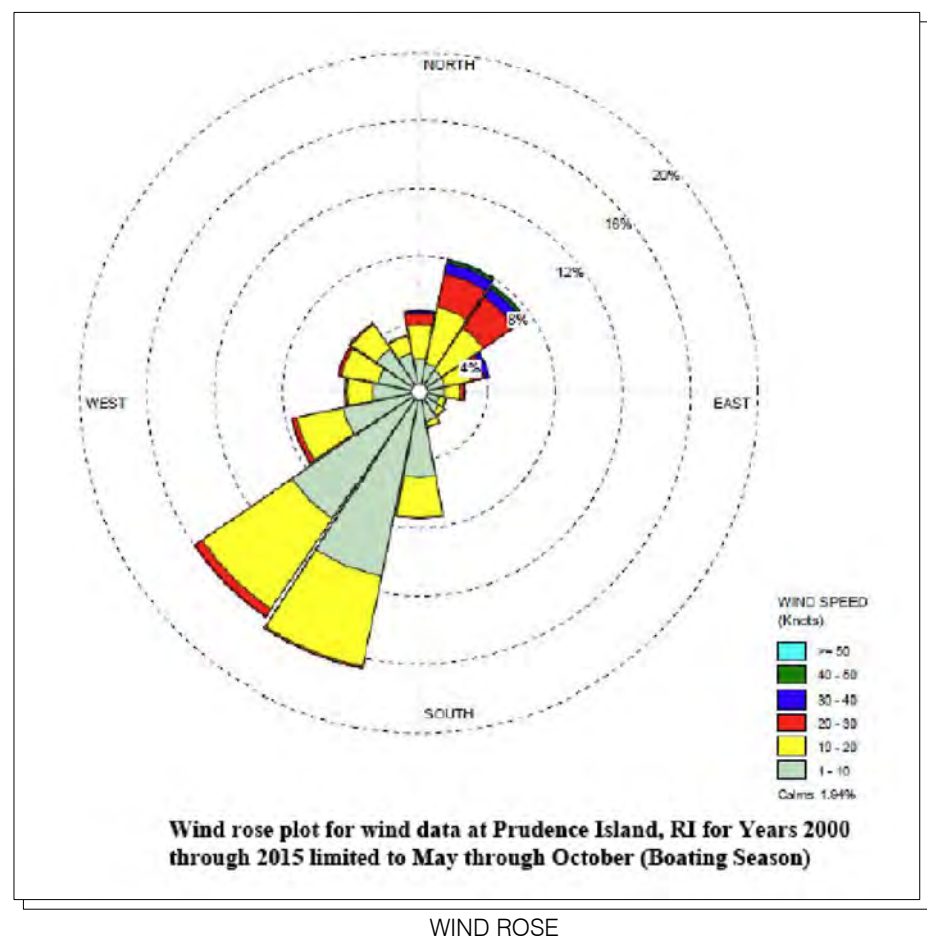
- DOCK UTILITIES ARE APPROXIMATE AND ASSUMED FOR CONVENIENCE. BEFORE COMMENCING WORK IN ANY AREA, ACCURATELY LOCATE DOCK UTILITIES.
- ALL NOTED UTILITIES TO BE REMOVED AND DISPOSED OF, RELOCATED OR CAPPED REPRESENT ALL KNOWN SITE CONDITIONS TO BE DEMOLISHED.
- CONTRACTOR TO COORDINATE ALL UNFORESEEN CONDITIONS WITH THE PROJECT ENGINEER, OWNER AND/OR RESPECTIVE UTILITY COMPANIES PRIOR TO PROCEEDING WITH WORK.
- THERE SHALL BE NO INTERRUPTION OF UTILITY SERVICE DURING THE CONSTRUCTION OPERATION WITHOUT APPROVAL OF THE OWNER
- ALL DOCK UTILITIES NEED FIELD VERIFICATION PRIOR TO CONSTRUCTION

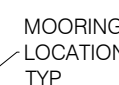
DEMOLITION NOTES:

- ALL DEMOLITION SHALL BE COORDINATED WITH THE OWNER PRIOR TO START OF WORK.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE CONDITIONS SHOWN HEREIN AND NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES IN DIMENSIONS AND/ OR SITE CONDITIONS PRIOR TO THE FABRICATION AND/OR ORDERING OF ANY CONSTRUCTION MATERIALS. THE CONTRACTOR SHALL NOT BEGIN CONSTRUCTION IN ANY SUCH AFFECTED AREA UNTIL THE DISCREPANCY HAS BEEN RESOLVED BY THE CONTRACTOR AND APPROVED BY THE ENGINEER.
- ALL PILES TO BE FULLY EXTRACTED OR CUT/REMOVED AT THE MUDLINE
- ALL NOTED UTILITIES TO BE REMOVED AND DISPOSED OF, RELOCATED OR CAPPED REPRESENT ALL KNOWN SITE CONDITIONS TO BE DEMOLISHED. CONTRACTOR TO COORDINATE ALL UNFORESEEN CONDITIONS WITH THE PROJECT ENGINEER, OWNER AND/OR RESPECTIVE UTILITY COMPANIES PRIOR TO PROCEEDING WITH WORK.
- THERE SHALL BE NO INTERRUPTION OF UTILITY SERVICE DURING THE CONSTRUCTION OPERATION WITHOUT APPROVAL OF THE OWNER.

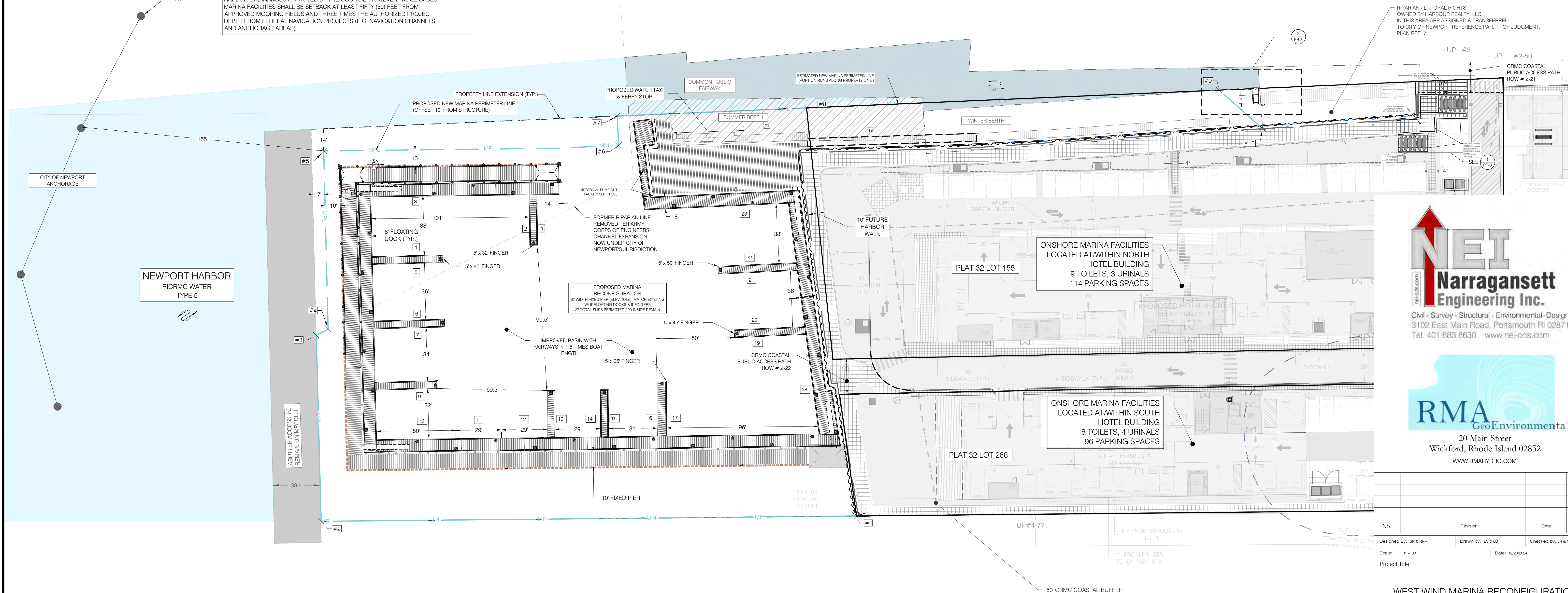
SURVEY AND SITE PLAN NOTES:

- FOR SITE PLAN INFORMATION, SEE SHEET EX-1





- RIPARIAN / LITTORAL RIGHTS
OWNED BY HARBOUR REALTY, LLC
IN THIS AREA ARE ASSIGNED & TRANSFERRED
TO CITY OF NEWPORT REFERENCE PAR. 11 OF JUDGMENT
PLAN REF. 7



1. LOADING

- | | | | |
|--|---|---------------|------------------------------------|
| 1.1. | OPERATIONAL (FULL OCCUPANCY) 10 YEAR RECURRENCE INTERVAL CONDITION | | |
| 1.1.1. | WIND: | 76 MPH | |
| 1.1.2. | WAVE: | Hs = 5.5 FEET | T = 4 SEC (NNW) FETCH: 3.3 MILES |
| 1.1.3. | CURRENT | 2 KNOTS | |
| 1.2. | EXTREME (NO OCCUPANCY) 100 YEAR RECURRENCE INTERVAL CONDITION | | |
| 1.2.1. | WIND: | 106 MPH | |
| 1.2.2. | WAVE: | Hs = 6 FEET | T = 4.5 SEC (NNW) FETCH: 3.3 MILES |
| 1.2.3. | CURRENT | 2 KNOTS | |
| 1.3. | STORM PREPAREDNESS | | |
| 1.3.1. | VESSELS MUST BE REMOVED FROM THE FACILITY FOR ANY SIGNIFICANT STORM FORECASTED WITH A MAGNITUDE GREATER THAN A 10 YEAR RECURRENCE | | |
| 2. ADDITIONAL DESIGN STANDARDS AND REFERENCES UTILIZED | | | |
| 2.1. | RICMCM "Reebcock" 650 RICR 20 00 1 | | |
| 2.2. | SBC-1 Rhode Island Building Code | | |
| 2.3. | ASCE 7 (MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES) | | |
| 2.4. | FEMA MANUAL 65 (COASTAL CONSTRUCTION MANUAL) | | |
| 2.5. | COASTAL ENGINEERING RESEARCH CENTER (1984). SHORE PROTECTION MANUAL. U.S. ARMY CORPS OF ENGINEERS | | |


M.P.L NORTHING & EASTING TABLE			
Point #	Description	Northing	Easting
1	MPL PROPOSED	144331.17	378262.03
2	MPL PROPOSED	144328.08	377921.42
3	MPL PROPOSED	144446.50	377918.36
4	MPL PROPOSED	144450.25	377925.89
5	MPL PROPOSED	144563.73	377923.11
6	MPL PROPOSED	144567.34	378110.62
7	MPL PROPOSED	144586.03	378109.73
8	MPL PROPOSED	144591.13	378230.14
9	MPL PROPOSED	144602.44	378492.54
10	MPL PROPOSED	144577.90	378520.07

1. FOR SITE PLAN INFORMATION, SEE SHEET EX-1




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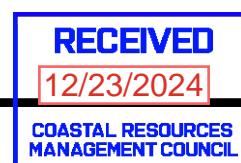
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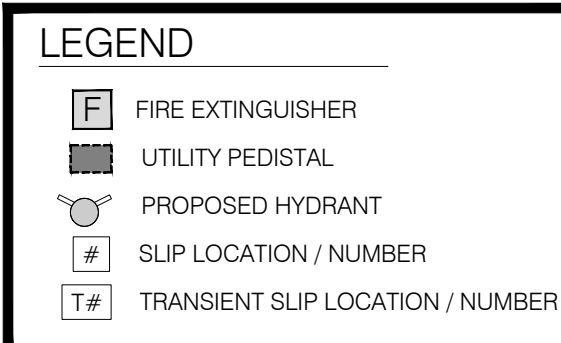
No.		Revision		Date	App.
Designed By: JR & NKH		Drawn by: ES & LD		Checked by: JR & NKH	
Scale: 1" = 30'		Date: 12/20/2024			
Project Title:					
WEST WIND MARINA RECONFIGURATION					
HARBOUR REALTY, LLC WAITES WHARF NEWPORT, RI 02840 AP 32-155, 25 Waites Wharf, 32-268, 0 Waites Wharf					
Client/Owner:					
HARBOUR REALTY LLC 39 AGAR STREET YONKERS, NY 10701					
Issued for:					
CRMC PERMITTING					
Drawing Title:					
PROPOSED CONDITIONS SITE PLAN					
			Drawing Number:		
			PR-1		
			Sheet 4 of 11		
			Project Number: 22255.00 / 880240		

PROPOSED CONDITIONS SITE PLAN



N:\PROJECTS\880240 ABRUZZI\MARINA EXPANSION 2022\CAD\PROPOSED CONDITIONS.V.2 10.22.2024\PROPOSED CONDITIONS.V.2.DWG PR-1 RMAV.4 ctb 12/19/2024 Liam Donovan





FIRE CODE CONSULTANT : RAY GOMES




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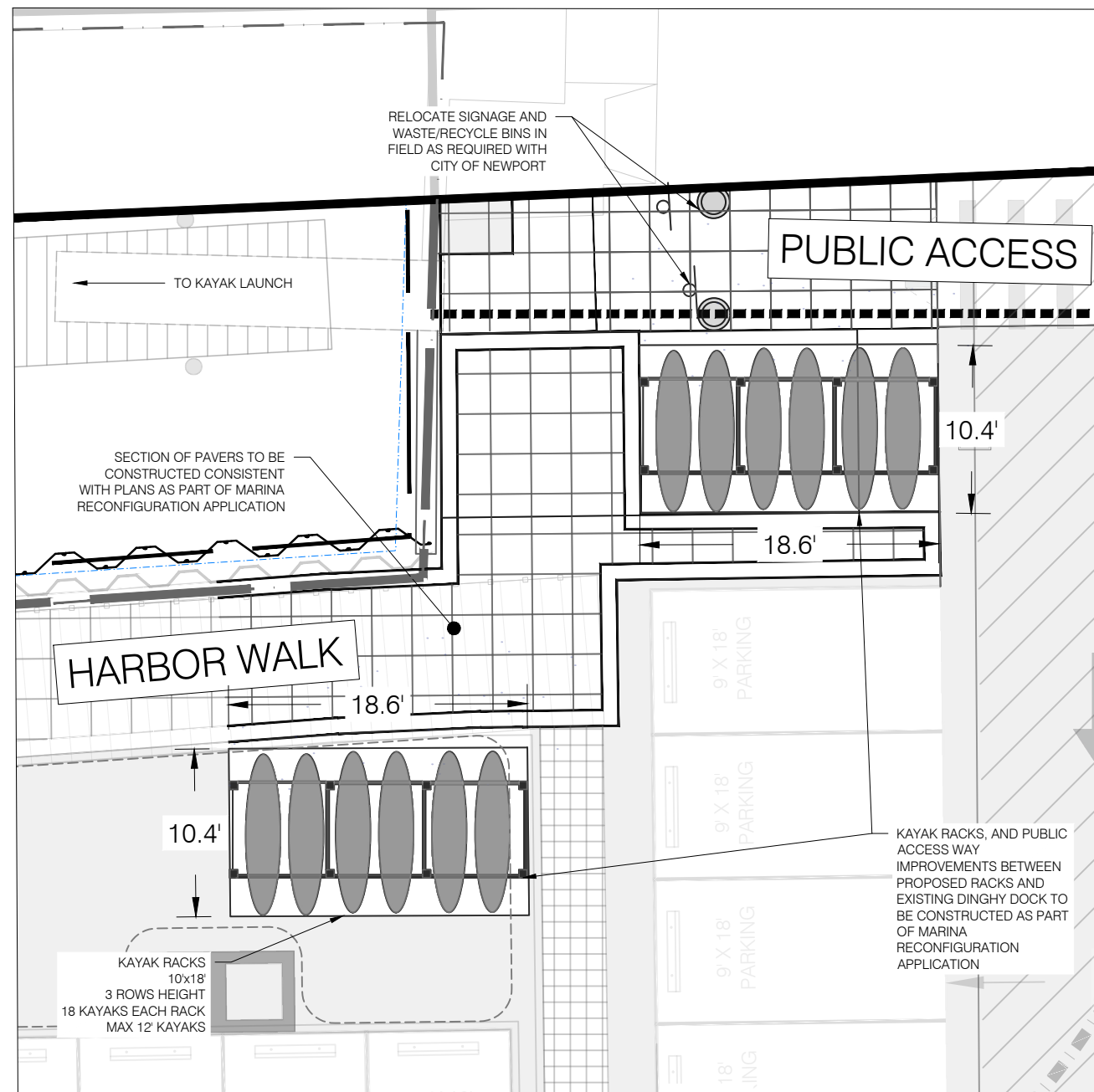
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No.	Revision	Date	App.
Designed By: JR & NKH		Checked by: JR & NKH	
Scale: 1" = 20'		Date: 12/20/2024	
Project Title:			
WEST WIND MARINA RECONFIGURATION			
HARBOUR REALTY, LLC WAITES WHARF NEWPORT, RI 02840 AP 32-155, 25 Waites Wharf, 32-268, 0 Waites Wharf			
Client/Owner:			
HARBOUR REALTY LLC 39 AGAR STREET YONKERS, NY 10701			
Issued for:			
CRMC PERMITTING			
Drawing Title:			
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		Drawing Number:	
		PR-2	
		Sheet 5 of 11	
		Project Number:	
		22255.00 / 880240	

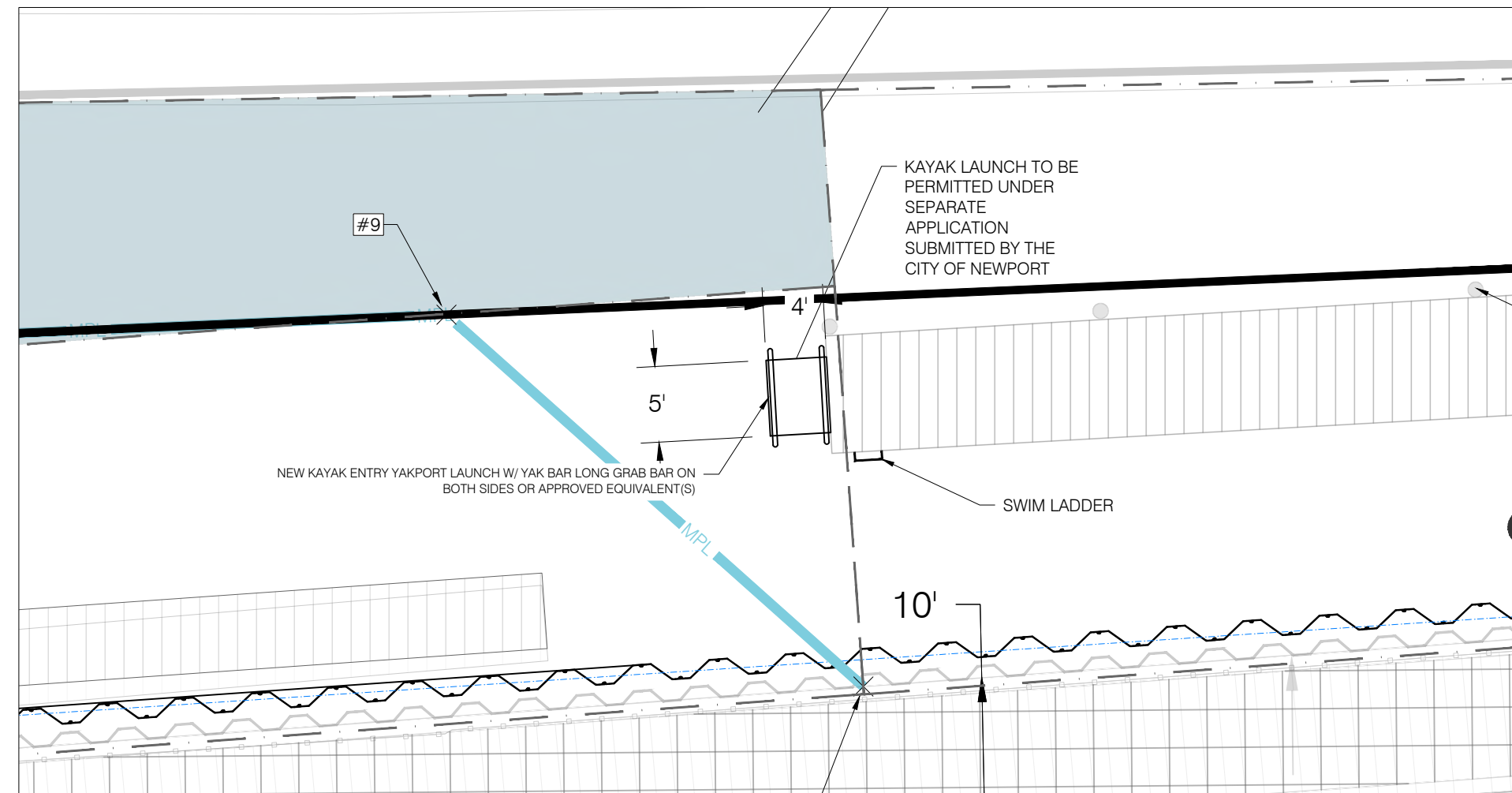


1 KAYAK RACK STORAGE AREA
PR-3 SCALE: 1" = 10'

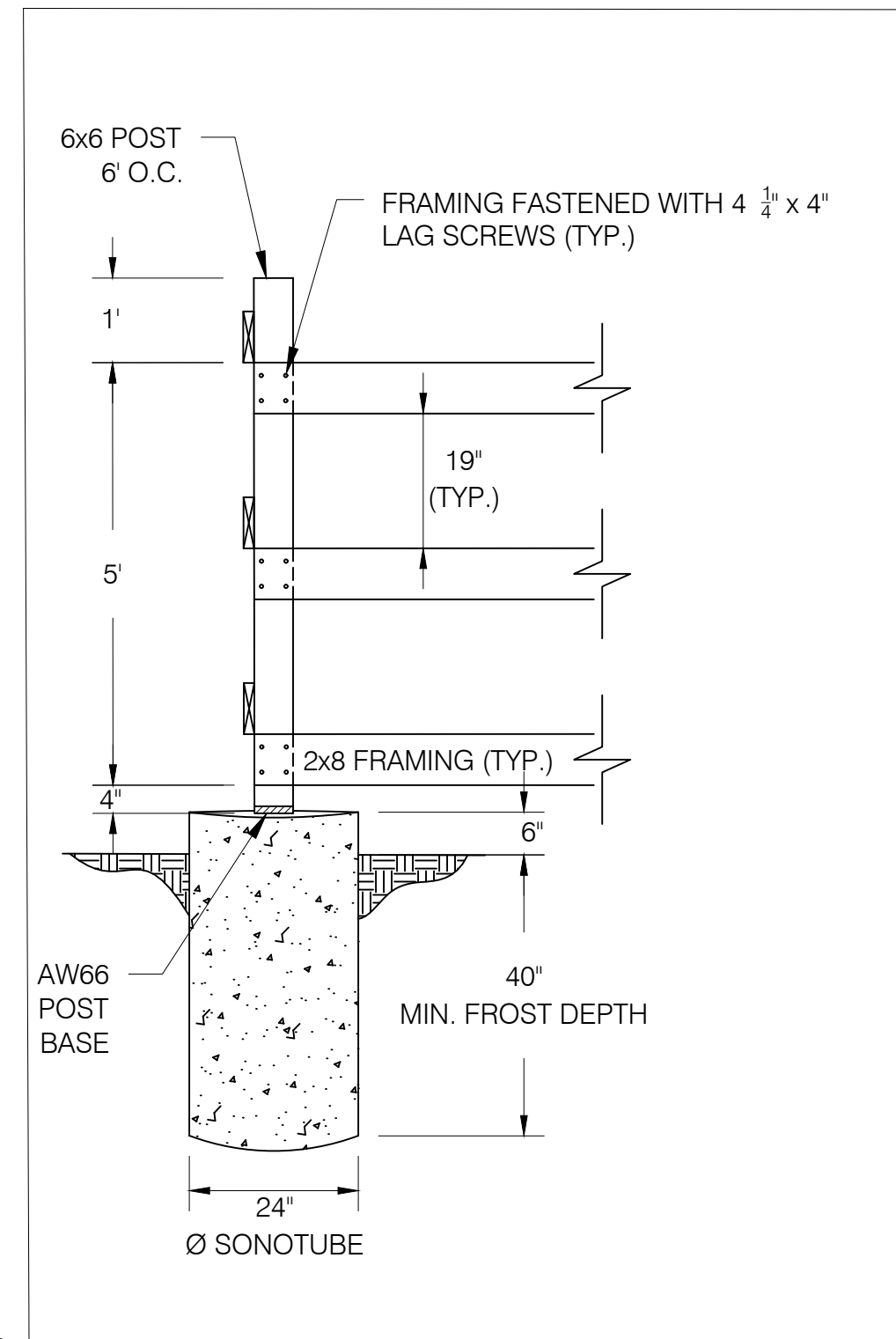
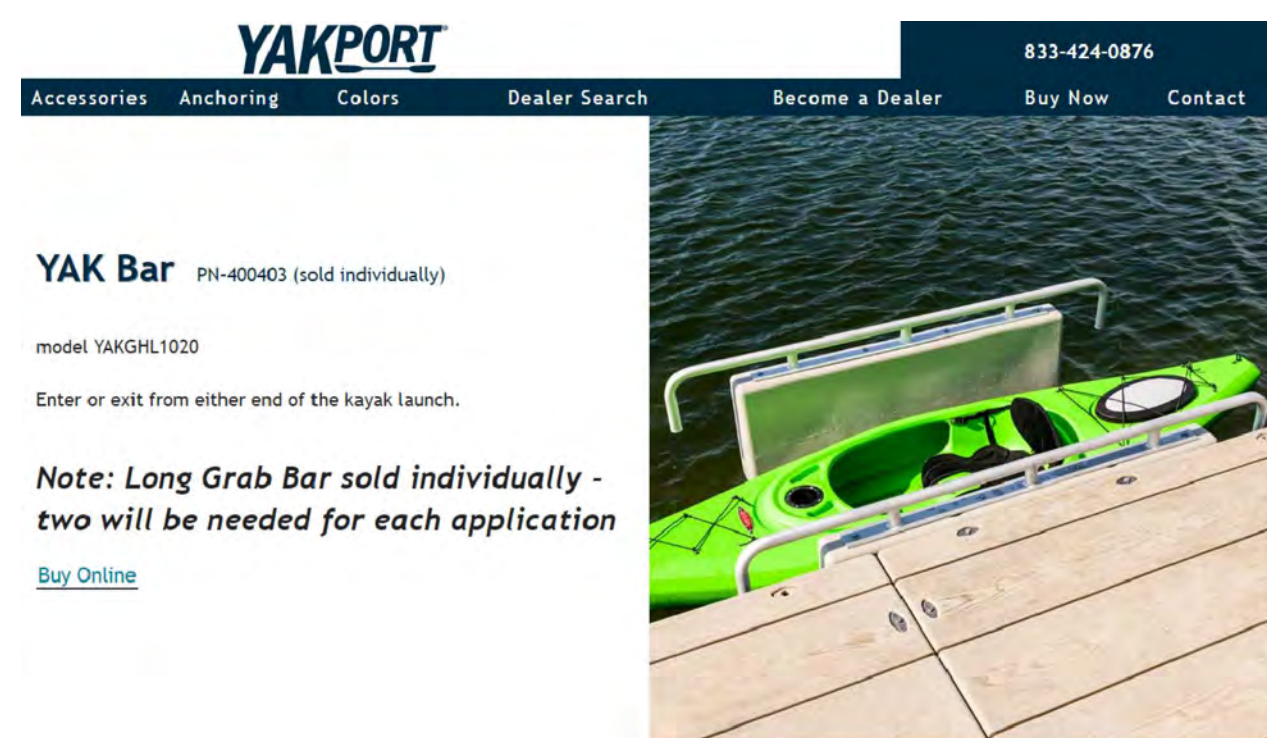
NOTES:

- PER DISCUSSION WITH THE CITY OF NEWPORT HARBOR COMMISSION DATED 11, JULY 2024 AND 8, AUGUST 2024 THE FOLLOWING ELEMENTS ARE TO BE PROVIDED TO THE CITY OF NEWPORT:
 - HARBOR REALTY LLC SHALL PROVIDE TWO (2) KAYAK RACKS APPROX. 10x18" IN SIZE FOR THE USE OF KAYAK STORAGE TO THE CITY, FOR THE CITY'S USE IN PERPETUITY.
 - HARBOR REALTY LLC SHALL PROVIDE A KAYAK ENTRY LUNCH (YAKPORT RACK WITH 2x LONG GRAB BARS, OR APPROVED EQUIVA), AT THE WESTERLY TERMINUS OF THE EXISTING DINGHY DOCK.
 - HARBOR REALTY LLC SHALL PROVIDE A NEW SWIM LADDER AS SHOWN, AT THE SOUTHERLY END OF THE DINGHY DOCK.

AS PORTIONS OF THESE ELEMENTS ARE LOCATED ON CITY OF NEWPORT PROPERTY, A SEPARATE ASSENT SHALL BE FILED BY HARBOR REALTY'S CONSULTANTS FOR THE CITY OF NEWPORT. HARBOR REALTY LLC SHALL BEAR THE EXPENSE OF MATERIALS AND LABOR FOR THESE AFOREMENTIONED ELEMENTS.



2 PUBLIC KAYAK LAUNCH
PR-3 SCALE: 1" = 10'



3 PUBLIC KAYAK RACK DETAIL
PR-3 SCALE: 1" = 10'

NOTES:

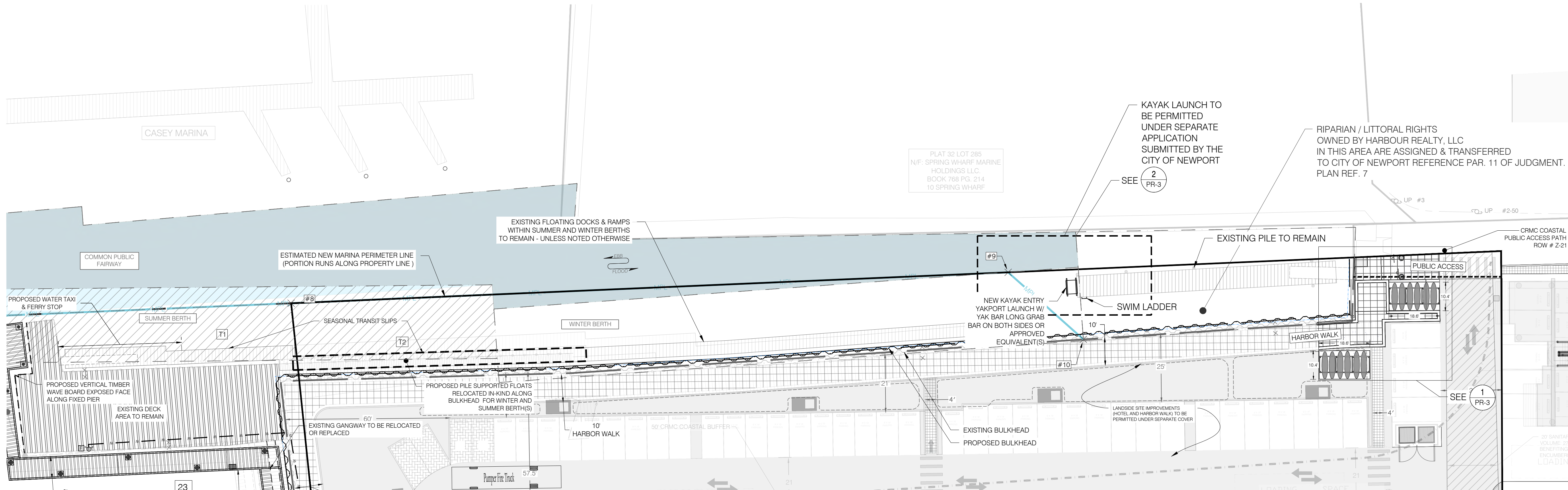
- ALL LUMBER SHALL BE SPF NO.2 + PRESSURE TREATED OR SUPERIOR
- ALL FASTENERS SHALL BE DOUBLE DIP GALVANIZED OR STAINLESS
- 2x8 FRAMING WITH 6x6 PT POSTS AND 24" DIA SONOTUBES
- COORDINATE RACK HEIGHTS, SIGNAGE, NUMBERING, AND LIKE ELEMENTS WITH HARBORMASTER PRIOR TO CONSTRUCTION

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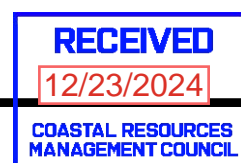
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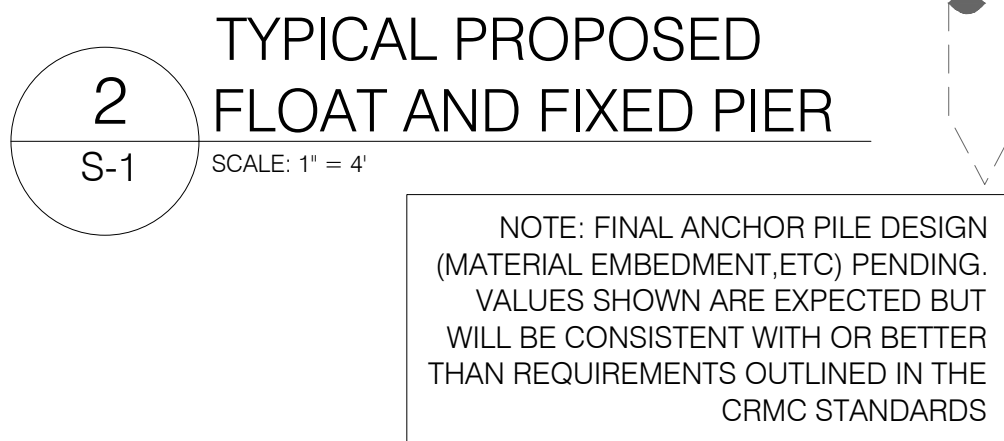


4 SITE - DETAIL VIEW
PR-3 SCALE: 1" = 20'

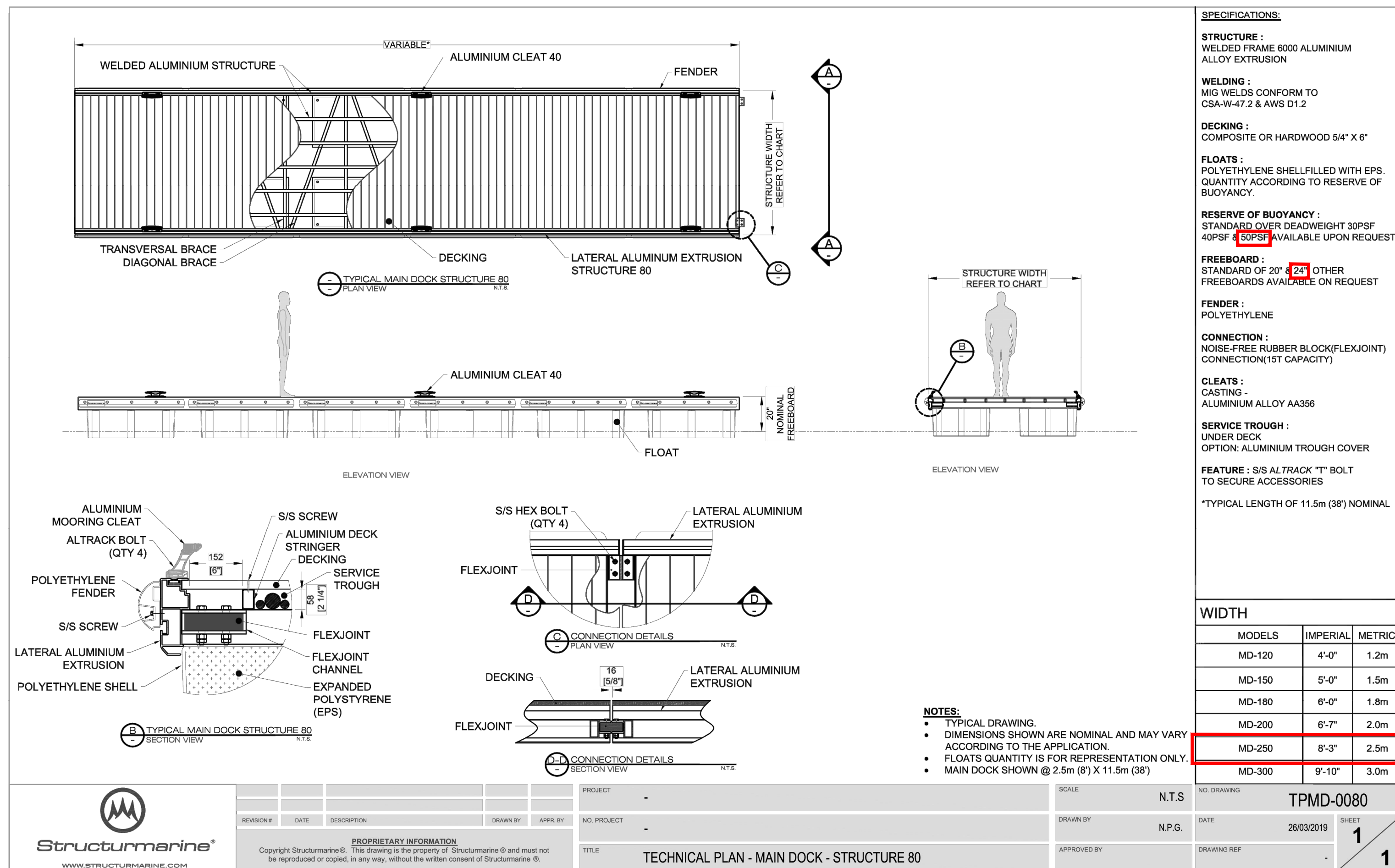
SURVEY AND SITE PLAN NOTES:
1. FOR SITE PLAN INFORMATION, SEE SHEET EX-1



Drawing Number: PR-3
Sheet 6 of 11
Project Number: 22255.00 / 880240

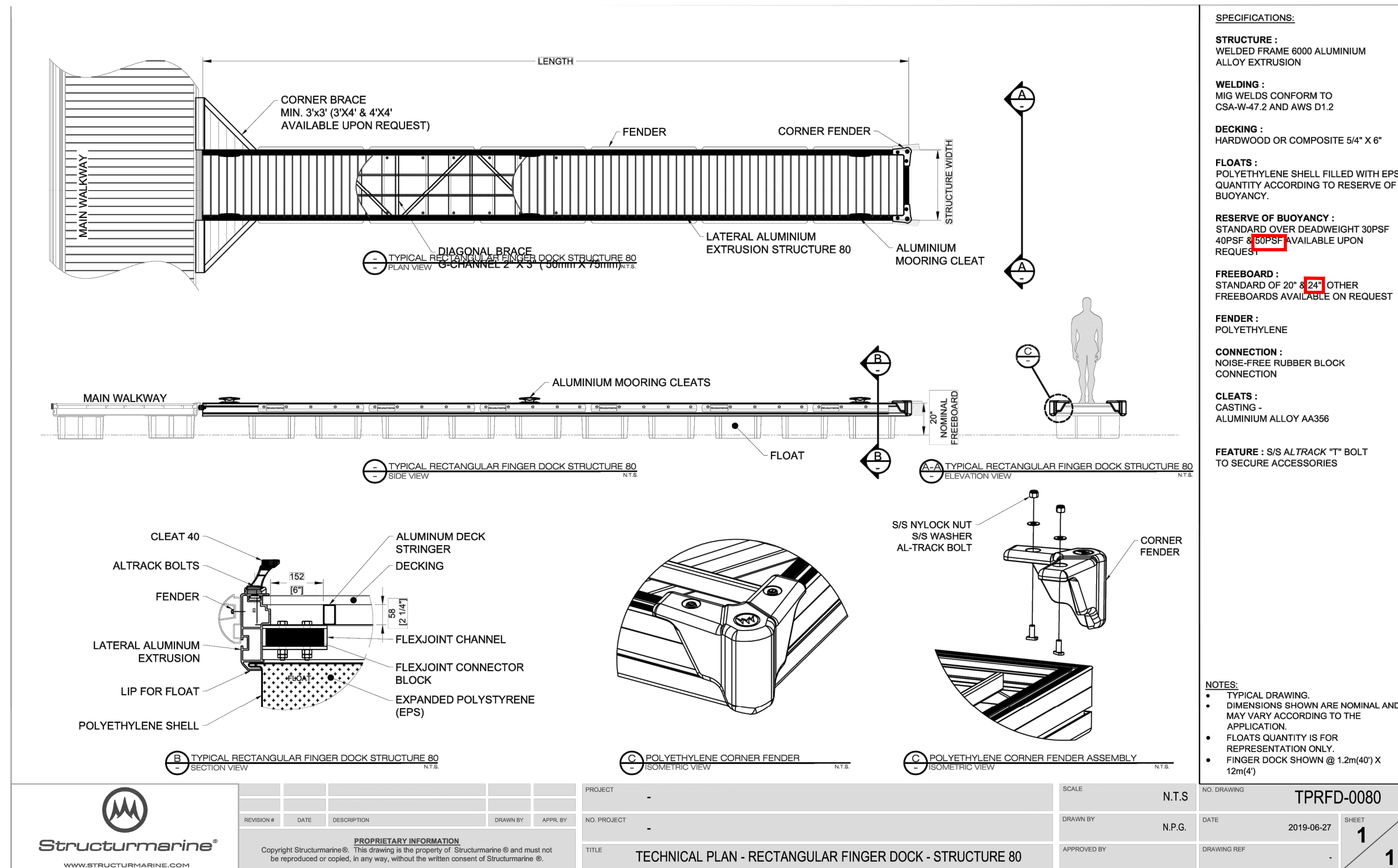


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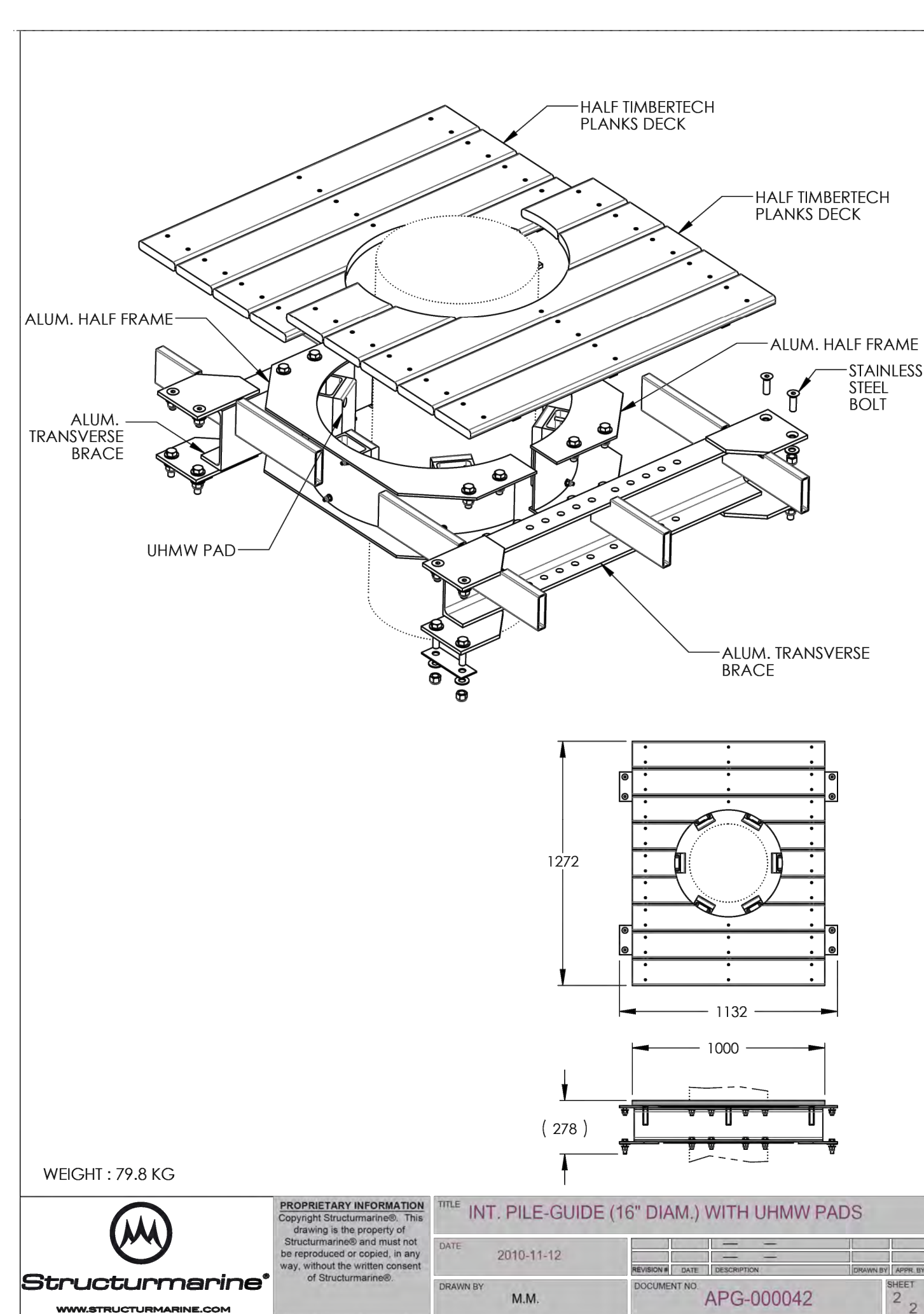
1 MANUFACTURED PERIMETER (MAIN) FLOAT DETAIL

N-1 SCALE: AS NOTED



2 MANUFACTURED FINGER FLOAT DETAILS

N-1 SCALE: AS NOTED



4 INTERNAL PILE GUIDE DETAIL

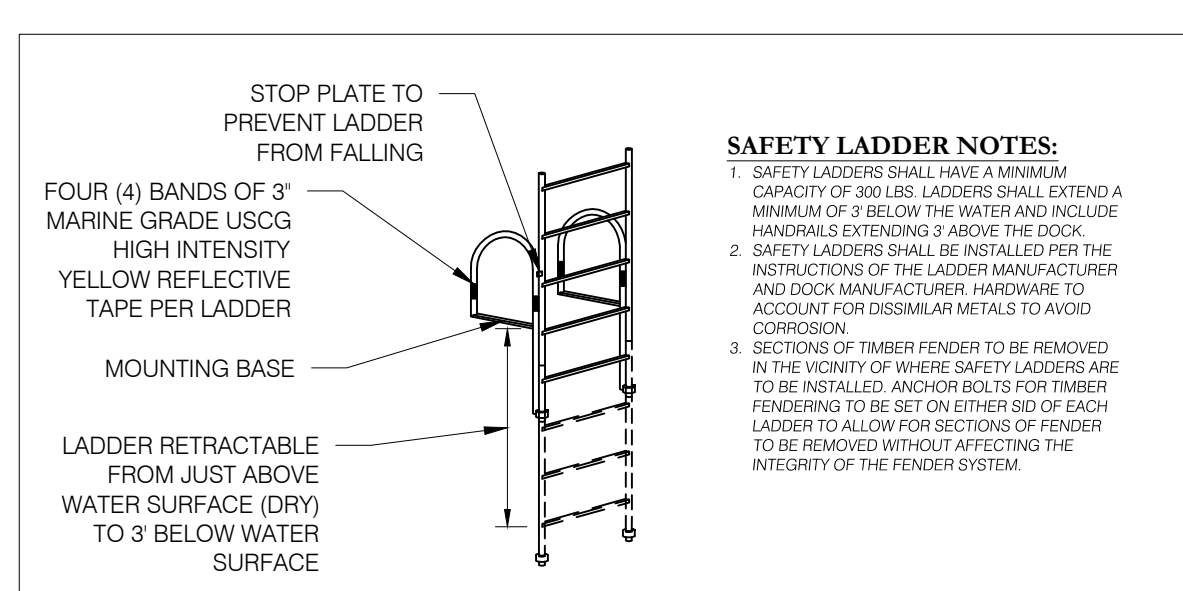
N-1 SCALE: 1" = 2'

ALUMINIUM FLOAT CONSTRUCTION:

- THE FLOAT MANUFACTURER SHALL SUPPLY ALUMINIUM FLOATS AS SPECIFIED HEREIN ALONG WITH THEIR ASSOCIATED APPURTENANCES (INCLUDING PILE GUIDES, PILE GUIDE COVERS, FENDERING, BOLLARDS/CLEATS (5-TON) WITH HARDWARE AND ALUMINIUM TRANSITION BRIDGE).
- THE FLOAT MANUFACTURER SHALL DELIVER FLOATS AND ASSOCIATED APPURTENANCES TO THE SITE OR OTHER LOCATION, AS DIRECTED BY THE CONTRACTOR. MANUFACTURER SHALL COORDINATE DELIVERIES WITH THE CONTRACTOR AND ENGINEER.
- THE FLOATING DOCK SYSTEM SHALL BE DESIGNED FOR A MINIMUM 30-YEAR LIFE EXPECTANCY IN THE MARINE ENVIRONMENT. FINAL DESIGN CALCULATIONS SHALL FURNISH PROOF THAT THE FLOATING DOCK SYSTEM IS DESIGNED TO WITHSTAND THE LOADING, SINGULARLY OR IN COMBINATIONS GIVEN HEREINAFTER, WITHOUT DAMAGE THROUGHOUT THE DESIGN LIFE OF THE SYSTEM. THE FLOAT MANUFACTURER SHALL SUBMIT WITH HIS BID/QUOTE THE PROPOSED DOCK SYSTEM DESCRIPTION, SPECIFICATIONS, TYPICAL SECTIONS/DETAILS (INCLUDING FLOATATION, FRAMING, DECKING, AND CONNECTIONS), CATALOG CUT SHEETS FOR ANY COMMERCIALLY AVAILABLE COMPONENTS (INCLUDING CLEATS, FENDERING, PILE GUIDES, ETC.) AND ANY NOTABLE EXCEPTIONS OR CHANGES FROM THESE DRAWINGS. SYSTEM SHOWN ON THIS SHEET IS AN EXAMPLE.
- FLOAT SHALL BE MANUFACTURED TO MANAGE A WAVE CLIMATE THAT INCLUDES THE FOLLOWING (DETERMINED BY OTHERS):
 - WAVE HEIGHT: 8 FEET
 - WAVE PERIOD: 4.5 SEC
 - WAVE LENGTH: 45 FEET
- THE DOCK MANUFACTURER SHALL PROVIDE CALCULATIONS TO SUBSTANTIATE THEIR PROPOSED FLOAT STRUCTURE CAN MANAGE THE SPECIFIED BUOYANCY REQUIREMENTS AND WAVE CRITERIA. CALCULATIONS SHOULD BE SIGNED AND SEALED BY A LICENSED PROFESSIONAL ENGINEER.
- ALL MATERIALS USED IN THE FABRICATION OF THE PONTOONS SHALL BE MADE FROM NEW MATERIAL SPECIFICALLY MANUFACTURED FOR THE INTENDED USE. NO REGRIND OF FOAM MATERIALS SHALL BE ALLOWED AND THE SUPPLIER OF THE MATERIAL SHALL CERTIFY THAT NO REGRIND MATERIAL IS USED IN THE FOAM FOR THIS PROJECT.
- ALL HARDWARE SHALL BE COUNTERSUNK ALONG DOCKING SURFACES.
- MANUFACTURER TO PROVIDE SHOP DRAWINGS TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
- WARRANTY - THE MANUFACTURER SHALL PROVIDE A MINIMUM 5 YEAR MEANINGFUL WRITTEN WARRANTY FOR THE INSTALLED FLOATING DOCK PRODUCT. A DETAILED OPERATIONS AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE ENGINEER AT THE TIME OF ACCEPTANCE.

ALUMINIUM FLOAT BUOYANCY REQUIREMENTS:

- DEAD LOAD SHALL CONSIST OF THE ENTIRE WEIGHT OF THE FLOATING STRUCTURE INCLUDING PROJECTED MARINE GROWTH, UTILITIES, AND ALL OTHER ACCESSORIES AND SUPPORT APPURTENANCES. SPECIAL FLOATS MUST BE DESIGNED TO SUPPORT THE ADDITIONAL CONCENTRATED LOADS IMPOSED BY GANGWAYS, TRANSFORMERS, ON-DOCK STRUCTURES, AND OTHER EQUIPMENT/UTILITIES. FLOATS WITH SPECIAL LOADING SHALL HAVE THE SAME FREEBOARD AS FLOATS WITH NO SUCH LOADING, SO THAT THERE WILL BE NO RESIDUAL STRESSES WHEN SUCH FLOATS ARE INTERCONNECTED.
- VERTICAL LIVE LOADS SHALL BE NO LESS THAN A UNIFORM VERTICAL LIVE LOAD OF 50 POUNDS PER SQUARE FOOT, BOTH FOR FLOATATION AND ON DOCK FRAME AND PIER STRUCTURES.
- THE FLOATATION SHALL BE SIZED AND LOCATED TO MAINTAIN THE FREEBOARD DIMENSIONS SHOWN (+/- 1 INCH).
- DEAD LOAD PLUS A CONCENTRATED LIVE LOAD OF 500 POUNDS APPLIED VERTICALLY AT ANY LOCATION ON THE MAIN DOCK SURFACE SHALL NOT TILT THE DOCK MORE THAN SIX DEGREES FROM HORIZONTAL OR OVERSTRESS THE FRAMING MEMBERS.
- MAXIMUM DEAD LOAD DEFLECTION FOR MAIN WALK DOCKS (APPLIES TO LENGTH AND WIDTH); ONE INCH IN 10 FEET AT ACCEPTANCE; 1.5 INCHES IN 10 FEET AT THE END OF WARRANTY PERIOD.
- DEAD LOAD FREEBOARD SHALL BE MAINTAINED WITHIN ONE INCH OF THAT IDENTIFIED IN THESE SPECIFICATIONS FOR A PERIOD OF FIVE YEARS FOLLOWING INSTALLATION.
- DOCK MANUFACTURER SHALL PROVIDE BUOYANCY AND LIVE LOAD (INCLUDING POINT LOAD AND DISTRIBUTED) CALCULATIONS TO FOR APPROVAL PRIOR TO FABRICATION



5 SAFETY LADDER DETAIL

N-1 SCALE: AS NOTED

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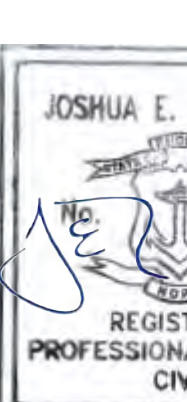

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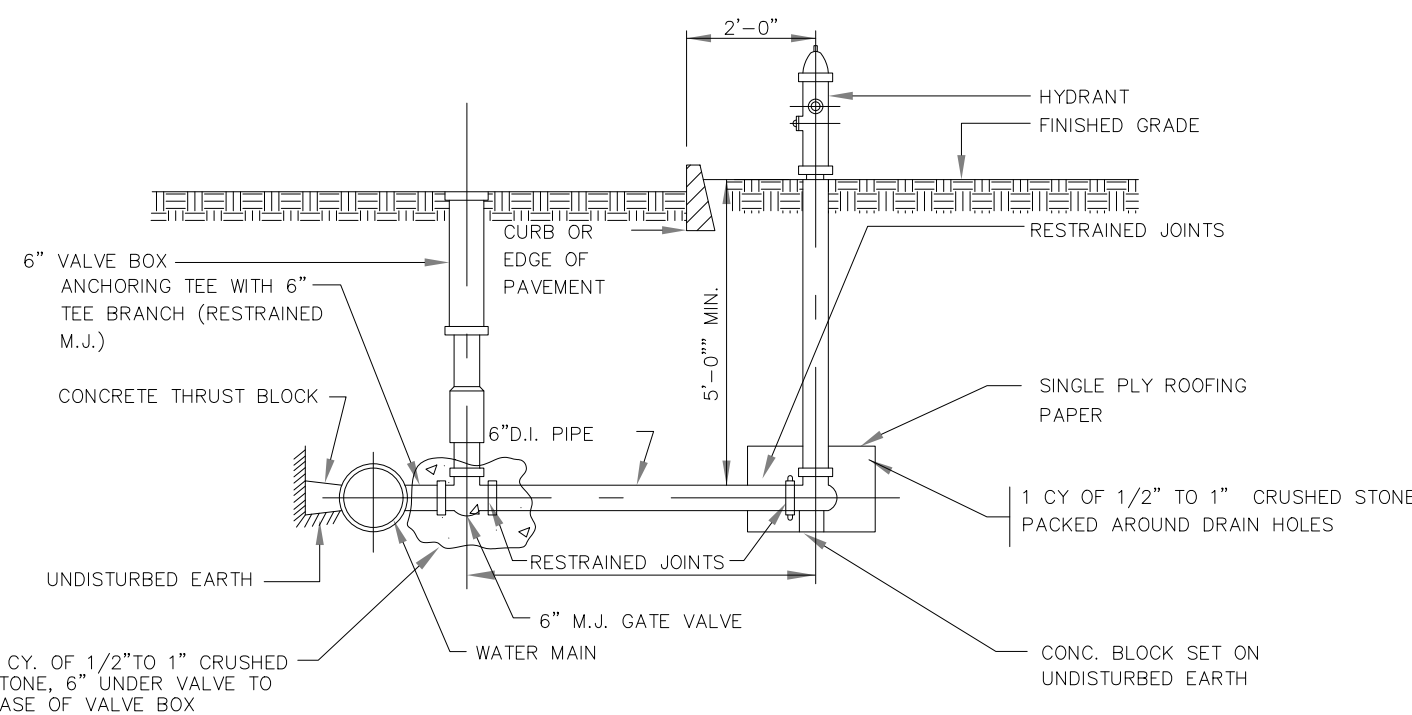


TRANSITION RAMP NOTES:

5. SEE SECTION A: FIXED PIER SECTION AND DETAIL, SHEET 7 OF 10 FOR FRAMING INFORMATION

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<table border="1"><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td>No.</td><td>Revision</td><td>Date</td><td>App.</td></tr></table>																				No.	Revision	Date	App.
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		Drawing Number:																					
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		Sheet 9 of 11																					
		Project Number: 22255.00 / 880240																					

NOTE: KENT COUNTY WATER AUTHORITY (KCWA) DETAILS HAVE BEEN SUPPLIED WHERE CITY OF NEWPORT DETAILS ARE NOT AVAILABLE. KCWA DETAILS ARE ROBUST AND FREQUENTLY USED FOR AJH'S WITHOUT A STANDARD DETAIL SET. CITY OF NEWPORT UTILITIES DEPARTMENT IS THE AHJ FOR THIS PROJECT, AND IN THE CASE OF ANY CONFLICTS CITY OF NEWPORT UTILITIES DEPARTMENT REQUIREMENTS SUPERSEDE ANY OTHER REFERENCED INFORMATION.

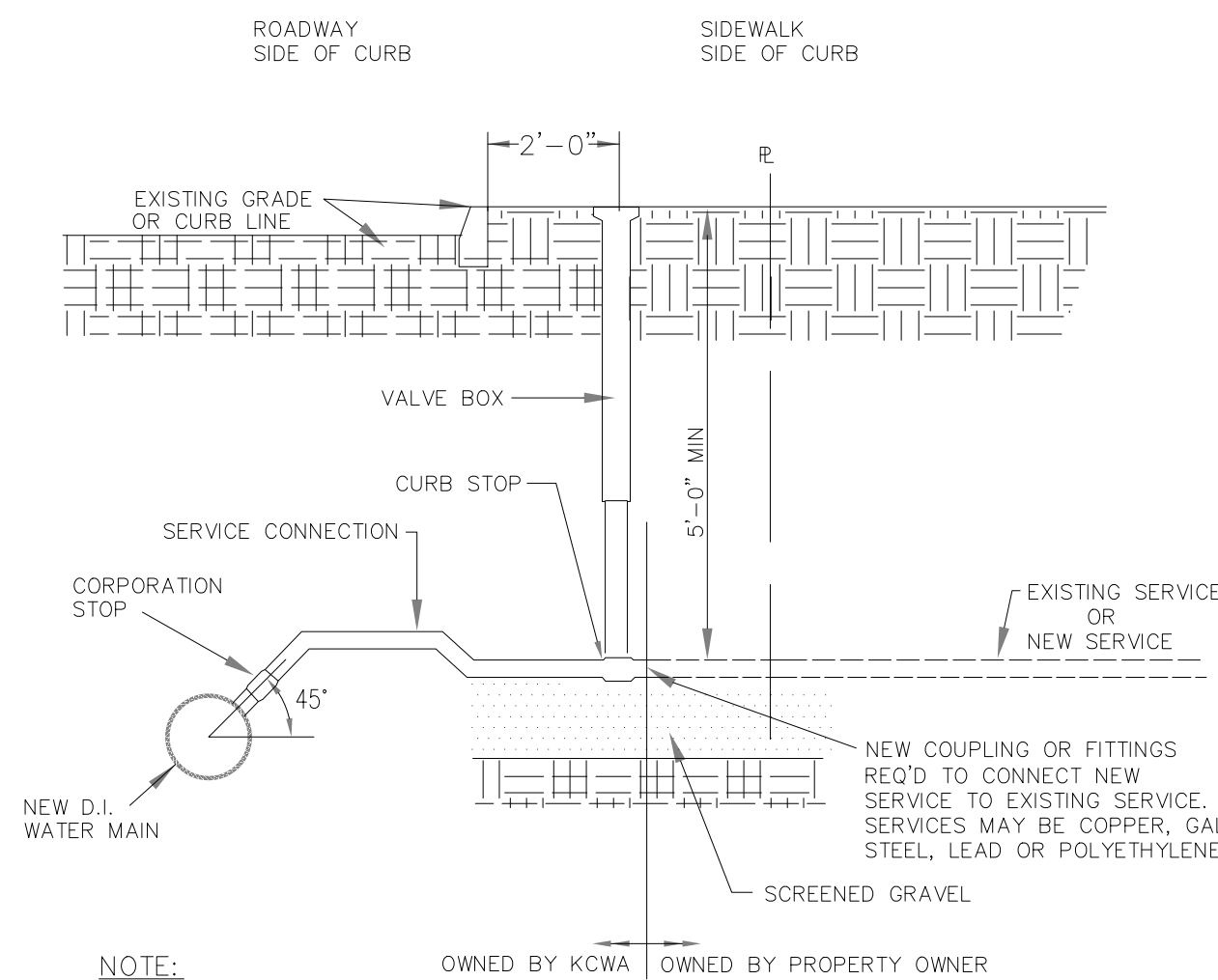


- 1.) KCWA COLOR SCHEME FOR HYDRANT.
- 2.) INSTALLATION SHALL NOT OBSTRUCT SIDEWALK TO PEDESTRIAN OR PHYSICALLY IMPAIRED.
- 3.) REMOVAL OF EXISTING HYDRANT MAY REQUIRE ADDITIONAL RESTRAINT DESIGNED BY A PROFESSIONAL ENGINEER.

- NOTE:
MECHANICAL JOINT PIPE W/
RESTRAINED JOINTS FOR
BRANCHES OVER ONE LENGTH
OF PIPE

HYDRANT
NOT TO SCALE

DATE: 09/2006

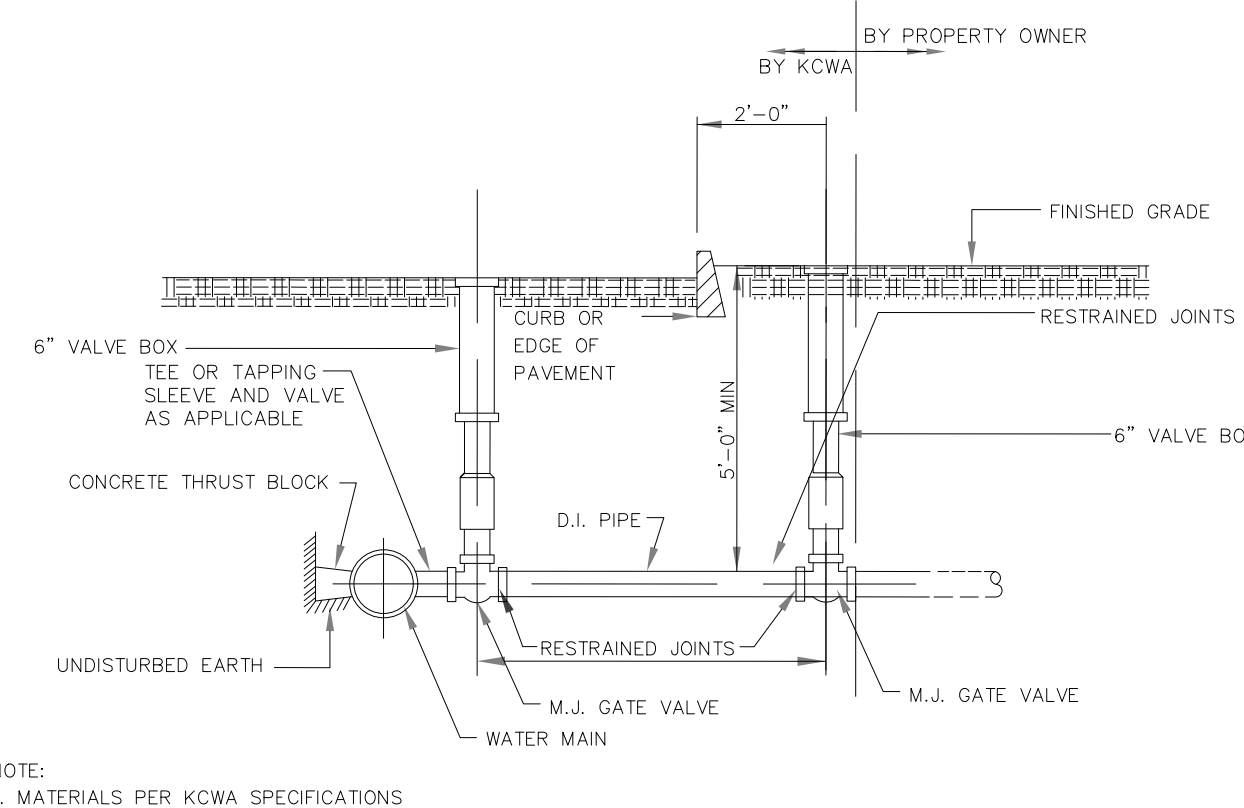


- 1.) SERVICE MATERIALS PER KCWA SPECIFICATION UNLESS CITY OR TOWN CODES REQUIRE SPECIFIC MATERIALS THAT HAVE BEEN APPROVED BY KCWA.
- 2.) SERVICE LINE FROM CURB BOX TO BUILDING SHALL BE INSPECTED, TESTED AND APPROVED BY THE LOCAL PLUMBING INSPECTOR.

SERVICE CONNECTION

NOT TO SCALE

DATE: 09/2006



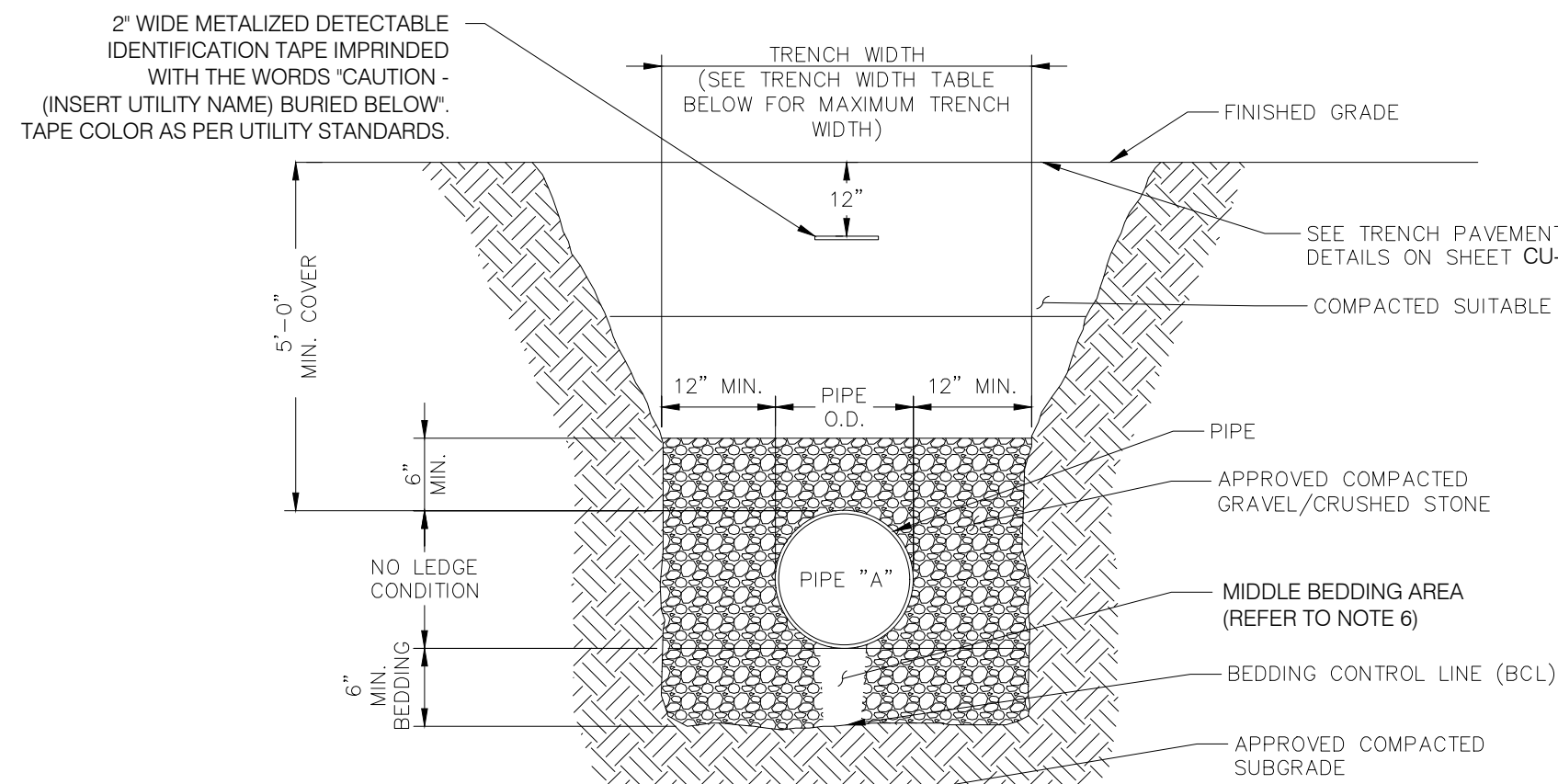
NOTE:
1. MATERIALS PER KCWA SPECIFICATIONS

KENT COUNTY WATER AUTHORITY
SERVICE CONNECTION
GREATER THAN 4 INCHES
NOT TO SCALE

DATE: 09/2006

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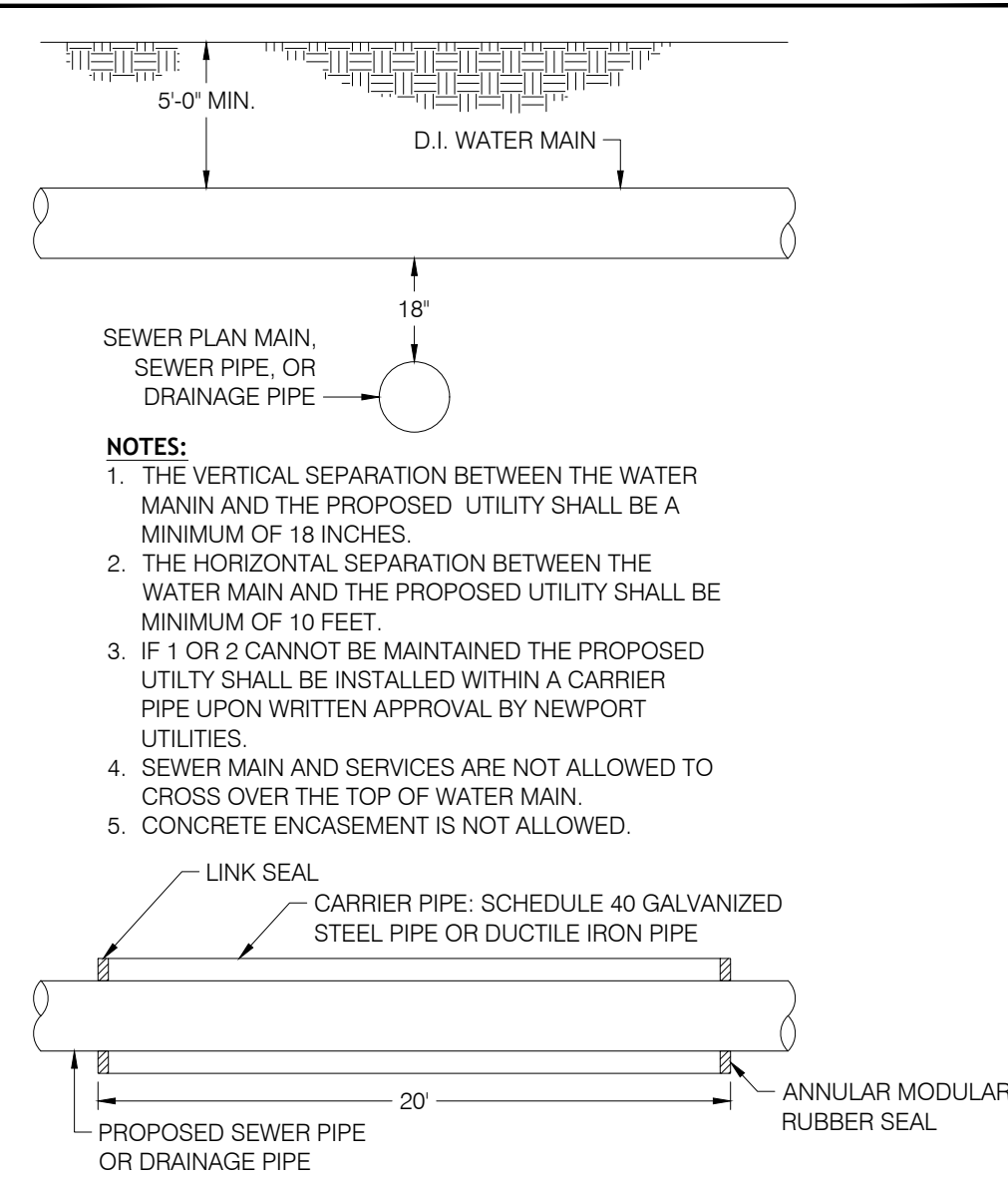
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TRENCH WIDTHS	
PIPE SIZE	MAX (ONE PIPE) ⁽⁶⁾
15" OR LESS	4'-0"
18"	5'-0"
24"	5'-6"
30"	6'-0"
36"	6'-6"
42"	7'-0"
48"	7'-6"
MANHOLES	O.D. + 6'-0"
CATCH BASINS ⁷	O.D. + 6'-0"

a. FOR ROCK EXCAVATION SUBTRACT 1'-0"

SCALE: N.T.S.



1. THE VERTICAL SEPARATION BETWEEN THE WATER MAIN AND THE PROPOSED UTILITY SHALL BE A MINIMUM OF 18 INCHES.
2. THE HORIZONTAL SEPARATION BETWEEN THE WATER MAIN AND THE PROPOSED UTILITY SHALL BE MINIMUM OF 10 FEET.
3. IF 1 OR 2 CANNOT BE MAINTAINED THE PROPOSED UTILITY SHALL BE INSTALLED WITHIN A CARRIER PIPE UPON WRITTEN APPROVAL BY NEWPORT UTILITIES.
4. SEWER MAIN AND SERVICES ARE NOT ALLOWED TO CROSS OVER THE TOP OF WATER MAIN.
5. CONCRETE ENCASEMENT IS NOT ALLOWED.

UTILITY SEPARATION
NOT TO SCALE



- High-visibility alarm, strobe light and warning siren.

- Fluorescent controlled energy efficient T5-watt fluorescent light with amber lens for bug reduction.
- 14-inch life ring for poolside or dockside installations.

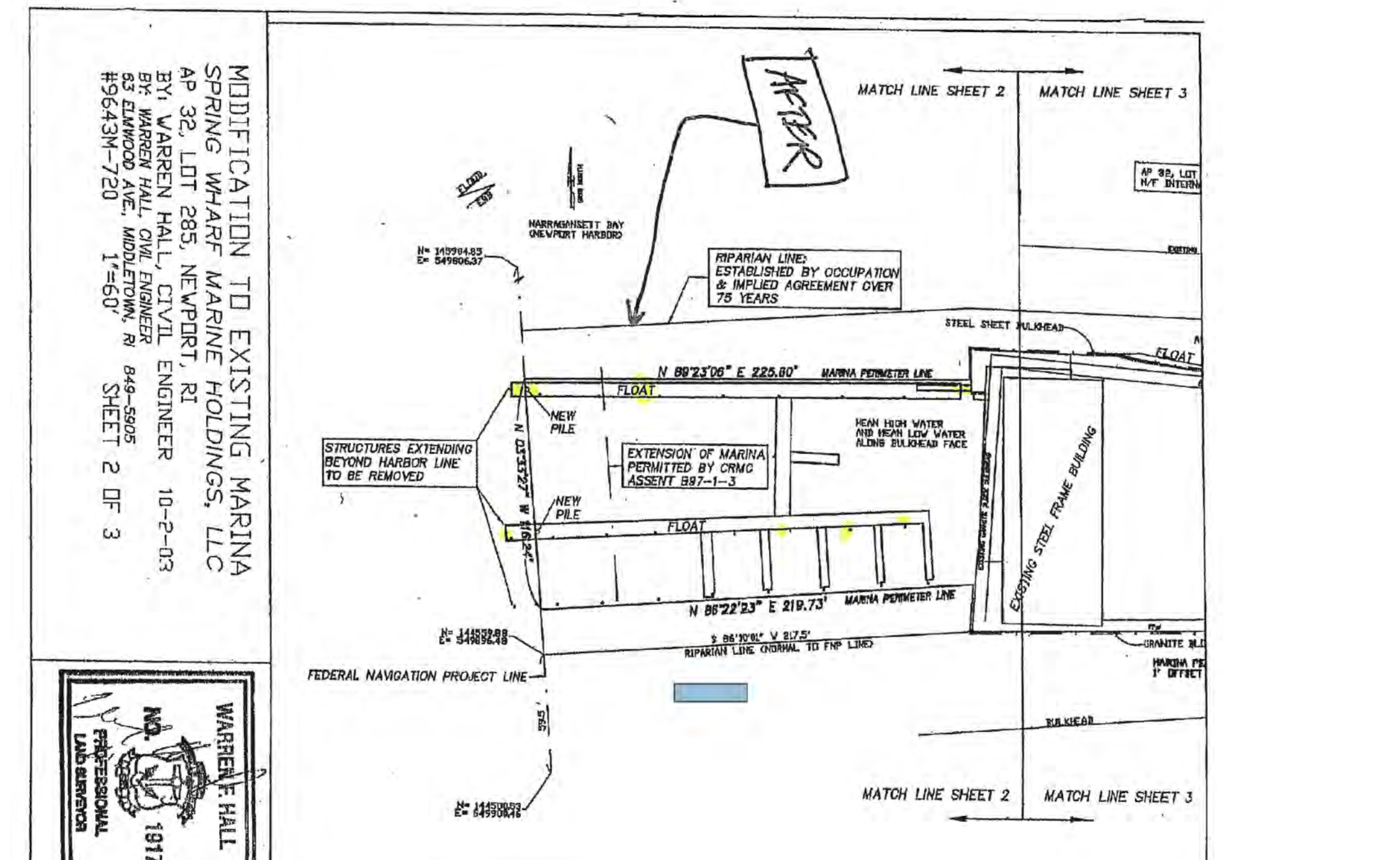
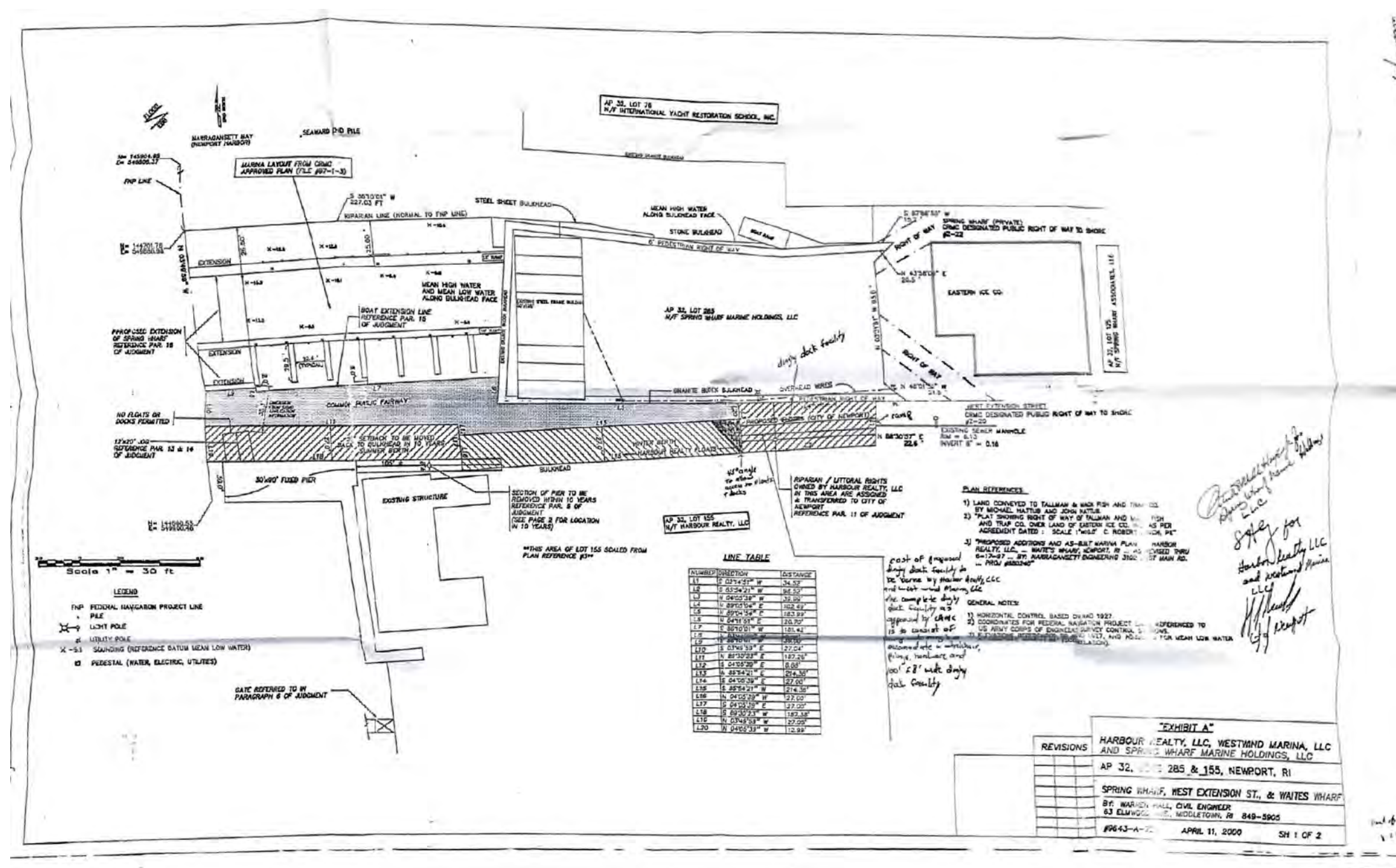
10-40 lbs. ABC type
Fire extinguisher.

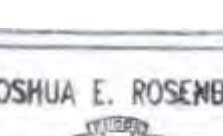
covered and unarmored vessels with a polycarbonate base and top.

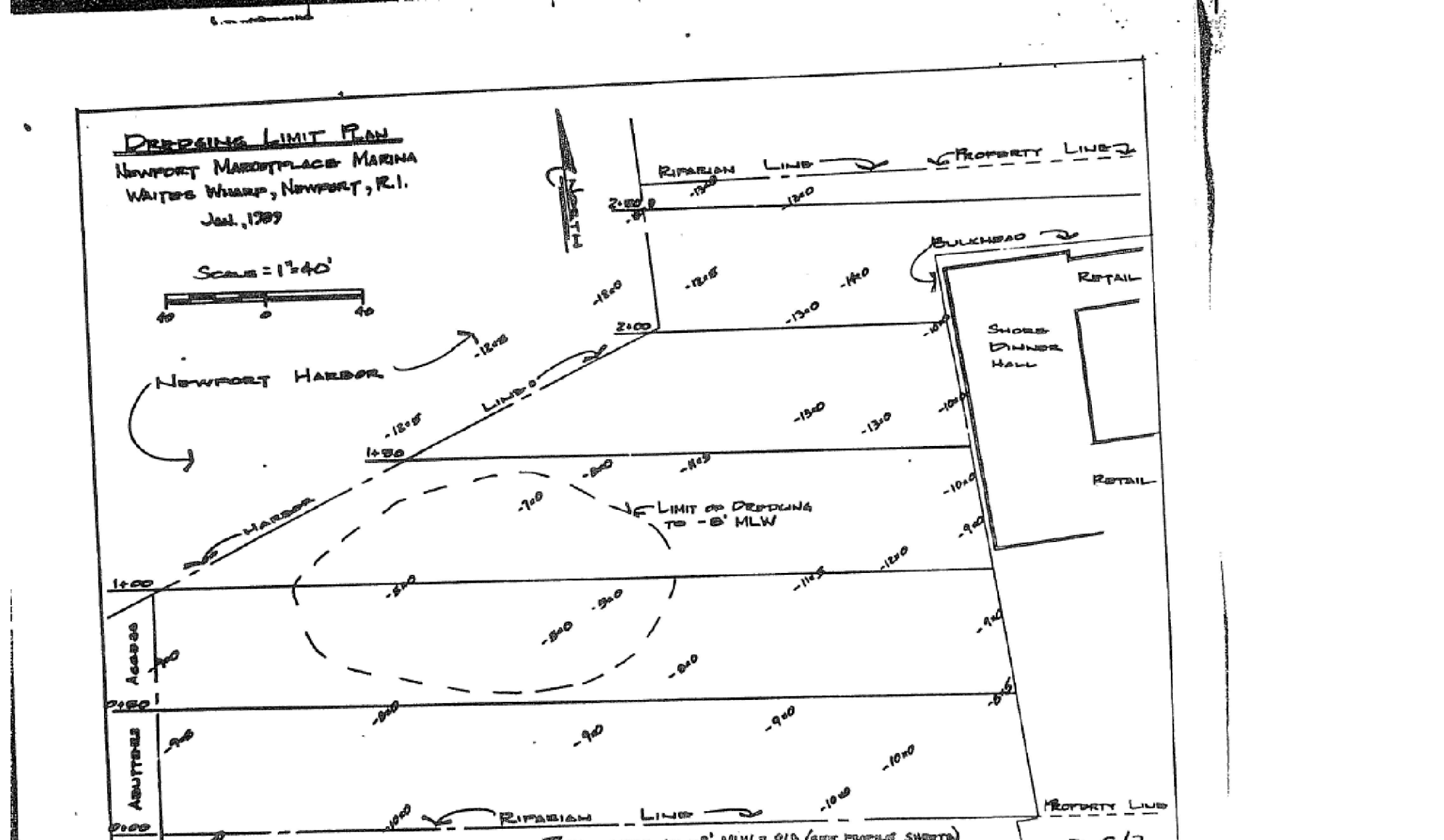
- Remote control unit can automatically call select services via a four channel transmitter.
- Medical emergency.
- Fire emergency.
- Police emergency.
- Optional general emergency.

FIGURE 21. FIREHOUSE

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[illegible]

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EXISTING MARINA & DOCK TO BE ALTERED	
27 TOTAL SLIPS - PERMITTED	23 INSIDE
REF. CRMC # 87-11-39	

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