

**From:** Amy Silva  
**Sent:** Monday, December 29, 2025 8:42 AM  
**To:** Cstaff  
**Subject:** FW: [EXT] - Re: [EXT] - Re: 256 shawomet ave  
**Attachments:** 260 SHAWOMET AV-CRMC.PDF

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

**Categories:** Oliver

Amy Silva  
 Supervising Environmental Scientist, CRMC  
 (401)-783-3370p/(401)-783-2069f  
<http://www.crmc.ri.gov>

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**From:** spring green <springgreenautobody@yahoo.com>  
**Sent:** Friday, December 26, 2025 2:21 PM  
**To:** Amy Silva <asilva@crmc.ri.gov>  
**Subject:** Fw: [EXT] - Re: [EXT] - Re: 256 shawomet ave

Hi Amy  
 Hope you had a nice holiday.  
 Please see the attachment from the Warwick sewer authority.  
 I believe that this (along with my two previous emails pertaining to variance request and city letter) will complete my application.  
 Please advise.  
 Please acknowledge that you have received all 3 recent emails.  
 Best-  
 Charles Pistocco




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**Anthony R Poole**  
 Administrative Services Manager  
 Warwick Sewer Authority - Admin  
 City of Warwick

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**Anthony R Poole**

Administrative Services Manager

Warwick Sewer Authority - Admin

City of Warwick

(401) 468-4701

<https://www.warwickri.gov>

[anthony.r.poole@warwickri.gov](mailto:anthony.r.poole@warwickri.gov)



**Raymond Taylor, PE** *(he/him/his)*

Environmental Engineer IV

**Raymond Taylor, PE** *(he/him/his)*

OWTS Program Supervisor

Environmental Engineer IV

OWTS Program Supervisor

Gary C. Jarvis  
Chairman

BettyAnne Rogers  
Executive Director



Frank J. Picozzi  
Mayor

Michael P. Bedard  
Superintendent

**Warwick Sewer WSA**  
125 Arthur W. Devine Boulevard  
Warwick, RI 02886  
Voice: (401) 739-4949 • Fax: (401) 739-1414

December 26, 2025

**C.R.M.C. for the State of Rhode Island**  
**4808 Tower Hill Road, Suite 3**  
**Wakefield, RI 02829**

RE: 260 Shawomet Av, Warwick RI- Availability And Permission to Connect to Sewers  
Plat 334 Lot 0018

To Whom It May Concern:

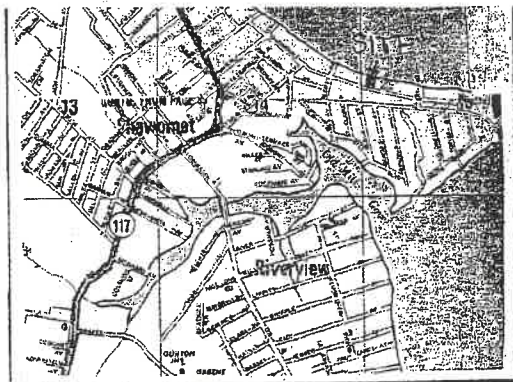
The Warwick Sewer Authority (WSA) has been notified of pending construction at the above referenced property. The property has access to the public sewer system and is able to connect.

Any sewer work must adhere to WSA rules and regulations. Per the WSA rules and regulations, all connections must be performed by a State of Rhode Island licensed underground utility contractor or master plumber. All applicable permit fees apply. If you have any question please contact the Warwick Sewer Authority at (401)739-4949.

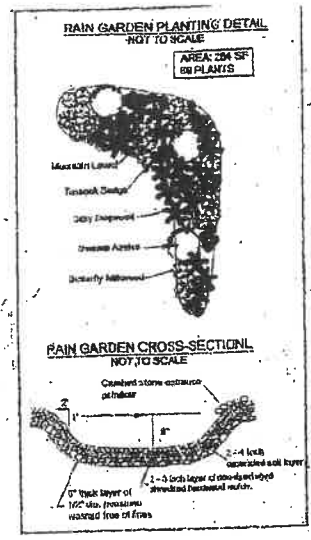
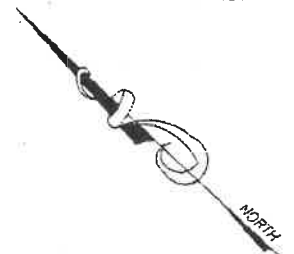
Sincerely,

Anthony Poole  
Administrative Services Manager  
Warwick Sewer Authority





LOCUS MAP  
N.T.S.



Tables 7. and 8. Rain Garden Sizing Guidance

Drainage Area (ft <sup>2</sup> )	for 4 inch deep garden	for 6 inch deep garden	for 8 inch deep garden
100	19	15	8
200	38	30	16
300	57	45	24
400	76	60	32
500	95	75	40
600	114	90	48
700	133	105	56
800	152	120	64
900	171	135	72
1000	190	150	80

- ABUTTING PROPERTY LINE
- DWELLING
- PROPOSED ADDITION
- NOW OR FORMERLY
- EDGE OF ASPHALT
- CONTOUR LINE
- G.B.(FND)
- R.I.H.B.(FND)
- D.H.(SET)
- D.H.(FND)
- I.R.(SET)
- SMH
- GG
- WG
- HYD
- DMH
- UP
- 
- GRANITE BOUND FOUND
- RHODE ISLAND HIGHWAY BOUND (FOUND)
- DRILL HOLE SET
- DRILL HOLE FOUND
- IRON REBAR SET
- SEWER MANHOLE
- GAS GATE
- WATER GATE
- HYDARANT
- DRAINAGE MANHOLE
- UTILITY POLE
- CATCH BASIN

**NOTES:**

- THE LOCATION, DEPTH, AND EXISTENCE OF ANY UTILITIES OR OTHER UNDERGROUND OBJECTS SHOWN ON THIS PLAN ARE BASED ON THE BEST AVAILABLE INFORMATION. LOCATIONS ARE NOT WARRANTED TO BE EXACT, NOR IS IT WARRANTED THAT ALL EXISTING UTILITIES ARE SHOWN.
- THE PROPOSED DWELLING SHALL BE CONNECTED TO THE SEWER.
- LOTS DEPICTED ON THIS PLAN SHALL NOT BE ALTERED DIMENSIONALLY OR IN FORM, INCLUDING THE ENLARGEMENT OF LOTS OR MOVING OF ANY LINE FOR ANY PURPOSE WHATSOEVER WITHOUT FIRST FILING A NEW SUBDIVISION APPLICATION IN ACCORDANCE WITH THE CITY OF WARWICK DEVELOPMENT REVIEW REGULATIONS OF DECEMBER 31, 1995 AS AMENDED.
- CONTRACTOR IS REQUIRED TO CALL DIG-SAFE BEFORE ANY EXCAVATION IS COMMENCED (1-888-DIG-SAFE).
- UTILITY LATERALS (SERVICES) TO BE VERIFIED BY THE CONTRACTOR.
- CONTRACTOR IS REQUIRED TO VERIFY WITH THE CITY OF WARWICK ON THE REGULATIONS AND REQUIREMENTS BEFORE THE START OF THE PROJECT.
- ALL ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88).
- SEPTIC SYSTEM INFORMATION IS TAKEN FROM A REVISED PLAN BY PHILIP MANCINI ON DECEMBER 1988.
- THE EXISTING DRIVEWAY WILL BE STRIPPED AND RESURFACED ASPHALT.

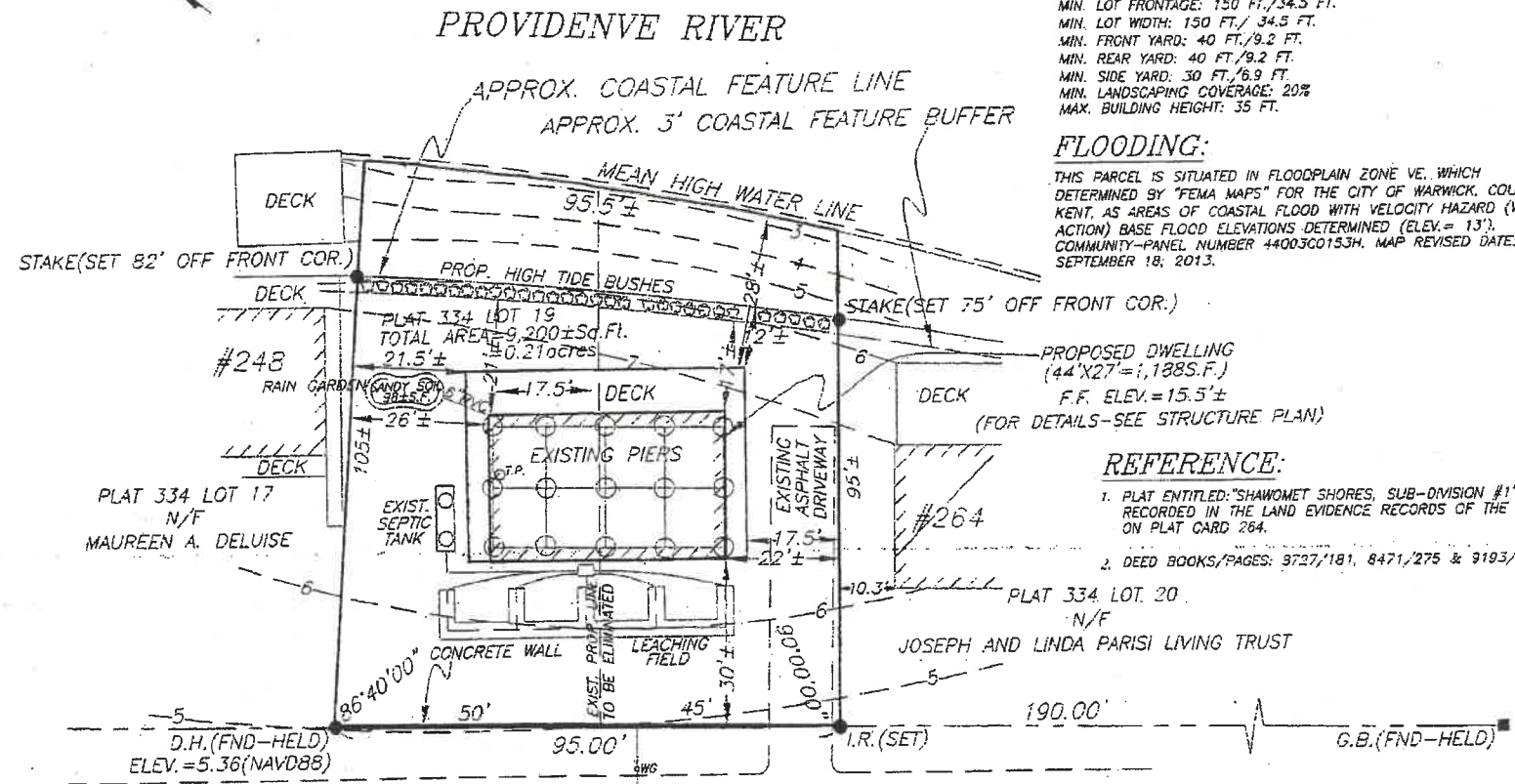
**ZONING:**

THIS PARCEL IS LOCATED IN RESIDENTIAL DISTRICT A-40.

- MIN. LOT AREA: 40,000 S.F./9,200 S.F.
- MIN. LOT FRONTAGE: 150 FT./34.5 FT.
- MIN. LOT WIDTH: 150 FT./34.5 FT.
- MIN. FRONT YARD: 40 FT./9.2 FT.
- MIN. REAR YARD: 40 FT./9.2 FT.
- MIN. SIDE YARD: 30 FT./6.9 FT.
- MIN. LANDSCAPING COVERAGE: 20%
- MAX. BUILDING HEIGHT: 35 FT.

**FLOODING:**

THIS PARCEL IS SITUATED IN FLOODPLAIN ZONE VE, WHICH DETERMINED BY "FEMA MAPS" FOR THE CITY OF WARWICK, COUNTY OF KENT, AS AREAS OF COASTAL FLOOD WITH VELOCITY HAZARD (WAVE ACTION) BASE FLOOD ELEVATIONS DETERMINED (ELEV.= 13'). COMMUNITY-PANEL NUMBER 4400300153H. MAP REVISED DATE: SEPTEMBER 18, 2013.

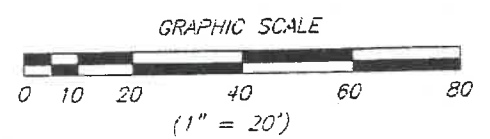


**REFERENCE:**

- PLAT ENTITLED: "SHAWOMET SHORES, SUB-DIVISION #1", WHICH PLAT IS RECORDED IN THE LAND EVIDENCE RECORDS OF THE CITY OF WARWICK ON PLAT CARD 264.
- DEED BOOKS/PAGES: 9727/181, 8471/275 & 9193/183.

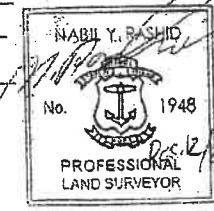
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS APRIL 18, 2018 AS FOLLOWS:  
TYPE OF SURVEY- LIMITED CONTENT BOUNDARY SURVEY  
MEASUREMENT SPECIFICATION- CLASS 1  
TOPOGRAPHY SURVEY- T-2

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:  
ADMINISTRATIVE SUBDIVISION  
BY: NABIL Y. RASHID DATE: 12/12/2025  
NABIL Y. RASHID RLS#1948 LS-A427  
REGISTERED LAND SURVEYOR



**SEWER CONNECTION NOTE:**

THE CONTRACTOR IS REQUIRED TO CONTACT WARWICK SEWER DIVISION (401-458-4710) PRIOR TO ANY SEWER EXCAVATION OR INSTALLATION. THE DEVELOPER SHALL APPLY TO ALL CITY OF WARWICK REGULATIONS AND REQUIREMENTS REGARDING THE INSTALLATION OF THE SEWER LATERAL (SERVICE).



R.I.G.L. 34-13-1:  
THIS PLAN SHALL BE INDEXED AS:  
SHAWOMET AVENUE  
OWNER NAME & ADDRESS:  
PISTOCCO IRREVOC. TRUST  
45 BROADVIEW AVENUE  
WARWICK RI 02899

SURVEY AND PLAN FOR PISTOCCO PLAT 256 SHAWOMET AVENUE WARWICK, RHODE ISLAND PLAT 334 LOT 19	
NRC ASSOCIATES P.O. BOX 14459 EAST PROVIDENCE, RHODE ISLAND 02914 (401)954-0206	
REVISION	DATE
TOPOGRAPHY	MAY 27, 2024
RAIN GARDEN	JUNE 18, 2025
FINAL PLAN(CRMC)	OCT. 30, 2025
FINAL PLAN(CITY OF WARWICK)	DEC. 12, 2025
DRAWN BY: S.S.R.	CHECKED BY: N.Y.P.
APPROVED BY: N.Y.P.	DATE: MAY 23, 2023
SCALE: 1"=20'	FILE NO: SHAWOMET AVENUE
1 of 1	



## Oliver Allamby

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**From:** Amy Silva  
**Sent:** Monday, December 29, 2025 8:38 AM  
**To:** Cstaff  
**Subject:** FW: Scan - 260 Shawomet ave -Pistocco  
**Attachments:** CRMC Form - 260 Shawomet Ave..PDF

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

**Categories:** Oliver

Amy Silva  
Supervising Environmental Scientist, CRMC  
(401)-783-3370p/(401)-783-2069f  
<http://www.crmc.ri.gov>

---

**From:** spring green <springgreenautobody@yahoo.com>  
**Sent:** Wednesday, December 24, 2025 6:55 PM  
**To:** Amy Silva <asilva@crmc.ri.gov>  
**Subject:** Fw: Scan - 260 Shawomet ave -Pistocco

Hi Amy  
Here is the corrected form from the city of Warwick.  
Please lmk if everything is in order.  
Best  
-Charlie Pistocco

Hi Charlie,

Attached is a copy of the signed form that you need to apply to CRMC.

Best regards,

Amy



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**Amy E Cota**

Clerk Tech/Zoning Specialist

Warwick Building Department

City of Warwick

(401) 921-9534

<https://www.warwickri.gov>

[amy.e.cota@warwickri.gov](mailto:amy.e.cota@warwickri.gov)

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**From:** spring green <[springgreenautobody@yahoo.com](mailto:springgreenautobody@yahoo.com)>  
**Sent:** Thursday, December 18, 2025 9:55 AM  
**To:** Dalton Madison <[madison.dalton@warwickri.gov](mailto:madison.dalton@warwickri.gov)>  
**Cc:** Cota Amy E <[amy.e.cota@warwickri.gov](mailto:amy.e.cota@warwickri.gov)>  
**Subject:** [EXT] - Re: [EXT] - Fw: Scan - 260 Shawomet ave

Thank you both.

Happy holidays-

Charlie

On Thursday, December 18, 2025 at 09:43:38 AM EST, Dalton Madison <[madison.dalton@warwickri.gov](mailto:madison.dalton@warwickri.gov)> wrote:

Amy did it for you, she has left it with the Building Official for review and approval now. I will forward it to you once complete.

Best,

Madison



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**Madison Dalton**

Assistant Plan Reviewer

Warwick Building Department

City of Warwick

(401) 921-9538

<https://www.warwickri.gov>

[madison.dalton@warwickri.gov](mailto:madison.dalton@warwickri.gov)

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**From:** spring green <[springgreenautobody@yahoo.com](mailto:springgreenautobody@yahoo.com)>

**Sent:** Thursday, December 18, 2025 9:11 AM

**To:** Dalton Madison <[madison.dalton@warwickri.gov](mailto:madison.dalton@warwickri.gov)>

**Subject:** [EXT] - Fw: Scan - 260 Shawomet ave

Hi Madison

Here is the revised site plan.

Please lmk if this works.

(Amy has approved it)

Please re-do the form for crmc.

Best

Charlie Pistocco

TO: Coastal Resources Management Council  
4808 Tower Hill Road Suite 3  
Wakefield, RI 02879  
Phone: (401) 783-3370



FROM: Building Official DATE: 12-18-2025  
SUBJ: Application of: Charles Pistocco  
Location: 260 Shawomet Ave.  
WARWICK, RI 02889  
Address: 260 Shawomet Ave. Plat No. 334 Lot No. 18 + 19  
To Construct: Single-Family Dwelling

I hereby certify that I have reviewed \_\_\_\_\_ foundation plan(s).  
\_\_\_\_\_ plan(s) for entire structure  
 site plans

Titled: Survey and Plan for Pistocco Plat  
260 Shawomet Avenue Plat 334 Lots 18 + 19  
prepared by Dabit Rashid, PLS, dated December 2025

Date of Plan (last revision): 12-12-25

\_\_\_\_\_ and find that the issuance of a local building permit is not required as in accordance with Section \_\_\_\_\_ of the Rhode Island State Building Code.

and find that the issuance of a local building permit is required. I hereby certify that this permit shall be issued once the applicant demonstrates that the proposed construction/activity fully conforms to the applicable requirements of the RISBC.

\_\_\_\_\_ and find that a Septic System Suitability Determination (SSD) must be obtained from the RI Dept. of Environmental Management.

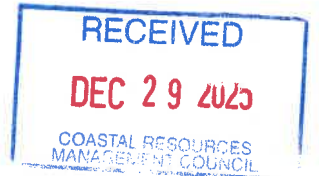
\_\_\_\_\_ and find that a Septic System Suitability Determination (SSD) need not be obtained from the RI Dept. of Environmental Management.

\_\_\_\_\_ and find that said plans conform with all elements of the zoning ordinance, and that if said plans require zoning board approval, that the applicant has secured such approval and that the requisite appeal period has passed with no appeal filed or appeal is final. The Zoning Board approval shall expire on \_\_\_\_\_.

[Signature] 12/18/25  
Building Official's Signature Date

and find that said plans conform with all elements of the zoning ordinance, and that if said plans require zoning board approval, that the applicant has secured such approval and that the requisite appeal period has passed with no appeal filed or appeal is final.

[Signature] 12/18/25  
Zoning Officer's Signature Date



**From:** Amy Silva  
**Sent:** Wednesday, December 24, 2025 11:29 AM  
**To:** Cstaff  
**Subject:** FW: assent crmc variance request 2024-03-112

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

**Categories:** Oliver

Amy Silva  
 Supervising Environmental Scientist, CRMC  
 (401)-783-3370p / (401)-783-2069f  
<http://www.crmc.ri.gov>

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**From:** spring green <springgreenautobody@yahoo.com>  
**Sent:** Wednesday, December 24, 2025 11:08 AM  
**To:** Amy Silva <asilva@crmc.ri.gov>; Laura Miguel <lmiguel@crmc.ri.gov>  
**Subject:** Fw: assent crmc variance request 2024-03-112

Hello Amy and Laura-  
 Per your request, I have compiled all information pertaining to my variance request into one email (divided into 2 parts).  
 I will also be sending you the revised letter from the city of Warwick- as well as sewer information.  
 Ty  
 Happy Holidays  
 Charlie Pistocco

Hello again  
 I have an addendum to add to my variance request -  
 I would ask for a deck to be allowed on the water side of my proposed home.  
 It would be a shame to not have a deck to enjoy the views. And it was one of the main reasons for buying the property.  
 Furthermore, just about every other home on the street has one- including the house now being built down the street.  
 Please consider this in your decision.  
 Ty  
 Charles Pistocco

On Sunday, September 7, 2025 at 08:20:09 PM EDT, spring green <[springgreenautobody@yahoo.com](mailto:springgreenautobody@yahoo.com)> wrote:

Hello  
 I would like to add the following addendum to my previous variance request-  
 I intend to follow all of the rules/ requirements listed below.

- 1) My proposed variance will conform with the goals and policies of crmc. And it will not result in any significant adverse environmental impacts or use conflicts.
  - 3) Due to conditions at the site, and the size of the lots in question, the applicable standards cannot be met.
  - 4) My requested modifications are the minimum variance necessary.
  - 5) The requested variance is partially due to prior actions taken by my parents, and granted by crmc.
  - 6) I have already addressed the various hardships involved in my previous variance request. They include, but are not limited to financial hardships, and the inability to use these lots for their intended purpose ( to build a personal dwelling)
- Please see entire letter below. Paragraphs 1-5

1). The pier foundation structure is already in place and has been deemed structurally sound by several engineers. Furthermore, we have spent a great deal of time, energy, and money getting this structure approved by the city of Warwick. Extensive testing (including excavation, sonic testing, core samples) as well as engineering / load analysis, and PIT (Pier integrity tests) were all performed. We also spent large sums of money making repairs / replacing beams and hardware on the actual foundation.

All of this was done before CRMC informed us of the need for a variance.

2). We have been paying taxes on the pier foundation for the past 35 years....with the belief that we would be able to use them.

3). All of the neighboring homes are closer to the water than we are, including the house that was just built recently at 296 Shawomet ave.

4). If we are to use the existing septic system (which has been verified as viable by DEM), then we could not move the foundation any closer to the street.

5) Finally, if we are not allowed to use this foundation in its present location, it will create a great amount of financial and emotional hardship. But even more importantly, all of our efforts and time spent over the past 5 years would all be for nothing. My hope was to be able to enjoy this home before my son is married, and I am too old. I watched my Father become ill, and pass away while trying to see this project through. I am hoping to not let history repeat itself.

Sincerely,

Charles Pistocco

## Oliver Allamby

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**From:** spring green <springgreenautobody@yahoo.com>  
**Sent:** Wednesday, September 10, 2025 10:45 AM  
**To:** Laura Miguel; Cstaff; Amy Silva  
**Subject:** Re: assent crmc variance request 2024-03-112

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

**Categories:** Oliver

Hello again

I have a third addendum to add to my variance request -

I would ask for a deck to be allowed on the water side of my proposed home.

It would be a shame to not have a deck to enjoy the views. And it was one of the main reasons for buying the property.

Furthermore, just about every other home on the street has one- including the house now being built down the street.

Please consider this in your decision.

Ty

Charles Pistocco

On Sunday, September 7, 2025 at 08:20:09 PM EDT, spring green <springgreenautobody@yahoo.com> wrote:

Hello

I would like to add the following addendum to my previous variance request-

I intend to follow all of the rules/ requirements listed below.

1) My proposed variance will conform with the goals and policies of crmc. And it will not result in any significant adverse environmental impacts or use conflicts.

3) Due to conditions at the site, and the size of the lots in question, the applicable standards cannot be met.

4) My requested modifications are the minimum variance necessary.

5) The requested variance is partially due to prior actions taken by my parents, and granted by crmc.

6) I have already addressed the various hardships involved in my previous variance request. They include, but are not limited to financial hardships, and the inability to use these lots for their intended purpose ( to build a personal dwelling)

Ty

Charles Pistocco

### 1.1.7 Variances

- A. Applicants requiring a variance from a standard shall make such request in writing and address the six criteria listed below in writing. The application shall only be granted a variance if the Council finds that the following six criteria are met.
1. The proposed alteration conforms with applicable goals and policies of the Coastal Resources Management Program.
  2. The proposed alteration will not result in significant adverse environmental impacts or use conflicts, including but not limited to, taking into account cumulative impacts.
  3. Due to conditions at the site in question, the applicable standard(s) cannot be met.
  4. The modification requested by the applicant is the minimum variance to the applicable standard(s) necessary to allow a reasonable alteration or use of the site.
  5. The requested variance to the applicable standard(s) is not due to any prior action of the applicant or the applicant's predecessors in title. With respect to subdivisions, the Council will consider the factors as set forth in § 1.1.7(B) of this Part below in determining the prior action of the applicant.
  6. Due to the conditions of the site in question, the standard(s) will cause the applicant an undue hardship. In order to receive relief from an undue hardship an applicant must demonstrate inter alia the nature of the hardship and that the hardship is shown to be unique or particular to the site. Mere economic diminution, economic advantage, or inconvenience does not constitute a showing of undue hardship that will support the granting of a variance.
- B. In reviewing requests for buffer zone variances for subdivisions of five (5) lots or less, the Council will review on a case-by-case basis the extent to which the prior action of the applicant or its predecessor in title created or caused the need for a variance, whether the applicant has created the need for a variance by the subdivision and whether the subdivision complies with local zoning requirements.
- C. Relief from a standard does not remove the applicant's responsibility to comply with all other Program requirements.
- D. Prior to requesting approval for a CRMC variance, in those instances where a variance would be obviated if a variance for a setback were acquired from the local municipality, the applicant must first exhaust his remedies before the local municipality.

I see nothing in the file to indicate the buffer and setback are "moot".

**From:** spring green <springgreenautobody@yahoo.com>  
**Sent:** Wednesday, August 13, 2025 10:26 AM  
**To:** Laura Miguel <lmiguel@crmc.ri.gov>  
**Subject:** Re: assent crmc variance request 2024-03-112

Thank you, Laura.

The buffer zone and setbacks were discussed with Amy and my surveyor in our meeting at crmc back in June.

I think that we all determined that the topic was moot due to our situation.

Please advise.

Also- could you supply a link to the page for the variance request? Again- Amy had told me to write a formal letter citing my "hardships". That was her request.

Best-

Charlie

On Wednesday, August 13, 2025 at 10:14:27 AM EDT, Laura Miguel <[lmiguel@crmc.ri.gov](mailto:lmiguel@crmc.ri.gov)> wrote:

Good Morning,

Following up on our telephone conversation of yesterday, I have reviewed the above-referenced pending application file and have attached an email sent to you on May 27<sup>th</sup> from Amy Silva. Addressing each of the bullet points contained in her email, please see my comments below:

- CRMC's Building Official Form is required. *A Building Official Form was received on June 26<sup>th</sup>.*
- A Coastal Hazard Assessment Worksheet (CHA) is required. *As per Amy Silva's correspondence to you dated June 6<sup>th</sup>, a CHA worksheet was completed at a meeting held with you on June 5<sup>th</sup> and has been added to the file.*
- An approved septage plan. *The Building Official Form received on June 26<sup>th</sup> **does not** address sewage disposal. The undated email you forwarded to me yesterday from Raymond Taylor, PE, RIDEM does not address this requirement.*
- Stormwater management/treatment. *The survey ("Administrative Subdivision for Pistocco Plat...", prepared by NRC Associates and last revised June 16, 2025) you forwarded to me yesterday has been added to the file. This survey shows a rain garden on the northwest corner of the lot. The proposed rain garden has not been reviewed for compliance with the RI Stormwater Management, Design and Installation Rules.*
- Buffer Zone Requirement. *The survey forwarded to me yesterday does not show the buffer zone.*
- Setback Requirement. *The survey forwarded to me yesterday does not show the setback.*
- Written Variance Request. *The request below sent to Amy Silva on July 23<sup>rd</sup> does not address the six variance criteria contained in RICRMP 1.1.7 which Amy indicated in her attached email need to be addressed.*

Feel free to reach out with any questions.

Sincerely,

Laura Miguel

**From:** spring green <[springgreenautobody@yahoo.com](mailto:springgreenautobody@yahoo.com)>  
**Sent:** Tuesday, August 12, 2025 12:37 PM  
**To:** Laura Miguel <[lmiguel@crmc.ri.gov](mailto:lmiguel@crmc.ri.gov)>; Cstaff <[cstaff1@crmc.ri.gov](mailto:cstaff1@crmc.ri.gov)>  
**Subject:** Fw: assent crmc variance request 2024-03-112

----- Forwarded Message -----

**From:** spring green <[springgreenautobody@yahoo.com](mailto:springgreenautobody@yahoo.com)>  
**To:** Amy Silva <[asilva@crmc.ri.gov](mailto:asilva@crmc.ri.gov)>  
**Sent:** Wednesday, July 23, 2025 at 11:53:04 PM EDT  
**Subject:** Fw: assent crmc

Dear Amy,

Hope all is well.

Per your request, I am formally requesting a variance for the location of our pier foundation located at 256 Shawomet Ave.

Here are some of the reasons for this request:

1). The pier foundation structure is already in place and has been deemed structurally sound by several engineers. Furthermore, we have spent a great deal of time, energy, and money getting this structure approved by the city of Warwick. Extensive testing (including excavation, sonic testing, core samples) as well as engineering / load analysis, and PIT (Pier integrity tests) were all performed. We also spent large sums of money making repairs / replacing beams and hardware on the actual foundation.

All of this was done before CRMC informed us of the need for a variance.

2). We have been paying taxes on the pier foundation for the past 35 years....with the belief that we would be able to use them.

3). All of the neighboring homes are closer to the water than we are, including the house that was just built recently at 296 Shawomet ave.

4). If we are to use the existing septic system (which has been verified as viable by DEM), then we could not move the foundation any closer to the street.

Finally, if we are not allowed to use this foundation in its present location, it will create a great amount of financial and emotional hardship. But even more importantly, all of our efforts and time spent over the past 5 years would all be for nothing. My hope was to be able to enjoy this home before my son is married, and I am too old. I watched my Father become ill, and pass away while trying to see this project through. I am hoping to not let history repeat itself.

Sincerely,

Charles Pistocco

**From:** Amy Silva  
**Sent:** Wednesday, September 10, 2025 9:17 AM  
**To:** spring green; Oliver Allamby  
**Cc:** Laura Miguel; Cstaff  
**Subject:** RE: 2nd Information Request | Pistocco Irrevoc. Trust | 2024-03-112

Mr. Pistocco-

Yes, we did receive the updated plans. The information request is based on those plans and the information received to date.

At our June meeting we discussed showing what you are proposing for a Buffer and a Setback. Neither is shown on the plans. As we have discussed multiple times, a new dwelling on this lot requires a 25 foot vegetated Buffer Zone and an addition 25 feet beyond that as a construction Setback (Setback measures 50 feet from the Coastal Feature). This proposal does not meet those requirements, and a plan showing the project must depict the proposed Buffer and Setback. The Variance request must address the relief requested from the requirements.

The newest information request details everything required to complete your application. If you choose to keep the deck in your proposal, it must be addressed within the Variance, as it impedes the placement of the required Buffer Zone.

At this time, I do not feel an additional meeting is necessary. The information request clearly indicates what is needed.

Amy

Amy Silva  
Supervising Environmental Scientist, CRMC  
(401)-783-3370p/(401)-783-2069f  
<http://www.crmc.ri.gov>

**From:** spring green <springgreenautobody@yahoo.com>  
**Sent:** Wednesday, September 10, 2025 12:35 AM  
**To:** Oliver Allamby <oallamby@crmc.ri.gov>  
**Cc:** Amy Silva <asilva@crmc.ri.gov>; Laura Miguel <lmiguel@crmc.ri.gov>; Cstaff <cstaff1@crmc.ri.gov>  
**Subject:** Re: 2nd Information Request | Pistocco Irrevoc. Trust | 2024-03-112

Hello Amy.

Glad to hear that you're back.

I had thought that we had ironed out many of the below concerns back in June. (Setback, buffer zone, rain gardens, etc). Did you receive the updated survey that I provided in July?

Should Nabil (my surveyor) and I come in for another meeting at crmc?

I found that meeting to be very helpful and productive.

I do intend to pave the driveway. And I am pretty sure that we have sent in everything from the city of Warwick ( minus the septic info).

Also- I think it would be a terrible shame to not have a deck in front of the house. It kind of defeats the purpose of living on the water. Thoughts? (pretty much every house on the street has a deck).

Perhaps we could have a telephone conversation at your convenience.

Ty  
Charlie  
[4017497010](tel:4017497010)

On Tuesday, September 9, 2025 at 10:36:21 AM EDT, Oliver Allamby <[oallamby@crmc.ri.gov](mailto:oallamby@crmc.ri.gov)> wrote:

Hello,

Please see attached 2<sup>nd</sup> information request from Amy Silva, Supervising Biologist at CRMC. A physical copy is also being mailed via USPS to 45 Broadview Avenue, Warwick, RI.

Thank you,

**Oliver Allamby**


Information Aide

Coastal Resources Management Council

Oliver Stedman Government Center

4808 Tower Hill Road, Suite 116

Wakefield, RI 02879

 (401) 783-3370

 [oallamby@crmc.ri.gov](mailto:oallamby@crmc.ri.gov)

## Oliver Allamby

---

**From:** Oliver Allamby  
**Sent:** Tuesday, September 9, 2025 10:36 AM  
**To:** springgreenautobody@yahoo.com  
**Cc:** Amy Silva; Laura Miguel; Cstaff  
**Subject:** 2nd Information Request | Pistocco Irrevoc. Trust | 2024-03-112  
**Attachments:** 2nd Information Request (Pistocco) 2024-03-112.pdf


Hello,

Please see attached 2<sup>nd</sup> information request from Amy Silva, Supervising Biologist at CRMC. A physical copy is also being mailed via USPS to 45 Broadview Avenue, Warwick, RI.

Thank you,

## Oliver Allamby

Information Aide  
Coastal Resources Management Council  
Oliver Stedman Government Center  
4808 Tower Hill Road, Suite 116  
Wakefield, RI 02879

 (401) 783-3370

 oallamby@crmc.ri.gov



State of Rhode Island  
**Coastal Resources Management Council**  
 Oliver H. Stedman Government Center  
 4808 Tower Hill Road, Suite 3  
 Wakefield, RI 02879-1900

(401) 783-3370  
 Email: [cstaff1@crmc.ri.gov](mailto:cstaff1@crmc.ri.gov)

September 9, 2025

Pistocco Irrevoc. Trust  
 45 Broadview Avenue  
 Warwick, RI 02889

RE: File Number: A2024-03-112  
 Owner: Pistocco Irrevoc. Trust  
 Site Address: Shawomet Avenue, Warwick; Plat: 334 Lot: 19  
 Project Desc: Construct Single Family Dwelling

Dear Mr. Pistocco:

Thank you for your patience while I was out of office. I have reviewed the information received in my absence as well as your correspondence with Deputy Director Miguel. There are still things that need to be addressed before further review can proceed.

A site visit by CRMC Staff has confirmed that the Coastal Feature shown on your plan set is substantially accurate and will be accepted for measurement of Buffers/Setbacks.

We need a completed Building Official Form that references the most recently revised plan set (our plan is last revised 6/16/25). CRMC and the City must both review the same plan set.

We need documentation from the City of Warwick that you are approved to utilize the OWTS on site. To date, based on communication with the City, it is CRMC's understanding that you will be required to tie-in to the existing sewer line.

Please provide the stormwater management sizing calculations so staff may confirm that the proposed rain garden is appropriate.

Please inform if there are any improvements proposed to the "existing driveway". The driveway may be paved if stormwater management is provided. Permeable driveway must be constructed of ¾ inch to 1½ inch diameter crushed washed angular crushed stone installed to a minimum depth of 3 inches. The grade of the finished driveway shall not be higher than the adjacent ground elevation.

Please depict the proposed Buffer as well as the proposed Setback line, as measured from the Coastal Feature. As proposed, the project appears to request a minimum 19' Setback (measured from the nearest piling to the Feature) and no Buffer Zone (a row of shrubs is proposed). Based on that, the project represents a 100% Variance to the 25' Buffer requirement and a 38% Variance to the 50' Setback Requirement.

Staff reiterates that the previous Assent for the dwelling did not allow a deck on the seaward side of the dwelling. As site conditions have changed significantly due to erosion in the ensuing years, staff again suggests removal of the proposed deck.

This information must be submitted within 30 days of the above date. If the information requested is not provided within this 30-day period, the application will be canceled without prejudice. If you have any questions regarding this letter, please contact me.

Sincerely,

A handwritten signature in black ink that reads "Amy Silva". The signature is written in a cursive, flowing style.

Amy Silva  
Permitting Staff  
Coastal Resources Management Council

/oia

**Oliver Allamby**

2024-03-117

**From:** Amy Silva  
**Sent:** Monday, September 8, 2025 1:19 PM  
**To:** Lisa Turner; Brittany Spurlock; Jenn Abbruzzese; Oliver Allamby  
**Subject:** Info request ready

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

24-3-112 pistocco

Its in PAES as 2<sup>nd</sup> Information Request. I did a script style font signature.

Thanks so much!

A

Amy Silva  
Supervising Environmental Scientist, CRMC  
(401)-783-3370p / (401)-783-2069f  
<http://www.crmc.ri.gov>

## Amy Silva

---

**From:** Laura Miguel  
**Sent:** Monday, September 8, 2025 10:29 AM  
**To:** Amy Silva  
**Subject:** FW: assent crmc variance request 2024-03-112

**From:** spring green <springgreenautobody@yahoo.com>  
**Sent:** Sunday, September 7, 2025 8:20 PM  
**To:** Laura Miguel <lmiguel@crmc.ri.gov>; Cstaff <cstaff1@crmc.ri.gov>  
**Subject:** Re: assent crmc variance request 2024-03-112

Hello

I would like to add the following addendum to my previous variance request-  
I intend to follow all of the rules/ requirements listed below.

1) My proposed variance will conform with the goals and policies of crmc. And it will not result in any significant adverse environmental impacts or use conflicts.

3) Due to conditions at the site, and the size of the lots in question, the applicable standards cannot be met.

4) My requested modifications are the minimum variance necessary.

5) The requested variance is partially due to prior actions taken by my parents, and granted by crmc.

6) I have already addressed the various hardships involved in my previous variance request. They include, but are not limited to financial hardships, and the inability to use these lots for their intended purpose ( to build a personal dwelling)

Ty

Charles Pistocco

## Amy Silva

---

**From:** Dalton Madison <madison.dalton@warwickri.gov>  
**Sent:** Thursday, September 4, 2025 10:34 AM  
**To:** Amy Silva  
**Subject:** RE: [EXT] - RE: [EXT] - 256 Shawomet/Pistocco  
**Attachments:** 256 Shawomet Sewer Comment .png

This document would have to be presented to RIDEM and signed off by them prior to the building department sign off for the use of the system.

However like I mentioned, the sewer department did sign off with this comment.

Best,  
Madison



---

**Madison Dalton**  
Assistant Plan Reviewer  
Warwick Building Department  
City of Warwick  
(401) 921-9538  
<https://www.warwickri.gov>  
[madison.dalton@warwickri.gov](mailto:madison.dalton@warwickri.gov)

**From:** Amy Silva <asilva@crmc.ri.gov>  
**Sent:** Thursday, September 4, 2025 10:13 AM  
**To:** Dalton Madison <madison.dalton@warwickri.gov>  
**Cc:** Laura Miguel <lmiguel@crmc.ri.gov>  
**Subject:** [EXT] - RE: [EXT] - 256 Shawomet/Pistocco

Madison-

We also questioned the age of the tank. After discussions with DEM/OWTS, a flow test was performed this spring (see below).

We still need additional information from Mr. Pistocco, so I will reiterate to him that we need an approval from the city to utilize that OWTS. Seems that Mr. Pistocco has not taken this OWTS information to the City yet.

Details Workflow Attachments Location 1 Applicant 2 Activity

View By Edit Workflow

- Building Application Received  
Completed Nov 07, 2024 at 12:31 pm
- B.I. HPMC  
In Progress
- Residential Building Plan Review  
In Progress
- Zoning Review  
In Progress
- Engineering Review  
In Progress
- Planning Dept Approval - Subdivision  
Completed Jan 09, 2024 at 8:36 am
- Sewer Approval  
Completed Nov 07, 2024 at 1:00 pm
- Water Dept Approval  
Completed Dec 03, 2024 at 9:39 am
- CRMC APPROVAL  
In Progress

Sewer Approval

Complete

Assignee  
Kelli Cole

Due Date  
Add

Messages

All Messages Oldest to Newest

Thursday, November 7th, 2024

**Kelli Cole**

New house must connect to sewer. Sewer connection permit is required. One sewer lateral was left for lots 1B & 1B must get CRMC approval to connect

November 7, 2024 at 1:00 pm

Internal public

Send Message

Put Step On Hold

Complete Step

ACTIONS

Record Status

Project Add +

Expiration Date Add +

Applicant  
cross platocco

Active

## Amy Silva

---

**From:** Amy Silva  
**Sent:** Thursday, September 4, 2025 10:13 AM  
**To:** Dalton Madison  
**Cc:** Laura Miguel  
**Subject:** RE: [EXT] - 256 Shawomet/Pistocco

Madison-

We also questioned the age of the tank. After discussions with DEM/OWTS, a flow test was performed this spring (see below).

We still need additional information from Mr. Pistocco, so I will reiterate to him that we need an approval from the city to utilize that OWTS. Seems that Mr. Pistocco has not taken this OWTS information to the City yet.

**MICHAEL PERRI & SON'S, INC. SEPTIC SERVICES**

*(servicing all of Rhode Island)*  
537 SANDY LANE

WARWICK, RI 02889

PHONE: [401-736-8313](tel:401-736-8313) \* FAX [401-736-8317](tel:401-736-8317)

[mperrisondsons@yahoo.com](mailto:mperrisondsons@yahoo.com)

[www.michaelperriandsons.com](http://www.michaelperriandsons.com)

April 3, 2025

Charlie Pistocco  
256 Shawpmet Avenue  
Warwick RI

[401-749-7010](tel:401-749-7010)

[springgreenautobody@yahoo.com](mailto:springgreenautobody@yahoo.com)

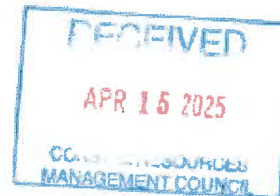
With permission from neighbor and paying for the water usage Mr. Pistocco had Michael Perri and Sons introduce water into the septic tank for 24 hours no evidence of overflow water effluent water entered into leach field properly. Let it also be noted system was installed at the time of pier foundation and has never been utilized or built upon. Again, system should and will function as designed and installed .

As of this date and time system appears to be in good working condition and should suffice a new build on property. Should you have any questions or concerns please do not hesitate to contact the office.

Sincerely,

J. Michael Perri

J. Michael Perri



Amy Silva  
Supervising Environmental Scientist, CRMC  
(401)-783-3370p / (401)-783-2069f  
<http://www.crmc.ri.gov>

**From:** Dalton Madison <madison.dalton@warwickri.gov>

**Sent:** Thursday, September 4, 2025 10:05 AM

**To:** Amy Silva <asilva@crmc.ri.gov>

**Subject:** RE: [EXT] - 256 Shawomet/Pistocco

Hi Amy,

Per the sewer department's comment within out permitting system it appears the owners will be required to connect to sewer prior to issuance of a C.O. for the structure.

The last letter of conformance from DEM appears to be from March 30<sup>th</sup> of 1995. Meaning the system has been unused for a long time. Our department would required additional information prior allowing connection to the existing system.

Let me know if you need additional information.

Best,  
Madison



---

**Madison Dalton**  
Assistant Plan Reviewer  
Warwick Building Department  
City of Warwick  
(401) 921-9538  
<https://www.warwickri.gov>  
[madison.dalton@warwickri.gov](mailto:madison.dalton@warwickri.gov)

**From:** Amy Silva <[asilva@crmc.ri.gov](mailto:asilva@crmc.ri.gov)>  
**Sent:** Thursday, September 4, 2025 9:54 AM  
**To:** Dalton Madison <[madison.dalton@warwickri.gov](mailto:madison.dalton@warwickri.gov)>  
**Subject:** [EXT] - 256 Shawomet/Pistocco

Madison-

Can you tell me if this lot has been approved to utilize the existing OWTS on site? I know that there is a sewer line, but this property has an existing tank which has been demonstrated to be still useable. CRMC has asked Mr. Pistocco to provide us with documentation that the City is OK with the use of the existing OWTS, and none has been submitted yet.

Amy

Amy Silva  
Supervising Environmental Scientist, CRMC  
(401)-783-3370p / (401)-783-2069f  
<http://www.crmc.ri.gov>

## Amy Silva

---

**From:** Amy Silva  
**Sent:** Thursday, September 4, 2025 9:53 AM  
**To:** 'madison.dalton@warwickri.gov'  
**Subject:** 256 Shawomet/Pistocco

Madison-

Can you tell me if this lot has been approved to utilize the existing OWTS on site? I know that there is a sewer line, but this property has an existing tank which has been demonstrated to be still useable. CRMC has asked Mr. Pistocco to provide us with documentation that the City is OK with the use of the existing OWTS, and none has been submitted yet.

Amy

Amy Silva  
Supervising Environmental Scientist, CRMC  
(401)-783-3370p/(401)-783-2069f  
<http://www.crmc.ri.gov>

## Oliver Allamby

---

**From:** spring green <springgreenautobody@yahoo.com>  
**Sent:** Wednesday, September 3, 2025 11:19 AM  
**To:** Laura Miguel; Cstaff  
**Subject:** Fw: assent crmc variance request 2024-03-112

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

**Categories:** Oliver

Ty  
My surveyor advised me that either the setback or buffer zone ( I forget which) is already depicted on the site survey.  
Please confirm.

Ty  
Charles

On Tuesday, August 26, 2025 at 12:00:56 PM EDT, Laura Miguel <lmiguel@crmc.ri.gov> wrote:

Yes, please see below.

---

**From:** spring green <springgreenautobody@yahoo.com>  
**Sent:** Tuesday, August 26, 2025 11:34 AM  
**To:** Laura Miguel <lmiguel@crmc.ri.gov>  
**Subject:** Re: assent crmc variance request 2024-03-112

Hello Laura

Did you receive my email from last week addressing the setback and buffer zone?

Ty  
Charles

On Thursday, August 21, 2025 at 08:35:35 AM EDT, Laura Miguel <[lmiguel@crmc.ri.gov](mailto:lmiguel@crmc.ri.gov)> wrote:

Charles,

You must address the variance criteria (Redbook section 1.1.7) for the buffer and setback. If you are proposing no buffer and no setback, please make that clear, otherwise show them on the plan.

Please be advised that it is unlikely staff would support no buffer and no setback.

Laura

**From:** spring green <[springgreenautobody@yahoo.com](mailto:springgreenautobody@yahoo.com)>  
**Sent:** Wednesday, August 20, 2025 3:33 PM  
**To:** Laura Miguel <[lmiguel@crmc.ri.gov](mailto:lmiguel@crmc.ri.gov)>  
**Subject:** Re: assent crmc variance request 2024-03-112

Ty

In June-

Amy told my surveyor ( and me) exactly what was needed on the site survey.

He marked everything down.

So did I.

We determined that we absolutely needed a variance.

But there was no need for us to mark it on the survey. (Because the line would be in the middle of Shawomet Ave.

Please advise.

Ty

Charles

On Wednesday, August 20, 2025 at 01:36:31 PM EDT, Laura Miguel <[lmiguel@crmc.ri.gov](mailto:lmiguel@crmc.ri.gov)> wrote:

Charles,

The buffer and setback requirements are not moot. You must request a variance from these requirements in accordance with Redbook section 1.1.7.

See below comments contained in Amy's letter to you dated June 6<sup>th</sup> following up on your meeting of June 5<sup>th</sup>.

We discussed the challenge of this application, with significant erosion since the 1986 Assent, and the presence of the existing pilings and OWTS tank. This application represents essentially a 100% Variance to the Buffer and a 50% Variance to the Setback as currently shown on plans. Variances of this size must be decided by the full Coastal Council.

Laura

**From:** spring green <[springgreenautobody@yahoo.com](mailto:springgreenautobody@yahoo.com)>  
**Sent:** Tuesday, August 19, 2025 7:41 PM  
**To:** Laura Miguel <[lmiguel@crmc.ri.gov](mailto:lmiguel@crmc.ri.gov)>  
**Subject:** Re: assent crmc variance request 2024-03-112

Ty

The buffer zone and setback requirements were deemed moot at our meeting in June In Wakefield.

We would be in the middle of the street.

Ty

Charles

On Monday, August 18, 2025 at 02:24:37 PM EDT, Laura Miguel <[lmiguel@crmc.ri.gov](mailto:lmiguel@crmc.ri.gov)> wrote:

Charles,

I tried to return your phone calls (Friday, August 15<sup>th</sup> and this morning), but your voicemailbox is full.

Tom Fitzpatrick attended the meeting on June 5<sup>th</sup> with Amy. I have reviewed the status of the application with him and he agrees that the items identified below remain outstanding.

Specifically required to be addressed are:

1. An approved septage plan. *The Building Official Form received on June 26<sup>th</sup> **does not** address sewage disposal. The undated email you forwarded to me yesterday from Raymond Taylor, PE, RIDEM does not address this requirement.*
2. Stormwater management/treatment. *The survey ("Administrative Subdivision for Pistocco Plat...", prepared by NRC Associates and last revised June 16, 2025) you forwarded to me on August 12<sup>th</sup> has been added to the file. This survey shows a rain garden on the northwest corner of the lot. The proposed rain garden has not been reviewed for compliance with the RI Stormwater Management, Design and Installation Rules.*
3. Buffer Zone Requirement. *The survey does not show the buffer zone.*
4. Setback Requirement. *The survey does not show the setback.*
5. Written Variance Request. *The request below sent to Amy Silva on July 23<sup>rd</sup> does not address the six variance criteria contained in RICRMP 1.1.7.*

I hope this clarifies things for you.

Sincerely,

Laura Miguel

---

**From:** spring green <[springgreenautobody@yahoo.com](mailto:springgreenautobody@yahoo.com)>  
**Sent:** Thursday, August 14, 2025 3:16 PM  
**To:** Laura Miguel <[lmiguel@crmc.ri.gov](mailto:lmiguel@crmc.ri.gov)>  
**Subject:** Re: assent crmc variance request 2024-03-112

Again, our meeting with Amy in June negated many items on the list. It made my life much easier- and I am not in a hurry to go backwards.

There was a gentleman from crmc who also attended the meeting. Can he be reached?

Ty.

On Thursday, August 14, 2025 at 11:09:57 AM EDT, Laura Miguel <[lmiguel@crmc.ri.gov](mailto:lmiguel@crmc.ri.gov)> wrote:

Mr. Pistocco,

Amy is on leave and unavailable.

I have reviewed the file and correspondence again. I have attached a letter to you from Amy dated Feb. 12, 2025. Amy has been consistent in her requests for the information necessary to review of your file. In addition to Amy's letter of February 12, please also see an email from me dated February 25, 2025, an email from Amy dated March 11, 2025, a letter from Amy dated March 12, 2025, an email from Amy dated March 28, 2025, an email from Amy dated May 27, 2025 and my email to you yesterday.

Your variance request did not address the six criteria contained in Redbook section 1.1.7. Please see below for additional required information.

Sincerely,

Laura Miguel

---

**From:** spring green <[springgreenautobody@yahoo.com](mailto:springgreenautobody@yahoo.com)>  
**Sent:** Wednesday, August 13, 2025 10:51 PM  
**To:** Laura Miguel <[lmiguel@crmc.ri.gov](mailto:lmiguel@crmc.ri.gov)>  
**Cc:** Amy Silva <[asilva@crmc.ri.gov](mailto:asilva@crmc.ri.gov)>; Cstaff <[cstaff1@crmc.ri.gov](mailto:cstaff1@crmc.ri.gov)>  
**Subject:** Re: assent crmc variance request 2024-03-112

Thank you for your response.

I believe that the setback and buffer zone were determined to be moot at the meeting in June.

Would it be possible to have a quick conversation with Amy?

It seems like every time we take one step forward, we take two steps back.

This is the third time that I have been assigned a new contact at crmc. And it is making a difficult process nearly impossible.

Furthermore, I wrote the variance request letter in the manner that Amy requested.

I am unsure what more I can possibly say.

Ty

Charlie

On Wednesday, August 13, 2025 at 10:45:30 AM EDT, Laura Miguel <[lmiguel@crmc.ri.gov](mailto:lmiguel@crmc.ri.gov)> wrote:

I reviewed Amy's letter to you dated June 6<sup>th</sup> which summarized your meeting of June 5<sup>th</sup>.

Items 3-5 outlined below remain outstanding.

**From:** spring green <[springgreenautobody@yahoo.com](mailto:springgreenautobody@yahoo.com)>  
**Sent:** Wednesday, August 13, 2025 10:40 AM  
**To:** Laura Miguel <[lmiguel@crmc.ri.gov](mailto:lmiguel@crmc.ri.gov)>  
**Subject:** Re: assent crmc variance request 2024-03-112

Hello again

In so many words, Amy's letter from May became "obsolete" after our June meeting.

Do you have a more recent list from her?

Maybe something from July?

Ty

On Wednesday, August 13, 2025 at 10:14:27 AM EDT, Laura Miguel <[lmiguel@crmc.ri.gov](mailto:lmiguel@crmc.ri.gov)> wrote:

Good Morning,

Following up on our telephone conversation of yesterday, I have reviewed the above-referenced pending application file and have attached an email sent to you on May 27<sup>th</sup> from Amy Silva. Addressing each of the bullet points contained in her email, please see my comments below:

- CRMC's Building Official Form is required. A *Building Official Form* was received on June 26<sup>th</sup>.
- A Coastal Hazard Assessment Worksheet (CHA) is required. As per Amy Silva's correspondence to you dated June 6<sup>th</sup>, a *CHA worksheet* was completed at a meeting held with you on June 5<sup>th</sup> and has been added to the file.
- An approved septage plan. The *Building Official Form* received on June 26<sup>th</sup> **does not** address sewage disposal. The *undated email* you forwarded to me yesterday from Raymond Taylor, PE, RIDEM does not address this requirement.
- Stormwater management/treatment. The survey ("Administrative Subdivision for Pistocco Plat...", prepared by NRC Associates and last revised June 16, 2025) you forwarded to me yesterday has been added to the file. This survey shows a rain garden on the northwest corner of the lot. The proposed rain garden has not been reviewed for compliance with the RI Stormwater Management, Design and Installation Rules.
- Buffer Zone Requirement. The survey forwarded to me yesterday does not show the buffer zone.
- Setback Requirement. The survey forwarded to me yesterday does not show the setback.
- Written Variance Request. The request below sent to Amy Silva on July 23<sup>rd</sup> does not address the six variance criteria contained in RICRMP 1.1.7 which Amy indicated in her attached email need to be addressed.

Feel free to reach out with any questions.

Sincerely,

Laura Miguel

---

**From:** spring green <[springgreenautobody@yahoo.com](mailto:springgreenautobody@yahoo.com)>  
**Sent:** Tuesday, August 12, 2025 12:37 PM  
**To:** Laura Miguel <[lmiguel@crmc.ri.gov](mailto:lmiguel@crmc.ri.gov)>; Cstaff <[cstaff1@crmc.ri.gov](mailto:cstaff1@crmc.ri.gov)>  
**Subject:** Fw: assent crmc variance request 2024-03-112

----- Forwarded Message -----

**From:** spring green <[springgreenautobody@yahoo.com](mailto:springgreenautobody@yahoo.com)>  
**To:** Amy Silva <[asilva@crmc.ri.gov](mailto:asilva@crmc.ri.gov)>

**Sent:** Wednesday, July 23, 2025 at 11:53:04 PM EDT

**Subject:** Fw: assent crmc

Dear Amy,

Hope all is well.

Per your request, I am formally requesting a variance for the location of our pier foundation located at 256 Shawomet Ave.

Here are some of the reasons for this request:

1). The pier foundation structure is already in place and has been deemed structurally sound by several engineers. Furthermore, we have spent a great deal of time, energy, and money getting this structure approved by the city of Warwick. Extensive testing (including excavation, sonic testing, core samples) as well as engineering / load analysis, and PIT (Pier integrity tests) were all performed. We also spent large sums of money making repairs / replacing beams and hardware on the actual foundation.

All of this was done before CRMC informed us of the need for a variance.

2). We have been paying taxes on the pier foundation for the past 35 years....with the belief that we would be able to use them.

3). All of the neighboring homes are closer to the water than we are, including the house that was just built recently at 296 Shawomet ave.

4). If we are to use the existing septic system (which has been verified as viable by DEM), then we could not move the foundation any closer to the street.

Finally, if we are not allowed to use this foundation in its present location, it will create a great amount of financial and emotional hardship. But even more importantly, all of our efforts and time spent over the past 5 years would all be for nothing. My hope was to be able to enjoy this home before my son is married, and I am too old. I watched my Father become ill, and pass away while trying to see this project through. I am hoping to not let history repeat itself.

Sincerely,

Charles Pistocco

## Oliver Allamby

---

**From:** Laura Miguel  
**Sent:** Tuesday, August 26, 2025 2:12 PM  
**To:** Oliver Allamby  
**Subject:** FW: assent crmc variance request 2024-03-112

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Hi Ollie,  
Can you please make sure this email chain is added to the file?  
Thank you

---

**From:** Laura Miguel  
**Sent:** Tuesday, August 26, 2025 12:01 PM  
**To:** spring green <[springgreenautobody@yahoo.com](mailto:springgreenautobody@yahoo.com)>  
**Subject:** RE: assent crmc variance request 2024-03-112

Yes, please see below.

---

**From:** spring green <[springgreenautobody@yahoo.com](mailto:springgreenautobody@yahoo.com)>  
**Sent:** Tuesday, August 26, 2025 11:34 AM  
**To:** Laura Miguel <[lmiguel@crmc.ri.gov](mailto:lmiguel@crmc.ri.gov)>  
**Subject:** Re: assent crmc variance request 2024-03-112

Hello Laura  
Did you receive my email from last week addressing the setback and buffer zone?  
Ty  
Charles

On Thursday, August 21, 2025 at 08:35:35 AM EDT, Laura Miguel <[lmiguel@crmc.ri.gov](mailto:lmiguel@crmc.ri.gov)> wrote:

Charles,

You must address the variance criteria (Redbook section 1.1.7) for the buffer and setback. If you are proposing no buffer and no setback, please make that clear, otherwise show them on the plan.

Please be advised that it is unlikely staff would support no buffer and no setback.

Laura

---

**From:** spring green <[springgreenautobody@yahoo.com](mailto:springgreenautobody@yahoo.com)>  
**Sent:** Wednesday, August 20, 2025 3:33 PM  
**To:** Laura Miguel <[lmiguel@crmc.ri.gov](mailto:lmiguel@crmc.ri.gov)>  
**Subject:** Re: assent crmc variance request 2024-03-112

Ty

In June-

Amy told my surveyor ( and me) exactly what was needed on the site survey.

He marked everything down.

So did I.

We determined that we absolutely needed a variance.

But there was no need for us to mark it on the survey. (Because the line would be in the middle of Shawomet Ave.

Please advise.

Ty

Charles

On Wednesday, August 20, 2025 at 01:36:31 PM EDT, Laura Miguel <[lmiguel@crmc.ri.gov](mailto:lmiguel@crmc.ri.gov)> wrote:

Charles,

The buffer and setback requirements are not moot. You must request a variance from these requirements in accordance with Redbook section 1.1.7.

See below comments contained in Amy's letter to you dated June 6<sup>th</sup> following up on your meeting of June 5<sup>th</sup>.

We discussed the challenge of this application, with significant erosion since the 1986 Assent, and the presence of the existing pilings and OWTS tank. This application represents essentially a 100% Variance to the Buffer and a 50% Variance to the Setback as currently shown on plans. Variances of this size must be decided by the full Coastal Council.

Laura

**From:** spring green <[springgreenautobody@yahoo.com](mailto:springgreenautobody@yahoo.com)>  
**Sent:** Tuesday, August 19, 2025 7:41 PM  
**To:** Laura Miguel <[lmiguel@crmc.ri.gov](mailto:lmiguel@crmc.ri.gov)>  
**Subject:** Re: assent crmc variance request 2024-03-112

Ty

The buffer zone and setback requirements were deemed moot at our meeting in June In Wakefield.

We would be in the middle of the street.

Ty

Charles

On Monday, August 18, 2025 at 02:24:37 PM EDT, Laura Miguel <[lmiguel@crmc.ri.gov](mailto:lmiguel@crmc.ri.gov)> wrote:

Charles,

I tried to return your phone calls (Friday, August 15<sup>th</sup> and this morning), but your voicemailbox is full.

Tom Fitzpatrick attended the meeting on June 5<sup>th</sup> with Amy. I have reviewed the status of the application with him and he agrees that the items identified below remain outstanding.

Specifically required to be addressed are:

1. An approved septage plan. *The Building Official Form received on June 26<sup>th</sup> **does not** address sewage disposal. The undated email you forwarded to me yesterday from Raymond Taylor, PE, RIDEM does not address this requirement.*
2. Stormwater management/treatment. *The survey ("Administrative Subdivision for Pistocco Plat...", prepared by NRC Associates and last revised June 16, 2025) you forwarded to me on August 12<sup>th</sup> has been added to the file. This survey shows a rain garden on the northwest corner of the lot. The proposed rain garden has not been reviewed for compliance with the RI Stormwater Management, Design and Installation Rules.*
3. Buffer Zone Requirement. *The survey does not show the buffer zone.*
4. Setback Requirement. *The survey does not show the setback.*
5. Written Variance Request. *The request below sent to Amy Silva on July 23<sup>rd</sup> does not address the six variance criteria contained in RICRMP 1.1.7.*

I hope this clarifies things for you.

Sincerely,

Laura Miguel

---

**From:** spring green <[springgreenautobody@yahoo.com](mailto:springgreenautobody@yahoo.com)>

**Sent:** Thursday, August 14, 2025 3:16 PM

**To:** Laura Miguel <[lmiguel@crmc.ri.gov](mailto:lmiguel@crmc.ri.gov)>

**Subject:** Re: assent crmc variance request 2024-03-112

Again, our meeting with Amy in June negated many items on the list. It made my life much easier- and I am not in a hurry to go backwards.

There was a gentleman from crmc who also attended the meeting. Can he be reached?

Ty.

On Thursday, August 14, 2025 at 11:09:57 AM EDT, Laura Miguel <[lmiguel@crmc.ri.gov](mailto:lmiguel@crmc.ri.gov)> wrote:

Mr. Pistocco,

Amy is on leave and unavailable.

I have reviewed the file and correspondence again. I have attached a letter to you from Amy dated Feb. 12, 2025. Amy has been consistent in her requests for the information necessary to review of your file. In addition to Amy's letter of February 12, please also see an email from me dated February 25, 2025, an email from Amy dated March 11, 2025, a letter from Amy dated March 12, 2025, an email from Amy dated March 28, 2025, an email from Amy dated May 27, 2025 and my email to you yesterday.

Your variance request did not address the six criteria contained in Redbook section 1.1.7. Please see below for additional required information.

Sincerely,

Laura Miguel

---

**From:** spring green <[springgreenautobody@yahoo.com](mailto:springgreenautobody@yahoo.com)>  
**Sent:** Wednesday, August 13, 2025 10:51 PM  
**To:** Laura Miguel <[lmiguel@crmc.ri.gov](mailto:lmiguel@crmc.ri.gov)>  
**Cc:** Amy Silva <[asilva@crmc.ri.gov](mailto:asilva@crmc.ri.gov)>; Cstaff <[cstaff1@crmc.ri.gov](mailto:cstaff1@crmc.ri.gov)>  
**Subject:** Re: assent crmc variance request 2024-03-112

Thank you for your response.

I believe that the setback and buffer zone were determined to be moot at the meeting in June.

Would it be possible to have a quick conversation with Amy?

It seems like every time we take one step forward, we take two steps back.

This is the third time that I have been assigned a new contact at crmc. And it is making a difficult process nearly impossible.

Furthermore, I wrote the variance request letter in the manner that Amy requested.

I am unsure what more I can possibly say.

Ty

Charlie

On Wednesday, August 13, 2025 at 10:45:30 AM EDT, Laura Miguel <[lmiguel@crmc.ri.gov](mailto:lmiguel@crmc.ri.gov)> wrote:

I reviewed Amy's letter to you dated June 6<sup>th</sup> which summarized your meeting of June 5<sup>th</sup>.

Items 3-5 outlined below remain outstanding.

---

**From:** spring green <[springgreenautobody@yahoo.com](mailto:springgreenautobody@yahoo.com)>

**Sent:** Wednesday, August 13, 2025 10:40 AM

**To:** Laura Miguel <[lmiguel@crmc.ri.gov](mailto:lmiguel@crmc.ri.gov)>

**Subject:** Re: assent crmc variance request 2024-03-112

Hello again

In so many words, Amy's letter from May became "obsolete" after our June meeting.

Do you have a more recent list from her?

Maybe something from July?

Ty

On Wednesday, August 13, 2025 at 10:14:27 AM EDT, Laura Miguel <[lmiguel@crmc.ri.gov](mailto:lmiguel@crmc.ri.gov)> wrote:

Good Morning,

Following up on our telephone conversation of yesterday, I have reviewed the above-referenced pending application file and have attached an email sent to you on May 27<sup>th</sup> from Amy Silva. Addressing each of the bullet points contained in her email, please see my comments below:

- CRMC's Building Official Form is required. *A Building Official Form was received on June 26<sup>th</sup>.*

- A Coastal Hazard Assessment Worksheet (CHA) is required. As per Amy Silva's correspondence to you dated June 6<sup>th</sup>, a CHA worksheet was completed at a meeting held with you on June 5<sup>th</sup> and has been added to the file.
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- Written Variance Request. The request below sent to Amy Silva on July 23<sup>rd</sup> does not address the six variance criteria contained in RICRMP 1.1.7 which Amy indicated in her attached email need to be addressed.

Feel free to reach out with any questions.

Sincerely,

Laura Miguel

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**From:** spring green <[springgreenautobody@yahoo.com](mailto:springgreenautobody@yahoo.com)>  
**Sent:** Tuesday, August 12, 2025 12:37 PM  
**To:** Laura Miguel <[lmiguel@crmc.ri.gov](mailto:lmiguel@crmc.ri.gov)>; Cstaff <[cstaff1@crmc.ri.gov](mailto:cstaff1@crmc.ri.gov)>  
**Subject:** Fw: assent crmc variance request 2024-03-112

----- Forwarded Message -----

**From:** spring green <[springgreenautobody@yahoo.com](mailto:springgreenautobody@yahoo.com)>  
**To:** Amy Silva <[asilva@crmc.ri.gov](mailto:asilva@crmc.ri.gov)>  
**Sent:** Wednesday, July 23, 2025 at 11:53:04 PM EDT  
**Subject:** Fw: assent crmc

Dear Amy,

Hope all is well.

Per your request, I am formally requesting a variance for the location of our pier foundation located at 256 Shawomet Ave.

Here are some of the reasons for this request:

1). The pier foundation structure is already in place and has been deemed structurally sound by several engineers. Furthermore, we have spent a great deal of time, energy, and money getting this structure approved by the city of Warwick. Extensive testing (including excavation, sonic testing, core samples) as well as engineering / load analysis, and PIT (Pier integrity tests) were all performed. We also spent large sums of money making repairs / replacing beams and hardware on the actual foundation.

All of this was done before CRMC informed us of the need for a variance.

2). We have been paying taxes on the pier foundation for the past 35 years....with the belief that we would be able to use them.

3). All of the neighboring homes are closer to the water than we are, including the house that was just built recently at 296 Shawomet ave.

4). If we are to use the existing septic system (which has been verified as viable by DEM), then we could not move the foundation any closer to the street.

Finally, if we are not allowed to use this foundation in its present location, it will create a great amount of financial and emotional hardship. But even more importantly, all of our efforts and time spent over the past 5 years would all be for nothing. My hope was to be able to enjoy this home before my son is married, and I am too old. I watched my Father become ill, and pass away while trying to see this project through. I am hoping to not let history repeat itself.

Sincerely,

Charles Pistocco

## Oliver Allamby

---

**From:** Laura Miguel  
**Sent:** Thursday, August 14, 2025 11:10 AM  
**To:** spring green  
**Cc:** Amy Silva; Cstaff  
**Subject:** RE: assent crmc variance request 2024-03-112  
**Attachments:** Pistocco Feb. 12, 2025.pdf

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

**Categories:** Oliver

Mr. Pistocco,

Amy is on leave and unavailable.

I have reviewed the file and correspondence again. I have attached a letter to you from Amy dated Feb. 12, 2025. Amy has been consistent in her requests for the information necessary to review of your file. In addition to Amy's letter of February 12, please also see an email from me dated February 25, 2025, an email from Amy dated March 11, 2025, a letter from Amy dated March 12, 2025, an email from Amy dated March 28, 2025, an email from Amy dated May 27, 2025 and my email to you yesterday. Your variance request did not address the six criteria contained in Redbook section 1.1.7. Please see below for additional required information.

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Items 3-5 outlined below remain outstanding.

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Maybe something from July?

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Feel free to reach out with any questions.

Sincerely,

Laura Miguel

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**Sent:** Tuesday, August 12, 2025 12:37 PM  
**To:** Laura Miguel <[lmiguel@crmc.ri.gov](mailto:lmiguel@crmc.ri.gov)>; Cstaff <[cstaff1@crmc.ri.gov](mailto:cstaff1@crmc.ri.gov)>  
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**Sent:** Wednesday, July 23, 2025 at 11:53:04 PM EDT  
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Here are some of the reasons for this request:

1). The pier foundation structure is already in place and has been deemed structurally sound by several engineers. Furthermore, we have spent a great deal of time, energy, and money getting this structure approved by the city of Warwick. Extensive testing (including excavation, sonic testing, core samples) as well as engineering / load analysis, and PIT (Pier integrity tests) were all performed. We also spent large sums of money making repairs / replacing beams and hardware on the actual foundation.

All of this was done before CRMC informed us of the need for a variance.

2). We have been paying taxes on the pier foundation for the past 35 years....with the belief that we would be able to use them.

3). All of the neighboring homes are closer to the water than we are, including the house that was just built recently at 296 Shawomet ave.

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Sincerely,

Charles Pistocco



State of Rhode Island  
Coastal Resources Management Council  
Oliver H. Stedman Government Center  
4808 Tower Hill Road, Suite 3  
Wakefield, RI 02879-1900

(401) 783-3370  
Fax (401) 783-3767

February 12, 2025

Pistocco Irrevoc. Trust  
45 Broadview Avenue  
Warwick, RI 02889

RE: File Number: A2024-03-112  
Site Address: Shawomet Avenue, Warwick  
Plat: 334 Lot: 19  
Owner: Pistocco Irrevoc. Trust  
Proj. Desc: Single Family Dwelling

Dear Pistocco Trust:

The CRMC is currently reviewing your application, and has concerns that need to be addressed before further review can proceed. Please address the following issues so staff can complete review of your application:

Please provide the documentation for the Trustee/owner of the property. CRMC must confirm that the signatory is authorized to represent the Trust.

Please provide a plan which depicts the Coastal Feature. The submitted plans submitted show measurements from Mean High Water, which is not the inland edge of the Coastal Feature.

The sign-off from the City of Warwick is not the CRMC Building Official Sign-off and appears to be a document created by the City. When plans are revised and ready for re-submittal, please have the City complete CRMC Building Official form in its entirety – including the title and date of plans reviewed – and include with re-submittal. The form can be found at: <http://www.crmc.ri.gov/applicationforms/BuildingOForm.pdf>

Please submit a Coastal Hazards Assessment Worksheet (CHA). This can be found at: <http://www.crmc.ri.gov/coastal hazardapp.html>

The application was submitted without an approved septage plan. The septic system depicted on the site plans was reportedly installed many years ago and never used. If the applicant wishes to utilize that system, an SSD (System Suitability Determination) from DEM/OWTS must be obtained stating that the system is viable for use. Should the applicant wish to tie into the existing sewer system, a letter of authorization to do from the City must be obtained and submitted. This matter has been discussed with Charles and Cross Pistocco on multiple occasions.

It appears that the proposal is to utilize the existing piles currently in place. Please submit documentation that the piles remain viable and are at the correct height for flood zone elevation.

Stormwater management/treatment shall be required for all new impervious areas/areas greater than 600ft<sup>2</sup>. No concentrated flows shall be allowed to coastal features, freshwater wetland features and/or coastal waters. All new driveways shall be permeable or shall have stormwater management for the one inch of runoff. Treatment of the runoff shall be in accordance with RICRMP Section 1.3.1(F) and the Rhode Island Stormwater Design and Installation Standards Manual.

For a lot of this size on Type 1 water, a Buffer Zone of 25 feet, as measured from the inland edge of the Coastal Feature is required. Further, a Setback of 50 feet, as measured from the inland edge of the Coastal Feature is required. Neither the Buffer or Setback (or the Coastal Feature, as noted above) is shown on submitted plans.

Based on the location of the existing piles, the proposed dwelling cannot meet the Buffer or Setback, and will require significant Variances. Where the applicant chooses not to meet any of the applicable RICRMP standards, a written variance request must be submitted for each standard not met. The criteria for the consideration of a variance are provided in RICRMP Section 1.1.7 (formerly Section 120). Each of the six criteria must be addressed in writing. Submitting a written variance request is required.

Please note that Variances for more than 50% relief from the requirement will require a hearing and decision by the full Coastal Council.

This information must be submitted within 30 days of the above date. If the information requested is not provided within this 30 day period, the application will be canceled without prejudice. If you have any questions regarding this letter, please contact the office.

Sincerely,  
  
Amy Silva  
CRMC Permitting Staff

## Oliver Allamby

---

**From:** Laura Miguel  
**Sent:** Wednesday, August 13, 2025 10:45 AM  
**To:** spring green  
**Cc:** Amy Silva; Cstaff  
**Subject:** RE: assent crmc variance request 2024-03-112

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

**Categories:** Oliver

I reviewed Amy's letter to you dated June 6<sup>th</sup> which summarized your meeting of June 5<sup>th</sup>. Items 3-5 outlined below remain outstanding.

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Laura Miguel

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Sincerely,

Charles Pistocco

## Oliver Allamby

---

**From:** Laura Miguel  
**Sent:** Wednesday, August 13, 2025 10:43 AM  
**To:** spring green  
**Cc:** Amy Silva; Cstaff  
**Subject:** RE: assent crmc variance request 2024-03-112

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

**Categories:** Oliver

Please see for RICRMP Section 1.1.7:

### 1.1.7 Variances

- A. Applicants requiring a variance from a standard shall make such request in writing and address the six criteria listed below in writing. The application shall only be granted a variance if the Council finds that the following six criteria are met.
1. The proposed alteration conforms with applicable goals and policies of the Coastal Resources Management Program.
  2. The proposed alteration will not result in significant adverse environmental impacts or use conflicts, including but not limited to, taking into account cumulative impacts.
  3. Due to conditions at the site in question, the applicable standard(s) cannot be met.
  4. The modification requested by the applicant is the minimum variance to the applicable standard(s) necessary to allow a reasonable alteration or use of the site.
  5. The requested variance to the applicable standard(s) is not due to any prior action of the applicant or the applicant's predecessors in title. With respect to subdivisions, the Council will consider the factors as set forth in § 1.1.7(B) of this Part below in determining the prior action of the applicant.
  6. Due to the conditions of the site in question, the standard(s) will cause the applicant an undue hardship. In order to receive relief from an undue hardship an applicant must demonstrate inter alia the nature of the hardship and that the hardship is shown to be unique or particular to the site. Mere economic diminution, economic advantage, or inconvenience does not constitute a showing of undue hardship that will support the granting of a variance.
- B. In reviewing requests for buffer zone variances for subdivisions of five (5) lots or less, the Council will review on a case-by-case basis the extent to which the prior action of the applicant or its predecessor in title created or caused the need for a variance, whether the applicant has created the need for a variance by the subdivision and whether the subdivision complies with local zoning requirements.
- C. Relief from a standard does not remove the applicant's responsibility to comply with all other Program requirements.

- D. Prior to requesting approval for a CRMC variance, in those instances where a variance would be obviated if a variance for a setback were acquired from the local municipality, the applicant must first exhaust his remedies before the local municipality.

I see nothing in the file to indicate the buffer and setback are “moot”.

---

**From:** spring green <springgreenautobody@yahoo.com>  
**Sent:** Wednesday, August 13, 2025 10:26 AM  
**To:** Laura Miguel <lmiguel@crmc.ri.gov>  
**Subject:** Re: assent crmc variance request 2024-03-112

Thank you, Laura.

The buffer zone and setbacks were discussed with Amy and my surveyor in our meeting at crmc back in June.

I think that we all determined that the topic was moot due to our situation.

Please advise.

Also- could you supply a link to the page for the variance request? Again- Amy had told me to write a formal letter citing my “hardships”. That was her request.

Best-  
Charlie

On Wednesday, August 13, 2025 at 10:14:27 AM EDT, Laura Miguel <[lmiguel@crmc.ri.gov](mailto:lmiguel@crmc.ri.gov)> wrote:

Good Morning,

Following up on our telephone conversation of yesterday, I have reviewed the above-referenced pending application file and have attached an email sent to you on May 27<sup>th</sup> from Amy Silva. Addressing each of the bullet points contained in her email, please see my comments below:

- CRMC’s Building Official Form is required. A Building Official Form was received on June 26<sup>th</sup>.
- A Coastal Hazard Assessment Worksheet (CHA) is required. As per Amy Silva’s correspondence to you dated June 6<sup>th</sup>, a CHA worksheet was completed at a meeting held with you on June 5<sup>th</sup> and has been added to the file.
- An approved septage plan. The Building Official Form received on June 26<sup>th</sup> **does not** address sewage disposal. The undated email you forwarded to me yesterday from Raymond Taylor, PE, RIDEM does not address this requirement.
- Stormwater management/treatment. The survey (“Administrative Subdivision for Pistocco Plat...”, prepared by NRC Associates and last revised June 16, 2025) you forwarded to me yesterday has been added to the file. This survey shows a rain garden on the northwest corner of the lot. The proposed rain garden has not been reviewed for compliance with the RI Stormwater Management, Design and Installation Rules.
- Buffer Zone Requirement. The survey forwarded to me yesterday does not show the buffer zone.
- Setback Requirement. The survey forwarded to me yesterday does not show the setback.
- Written Variance Request. The request below sent to Amy Silva on July 23<sup>rd</sup> does not address the six variance criteria contained in RICRMP 1.1.7 which Amy indicated in her attached email need to be addressed.

Feel free to reach out with any questions.

Sincerely,

Laura Miguel

---

**From:** spring green <[springgreenautobody@yahoo.com](mailto:springgreenautobody@yahoo.com)>  
**Sent:** Tuesday, August 12, 2025 12:37 PM  
**To:** Laura Miguel <[lmiguel@crmc.ri.gov](mailto:lmiguel@crmc.ri.gov)>; Cstaff <[cstaff1@crmc.ri.gov](mailto:cstaff1@crmc.ri.gov)>  
**Subject:** Fw: assent crmc variance request 2024-03-112

----- Forwarded Message -----

**From:** spring green <[springgreenautobody@yahoo.com](mailto:springgreenautobody@yahoo.com)>  
**To:** Amy Silva <[asilva@crmc.ri.gov](mailto:asilva@crmc.ri.gov)>  
**Sent:** Wednesday, July 23, 2025 at 11:53:04 PM EDT  
**Subject:** Fw: assent crmc

Dear Amy,

Hope all is well.

Per your request, I am formally requesting a variance for the location of our pier foundation located at 256 Shawomet Ave.

Here are some of the reasons for this request:

1). The pier foundation structure is already in place and has been deemed structurally sound by several engineers. Furthermore, we have spent a great deal of time, energy, and money getting this structure approved by the city of Warwick. Extensive testing (including excavation, sonic testing, core samples) as well as engineering / load analysis, and PIT (Pier integrity tests) were all performed. We also spent large sums of money making repairs / replacing beams and hardware on the actual foundation.

All of this was done before CRMC informed us of the need for a variance.

2). We have been paying taxes on the pier foundation for the past 35 years....with the belief that we would be able to use them.

3). All of the neighboring homes are closer to the water than we are, including the house that was just built recently at 296 Shawomet ave.

4). If we are to use the existing septic system (which has been verified as viable by DEM), then we could not move the foundation any closer to the street.

Finally, if we are not allowed to use this foundation in its present location, it will create a great amount of financial and emotional hardship. But even more importantly, all of our efforts and time spent over the past 5 years would all be for nothing. My hope was to be able to enjoy this home before my son is married, and I am too old. I watched my Father become ill, and pass away while trying to see this project through. I am hoping to not let history repeat itself.

Sincerely,

Charles Pistocco

## Brittany Spurlock

---

**From:** Laura Miguel  
**Sent:** Wednesday, August 13, 2025 10:14 AM  
**To:** spring green  
**Cc:** Amy Silva; Cstaff  
**Subject:** RE: assent crmc variance request 2024-03-112  
**Attachments:** amy to c pistocco pg 15.pdf

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

**Categories:** Oliver

Good Morning,

Following up on our telephone conversation of yesterday, I have reviewed the above-referenced pending application file and have attached an email sent to you on May 27<sup>th</sup> from Amy Silva. Addressing each of the bullet points contained in her email, please see my comments below:

- CRMC's Building Official Form is required. *A Building Official Form was received on June 26<sup>th</sup>.*
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- An approved septage plan. *The Building Official Form received on June 26<sup>th</sup> **does not** address sewage disposal. The undated email you forwarded to me yesterday from Raymond Taylor, PE, RIDEM does not address this requirement.*
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- Buffer Zone Requirement. *The survey forwarded to me yesterday does not show the buffer zone.*
- Setback Requirement. *The survey forwarded to me yesterday does not show the setback.*
- Written Variance Request. *The request below sent to Amy Silva on July 23<sup>rd</sup> does not address the six variance criteria contained in RICRMP 1.1.7 which Amy indicated in her attached email need to be addressed.*

Feel free to reach out with any questions.

Sincerely,  
Laura Miguel

**From:** spring green <springgreenautobody@yahoo.com>  
**Sent:** Tuesday, August 12, 2025 12:37 PM  
**To:** Laura Miguel <lmiguel@crmc.ri.gov>; Cstaff <cstaff1@crmc.ri.gov>  
**Subject:** Fw: assent crmc variance request 2024-03-112

----- Forwarded Message -----

**From:** spring green <[springgreenautobody@yahoo.com](mailto:springgreenautobody@yahoo.com)>

**To:** Amy Silva <[asilva@crmc.ri.gov](mailto:asilva@crmc.ri.gov)>

**Sent:** Wednesday, July 23, 2025 at 11:53:04 PM EDT

**Subject:** Fw: assent crmc

Dear Amy,

Hope all is well.

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Sincerely,  
Charles Pistocco

## Oliver Allamby

---

**From:** spring green <springgreenautobody@yahoo.com>  
**Sent:** Tuesday, August 12, 2025 12:32 PM  
**To:** Laura Miguel; Cstaff  
**Subject:** 2024-03-112  
**Attachments:** 567059AE-C4D1-48DF-AF64-FD234F3AAF94.png;  
8AE062A1-76E6-436B-8CBC-095D5E76BAC0.png

Hello Laura

Here is a screenshot of my correspondence with Amy.

As you can see, no return emails since June.

Ty

Charlie

Ps- more info to come

Q amy X

me Jul 23  
Fw: assent crmc ☆

Cross Pistocco Jul 23  
assent ☆

[Redacted] Jul 13  
[Redacted] ☆

me Jul 11  
Fw: PDF version of survey ☆

June

me Jun 26  
Fw: 256 Shawomet CRMC letter ☆

me Jun 17  
Re: Shawomet ave ☆

Amy Silva Jun 17  
RE: Shawomet ave ☆

me Jun 15

AA

mail.yahoo.com



Q Amy Silva Add keyword X

June



Amy Silva Jun 17  
RE: Shawomet ave ☆

Amy Silva Jun 5  
RE: Shawomet ave ☆

Amy Silva Jun 2  
RE: Shawomet ave ☆

May

Amy Silva May 29  
RE: Shawomet ave ☆

Amy Silva May 28  
RE: Shawomet ave ☆



## Oliver Allamby

---

**From:** spring green <springgreenautobody@yahoo.com>  
**Sent:** Tuesday, August 12, 2025 12:35 PM  
**To:** Laura Miguel; Cstaff  
**Subject:** Fw: PDF version of survey 2024-03-112  
**Attachments:** Survey 256 Shawomet.pdf

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

**Categories:** Oliver

----- Forwarded Message -----

**From:** spring green <springgreenautobody@yahoo.com>  
**To:** Amy Silva <asilva@crmc.ri.gov>  
**Sent:** Friday, July 11, 2025 at 04:13:25 PM EDT  
**Subject:** Fw: PDF version of survey

Hi Amy.  
Here is the updated site survey for Shawomet Ave. Please lmk your thoughts.  
Best-  
Charles

Attached is a pdf version of the survey.



---

**Madison Dalton**

Assistant Plan Reviewer

Warwick Building Department

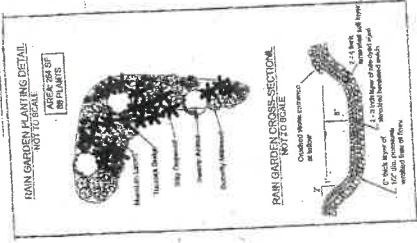
City of Warwick

(401) 921-9538

<https://www.warwickri.gov>

[madison.dalton@warwickri.gov](mailto:madison.dalton@warwickri.gov)

**RECEIVED**  
**AUG 12 2023**  
**COASTAL RESOURCES MANAGEMENT COUNCIL**



Tables 7. and 8. Rain Garden Sizing Guidance

Drainage Area (ft <sup>2</sup> )	for 4 inch deep garden	for 6 inch deep garden	for 8 inch deep garden
100	19	15	8
200	38	30	16
300	57	45	24
400	76	60	32
500	95	75	40
600	114	90	48
700	133	105	56
800	152	120	64
900	171	135	72
1000	190	150	80

**ZONING:**  
 THIS PARCEL IS LOCATED IN RESIDENTIAL DISTRICT A-40.  
 MIN. LOT AREA: 40,000 S.F.  
 MIN. LOT FRONTAGE: 150 FT.  
 MIN. LOT WIDTH: 150 FT.  
 MIN. FRONT YARD: 40 FT.  
 MIN. REAR YARD: 40 FT.  
 MIN. SIDE YARD: 30 FT.  
 MIN. LANDSCAPING COVERAGE: 20%  
 MAX. BUILDING COVERAGE: 35%

**FLOODING:**

THIS PARCEL IS SITUATED IN FLOODPLAIN ZONE VE, WHICH DETERMINED BY FEMA MAPS FOR THE CITY OF WARWICK, COUNTY OF KENT, AS AREAS OF COASTAL FLOOD WITH VELOCITY HAZARD (WAVE ACTION) BASED ON WATER NUMBER 440320163H. MAP REVISED DATE: SEPTEMBER 18, 2013.

- LEGEND**
- PROPERTY LINE
  - ADJUTING PROPERTY LINE
  - IMPELLING
  - PROPOSED ADDITION
  - HOW OR FORMERLY
  - EDGE OF ASPHALT
  - CONTOUR LINE
  - GRANITE BOUND FOUND
  - RHODE ISLAND HIGHWAY BOUND (FOUND)
  - DRILL HOLE SET
  - DRILL HOLE FOUND
  - IRON REBAR SET
  - SEWER MANHOLE
  - GAS GATE
  - WATER GATE
  - HYDRANT
  - DRINKING MANHOLE
  - UTILITY POLE
  - CATCH BASIN

**NOTES:**

- THE LOCATION, DEPTH, AND EXISTENCE OF ANY UTILITIES OR OTHER UNDERGROUND OBJECTS SHOWN ON THIS PLAN ARE BASED ON THE BEST AVAILABLE INFORMATION. LOCATIONS ARE NOT IMPROVED TO BE EXACT, NOR IS IT WARRANTED THAT ALL EXISTING UTILITIES ARE SHOWN.
- LOTS DEPICED ON THIS PLAT SHALL NOT BE ALTERED DIMENSIONALLY OR IN FORM INCLUDING THE ENLARGEMENT OF LOTS OR MOVING OF ANY LINE FOR ANY PURPOSE WHATSOEVER WITHOUT FIRST FILING A NEW SUBDIVISION APPLICATION IN ACCORDANCE WITH THE CITY OF WARWICK DEVELOPMENT REVIEW REGULATIONS OF DECEMBER 31, 1985 AS AMENDED.
- CONTRACTOR IS REQUIRED TO CALL DIG-SAFE BEFORE ANY EXCAVATION IS COMMENCED (1-888-386-SAFE).
- CONTRACTOR IS REQUIRED TO VERIFY WITH THE CITY OF WARWICK ON THE REGULATIONS AND REQUIREMENTS BEFORE THE START OF THE PROJECT.
- ALL ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88).
- SEPTIC SYSTEM INFORMATION IS TAKEN FROM A REVISED PLAN BY PHILIP MANCHI ON DECEMBER 1986.

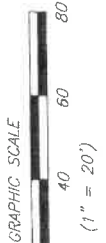
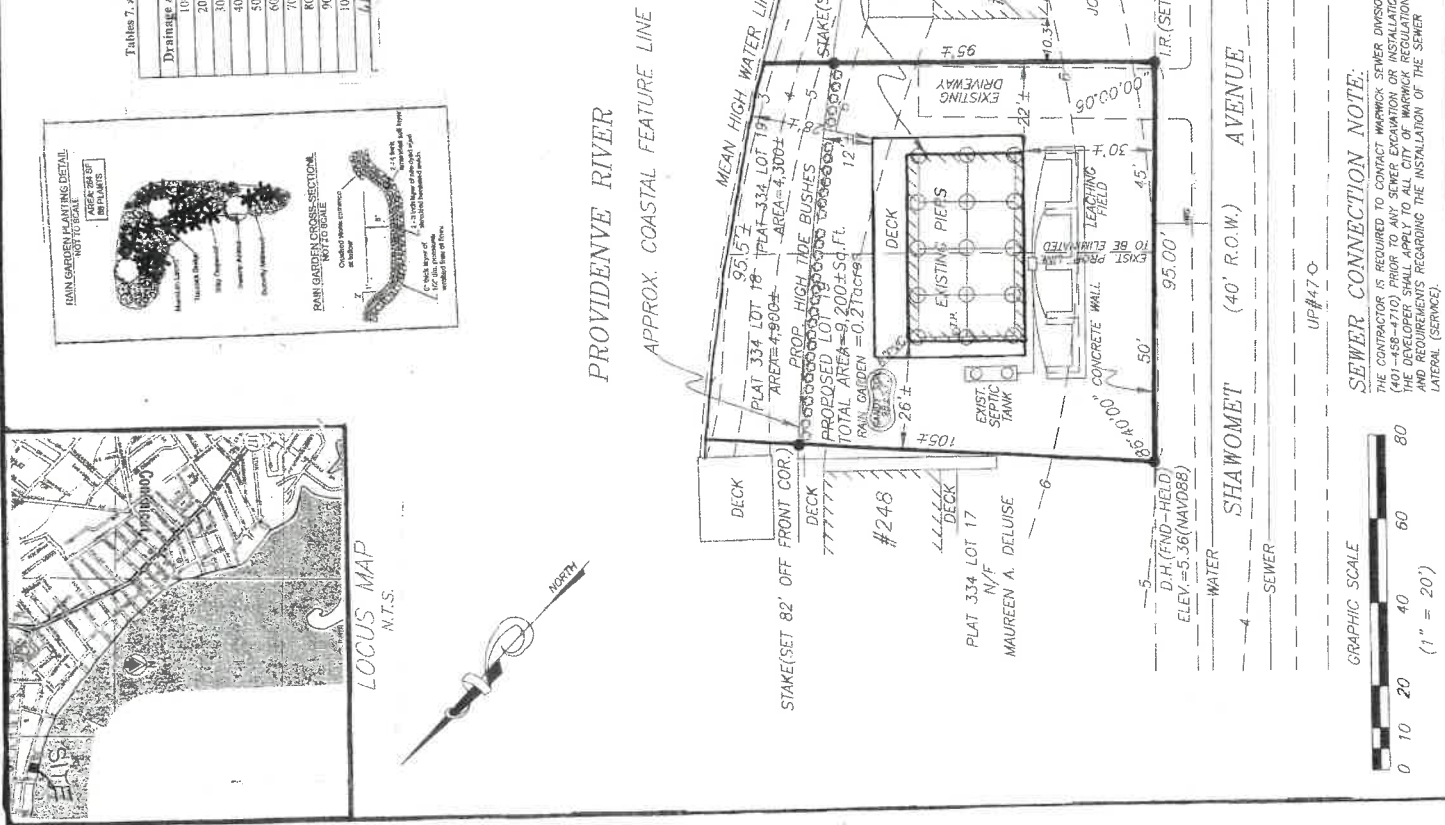
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS ADOPTED BY THE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS APRIL 18, 2018 AS FOLLOWS:  
 TYPE OF SURVEY - LIMITED CONTENT BOUNDARY SURVEY  
 TOPOGRAPHY SURVEY - CLASS 1  
 TOPOGRAPHY SURVEY - T-2

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:  
 ADMINISTRATIVE SUBDIVISION  
 BY: NABIL Y. RASHID  
 REGISTERED LAND SURVEYOR

**ADMINISTRATIVE SUBDIVISION**  
 FOR  
 PISTOCO PLAT  
 256 SHAWOMET AVENUE  
 WARWICK, RHODE ISLAND  
 PLAT 334 LOTS 18 & 19

NRC ASSOCIATES  
 P.O. BOX 14459  
 EAST PROVIDENCE, RHODE ISLAND 02914  
 (401)954-0206

DATE: MAY 27, 2024  
 FILED: JUNE 16, 2023  
 1 of 1



## Oliver Allamby

---

**From:** spring green <springgreenautobody@yahoo.com>  
**Sent:** Tuesday, August 12, 2025 12:37 PM  
**To:** Laura Miguel; Cstaff  
**Subject:** Fw: assent crmc variance request 2024-03-112

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

**Categories:** Oliver

----- Forwarded Message -----

**From:** spring green <springgreenautobody@yahoo.com>  
**To:** Amy Silva <asilva@crmc.ri.gov>  
**Sent:** Wednesday, July 23, 2025 at 11:53:04 PM EDT  
**Subject:** Fw: assent crmc

Dear Amy,

Hope all is well.

Per your request, I am formally requesting a variance for the location of our pier foundation located at 256 Shawomet Ave.

Here are some of the reasons for this request:

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Sincerely,  
Charles Pistocco

## Oliver Allamby

---

**From:** spring green <springgreenautobody@yahoo.com>  
**Sent:** Tuesday, August 12, 2025 1:20 PM  
**To:** Laura Miguel; Cstaff  
**Subject:** Fw: shawomet ave septic test. Dem. 2024-03-112

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

**Categories:** Oliver

----- Forwarded Message -----

**From:** Taylor, Raymond (DEM) <raymond.taylor@dem.ri.gov>

Mr. Pistocco,

I'm happy you were able to conduct the test.

I have no further guidance for you, and as I have indicated before, cannot and will not interface with CRMC on your behalf.

Good luck with your venture,



**Raymond Taylor, PE** *(he/him/his)*

Environmental Engineer IV

OWTS Program Supervisor

**Rhode Island Department of Environmental Management**

**Onsite Wastewater Treatment Systems (OWTS)**

**Office of Water Resources**

235 Promenade Street, Suite 260, Providence, RI 02908

401.222.3961 (general);

401.537.4237 (direct);

401.408.0753 (cell)

(E) [Raymond.Taylor@dem.ri.gov](mailto:Raymond.Taylor@dem.ri.gov)

---

**From:** spring green <springgreenautobody@yahoo.com>  
**Sent:** Saturday, April 12, 2025 18:45  
**To:** Taylor, Raymond (DEM) <Raymond.Taylor@dem.ri.gov>  
**Subject:** Fw: shawomet ave

Hello Mr Taylor-

Hope all is well.

Here are the results of the functionality/ flow test for the septic system at 252 shawomet Ave ,  
Warwick. (Which we discussed in February).

It would appear that everything is functioning as designed. Please lmk what the next steps should be.  
I would think that CRMC would also need to see this at some point.

Ty

Charles Pistocco

From

susan pagnozzi

Michael Perri and Sons Inc. 537 Sandy Lane Warwick, RI 02889 Phone: 401-736-8313  
Fax: 401-736-8317

**From:** Amy Silva  
**Sent:** Thursday, June 26, 2025 10:34 AM  
**To:** Cstaff  
**Subject:** FW: 256 Shawomet CRMC letter  
**Attachments:** 256 Shawomet Ave. - Bldg. Official letter for CRMC.pdf

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

**Categories:** Oliver

Amy Silva  
 Supervising Environmental Scientist, CRMC  
 (401)-783-3370p/(401)-783-2069f  
<http://www.crmc.ri.gov>

**From:** spring green <springgreenautobody@yahoo.com>  
**Sent:** Thursday, June 26, 2025 10:11 AM  
**To:** Amy Silva <asilva@crmc.ri.gov>  
**Subject:** Fw: 256 Shawomet CRMC letter

Hi Amy  
 Here is the requested paperwork from Warwick city hall.  
 Best-  
 Charlie

----- Forwarded Message -----

**From:** Dalton Madison <[madison.dalton@warwickri.gov](mailto:madison.dalton@warwickri.gov)>  
**To:** 'official.timeless.cnj@gmail.com' <[official.timeless.cnj@gmail.com](mailto:official.timeless.cnj@gmail.com)>; 'spring green' <[springgreenautobody@yahoo.com](mailto:springgreenautobody@yahoo.com)>  
**Sent:** Wednesday, June 25, 2025 at 12:47:41 PM EDT  
**Subject:** FW: 256 Shawomet CRMC letter

CRMC new letter




---

**Madison Dalton**  
 Assistant Plan Reviewer  
 Warwick Building Department  
 City of Warwick

(401) 921-9538

<https://www.warwickri.gov>

[madison.dalton@warwickri.gov](mailto:madison.dalton@warwickri.gov)

**From:** Hafferty Deborah L <[deborah.l.hafferty@warwickri.gov](mailto:deborah.l.hafferty@warwickri.gov)>  
**Sent:** Wednesday, June 25, 2025 11:50 AM  
**To:** Dalton Madison <[madison.dalton@warwickri.gov](mailto:madison.dalton@warwickri.gov)>  
**Subject:** 256 Shawomet CRMC letter



---

**Deborah L Hafferty**

Building Generalist/Technician

Warwick Building Department

City of Warwick

(401) 921-9533

<https://www.warwickri.gov>

[deborah.l.hafferty@warwickri.gov](mailto:deborah.l.hafferty@warwickri.gov)

TO: Coastal Resources Management Council  
4808 Tower Hill Road Suite 3  
Wakefield, RI 02879  
Phone: (401) 783-3370 / Fax: (401) 783-2069

For  
middle for city

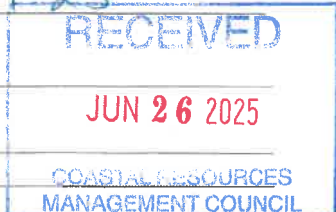


FROM: Building Official

DATE: 6-24-25

SUBJ: Application of: Charles Pistocco

Location: 256 Shawomet ave



Address: 256 Shawomet ave

Plat(s): 334 Lot(s): 18, 19

To Construct: Single family Dwelling 3 stories  
above grade plan height

I hereby certify that I have reviewed \_\_\_\_\_ foundation plan(s).

plan(s) for entire structure  
 site plans

Titled: ADMINISTRATIVE SUBDIVISION FOR CHARLIE PISTOCO  
256 SHAWOMET AVENUE, WARWICK, RHODE ISLAND  
Plat 334 LOTS 18 + 19

Date of Plan (last revision): May 23, 2023

\_\_\_\_\_ and find that the issuance of a local building permit is not required as in accordance with Section \_\_\_\_\_ of the Rhode Island State Building Code.

and find that the issuance of a local building permit is required. I hereby certify that this permit shall be issued once the applicant demonstrates that the proposed construction/activity fully conforms to the applicable requirements of the RISBC, and all other local, state and federal regulations are met.

\_\_\_\_\_ and find that a Septic System Suitability Determination (SSD) must be obtained from the RI Dept. of Environmental Management.

\_\_\_\_\_ and find that a Septic System Suitability Determination (SSD) need not be obtained from the RI Dept. of Environmental Management.

\_\_\_\_\_ and find NO structural or non-structural fill is proposed in a FEMA-designated V-Zone or Coastal A-zone.

\_\_\_\_\_ and find that the proposed fill is considered non-structural fill and meets FEMA NFIP guidelines.

\_\_\_\_\_ and find that said plans conform with all elements of the zoning ordinance, and that if said plans require zoning board approval, that the applicant has secured such approval and that the requisite appeal period has passed with no appeal filed or appeal is final. The Zoning Board approval shall expire on: \_\_\_\_\_

*[Signature]* 6/25/25  
State/Municipal Building Official's Signature Date

and find that said plans conform with all elements of the zoning ordinance, and that if said plans require zoning board approval, that the applicant has secured such approval and that the requisite appeal period has passed with no appeal filed or appeal is final.

*[Signature]* 6/25/25  
Zoning Officer's Signature Date

FRANK J. PICOZZI  
MAYOR



ALFRED T. DeCORTE  
DIRECTOR & BUILDING OFFICIAL

**CITY OF WARWICK**  
BUILDING DEPARTMENT

3275 POST ROAD • WARWICK, RHODE ISLAND • 02886-7152  
Tel (401) 738-2007 • Fax (401) 732-5071

To: Coastal Resources Management Council  
From: Alfred T. DeCorte, Director & Building Official  
Application of: Charles Pistocco  
256 Shawomet Avenue, Warwick, RI 02889  
Plat 334, Lots 18, 19

March 11, 2024

**To: Construct a new single family dwelling, three stories above grade plane height**

I hereby certify that I have reviewed foundation plans \_\_\_\_\_  
Plans for entire structure \_\_\_\_\_  
Site plans   X    
Not applicable \_\_\_\_\_

and find that the issuance of a local building permit is not required as in accordance with Section 23-27.3-102 of the Rhode Island State Building Code \_\_\_\_\_

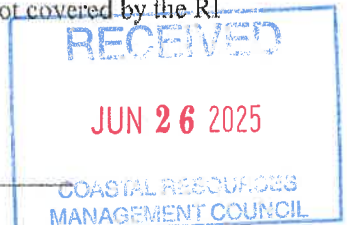
and find that the issuance of a local building permit is required. I hereby certify that this permit shall be issued once the applicant demonstrates that the proposed construction/activity fully conforms to the applicable requirements of the RISBC   X  

and find that said plans conform to all elements of the zoning ordinance, and that if said plans require zoning board approval, that the applicant has secured such approval and that the requisite appeal period has passed with no appeal filed or appeal is final   X   \*\*\*Administration Subdivision required through Planning to merge lots

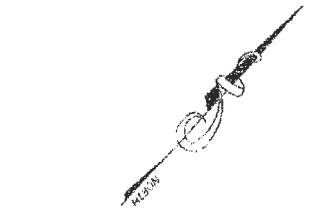
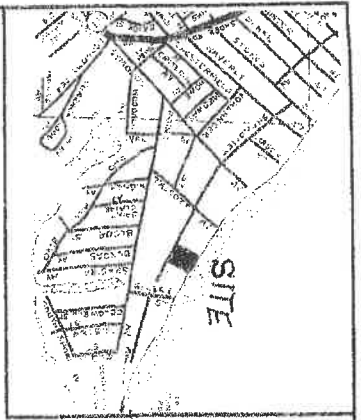
and find that a Septic System Suitability Determination (SSD) must be obtain from the RI Dept of Environmental Management \_\_\_\_\_

Issuance of a local building permit is not required, as the project is an in-water activity not covered by the RI State Building Code, but subject to state and/or federal regulations \_\_\_\_\_

  
Building Official's Signature



**THIS IS NOT A BUILDING PERMIT. ANYONE PERFORMING WORK REGULATED BY THE STATE BUILDING CODE WITHOUT A BUILDING PERMIT WILL BE ASSESSED A \$1,000.00 LATE FILING FEE AND IS SUBJECT TO ONE YEAR IN PRISON AND A \$500.00 PER DAY FINE. EACH DAY OF NON-COMPLIANCE IS CONSIDERED A SEPARATE OFFENSE.**



**ZONING:**

THIS PARCEL IS LOCATED IN RESIDENTIAL DISTRICT 4-1  
 MIN. LOT AREA: 7,500 S.F.  
 MIN. LOT FRONTAGE: 70 FT.  
 MIN. LOT WIDTH: 60 FT.  
 MIN. SETBACK: 20 FT.  
 MIN. SIDE YARD: 5 FT.  
 MIN. LAIDSCAPED OPEN SPACE: 10%  
 MIN. RATIO: 1:1

**FLOODING:**

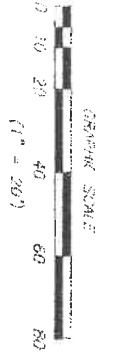
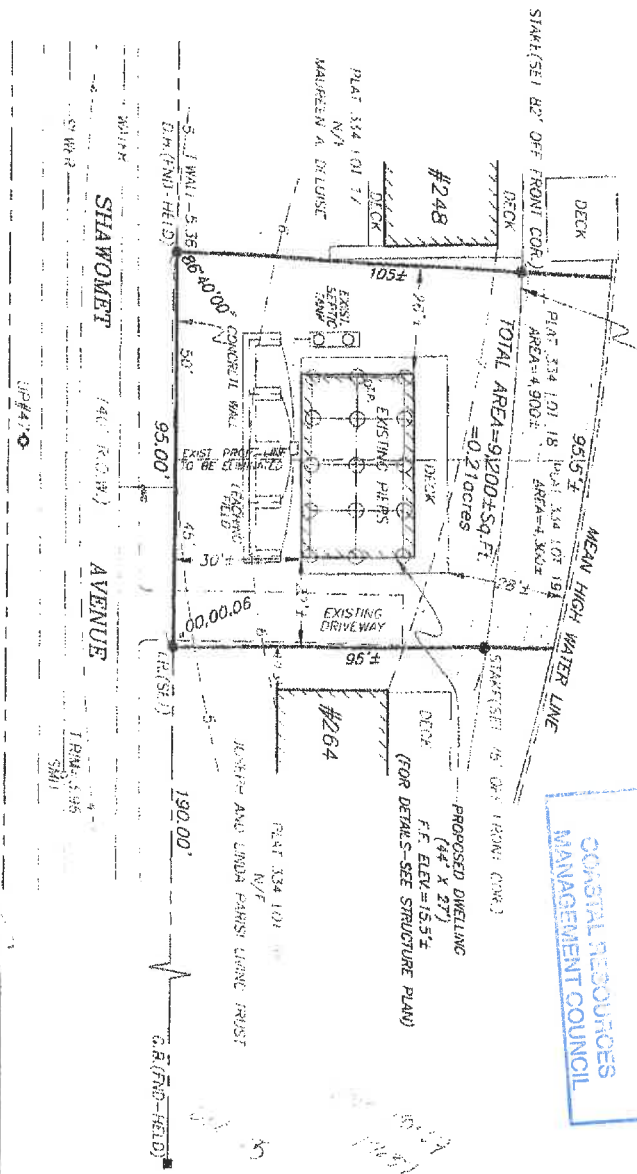
THIS PARCEL HAS BEEN DETERMINED TO BE IN A FLOOD HAZARD ZONE BY THE CITY OF WARWICK. COUNTY OF PROVIDENCE. THE FLOOD HAZARD ZONE MAP IS AVAILABLE AT THE CITY ENGINEERING DEPARTMENT, 100 STATE STREET, WARWICK, RI 02884. THE FLOOD HAZARD ZONE MAP IS DATED 1997. THE FLOOD HAZARD ZONE MAP NUMBER IS 44-000-00000. THE FLOOD HAZARD ZONE MAP IS DATED 1997.

**REFERENCE:**

PLAN ENTITLED "SHAWMOMET BAY, SUB DIVISION #1" WHICH PLAT IS RECORDED IN THE LAND RECORD RECORDS OF THE CITY OF WARWICK ON 02-15-2025.



**NARRAGANSETT BAY**  
 APPROX. COASTAL FEATURE LINE



**LEGEND**

	BOUNDARY LINE
	EASEMENT
	PROPOSED ADDITION
	NOT OF RECORD
	LOT OF RECORD
	CENTER LINE
	STREET NAME
	UTILITY LINE
	DRIVEWAY
	DECK
	PORCH
	ROOF
	WALL
	WINDOW
	DOOR
	FENCE
	TREE
	SHRUB
	LAWN
	GARDEN
	DRIVEWAY
	DECK
	PORCH
	ROOF
	WALL
	WINDOW
	DOOR
	FENCE
	TREE
	SHRUB
	LAWN
	GARDEN

**NOTES:**

1. THE LOCATION, DEPTH, AND EXISTENCE OF ANY UTILITIES OR OTHER UNDERGROUND OBSTACLES SHOULD BE DETERMINED BY THE OWNER OR HIS BEST AVAILABLE INVESTIGATIVE CONSULTANT AND NOT NEARER TO THE EXACT LOCATION IS INDICATED ON THE EXISTING UTILITIES MAP SHEET.
2. THE PROPOSED DWELLING SHALL BE CONFORM TO THE ZONING CODE AS APPLICABLE TO THIS PARCEL.
3. THE PROPOSED DWELLING SHALL BE CONFORM TO THE ZONING CODE AS APPLICABLE TO THIS PARCEL.
4. CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF WARWICK BEFORE THE START OF THE PROJECT.
5. ALL UTILITIES ARE SHOWN ON THE MEAN HIGH WATER LINE DRAWING (UNAVAIL).
6. SETBACK SYSTEM INFORMATION IS TAKEN FROM A RECORDED MAP BY PHILIP WARDEN ON DECEMBER 1988.

THIS STATE HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS ESTABLISHED BY THE HOUSE OF REPRESENTATIVES AND THE SENATE FOR THE REGISTRATION OF PROFESSIONAL LAND SURVEYORS AND THE BOARD OF SURVEYORS AND MAPPERS. THE PLAN IS A TRUE AND CORRECT REPRESENTATION OF THE SURVEY AND THE SURVEYOR'S FIELD NOTES AND FIELD BOOKS. THE SURVEYOR'S FIELD BOOKS AND FIELD NOTES ARE KEPT IN HIS OFFICE AND ARE AVAILABLE FOR INSPECTION BY THE PUBLIC AT ALL TIMES.

THE PURPOSE OF THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:

FOR THE PURPOSE OF THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:

FOR THE PURPOSE OF THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:

**ADMINISTRATIVE SUBDIVISION**  
 FOR  
 CHARLIE HISTOCCO  
 256 SHAWMOMET AVENUE  
 WARWICK, RHODE ISLAND  
 PLAT 334, LOTS 18 & 19

**NRC ASSOCIATES**  
 P.O. BOX 14469  
 EAST PROVIDENCE, RHODE ISLAND 02914  
 (401) 954-0206



FILED IN 111  
 THE PLAN SHALL BE INDEXED AS  
 SHAWMOMET DIVISION  
 DIVISION ENGINEER MUST  
 BE SPECIALLY DESIGNATED  
 BY LICENSE

DATE	11/11/25
BY	CHARLIE HISTOCCO
FOR	NRC ASSOCIATES
PROJECT	SHAWMOMET BAY, SUB DIVISION #1
SHEET	1 of 1



State of Rhode Island and Providence Plantations  
**Coastal Resources Management Council**  
Oliver H. Stedman Government Center  
4808 Tower Hill Road, Suite 116  
Wakefield, RI 02879-1900

(401) 783-3370  
Fax (401) 783-3767

June 6, 2025

File Number: 2024-03-112  
Site Address: Shawomet Avenue, Warwick  
Plat: 334 Lot: 19  
Proj. Desc: Construct single family dwelling

Dear Mr. Pistocco:

This letter serves as a follow-up summary of the meeting held on June 5, 2025, to clarify the information request dated March 12, 2025. At that meeting, both you and your surveyor were given packets which detailed the information needed. A copy of this packet is in your file.

Discussed at the meeting were the items still missing to complete the application package. The Coastal Hazards Assessment (CHA) Worksheet was completed at the meeting and submitted to the file. The remaining items needed included stormwater management, approval from the City of Warwick to use the OWTS on site, depiction of a proposed Buffer and Setback, and a written Variance request.

Also discussed was the accuracy of the Coastal Feature, with staff opining that the feature depicted on the plans may not be accurate, based on recent aerial photograph imagery.

The proposed deck was suggested for removal to increase both the Buffer and Setback. It was not brought up at the meeting, but it should be noted that the previous Assent (1986-04-052), which provided a 40 foot vegetated Buffer and 10 foot Setback, included a Stipulation that prohibited a deck on the seaward side of the dwelling (Ref. "Additional Stipulations E" of the attached Assent). Again, staff recommends removal of the deck.

We discussed the challenge of this application, with significant erosion since the 1986 Assent, and the presence of the existing pilings and OWTS tank. This application represents essentially a 100% Variance to the Buffer and a 50% Variance to the Setback as currently shown on plans. Variances of this size must be decided by the full Coastal Council.

Upon receipt of all required elements discussed, staff will begin review of the complete application. If this information is not received within 30 days, your application will be cancelled without prejudice.

Sincerely,

Amy Silva, CRMC Permitting Staff



STATE OF RHODE ISLAND AND PROVIDENCE PLANTATIONS

COASTAL RESOURCES MANAGEMENT COUNCIL

Oliver H. Stedman Government Center  
Tower Hill Road  
Wake Field, R.I. 02879

ASSENT

File Number: 86-4-52 Assent Number: B 86-4-52  
Meeting Date: May 26, 1987

Whereas, John Rothmich/Charles Pistocco  
102 Pine Street  
of Pawtucket, RI 02860

has applied to the Coastal Resources Management Council for assent to:

Construct and maintain a pile/pier-supported 3-bedroom dwelling and ISDS. A driveway, and low retaining wall.

and hereby represents that THEY ~~is~~/are the owner(s) of the riparian rights attached to the property involved and submitted plans of the work to be done.

Now, said Council, having fully considered said application in accordance with all the regulations as set forth in the Administrative Procedures Act does hereby authorize said applicant, subject to the provisions of Title 46, Chapter 23 of the General Laws of Rhode Island, 1956, as amended, and all laws which are or may be in force applicable thereto: construct and maintain a pile/pier-supported 3-bedroom dwelling and ISDS. A driveway, and low retaining wall. Located at #48 Shawomet Avenue, Warwick, RI. Plat No. 334, Lot Nos. 18 & 19.

in accordance with said plans submitted to this Council and approved by this Council. All work being permitted must be completed on or before June 8, 1990, after which date this assent is null and void. (unless written notice requesting an extension is received by CRMC sixty (60) days prior to expiration date).

Applicant agrees that as a condition to the granting of this assent, members of the Coastal Resources Management Council or its staff shall have access to applicants property to make on-site inspections to insure compliance with the assent.

Nothing in this assent shall be construed to impair the legal rights of this granting authority or of any person. By this assent the granting authority by no manner, shape, or form assumes any liability or responsibility implied, or in fact, for the stability or permanence of said project; nor by this assent is there any liability implied or in fact assumed or imposed on the granting authority. Further, the granting authority by its representatives or duly authorized agents shall have the right to inspect said project at all times including, but not limited to, the construction, completion, and all times thereafter.

A copy of this Assent shall be kept on site during construction.

Plans for future alteration of the shoreline or construction or alteration within the CRMC jurisdiction should be submitted to the CRMC for review prior to commencing such activity.

All local, state or federal ordinances and regulations must be complied with.

This assent is granted subject to the following stipulations:

(Stipulations set forth below): (A), (B), (C), (D), (E)

In Witness Whereof, said Coastal Resources Management Council have hereto set their hands and seal this 8th day of June in the year nineteen hundred eighty-seven.



\_\_\_\_\_, Chairman  
Coastal Resources Management Council

ASSENT SUBJECT TO STIPULATIONS CIRCLED:

- A. Please be advised that as a further conditions of this Assent, it is hereby stipulated that you and/or your agents shall comply at all times with Federal and State Water Quality Standards and other State standards and regulations regarding water quality, and shall exercise such supervision over and control of these pier facilities to prevent the dumping or discarding of refuse, sanitary wastes and other pollutants in the tidal waters, either from vessels docked at said pier or from land adjacent thereto.
- B. This Assent is granted with the specific proviso that the construction authorized therein will be maintained in good condition by the owner thereof, his heirs, successors, or assigns for a period of fifty (50) years from the date thereof, after which time this permission shall terminate necessitating either complete removal or a new application.
- C. In accordance with a decision of the Coastal Resources Management Council on October 9, 1973, this Assent is granted with the proviso that it is subject to the imposition of a usage fee to be established by the Coastal Resources Management Council.
- D. No work shall be done under this Assent until the required Federal Permit has been obtained.
- E. Additional Stipulations, Standards, Prohibitions, and Policies. (See attached sheets).

John Rothmich/Charles Pistocco  
102 Pine Street  
Pawtucket, RI 02860  
CRMC File Number 86-4-52  
June 8, 1987  
Page Three

ADDITIONAL STIPULATIONS

- A. The approved site plan shall be that plan approved by DEM/ISDS dated 9/11/86, Plan No. 8635-81, stamped by D.L. Badorek. Except/unless as stipulated all details and specifications thereon shall be strictly adhered to.
- B. The character of this site must remain in native vegetation, suitable to the climatic conditions found there. Therefore, the ISDS shall be covered in soils similar in nature to those existing on site. These soils shall be revegetated with American Beach Grass (Ammophila breviligulata) after completion of the system. In addition, the grading performed on the seaward side of the dwelling shall also be revegetated with beachgrass. The attached planting guide shall be attached to the Assent.
- C. A dune walkover structure (boardwalk or rollover walk) shall be provided for access to the beach.
- D. A 40' buffer zone from the inland edge of the dune scarp shall remain in its natural state. It shall be neither cleared or graded after the proposed construction has been completed.
- E. The dwelling shall have no decks or doors on its seaward side.
- F. For the purpose of this permit, the coastal feature shall be the beach, and the inland edge of the coastal feature shall be the inland edge of the beach, at the scarp.
- G. All site grades shall be returned to the original grade unless indicated on approved plan and approved.
- H. All excess excavated materials, excess soils, excess construction materials, and debris (including any destructed materials) shall be removed from the site and disposed of at an inland landfill or a suitable and legal upland location. No materials shall be deposited on the coastal feature, within 50 feet of the inland edge of the coastal feature, or in coastal waters.
- I. All fill materials shall be clean, free of debris and rubble, and free of materials which may cause pollution of surface waters or groundwater.
- J. All areas of exposed soil which are disturbed by construction and related activities shall be revegetated as immediately as is physically possible so as to minimize erosion and sedimentation. If the season is not conducive to immediate revegetation, all exposed soils shall be temporarily stabilized with hay mulch or similar material. Soil stabilization methods shall be employed during, as well as after, the construction phase to the maximum extent possible.
- K. The proposed fill shall have a maximum grade of 30 percent.
- L. Excavation and grading shall be limited to the area of the approved activity only. Excess earthwork beyond that approved by the approved plans and stipulations of this assent is not permitted.

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ADDITIONAL STIPULATIONS

- M. No stockpiling or disposal of soils, construction materials, or debris shall occur on the coastal feature, within 50 feet of the inland edge of the coastal feature, or in coastal waters.
- N. A setback of 50 feet from the inland edge of the coastal feature shall be maintained. No significant activity or alteration shall occur within this setback unless the appropriate variance has been obtained from the CRMC.
- O. No significant alteration of the existing vegetative cover shall occur in the first 40' width of setback area travelling inland from the coastal feature. This area shall be maintained with existing, native type vegetation to serve as protection against erosional impacts (from and/or upon the proposal) and/or impacts upon water quality. During construction, a snow-fence shall be used at this line.
- P. All existing vegetation on the low dune shall be maintained in its existing natural condition.
- Q. The setback shall be delineated by the CRMC staff prior to any activities on the site. This shall be at the request of the applicant.
- R. Prior to initiation of any grading, construction, or earthwork activity, a line of staked haybales shall be placed along the downslope perimeter of the proposed area of construction. (This line shall not be located on a coastal feature nor within a stipulated buffer zone.) Bales shall be "toed in" 4 inches, where possible, to prevent the underwash of sediments. This line shall be maintained by the replacement of bales as needed and by the proper upland disposal of accumulated sediments. This line shall be effectively maintained until permanent site revegetation is established. No soils nor materials shall be allowed to enter beyond this line, neither temporarily nor permanently.
- S. Staff will monitor this project on an intermittent basis. Additional erosion control measures may be imposed, where necessary, based upon the on-site determination of the staff.
- T. All driveway and parking areas shall have a permeable pavement and subbase consisting of gravel, crushed stone, shells, or similar highly permeable material.
- U. Any pumping of groundwater, which may be necessary for dewatering, shall be discharged into sediment traps consisting of staked hay bale rings enclosing crushed stone to disperse inflow velocity. Hay bales shall be "toed in" 4 to 6 inches into the ground to prevent underwash of sediments. These devices shall be maintained by removal and proper disposal of accumulated sediments and by replacement of bales and stone as needed. The devices shall not be located on any coastal feature nor in any designated buffer zone unless specifically allowed. If necessary, a matting device shall be used below the traps. The full removal of these devices (bales, stone, and sediment) shall occur upon construction completion.

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ADDITIONAL STIPULATIONS

- V. Prior to initiation of construction, the applicant shall ensure that an on-site meeting be held between the contractor and the CRMC staff. This meeting will serve to clarify and stress the terms of the permit and will concern details of erosion and sedimentation controls, methods of construction, construction timing, dewatering, etc..
- W. All applicable policies, prohibitions, and standards of the RICRMP shall be upheld.
- X. Any additional alteration or construction within 200 feet inland of the coastal feature, on the coastal feature, or in coastal waters must be reviewed by the CRMC prior to the initiation of the activity.
- Y. A curb or similar vehicular barrier shall be installed to prevent vehicular traffic over the septic system area.
- Z. Grading around the ISDS shall direct the flow of surface runoff water away from the ISDS.
- AA. The dwelling and foundation shall be constructed in accordance with plans and specifications entitled Foundation Plan Sections/Proposed Residential dwelling for Mr. Charles Pistocco., dated Rev. 1/19/87, stamped and certified by Philip S. Mancini, P.E.. Plans shall be strictly adhered to, except as stipulated. Any and all changes to the plans must be reviewed and approved by the designer and by CRMC staff engineer.
- BB. The lowest portion of the structural members of the lowest floor (excluding the pilings or columns) shall be elevated to or above 18' MSL.
- CC. The column to beam connection shall consist of details shown on approved plan. .
- DD. All bolted connections shall be in accordance with the National Design Specification (NDS).
- EE. The main floor beams shall be as per the details shown on approved plan.
- FF. As required by the R.I. State Building Code, the space below the lowest floor and between pilings shall be kept free of obstruction or be enclosed with "breakaway walls" intended to collapse under stress without jeopardizing the structural support of the structure so that the impact on the structure by abnormally high tides or wind driven water is minimized. Such temporarily enclosed space shall not be used for human habitation or for the enclosure of any utility or item essential to the structure unless such item or utility is floodproofed.
- GG. The "breakaway walls" stipulated above shall be limited to open lattice work walls. These walls shall have no connections to the pilings, but shall only be toe-nailed at their tops and bottoms.

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ADDITIONAL STIPULATIONS

HH. Floor joists shall be secured with galvanized "hurricane clip" metal fasteners where each joist encounters a floor beam.

II. To secure the exterior wall to the floor joists, galvanized metal strap connections shall be used connecting the exterior wall studs to the joists. These connections shall also be used between floor joists.

JJ. Roof trusses or rafters shall be placed 16 to 24 inches on center, and as required by the R.I. State Building Code, shall be connected to the exterior wall with galvanized metal straps.

KK. As required by the R.I. State Building Code, all windows shall meet manufacturer's standards for wind loads of 110 mph.

LL. Commercial grade wood connection hardware (galvanized metal fasteners) shall be used, along with any typical connections in the structure, to resist wind related uplift forces. Fastening devices shall be used in accordance with manufacturer's nailing specifications and allowable load capacities (verify with local building official). The connections shall be designed and constructed to resist the following minimum loads (calculated with the aid of FEMA's "Design Manual.")

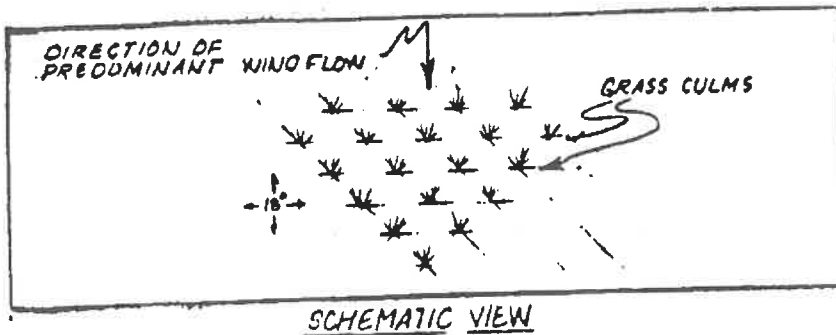
1. Bottom of first floor connection: 636 lbs per linear foot of wall.
2. First to second floor connection: 302 lbs per linear foot of wall.
3. Roof connection: 619 lbs per linear foot of wall.
4. Loads present at roof peak connection.

MM. All exterior fastening devices and exterior hardware shall be hot-dipped galvanized. Also, all exterior fastening devices shall be checked annually and maintained properly by repainting with rust-proofing or by replacement.

NN. Structures elevated more than ten feet should be sheathed with three-quarter-inch exterior grade plywood, nailed with eight penny nails, spaced six inches on edges and twelve inches on intermediate studs. Deformed shank or annular ring nails and plywood with exterior glue are recommended, as per FEMA, "Design Manual."

OO. All materials, dimensions, fastening schedules, and other specifications shall meet the requirements of the R.I. State Building Code, except when stipulations herein require construction exceeding the code requirements.

## AMERICAN BEACH GRASS PLANTING PATTERN

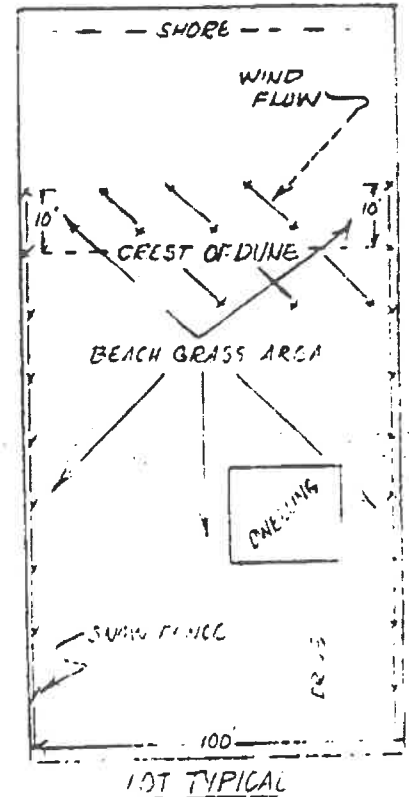
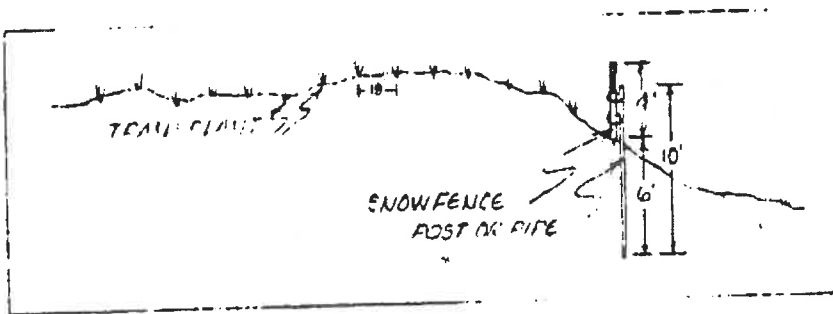


### NOTES:

PLANT BEACH GRASS CULMS 12" TO 18" APART AND TO A DEPTH OF 9"  
PLANTING DENSITY: 3-5 STEMS PER TRANSPLANT

PLANT BEACH GRASS ON ALL DISTURBED AND ERODING AREAS  
PLANT BEACH GRASS WITHIN SNOW FENCING AND ON THE OCEAN  
SIDE OF STRUCTURES, UP TO AND INCLUDING THE DUNE ITSELF

RESTRICT ACCESS TO DUNE BY ESTABLISHING PATHS AND WALKWAYS  
OVER AREAS OF MINIMAL GROWTH



### NOTES:

4' HIGH SNOW FENCE TO BE ERECTED AT RIGHT ANGLES TO DUNE LINE AND IN FRONT OF THE DUNE AREA  
AT RIGHT ANGLES TO THE PREDOMINANT WIND FLOW TO COLLECT SAND AND BUILD UP DUNE  
SNOW FENCE TO BE ATTACHED TO 10' LONG POSTS OR PIPES DRIVEN 6' INTO THE GROUND

FENCING TO BE REMOVED DURING MID MAY TO SEPTEMBER TO ESTABLISH AN EQUILIBRIUM IN  
SAND DISPERSAL  
NEW PLANTINGS MAY REQUIRE PROLONGED USE OF FENCING

### ADDITIONAL NOTES:

PLANTING SHOULD BE DONE DURING LATE FALL AND EARLY SPRING TO INSURE THE CULM'S BEST  
CHANCE FOR SURVIVAL  
AVAILABLE SOURCE: COMMERCIAL AND WILD HARVEST TRANSPLANTS

APPROPRIATE FERTILIZER WILL BE USED, IF NECESSARY, TO ENCOURAGE PROPER GROWTH AND STABILIZATION.  
COMPOSITION: N-P-K (NITROGEN - PHOSPHORUS - POTASSIUM)  
RATE: 600-800 LBS/ACRE OF A COMMERCIAL PREPARATION OF 10-10-10  
APPLICATION PERIODS: BEST DURING EARLY APRIL FOR THE FIRST TWO YEARS

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ADDITIONAL STIPULATIONS

PP. After the completion of the construction, a registered professional engineer or architect (preferably the design professional) shall certify that the structure has been constructed substantially, in accordance with assented plans and that the structure "is securely anchored to adequately anchored pilings or columns in order to withstand velocity waters and hurricane wave wash.

QQ. A copy of the approved structure plans must be kept at the construction site. The assent card shall be posted on one of the pilings.

# RICRMC COASTAL HAZARD ANALYSIS WORKSHEET

**APPLICANT NAME:** Charles Pistocco, Pistocco Irrevocable Trust  
**PROJECT SITE ADDRESS:** Shawomet Ave., Warwick, RI

**STEP 1. PROJECT DESIGN LIFE**

- A. For properties in a FEMA-designated A, or X Zone, provide the first floor elevation (FFE) of the proposed structure referenced to NAVD88, **OR** For properties in a FEMA-designated V or Coastal A Zone, please provide the elevation of the lowest horizontal structural member (LHSM) referenced to NAVD88. FFE OR ft
- B. How long do you want your project to last? Identify the expected design life for the project (CRMC recommends a minimum of 30 years) LHSM elevation 17.5 ft
- C. Add the number of years you identified in 1B to the current year. (For example, if you are completing this form in the year 2020, and you want your project to last 30 years, your design life year will be 2050.) Design Life: 75 yrs
- D. CHECK beneath the sea level rise (SLR) projection that matches or comes closest to project design life year. Design Life Year:

Year	2030	2040	2050	2060	2070	2080	2090	2100
SLR	0.71	1.11	1.60	2.29	3.17	4.19	5.35	6.47
	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>

Source: Sea Level Rise (SLR) Projections (Feb. 2022). NOAA High Curve, Newport, RI Tide Gauge. All values are expressed in feet relative to NAVD88. [https://sealevel.nasa.gov/task-force-scenario-tool?psmsl\\_id=351](https://sealevel.nasa.gov/task-force-scenario-tool?psmsl_id=351)

*NOTE: The present National Tidal Datum Epoch (NTDE) is 1983 through 2001. The NOAA 2017 data use a baseline starting at 2000, and the NOAA 2022 data use a baseline starting at 2020. Between 1991 and 2020 there was an annual average of 4.03 mm/year of sea level rise at the Newport (8452660) tide station based on the trends data from the Permanent Service for Mean Sea Level (<https://www.psmsl.org/products/trends/>). Because the PSMSL trends are based on a minimum 30 years of data we will assume a similar trend applies to the shorter 20 year period of 2000 to 2020. Thus, there was approximately 8.06 cm (3.18 inches) of sea level rise during the period 2000 to 2020. Accordingly, the MHHW elevation of 3.85 feet at the Newport station (Epoch 1983-2001) would be adjusted an additional 3.39 inches to 4.13 feet MHHW. For reference, NAVD88 at Newport is 2.04 feet.*

**STEP 2. SITE ASSESSMENT**

- A. Open RICRMC Coastal Hazard Mapping Tool. Following the tutorial along the left side of the screen, enter the project site address and turn on the sea level layer closest to the number you circled in 1D.
- B. ENTER the STORMTOOLS SLR map layer closest to the SLR value you checked in Step 1D above. If the value falls between the available STORMTOOLS SLR map layers, round up to the closest of these sea level rise (SLR) numbers: 1ft, 2ft, 3ft, 5ft, 7ft, 10ft, or 12ft 7 ft
- C. Does the STORMTOOLS SLR map layer you circled above expose your project site to future tidal inundation? CHECK YES or NO YES  
NO
- D. List any roads or access routes that are potentially inundated from SLR. To do this, ZOOM OUT from your project location, change BASEMAP on the viewer to "street view" - see Step 2A.

Shawomet Ave, Point Ave

**\*\*Please be advised that CRMC staff may also review the implications of sea level rise in combination with nuisance storm flooding and discuss these potential project concerns with the applicant. Nuisance flooding impacts may be viewed in STORMTOOLS [here](#).**

**STEP 3. STORMTOOLS DESIGN ELEVATION (SDE)**

- A. Follow the tutorial included along the left panels of the viewer to enter the address of your project site. Select the tab across the top that corresponds to the sea level rise projection you identified in STEP 1
- B. Click on the map at project site to identify **STORMTOOLS Design Elevation (SDE)** from the pop up box. Enter the SDE value: 28.1 ft



# RICRMC COASTAL HAZARD APPLICATION WORKSHEET

## STEP 4. SHORELINE CHANGE

A. Using the *CRMC Shoreline Change maps*, indicate the transect number closest to your site, and erosion rate listed for that transect.

Transect Number: **786**  
Erosion Rate: **-0.2** ft/year

B. CHECK below the Projected Erosion Rate that corresponds to the design life you identified above.

Year	2050	2060	2070	2080	2090	2100
Projected Future Erosion Multiplier	1.34	1.45	1.57	1.70	1.84	2.00
	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>

*Source: Projected Shoreline Change Rate multipliers. (Oakley et al., 2016)*



### C. COMPLETE EROSION SETBACK CALCULATION:

Historic shoreline change rate, STEP 4A	Design Life, STEP 1C	Projected Future Erosion Multiplier, STEP 4B	Erosion Setback (ft) 4A x 1C x 4B
---	----------------------	--	--------------------------------------

$$-0.2 \times 75 \times 2.00 = -30$$

*NOTE: Setbacks are required per the CRMC Red Book, Section 1.1.9. A minimum setback of 50-feet is required, but a greater setback may be necessary and/or desirable based on this analysis.*

## STEP 5. OTHER SITE CONSIDERATIONS: CERI & SLAMM

A. Use the Coastal Environmental Risk Index (CERI) map (See Tab 5A on the viewer) to enter your address and CHECK the level of projected damage to your location, as indicated on the map that corresponds to the design life identified in STEP 1.

CERI Level: Moderate  High  Severe  Extreme  Inundated by 2100  Not applicable

B. Sea Level Affecting Marshes Model (SLAMM) (See Tab 5B on the Viewer) - This step is for Large Projects and Subdivisions only, six (6) or more units, as defined by the CRMC Red Book Section 1.1.6.l(1)(f). This step may be skipped for other projects. Use the Sea Level Affecting Marshes Model (SLAMM) Maps to assess potential impacts to large projects and subdivisions from salt marsh migration resulting from projected sea level rise. CRMC SLAMM maps can be accessed [here](#). The CRMC recommends using the 3-foot SLR projection within SLAMM to assess future potential project impacts on migrating marshes. Does the SLAMM map that corresponds to the design life you identified in STEP 1 expose your project site to future salt marsh migration? CHECK YES or NO

YES  NO

C. Consider and discuss with your design consultant other forces or factors that might impact the development, such as coastal habitats, shoreline features, public access, wastewater, storm water, depth to water table/groundwater dynamics, saltwater intrusion, or other issues not listed above. In addition, pressure from rising sea levels will result in rising subsurface groundwater levels ultimately affecting wells and septic systems.

## STEP 6: DESIGN EVALUATION

A. Using Chapter 7 of the RI Shoreline Change SAMP as a guide, investigate mitigation options for the exposure identified above and include that in the final application.

*This fully completed Coastal Hazard Application Guidance worksheet must accompany the application. If you are a design or engineering professional, please print and sign here that you have discussed the findings of this worksheet with the Owner.*

DESIGN/ENGINEER SIGNATURE: \_\_\_\_\_  
OWNER'S SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_  
DATE: **6/5/25**



State of Rhode Island  
**Coastal Resources Management Council**  
Oliver H. Stedman Government Center  
4808 Tower Hill Road, Suite 3  
Wakefield, RI 02879-1900

(401) 783-3370  
Fax (401) 783-3767

Pistocco Irrevoc. Trust  
45 Broadview Avenue  
Warwick, RI 02889

March 12, 2025

RE: File Number: A2024-03-112  
Site Address: Shawomet Avenue, Warwick Plat: 334 Lot: 19  
Owner: Pistocco Irrevoc. Trust  
Proj. Desc: Single Family Dwelling

Dear Charles Pistocco:

This letter serves as a follow-up and clarification for the February Information Request that was sent. That letter requested several things for which you have requested guidance and/or clarification. Please note that while a previous CRMC Assent was issued to develop this property (CRMC 1986-04-052), both the Regulations and the site conditions have changed in the ensuing years. The new request must depict accurate (current) site conditions as well as address all requirements of the current Regulations. The application submitted did not do this, staff has discussed this multiple times by phone, and a written request for additional information was sent.

The original request is underlined below with additional information and clarification following.

- ✓ • Please provide the documentation for the Trustee/owner of the property. The property is held by an LLC. As such, documentation from the Secretary of State for the LLC which identifies the legal representative for the LLC must be submitted. This representative must be the signatory on our application form.
- Please provide a plan which depicts the inland edge of the Coastal Feature. In this case, the Coastal Feature is a beach, and the inland edge is the inland edge of the beach scarp, as there is no dune present here. Please see the Application Checklist page 2, item 7 for details regarding site plan requirements. Checklist can be found here: [http://www.crmc.ri.gov/applicationforms/Assentapp\\_Checklist.pdf](http://www.crmc.ri.gov/applicationforms/Assentapp_Checklist.pdf)
- ① • CRMC's Building Official Form is required. The form can be found at: <http://www.crmc.ri.gov/applicationforms/BuildingOForm.pdf>, and must be completed by officials at the City of Warwick.
- ② • A Coastal Hazards Assessment Worksheet (CHA) is required. This can be found at: <http://www.crmc.ri.gov/coastalhazardapp.html>

*approximate edge*

Flow test  
no approval  
from city  
to use

- The application was submitted without an approved septage plan. You have stated that you wish to utilize the existing OWTS on site, which has been sitting idle for 30-odd years. CRMC initially suggested obtaining a System Suitability Determination (SSD) but has since learned that an SSD is not the appropriate way to confirm that this system is still working.

Through discussions with DEM/OWTS, it appears that a Flow Test is required. Please obtain whatever certification DEM/OWTS suggests that will confirm that this system is suitable to be used for septage. Should the system be determined unsuitable for use, a written letter of permission from the Warwick Sewer Authority to connect to the existing sewer line in the street shall be required.

- ✓ • Please submit documentation that the piles remain viable. The piles have been in place and may have degraded. Please provide confirmation that these piles are suitable for supporting a dwelling.

- ③ • Please submit documentation that the piles are the correct height for flood zone elevation. The previously approved dwelling was required to have a First Floor Elevation (FFE) of 18 feet. The current proposal has a FFE of 15 feet. Please confirm that the site meets Flood Zone elevation.

- ④ • Stormwater management/treatment shall be required for all new impervious areas/areas greater than 600ft<sup>2</sup>. The Regulations have changed to now include requirements to capture and infiltrate all runoff from impervious areas. Stormwater management has not been included in the submission. Guidance for residential management can be found here: <http://www.crmc.ri.gov/stormwater/Single-Family-Lot-Guidance.pdf>

- ⑤ • Buffer Zone requirement: Under the current Regulations, all new development along the shore requires the implementation of a naturally vegetated Buffer Zone. (The previous permit for this property required a 50 foot Buffer Zone of beach grass). Under the current regulations, a Buffer Zone of 25 feet, as measured from the inland edge of the Coastal Feature is required. This is not shown on the submitted plans and must be shown. Relief from this requirement may be obtained through a Variance Request (see below).

- ⑤ • Setback Requirement: Under the current Regulations, all new development along the shore requires a construction setback of either 50 feet from the coastal feature or 25 feet beyond the inland edge of the Buffer Zone, whichever is greater. In this case, either scenario results in a construction setback of 50 feet. This is not shown on the submitted plans and must be shown. Relief from this requirement may be obtained through a Variance Request (see below).

- ⑥ • A written variance request must be submitted for each standard not met. As noted above, construction of a new residential development requires both a Buffer Zone and a construction setback. If these cannot be met, a written request for a Variance is required. The criteria for the consideration of a variance are provided in RICRMP Section 1.1.7. Each

of the six criteria must be addressed in writing. Submitting a written variance request is required. Please note that Variances for more than 50% relief from the requirement will require a hearing and decision by the full Coastal Council.

Staff has reviewed the previous Assent for this site (CRMC file 1986-04-052). The plan submitted for the project did include a Coastal Feature, labeled as “edge of beach scarp”, and showed the setback as “coastal limits for construction”. The written Assent stipulation further clarifies that a 40 foot natural Buffer Zone is required. A copy of that plan is attached (not-to-scale).

Comparing that plan to the one submitted for the current file, there has been erosion at the property. The 1986 plans show the seaward edge of the dwelling to be approximately 30 feet from the “edge of beach scarp”/Coastal Feature, and 52 feet from the Mean High Water (MHW) mark. The current plans show the seaward edge of the dwelling to be approximately 30 feet from MHW and do not depict a Coastal Feature. The Coastal Feature will be closer to the dwelling than MHW.

The proposal will not meet the 50 foot construction setback, nor will it likely meet the 25 foot Buffer Zone. An accurate survey of the Coastal Feature is required to determine the Variances needed. Please be advised that Variances requesting more than 50% relief from the standard require a public hearing and decision from the Full Coastal Council. Proposals requesting significant Variances may not receive staff support.

DEM/OWTS has previously stated that the testing required to determine if the existing tank/system is suitable for use will require a submission by a certified septic professional. The revisions to the proposed plans depicting a Coastal Feature, Buffer and Setback will at a minimum require the services of a design professional. The identification and location of the Coastal Feature may require the services of an environmental professional.

Further, in cases where Variances are sought, applicants often obtain the services of an environmental professional to assist with the written narrative and Variance Request that is required as part of the submission.

The original Information Request stated a 30 day window to obtain this information. CRMC will extend that timeframe to 60 days from the date of this correspondence.

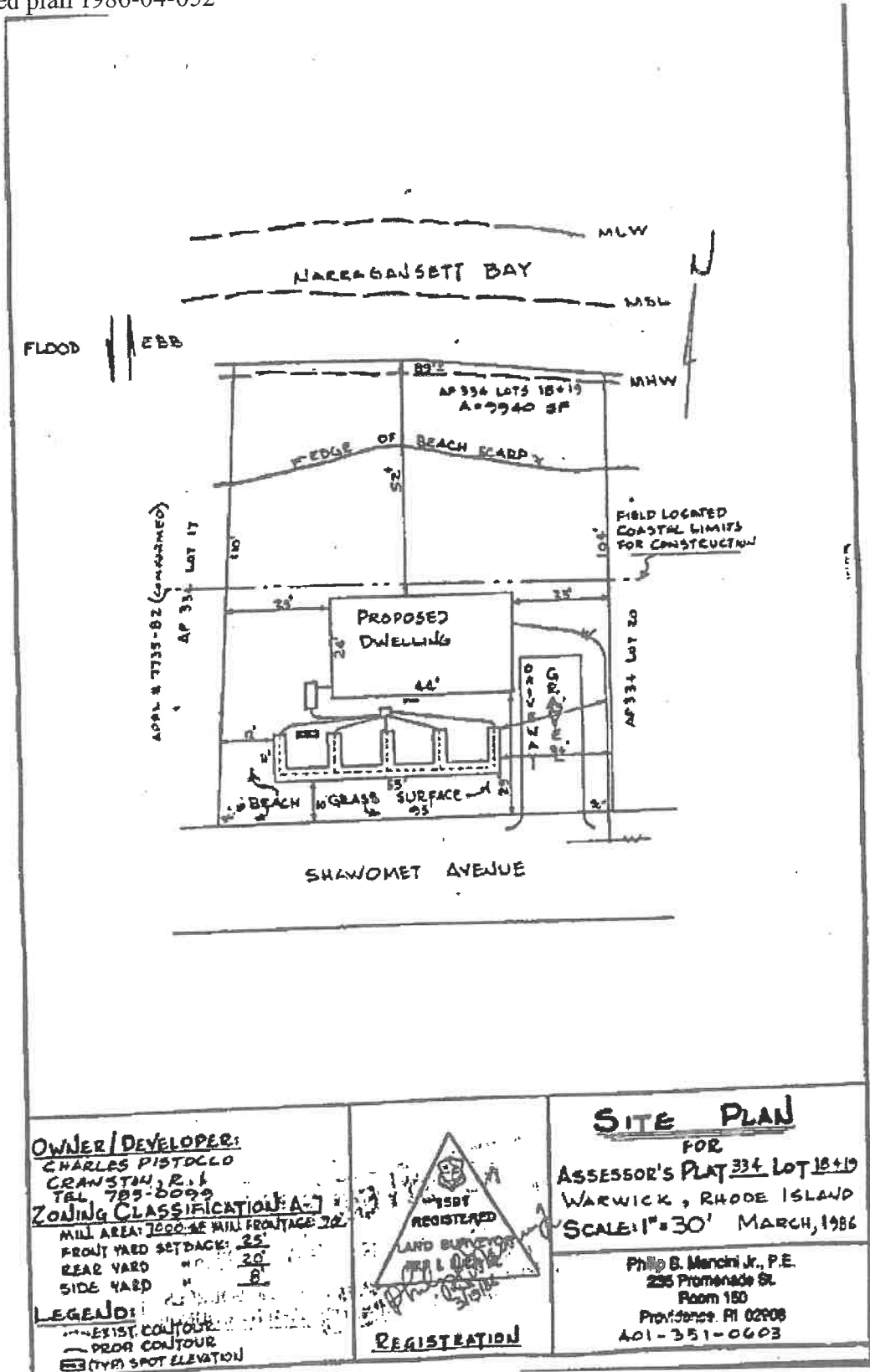
Sincerely,



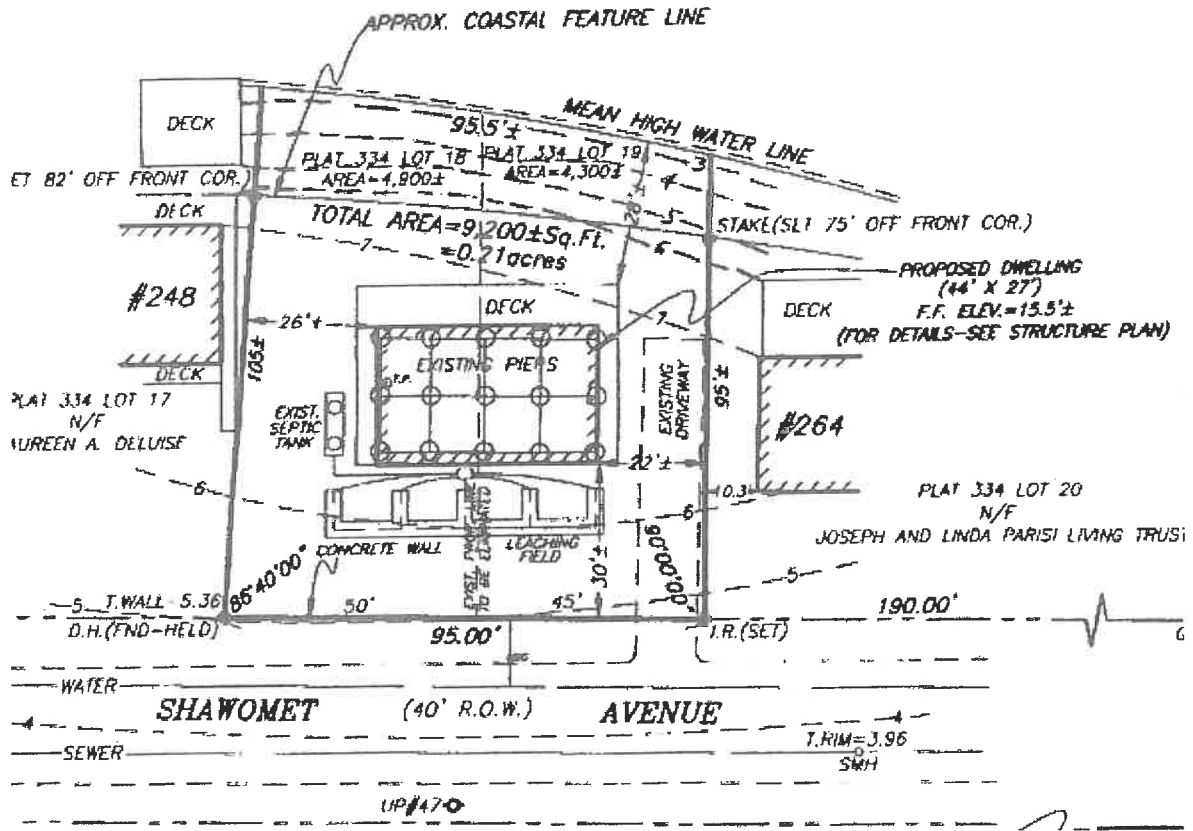
Amy Silva  
CRMC Permitting Staff

Cc: Laura Miguel, CRMC Deputy Director (via email)  
Raymond Taylor, DEM/OWTS (via email)

Attachments: (2)



### NARRAGANSETT BAY



TO: **Coastal Resources Management Council**  
4808 Tower Hill Road Suite 3  
Wakefield, RI 02879  
Phone: (401) 783-3370 / Fax: (401) 783-2069



①

FROM: Building Official DATE: \_\_\_\_\_

SUBJ: Application of: \_\_\_\_\_

Location: \_\_\_\_\_

Address: \_\_\_\_\_

Plat(s): \_\_\_\_\_ Lot(s): \_\_\_\_\_

To Construct: \_\_\_\_\_

I hereby certify that I have reviewed \_\_\_\_\_ foundation plan(s).  
\_\_\_\_\_ plan(s) for entire structure  
\_\_\_\_\_ site plans

Titled: \_\_\_\_\_

**Date of Plan (last revision):** \_\_\_\_\_

\_\_\_\_\_ and find that the issuance of a local building permit is not required as in accordance with Section \_\_\_\_\_ of the Rhode Island State Building Code.

\_\_\_\_\_ and find that the issuance of a local building permit is required. I hereby certify that this permit shall be issued once the applicant demonstrates that the proposed construction/activity fully conforms to the applicable requirements of the RISBC, and all other local, state and federal regulations are met.

\_\_\_\_\_ and find that a Septic System Suitability Determination (SSD) must be obtained from the RI Dept. of Environmental Management.

\_\_\_\_\_ and find that a Septic System Suitability Determination (SSD) need not be obtained from the RI Dept. of Environmental Management.

\_\_\_\_\_ and find NO structural or non-structural fill is proposed in a FEMA-designated V-Zone or Coastal A-zone.

\_\_\_\_\_ and find that the proposed fill is considered non-structural fill and meets FEMA NFIP guidelines.

\_\_\_\_\_ and find that said plans conform with all elements of the zoning ordinance, and that if said plans require zoning board approval, that the applicant has secured such approval and that the requisite appeal period has passed with no appeal filed or appeal is final. The Zoning Board approval shall expire on: \_\_\_\_\_.

\_\_\_\_\_  
State/Municipal Building Official's Signature

\_\_\_\_\_  
Date

\_\_\_\_\_ and find that said plans conform with all elements of the zoning ordinance, and that if said plans require zoning board approval, that the applicant has secured such approval and that the requisite appeal period has passed with no appeal filed or appeal is final.

# RICRMC COASTAL HAZARD ANALYSIS WORKSHEET

**APPLICANT NAME:**

**PROJECT SITE ADDRESS:**

**STEP 1. PROJECT DESIGN LIFE**

- A. For properties in a FEMA-designated **A**, or **X** Zone, provide the first floor elevation (FFE) of the proposed structure referenced to NAVD88, **OR** For properties in a FEMA-designated **V** or **Coastal A** Zone, please provide the elevation of the lowest horizontal structural member (LHSM) referenced to NAVD88. FFE **ft**  
**OR**  
LHSM elevation **ft**
- B. How long do you want your project to last? Identify the expected design life for the project (CRMC recommends a **minimum of 30 years**) **Design Life:** **yrs**
- C. Add the number of years you identified in 1B to the current year. (For example, if you are completing this form in the year 2020, and you want your project to last 30 years, your design life year will be 2050.) **Design Life Year:**

D. **CHECK** beneath the sea level rise (SLR) projection that matches or comes closest to project design life year.

Year	2030	2040	2050	2060	2070	2080	2090	2100
SLR	0.71	1.11	1.60	2.29	3.17	4.19	5.35	6.47
	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>

Source: Sea Level Rise (SLR) Projections (Feb. 2022). NOAA High Curve, Newport, RI Tide Gauge. All values are expressed in feet relative to NAVD88. [https://sealevel.nasa.gov/task-force-scenario-tool/?psmsl\\_id=351](https://sealevel.nasa.gov/task-force-scenario-tool/?psmsl_id=351)

*NOTE: The present National Tidal Datum Epoch (NTDE) is 1983 through 2001. The NOAA 2017 data use a baseline starting at 2000, and the NOAA 2022 data use a baseline starting at 2020. Between 1991 and 2020 there was an annual average of 4.03 mm/year of sea level rise at the Newport (8452660) tide station based on the trends data from the Permanent Service for Mean Sea Level (<https://www.psmsl.org/products/trends/>). Because the PSMSL trends are based on a minimum 30 years of data we will assume a similar trend applies to the shorter 20 year period of 2000 to 2020. Thus, there was approximately 8.06 cm (3.39 inches) of sea level rise during the period 2000 to 2020. Accordingly, the MHHW elevation of 3.85 feet at the Newport station (Epoch 1983-2001) would be adjusted an additional 3.39 inches to 4.13 feet MHHW. For reference, NAVD88 at Newport is 2.04 feet.*

**STEP 2. SITE ASSESSMENT**

- A. Open [RICRMC Coastal Hazard Mapping Tool](#). Following the tutorial along the left side of the screen, enter the project site address and turn on the sea level layer closest to the number you circled in 1D.
- B. **ENTER** the STORMTOOLS SLR map layer closest to the SLR value you checked in Step 1D above. If the value falls between the available STORMTOOLS SLR map layers, round up to the closest of these sea level rise (SLR) numbers: 1ft, 2ft, 3ft, 5ft, 7ft, 10ft, or 12ft **ft**
- C. Does the STORMTOOLS SLR map layer you circled above expose your project site to future tidal inundation? **CHECK YES or NO**  **YES**  
 **NO**
- D. List any **roads or access routes** that are potentially inundated from SLR. To do this, **ZOOM OUT** from your project location, change BASEMAP on the viewer to "street view" – see Step 2A.

**\*\*Please be advised that CRMC staff may also review the implications of sea level rise in combination with nuisance storm flooding and discuss these potential project concerns with the applicant. Nuisance flooding impacts may be viewed in STORMTOOLS [here](#).**

**STEP 3. STORMTOOLS DESIGN ELEVATION (SDE)**

- A. Follow the tutorial included along the left panels of the viewer to enter the address of your project site. Select the tab across the top that corresponds to the sea level rise projection you identified in STEP 1
- B. Click on the map at project site to identify **STORMTOOLS Design Elevation (SDE)**  
from the pop up box. **Enter the SDE value:** **ft**

# RICRMC COASTAL HAZARD APPLICATION WORKSHEET

## STEP 4. SHORELINE CHANGE

A. Using the [CRMC Shoreline Change maps](#), indicate the transect number closest to your site, and erosion rate listed for that transect. **Transect Number:**  
**Erosion Rate:** \_\_\_\_\_ **ft/year**

B. **CHECK** below the Projected Erosion Rate that corresponds to the design life you identified above.

Year	2050	2060	2070	2080	2090	2100
Projected Future Erosion Multiplier	1.34	1.45	1.57	1.70	1.84	2.00
	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>

*Source: Projected Shoreline Change Rate multipliers. (Oakley et al., 2016)*

### C. COMPLETE EROSION SETBACK CALCULATION:

Historic shoreline change rate, STEP 4A	Design Life, STEP 1C	Projected Future Erosion Multiplier, STEP 4B	Erosion Setback (ft) 4A x 1C x 4B
X	X	=	

*NOTE: Setbacks are required per the CRMC Red Book, Section 1.1.9. A minimum setback of 50-feet is required, but a greater setback may be necessary and/or desirable based on this analysis.*

## STEP 5. OTHER SITE CONSIDERATIONS: CERl & SLAMM

A. Use the **Coastal Environmental Risk Index (CERl)** map (See Tab 5A on the viewer) to enter your address and **CHECK** the level of projected damage to your location, as indicated on the map that corresponds to the design life identified in STEP 1.

**CERl Level:**      **Moderate**      **High**      **Severe**      **Extreme**      **Inundated by 2100**      **Not applicable**

B. **Sea Level Affecting Marshes Model (SLAMM)** (See Tab 5B on the Viewer) - This step is for Large Projects and Subdivisions only, six (6) or more units, as defined by the [CRMC Red Book Section 1.1.6.I\(1\)\(f\)](#). This step may be skipped for other projects. Use the Sea Level Affecting Marshes Model (SLAMM) Maps to assess potential impacts to large projects and subdivisions from salt marsh migration resulting from projected sea level rise. CRMC SLAMM maps can be accessed [here](#). The CRMC recommends using the 3-foot SLR projection within SLAMM to assess future potential project impacts on migrating marshes. Does the SLAMM map that corresponds to the design life you identified in STEP 1 expose your project site to future salt marsh migration? **CHECK YES or NO**

**YES**       **NO**

C. Consider and discuss with your design consultant other forces or factors that might impact the development, such as coastal habitats, shoreline features, public access, wastewater, storm water, depth to water table/groundwater dynamics, saltwater intrusion, or other issues not listed above. In addition, pressure from rising sea levels will result in rising subsurface groundwater levels ultimately effecting wells and septic systems.

## STEP 6: DESIGN EVALUATION

A. Using Chapter 7 of the RI Shoreline Change SAMP as a guide, investigate mitigation options for the exposure identified above and include that in the final application.

**This fully completed Coastal Hazard Application Guidance worksheet must accompany the application. If you are a design or engineering professional, please print and sign here that you have discussed the findings of this worksheet with the Owner.**

**DESIGN/ENGINEER SIGNATURE:** \_\_\_\_\_

**DATE:** \_\_\_\_\_

**OWNER'S SIGNATURE:** \_\_\_\_\_

**DATE:** \_\_\_\_\_

Table 1. Estimated Pile Lengths Based on PIT Results

Pile Designation	Estimated Total Pile Length (feet)	Estimated Embedded Pile Length (feet)	EST. height Above ground
1A	30.0	19.0	11
1B	35.0	24.0	11
1C	37.0	26.0	11
2A	37.0	26.0	11
2B	40.0	29.0	11
2C	37.0	26.0	11
2D	28.0	17.0	11
2E	33.0	22.0	11
3A	30.0	19.0	11
3B	42.0	31.0	11
3C	29.0	18.0	11
3D	30.0	19.0	11
3E	30.0	19.0	11

**Method Limitation**

We should like to point out that there are a number of limitations of this test method which are discussed in Appendix A. The PIT testing method is limited to shaft integrity assessment only and should not be used in any way to evaluate soil/bedrock resistance. The presence of high soil resistance forces limits the depth to which the shafts can be assessed. Thus, inconclusive results and the requirement for engineering judgment may be caused by a complex geometry, large soil resistance forces. Assessment of the location of an impedance change or pile length estimation is only as accurate as our knowledge of applicable wave speeds. Please note that the estimated lengths are based on an assumed wave speed of 11,000 ft/sec for the tested piles, and that wave speed, and therefore estimated length, may vary by +/-5%.

44003C0151H  
eff. 9/18/2013

Zone VE  
(EL 13)



CITY OF WARWICK  
445409



State of Rhode Island  
Coastal Resources Management Council  
Oliver H. Stedman Government Center  
4808 Tower Hill Road, Suite 3  
Wakefield, RI 02879-1900#

(401) 783-3370  
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## State of Rhode Island Stormwater Management Guidance for Individual Single-Family Residential Lot Development

Section 1.3.1(F) of the RI Coastal Resources Management Program (RICRMP) and Rule 7.12 of the DEM Rules and Regulations Governing the Administration of the RI Freshwater Wetlands Act require stormwater management for projects on individual single-family residential lots that create 600 square feet or more of **new** impervious roof surface area, and all new driveway and parking areas. This document provides guidance for meeting those requirements, and may also be used by applicants under the jurisdiction of CRMC Freshwater Wetlands in the Vicinity of the Coast.

**The guidance provided in this document may not be used to meet stormwater requirements for residential subdivisions or any project types other than individual single-family residential lot development.**

### CRMC Supplemental Stormwater Application Requirements:

- Completed CRMC application (4 copies) including all forms, fees and required enclosures.
- 8.5 x 11 inch site plan that depicts the information detailed in the checklist under Step 5 on page of this document.

### DEM Application Requirements:

- Completed DEM Application package including all forms, fees and required enclosures (see DEM Rules 7.00 and either 9.00 or 10.00 as applicable)
- Ensure site plans (DEM Rule 7.03) include all elements detailed in the checklist under Step 5 on page 17 of this document.

### Residential Stormwater Management Overview

A single residential lot might not be the most obvious source of pollution problems, but behind a suburban landscape, there may be activities that can threaten water quality. Pollutants commonly present on residential lots include pesticides fertilizers used in landscaping. Other pollutants may include sediment from erosion-prone areas, yard waste such as leaves and grass clippings, pet waste and oil and gas from driveway surfaces. Even runoff from rooftops can contain pollutants known to occur in rainfall. These have the potential to be transported in stormwater to surface water bodies, posing risks to the environment and human health. While the contribution from an individual yard may seem small, the cumulative effects of stormwater runoff coming from hundreds or thousands of homes within a watershed can be significant. Reducing the amount of stormwater that leaves your property as runoff helps to prevent pollutants from reaching our streams, lakes, ponds and coastal waters.

### Rule Applicability

Under 650-RICR-20-00-1.3.1(F) and DEM Rule 7.12, applicants for individual single-family residential projects are required to treat the water quality volume, or one inch of stormwater runoff from any **new** rooftop impervious surfaces of 600 square feet or greater in size, and all new driveways and parking areas. This guidance document describes stormwater management practices for reducing runoff volumes and pollutant levels. It also provides guidance for designing, installing and maintaining stormwater management practices that meet the requirements for new or enlarged single-family dwellings, driveways and parking areas. The practices discussed in this document are part of a stormwater management approach known as low impact development or LID. This document is meant to be used as a generalized guide to help applicants meet storm water management requirements on individual single-family residential lots. For more complex projects, and for more detailed information on the design of storm water management practices, see the most recent version of the Rhode Island Stormwater Design and Installation Standards Manual for additional information at [www.dem.ri.gov/pubs/regs/regs/water/swmanual.pdf](http://www.dem.ri.gov/pubs/regs/regs/water/swmanual.pdf)

#

**Table 1.** Minimum Setback Distances for Rain Gardens, Infiltration Trenches, Dry Wells and Permeable Pavement Practices on Single-Family Residential Lots

<b>Landscape Feature</b>	<b>Required Setback (ft) for Infiltration Trenches and Dry Wells</b>	<b>Required Setback (ft) for Rain Gardens and Permeable Paving Practices</b>
Public Drinking Water Supply Well – Drilled (rock), Driven, or Dug	200	200
Public Drinking Water Supply Well – Gravel Packed, Gravel Developed	400	400
Private Drinking Water Wells	50	25
Surface Water Drinking Water Supply Impoundment with Supply Intake	100	100
Tributaries that Discharge to the Surface Drinking Water Supply Impoundment	50	50
All Other Surface Waters	50	50
Up-gradient from Natural slopes > %15	25	25
Down-gradient from Building Structures	10	10
Up-gradient from Building Structures	10	10
Onsite Wastewater Treatment Systems (OWTS)	15	15
Coastal features, coastal buffer zones, regulated freshwater wetlands	As applicable	As applicable

To ensure proper functioning of a stormwater management practice, you must make sure it is located in an area with adequate soil drainage. Improper siting of stormwater management practices can cause extended ponding or overall failure of the practice, which can lead to flooding and possibly mosquito breeding problems on your site. To test a potential site, a 6 to 8 inch deep hole may be dug and filled with water. If the water does not drain within 12 hours, the location is not appropriate for a stormwater management practice. You can also have potential stormwater practice locations inspected by a professional licensed soil evaluator, registered professional engineer or certified soil scientist. If you plan to install an infiltration trench or dry well, you should determine the depth to the Seasonal High Groundwater Table (SHGWT). This is especially advisable if there is a known or suspected shallow depth to SHGWT anywhere on the site. Determinations of depth to the SHGWT are best done by a professional engineer, licensed soil evaluator or certified soil scientist. Alternatively, refer to a prior determination of the depth to SHGWT such as may appear on a prior onsite wastewater treatment system plan. The depth to SHGWT is **not** required when the selected practice is a Qualifying Pervious Area (QPA), vegetated swale, rain garden or permeable surface construction. Notify your local Dig Safe system (1-888-DIG-SAFE) at least three business days before you dig.

Additional soil testing guidelines are provided in Appendix H of the RI Stormwater Design and Installation Standards Manual.

**Step 3: Select appropriate stormwater treatment practices based on your site conditions and the required elements of each practice.**

Now that you have identified locations that are appropriate for stormwater management practices, you will need to select the type of practice to be installed at each location. Table 2 below lists LID stormwater management practices that may be applied on residential lots to meet the requirements for individual single-family residential projects. Each of these practices is explained in further detail in Sections A through E, which include design information to help you determine whether the practice is appropriate for your site. You may need to select more than one practice to meet your stormwater management requirements. The minimum criteria and required elements for each practice are derived from the specifications in the most recent version of the RI Stormwater Design and Installation Standards Manual.

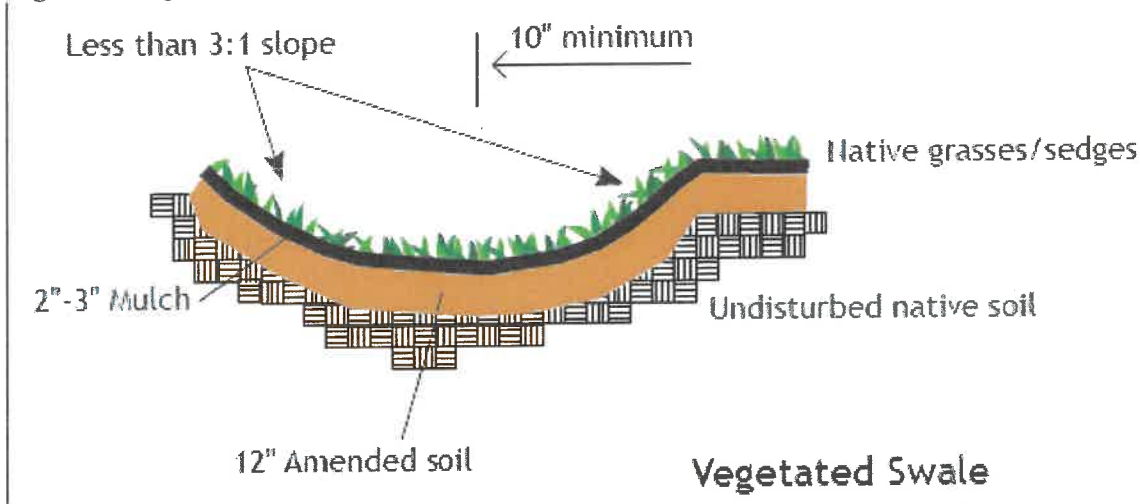
**Table 3. Minimum Criteria for Qualifying Pervious Areas on Single-Family Residential Lots**

<b>Drainage Area and Size</b>	<ul style="list-style-type: none"> <li><input type="checkbox"/> The rooftop, driveway or parking area draining to any one QPA cannot exceed 1,000 ft<sup>2</sup>.</li> <li><input type="checkbox"/> For roof runoff, the length of the flow path through the QPA shall be equal to or greater than the contributing rooftop area divided by 13.3. The width of the QPA shall be equal to or greater than the length of the contributing rooftop area.</li> <li><input type="checkbox"/> For driveway runoff, the length and width of the QPA shall be no less than the length and width of the driveway. For example, if a driveway is 15 feet wide and 40 feet long, the QPA width shall be no less than 15 feet wide and 40 feet long.</li> </ul>
<b>Location</b>	<ul style="list-style-type: none"> <li><input type="checkbox"/> In locations where there is a history of groundwater seepage and/or basement flooding, QPAs should not be utilized.</li> <li><input type="checkbox"/> The flow path through the QPA must be 25 feet from any onsite wastewater treatment system (OWTS).</li> <li><input type="checkbox"/> The slope of the QPA shall be less than or equal to 5.0%.</li> <li><input type="checkbox"/> Although they may abut, there shall be no overlap between QPAs. For example, the runoff from two 1,000 ft<sup>2</sup> sections of roof must be directed to separate QPAs. They shall not be directed to the same area.</li> </ul>
<b>Conveyance</b>	<ul style="list-style-type: none"> <li><input type="checkbox"/> Lawn areas may not be used as QPAs for individual single-family residential lots. Stormwater runoff may be conveyed across a lawn area to a QPA provided the area of lawn between the discharge point and the QPA is less than 25 feet wide.</li> <li><input type="checkbox"/> Wetlands and coastal features may not be used as QPAs, however part or all of an upland buffer zone, perimeter wetland or riverbank wetland (as defined in DEM Rules Section 4.00) may be used as a QPA. Activities such as planting or alteration of vegetation within a coastal buffer zone will require additional written approval from CRMC.</li> <li><input type="checkbox"/> To prevent basement seepage, at a minimum, runoff must be directed away from the building foundation and be infiltrated at the QPA at least 10 feet away from the foundation.</li> <li><input type="checkbox"/> Downspouts must discharge at least 10 feet away from the nearest impervious surface to prevent reconnection to any storm sewers.</li> <li><input type="checkbox"/> Downspouts must include appropriate provisions, such as a splash block or level spreader to induce non-erosive sheet flow.</li> <li><input type="checkbox"/> Where a gutter/downspout system is not used, the rooftop runoff must be designed to sheet flow at low velocity away from the structure housing the roof, and enter the QPA as sheet flow.</li> <li><input type="checkbox"/> Runoff from driveways may be directed over soft shoulders, through curb cuts or level spreaders to QPAs. Measures must be employed at the discharge point to the QPA to prevent erosion and the runoff must enter the QPA as sheet flow.</li> </ul>
<b>Construction</b>	<ul style="list-style-type: none"> <li><input type="checkbox"/> To prevent compaction of the soil in the QPA, construction vehicles must not be allowed to drive over the area. If it becomes compacted, the soil must be suitably amended, tilled, and re-vegetated once construction is complete to restore infiltration capacity.</li> <li><input type="checkbox"/> If you are restoring an area by planting to create an eligible QPA, use approved native plants from the RI Coastal Plant Guide:</li> <li><input type="checkbox"/> <a href="http://www.uri.edu/cels/ceoc/coastalPlants/CoastalPlantGuide.htm">www.uri.edu/cels/ceoc/coastalPlants/CoastalPlantGuide.htm</a> or Appendix B of the RI Stormwater Design and Installation Standards Manual. Additional planting guidance can be found in the CRMC Coastal Buffer Zone Planting Guide:<a href="http://www.crmc.ri.gov/coastallandscapes/Coastal_Buffer_Planting_Guide.pdf">http://www.crmc.ri.gov/coastallandscapes/Coastal_Buffer_Planting_Guide.pdf</a></li> </ul>

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<b>Maintenance</b>	<ul style="list-style-type: none"> <li>□ Vegetated swales shall be inspected annually and should be inspected after large storm events.</li> <li>□ Eroded side slopes and channel bottoms shall be stabilized as necessary.</li> <li>□ If the surface of the dry swale becomes clogged to the point that standing water is observed on the surface 48 hours after precipitation events, the bottom shall be roto-tilled or cultivated to break up any hard-packed sediment, and then reseeded.</li> </ul>
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**Figure 2. Vegetated Swale, Typical Cross-Section**



(Figure adapted from Vermont Department of Environmental Conservation’s Vermont LID Guide for Residential and Small Sites [www.vtwaterquality.org/stormwater/docs/swimpairedwatersheds/sw\\_rda\\_small\\_sites\\_guide.pdf](http://www.vtwaterquality.org/stormwater/docs/swimpairedwatersheds/sw_rda_small_sites_guide.pdf)).

**Sizing a Vegetated Swale:**

Determine the area (in square feet) of impervious surface that will drain to the swale. This is the drainage area. Use Table 5 below to choose a pre-calculated size for an 8 inch deep swale based on the drainage area and soil texture. To do this, you may need to round up your drainage area size (don’t round down to avoid under-sizing your swale). Remember that your swale should be at least 2 but less than 8 feet wide at the bottom, and the sides should have a slope no steeper than 3:1. The sizing recommendations below are based on sizing guidance in the University of Wisconsin Extension publication “Rain Gardens: a how-to manual for homeowners,” which can be accessed at [www.dnr.state.wi.us/runoff/pdf/rg/rgmanual.pdf](http://www.dnr.state.wi.us/runoff/pdf/rg/rgmanual.pdf). Alternatively, use sizing information and equations in Chapter 5 of the RI Stormwater Design and Installation Standards Manual at [www.dem.ri.gov/pubs/regs/regs/water/swmanual.pdf](http://www.dem.ri.gov/pubs/regs/regs/water/swmanual.pdf). Be sure to demonstrate which sizing method was used on your submitted application.

**Table 5. Vegetated Swale Sizing Guidance**

Drainage Area (in ft <sup>2</sup> )	Bottom Surface Area (in ft <sup>2</sup> ) for an 8” deep swale	
	Sandy Soils*	Silty Soils*
200	16	32
400	32	64
600	48	96
800	64	128
1000	80	160

\*In lieu of a soil texture determination, use the calculated surface areas for silty soils

**C. Rain Gardens**

Rain Gardens are shallow depressions that are excavated, backfilled with amended soil, and planted to capture runoff and allow it to infiltrate into the ground below. Rain gardens can be planted with a variety of plants, and are similar to regular planting beds or landscaped areas, except that they are designed and sited to intercept and detain stormwater runoff. They are ideal for receiving larger volumes of runoff from downspouts or impervious areas such as driveways.

Tables 7. and 8. Rain Garden Sizing Guidance

Rain Garden Surface Area in <u>Sandy Soils (Sands, Loamy Sands and Sandy Loams)</u> (ft <sup>2</sup> )			
Drainage Area (ft <sup>2</sup> )	for 4 inch deep garden	for 6 inch deep garden	for 8 inch deep garden
100	19	15	8
200	38	30	16
300	57	45	24
400	76	60	32
500	95	75	40
600	114	90	48
700	133	105	56
800	152	120	64
900	171	135	72
1000	190	150	80

Rain Garden Surface Area in <u>Silty Soils (Loams and Silt Loams)</u> (ft <sup>2</sup> )			
Drainage Area (ft <sup>2</sup> )	for 4 inch deep garden	for 6 inch deep garden	for 8 inch deep garden
100	34	25	16
200	68	50	32
300	102	75	48
400	136	100	64
500	170	125	80
600	204	150	96
700	238	175	112
800	272	200	128
900	306	225	144
1000	340	250	160

\*In lieu of a soil texture determination, use the calculated surface areas for silty soils

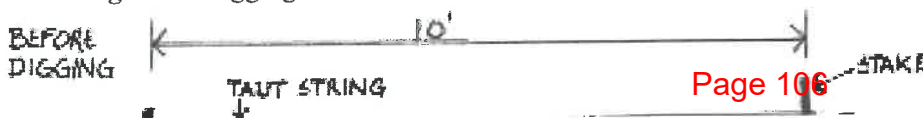
**Rain Garden Dimensions and Shape**

The length of the rain garden should be perpendicular to the slope of the lawn, and overall it should be twice as long as it is wide. This allows the garden to catch as much runoff as possible. Rounded or curvy shapes are the most effective, just be sure to approximate the required area from the table. Depending upon your site, it may be easier to break up stormwater flows to create multiple, smaller rain gardens than one larger one.

**Rain Garden Installation**

The best time to install a rain garden is in the spring, when digging will be easier and plants will be more likely to thrive. Be sure that the bottom of the rain garden is level and at the appropriate depth, and that you create a berm on the downhill side to retain stormwater (see Figure 3. below).

Figure 3. Digging the Rain Garden and Creating a Berm



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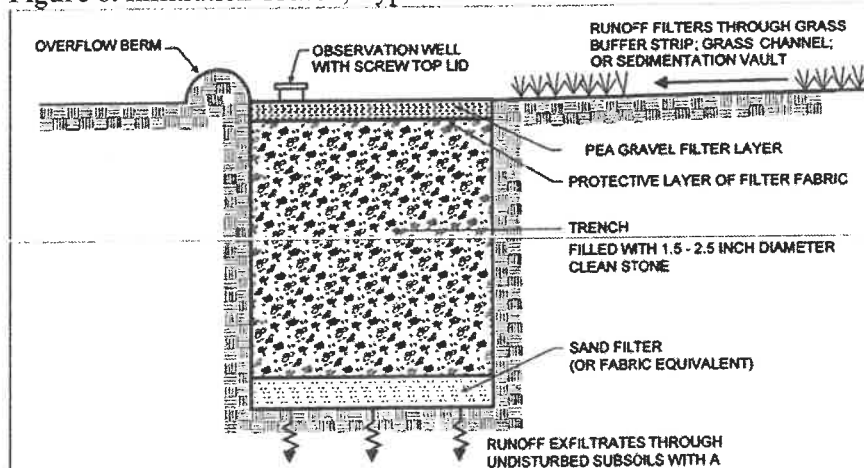
### D. Infiltration Trench and Dry Well

Infiltration trenches and dry wells are dug chambers backfilled with crushed stone that capture and temporarily store stormwater before allowing it to infiltrate into the soil over a maximum period of 48 hours.

**Table 9. Required Elements for Infiltration Practices (Trenches and Dry Wells) on Single-Family Residential Lots**

<b>Location</b>	<ul style="list-style-type: none"><li>□ Trenches and dry wells must meet the setback requirements in Table 5 above.</li><li>□ Trenches and dry wells cannot be placed in locations that cause water problems (such as seepage which may cause slope failure) to downgrade properties.</li></ul>
<b>Treatment</b>	<ul style="list-style-type: none"><li>□ The bottom of the stone reservoir should be completely flat or nearly so in order that infiltrated runoff will be able to infiltrate through the entire bottom surface area.</li><li>□ The bottom of infiltration practices must be separated by at least two feet vertically from the seasonal high groundwater table (SHGWT). Depth to the SHGWT should be determined by a licensed soil evaluator, registered professional engineer or certified soil scientist.</li><li>□ The bottom of infiltration practices must be located in the soil profile.</li></ul>
<b>Construction</b>	<ul style="list-style-type: none"><li>□ Great care must be taken to prevent the infiltration area from compaction by marking off the location before the start of construction at the site and constructing the infiltration practice last.</li><li>□ An observation well shall be installed in every infiltration trench or dry well, consisting of an anchored 4- to 6-inch diameter perforated PVC pipe with a screw-top cap installed flush with the ground surface.</li></ul>
<b>Maintenance</b>	<ul style="list-style-type: none"><li>□ Infiltration practices shall be inspected annually and repaired if necessary to ensure proper drainage.</li><li>□ Accumulated sediment and debris shall be removed from the surface of the infiltration practice annually.</li></ul>

**Figure 6. Infiltration Trench, Typical Cross-Section**



**Figure 7. Dry Well, Typical Cross-Section**

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- **Porous asphalt and concrete** resemble traditional asphalt or concrete pavement but they have a 10%--25% void space and are constructed over an open-graded stone base course that doubles as the stormwater reservoir before it infiltrates into the subsoil. Porous asphalt and concrete must be designed and installed in accordance with specifications in Appendix F of the RI Stormwater Design and Installation Standards Manual.
  - **Pavers** include permeable blocks, solid blocks with open-cell joints, as well as open-cell grids filled with either gravel or with sandy soil and then planted with turf, set on a prepared open-graded stone base course that also serves as a reservoir for the stormwater before it infiltrates into the subsoil.

**Table 12. Required Elements for Permeable Paving and Pavers on Residential Lots**

<b>Feasibility</b>	<input type="checkbox"/> Soil infiltration rate must be at least 0.5 inches per hour as determined by a soil professional or lab analysis. A professional soil textural analysis is required for permeable paving practices. <input type="checkbox"/> Crushed stone shall be replaced or re-grading performed as necessary in crushed stone driveways to maintain a minimum 3" depth of stone and a level surface.
<b>Location</b>	<input type="checkbox"/> Permeable pavement practices must meet the setbacks in Table 5 above <input type="checkbox"/> Permeable paving should be located in areas with less than 5% slope.
<b>Treatment</b>	<input type="checkbox"/> The water quality volume must exfiltrate through the floor of the practice in the soil horizon <input type="checkbox"/> Permeable paving systems shall be designed to fully de-water the entire water quality volume within 24 hours after the storm event <input type="checkbox"/> The bottom of the stone reservoir should be completely flat, or nearly so, to allow runoff to infiltrate through the entire bottom surface area.
<b>Vegetation</b>	<input type="checkbox"/> The site shall be completely stabilized before any flow is directed to the practice. <input type="checkbox"/> Pavers that are planted with grass require species with deep root systems.
<b>Construction</b>	<input type="checkbox"/> Pavers should be professionally installed in accordance with the manufacturer's specifications. Additional information on paver systems including a list of approved installers can be found at Interlocking Concrete Pavement Institute website at: <a href="http://www.icpi.org">www.icpi.org</a> . <input type="checkbox"/> Permeable blocks must have a minimum void ratio of 15% and meet the minimum criteria in Section 5.4 of the RI Stormwater Design and Installation Standards Manual. <input type="checkbox"/> Solid blocks with open-cell joints must meet the minimum criteria in Section 5.4 of the RI Stormwater Design and Installation Standards Manual. <input type="checkbox"/> For crushed stone driveway construction, the crushed stone used must be ¾ inch to 1½ inch diameter, washed, angular crushed stone installed to a minimum depth of 3 inches. The grade of the finished driveway shall not be higher than the adjacent ground elevation.
<b>Maintenance</b>	<input type="checkbox"/> Separation from groundwater table and bedrock must be at least 2 feet. <input type="checkbox"/> The surface of permeable paving or pavers shall be monitored after storms to ensure it drains properly. The surface shall be inspected annually for deterioration and repaired as needed. <input type="checkbox"/> Maintenance shall be performed according to the manufacturer's specifications for paver systems. <input type="checkbox"/> Paver grids planted with grass shall be mowed on a regular basis and reseeded as necessary. <input type="checkbox"/> Use of sand and salt on permeable paving and pavers shall be minimized. <input type="checkbox"/> Porous asphalt or concrete driveways shall not be repaved or resealed with impermeable products.

**Step 5: Prepare a site plan depicting location of all proposed stormwater treatment practices, drainage areas, stormwater flow paths to each practice and other required elements as detailed in the checklist below**

### 1.1.11 Coastal Buffer Zones

a. Table 4: Coastal buffer zone designations for residential development

Residential lot size (square feet)	Required buffer (feet)	
	CRMC water type 3, 4, 5, & 6	CRMC water type 1 & 2
<10,000	15	25
10,000 – 20,000	25	50
20,001 – 40,000	50	75
40,001 – 60,000	75	100
60,001 – 80,000	100	125
80,001 – 200,000	125	150
>200,000	150	200
>200,000	150	200

C. Standards

1. All coastal buffer zones shall be measured from the inland edge of the most inland shoreline (coastal) feature. In instances when the coastal feature accounts for fifty percent (50%) or more of the lot, the Council may grant a variance to the required buffer width.
2. Coastal buffer zone requirements for new residential development: The minimum coastal buffer zone requirements for new residential development bordering Rhode Island's shoreline are contained in Table 4 in § 1.1.11(C)(6)(a) of this Part. The coastal buffer zone requirements are

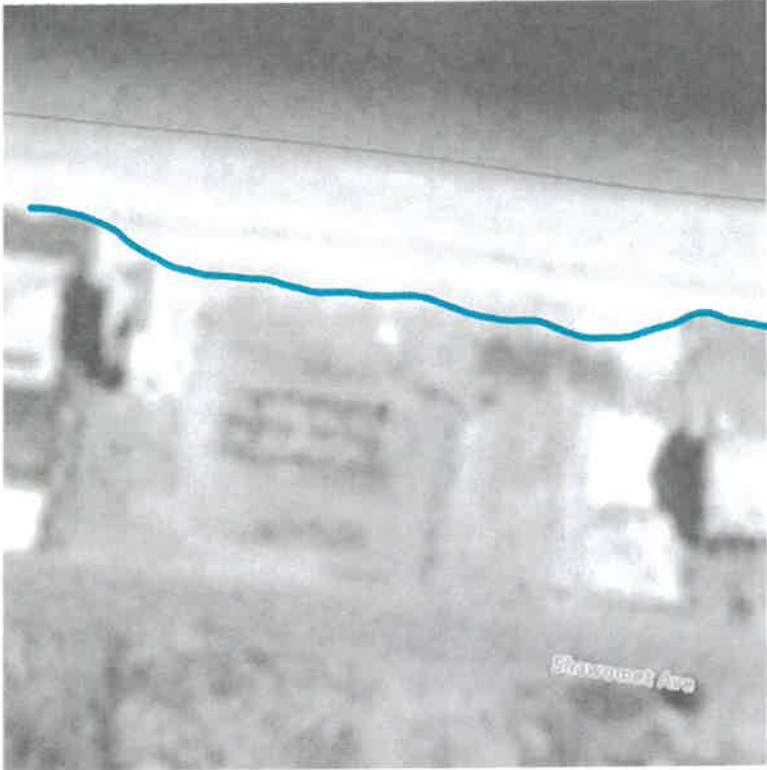
based upon the size of the lot and the CRMC's designated water types (Type 1 - Type 6). Where the buffer zone requirements noted above cannot be met, the applicant may request a variance in accordance with § 1.1.7 of this Part. A variance to fifty percent (50%) of the required buffer width may be granted administratively by the Executive Director if the applicant has satisfied the burdens of proof for the granting of a variance. Where it is determined that the applicant has not satisfied the burdens of proof, or the requested variance is in excess of fifty percent (50%) of the required width, the application shall be reviewed by the full Council. Instances where a lot is equal to or less than twenty thousand (20,000) square feet and not located within the watershed of a poorly-flushed estuary, a variance to the required buffer width may be granted by the Executive Director.

8. The setback required by § 1.1.9 of this Part for all new and existing residential, commercial, and industrial structures shall exceed the Coastal Buffer Zone requirement by a minimum of twenty-five (25) feet for fire, safety, and maintenance purposes. Where the twenty-five (25) foot separation distance between the inland edge of the buffer and construction setback cannot be obtained, the applicant may request a variance in accordance with § 1.1.7 of this Part. The Executive Director shall have the authority to grant variances to this requirement. However, a vegetated coastal buffer zone shall not directly contact any dwelling's footprint.

### 1.1.7 Variances

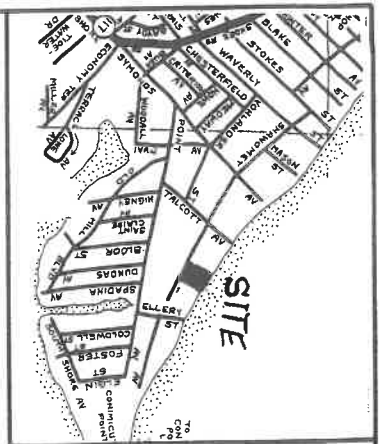
- A. Applicants requiring a variance from a standard shall make such request in writing and address the six criteria listed below in writing. The application shall only be granted a variance if the Council finds that the following six criteria are met.
1. The proposed alteration conforms with applicable goals and policies of the Coastal Resources Management Program.
  2. The proposed alteration will not result in significant adverse environmental impacts or use conflicts, including but not limited to, taking into account cumulative impacts.
  3. Due to conditions at the site in question, the applicable standard(s) cannot be met.
  4. The modification requested by the applicant is the minimum variance to the applicable standard(s) necessary to allow a reasonable alteration or use of the site.
  5. The requested variance to the applicable standard(s) is not due to any prior action of the applicant or the applicant's predecessors in title. With respect to subdivisions, the Council will consider the factors as set forth in § 1.1.7(B) of this Part below in determining the prior action of the applicant.
  6. Due to the conditions of the site in question, the standard(s) will cause the applicant an undue hardship. In order to receive relief from an undue hardship an applicant must demonstrate inter alia the nature of the hardship and that the hardship is shown to be unique or particular to the site. Mere economic diminution, economic advantage, or inconvenience does not constitute a showing of undue hardship that will support the granting of a variance.
- B. In reviewing requests for buffer zone variances for subdivisions of five (5) lots or less, the Council will review on a case-by-case basis the extent to which the prior action of the applicant or its predecessor in title created or caused the need for a variance, whether the applicant has created the need for a variance by the subdivision and whether the subdivision complies with local zoning requirements.
- C. Relief from a standard does not remove the applicant's responsibility to comply with all other Program requirements.
- D. Prior to requesting approval for a CRMC variance, in those instances where a variance would be obviated if a variance for a setback were acquired from the local municipality, the applicant must first exhaust his remedies before the local municipality.

DEM 1994



Spring 2024





LOCUS MAP  
N.T.S.



**ZONING:**

THIS PARCELS ARE LOCATED IN RESIDENTIAL DISTRICT A-7.  
 MIN. LOT AREA: 7,000 S.F.  
 MIN. LOT FRONTAGE: 70 FT.  
 MIN. FRONT YARD: 25 FT.  
 MIN. REAR YARD: 20 FT.  
 MIN. SIDE YARD: 8 FT.  
 MIN. LANDSCAPED OPEN SPACE: 10%  
 MAX. BUILDING: 35 FT

**FLOODING:**

THESE PREMISES ARE SITUATED IN FLOODPLAIN ZONE VE, WHICH DETERMINED BY FEMA FOR THE CITY OF WARWICK, COUNTY OF KENT, AS AREAS OF COASTAL FLOOD WITH VELOCITY HAZARD (NAME ACTION) BASE FLOOD ELEVATIONS DETERMINED (ELECTRICITY) COMMUNITY-PANEL NUMBER 445408-0008E. MAP REVISION: JUNE 16, 1992.

**REFERENCE:**

1. PLAT BATHY-CHAWOMETT SPURS, SUB-DIVISION #17, WHICH PLAT IS RECORDED IN THE LAND EVIDENCE RECORDS OF THE CITY OF WARWICK ON PLAT CARD 264.
2. DEED BOOKS/PAGES: 8727/181, 8471/275 & 9193/183.

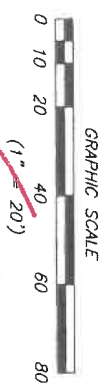
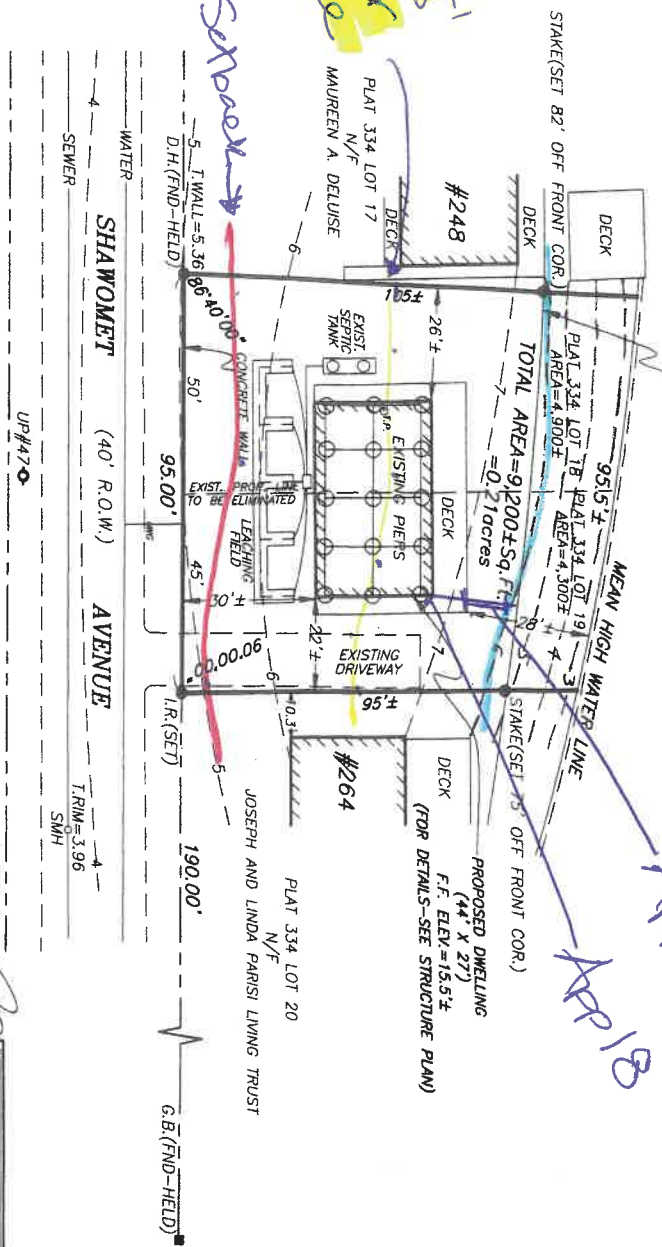
**LEGEND**

- PROPERTY LINE
- ABUTTING PROPERTY LINE
- DWELLING
- PROPOSED ADDITION
- NOW OR FORMERLY
- EDGE OF ASPHALT
- CONTOUR LINE
- GRANITE BOUND FOUND
- ROCK BLAND NEAR (GROUND)
- DRAWL HOLE SET
- DRAWL HOLE FOUND
- IRON BEAM SET
- SEWER MANHOLE
- GAS CAVE
- WATER CAVE
- HYDRAULIC
- DRAINAGE MANHOLE
- UTILITY POLE
- CATCH BASIN



**NARRAGANSETT BAY**

APPROX. COASTAL FEATURE LINE



MAUREEN A. DELUISE  
JOSEPH AND LINDA PARISI LIVING TRUST



OWNER NAME & ADDRESS:  
 PISTOCO RENOOC TRUST  
 45 BROADVIEW AVENUE  
 WARWICK RI 02889

ADMINISTRATIVE SUBDIVISION  
 FOR  
 CHARLES PISTOCO  
 256 SHAWOMETT AVENUE  
 WARWICK RHODE ISLAND  
 PLAT 334 LOTS 18 & 19  
 NRC ASSOCIATES  
 P.O. BOX 14459  
 EAST PROVIDENCE, RHODE ISLAND 02914  
 (401) 954-0206

**NOTES:**

1. THE LOCATION, DEPTH, AND EXISTENCE OF ANY UTILITIES OR OTHER UNDERGROUND OBJECTS SHOWN ON THIS PLAN ARE BASED ON THE BEST AVAILABLE INFORMATION. LOCATIONS ARE NOT WARRANTED ON THE EXACT, NOR IS IT WARRANTED THAT ALL EXISTING UTILITIES ARE SHOWN.
2. THE PROPOSED DWELLING SHALL BE CONNECTED TO THE SEWER.
3. LOTS DERIVED ON THIS PLAT SHALL NOT BE ALTERED DIMENSIONALLY OR FROM INCLUDING THE EMBARMENT OF LOTS OR MONING OF ANY LINE FOR ANY PURPOSE WHATSOEVER WITHOUT FIRST FILING A NEW SUBDIVISION APPLICATION ACCORDANCE WITH THE CITY OF WARWICK DEVELOPMENT REVIEW REGULATIONS OF DECEMBER 31, 1995 AS AMENDED.
4. CONTRACTOR IS REQUIRED TO CALL DIG-SAFE BEFORE ANY EXCAVATION IS COMMENCED (1-888-DIG-SAFE).
5. UTILITY LATERALS (SERVICES) TO BE VERIFIED BY THE CONTRACTOR.
6. CONTRACTOR IS REQUIRED TO VERIFY WITH THE CITY OF WARWICK ON THE REGULATIONS AND REQUIREMENTS BEFORE THE START OF THE PROJECT.
7. ALL ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88).
8. SEPTIC SYSTEM INFORMATION IS TAKEN FROM A REVERSED PLAN BY PHILIP MANCINI ON DECEMBER 1988.

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 4.55-RIGR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS APRIL 16, 2008. LIMITED CONTENT BOUNDARY SURVEY MEASUREMENT SPECIFICATION- CLASS 1 TOPOGRAPHY SURVEY-1-2

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:  
 ADMINISTRATIVE SUBDIVISION  
 MADE BY PHILIP MANCINI, LICENSE #1948 LS-4423

Top of  
 183  
 Bottom = 172

### 1.1.3 Requirements for Applicants

#### A. Step one - Is a Council assent required?

1. All developments or operations within, above or beneath the tidal waters below the mean high water mark extending out to the extent of the state's jurisdiction in the territorial sea, and those occurring on coastal features or within all directly associated contiguous areas which are necessary to preserve the integrity of coastal resources, or any portion of which extends onto the most inland shoreline feature or its two hundred (200) foot contiguous area, or as otherwise set out in the Coastal Resources Management Program, require a Council Assent.
2. Persons proposing the following activities any portion of which extends onto the most inland shoreline feature or its 200 foot contiguous area are required to apply for a Council Assent: subdivisions, cooperatives, or other multi-ownership facilities [of six (6) units or more], or facilities requiring or creating forty thousand (40,000) sq. ft. or more of parking.
3. Persons proposing the following activities within critical coastal areas, which include the watersheds of poorly flushed areas delineated on maps accompanying this program, are required to apply for a Council Assent: subdivisions, cooperatives, and other multi-ownership facilities [of six (6) units or more]; any structure serviced by an on-site sewage disposal system servicing two thousand (2,000) gallons or more per day; any activity which results in the creation of forty thousand (40,000) sq. ft. or more of impervious surface; construction or extension of municipal or industrial sewage facilities or systems (not connections to individual homes); construction or extension of water distribution systems or supply lines (not connections to individual homes).
4. Persons proposing selected inland activities anywhere in the state that may require a Council Assent shall request a review of the project to determine whether impacts on the environment of the coastal region are likely and, therefore, whether a Council Assent will be required. These selected inland activities are:
  - a. power generating over forty (40) megawatts
  - b. chemical or petroleum processing, transfer or storage;
  - c. minerals extraction;
  - d. sewage treatment and disposal and solid waste disposal facilities;  
and
  - e. desalination plants

5. Persons proposing any project or activity which may alter the character of any freshwater wetland in the vicinity of the coast, and which is not specifically exempt under the Rules and Regulations for the Protection and Management of Freshwater Wetlands in the Vicinity of the Coast ([Part 2 of this Subchapter](#)) or as provided in R.I. Gen. Laws § 46-23-6(2)(iv), are required to apply for a Council Assent. When it is not clear as to whether or not freshwater wetlands exist in the area of any proposed activity, or whether the proposed activity requires a Council Assent, persons should consult with the Council prior to undertaking any activity.

B. Step two - Where Is the activity or alteration being proposed?

1. Locate the area where an activity or alteration is proposed on the maps that accompany this Program. Then note the water use category (if an on land activity is proposed, the adjoining water use category). If the shoreline is designated a critical erosion area, note the average annual erosion rate. In these areas, non-water dependent structures must be set back a distance equivalent to thirty (30) times the annual erosion rate (see § 1.1.9 of this Part). The prerequisites, standards, and Category B requirements for on land activities listed in §§ 1.3.1(A) through 1.3.1(R) and in §§ 1.3.5 and 1.3.6 of this Part apply to both shoreline features and their two hundred (200) foot contiguous area.
2. Identify the shoreline features that may be affected. The maps give some indication of the shoreline features that may be involved, but this must be verified by inspecting the site. The definitions of shoreline features in § 1.1.2 of this Part will further assist you in identifying what shoreline features are present.
3. If the proposed activity or alteration is not located in Rhode Island's coastal waters, on or within the two hundred (200) foot contiguous area, or a statewide activity listed in § 1.3.3 of this Part, determine if it is located within a critical coastal area. If the proposed alteration or activity is listed in § 1.3.4 of this Part, then you will need to apply for a Council Assent.
4. If the proposed project or activity may alter the character of any freshwater wetland in the vicinity of the coast and is not specifically exempt, then you will need to apply for a Council Assent.

C. Step three - What regulations apply?

1. The prerequisites, policies, and standards in this Program are regulations that must be met by all persons who undertake alterations and activities under the Council's jurisdiction.
2. If the alteration proposed is for tidal waters or for a shoreline feature, turn to Table 1 in § 1.1.5 of this Part and match the activity with the water area and shoreline type. The table will tell you if the activity you propose is

prohibited or will be processed as a Category A or Category B application. Table 2 in § 1.1.5 of this Part lists the review categories for activities proposed in the two hundred (200) foot area contiguous to shoreline features.

3. If the proposed alteration is within a critical coastal area, consult the appropriate CRMC Special Area Management Plan for supplemental policies, standards, and requirements. Table 3 in § 1.1.5 of this Part lists the review categories for inland activities subject to the requirements of § 1.3.3 or § 1.3.4 of this Part.
4. If the proposed project or activity is located within any freshwater wetland in the vicinity of the coast, the area of land within fifty feet (50') or on a riverbank, then the CRMC Rules and Regulations for the Protection and Management of Freshwater Wetlands in the Vicinity of the Coast ([Part 2 of this Subchapter](#)) shall apply.
5. The applicant is required to obtain all other necessary municipal, state and federal permits, except where preempted by federal regulations. The Council may, however, waive the requirement for obtaining other permits as a prerequisite to issuing an assent pursuant to [10-00-1.4.2\(G\)](#) of this Title.

D. Category A applications

1. Review the policies in § 1.2 of this Part for the water use and shoreline categories your proposal may affect. These may set limits on what may be permitted or provide guidance on how the work should be undertaken.
2. Turn to the appropriate section in § 1.3 of this Part and; note any prerequisites that you must meet before filing for a Council Assent; and review all standards. When filing a Category A application you must commit yourself to upholding all applicable standards. If you cannot meet one or more standards, you must apply for a variance (§ 1.1.7 of this Part), if applicable.
3. File your application. If the activity you propose is not starred (\*) on Table 1 in § 1.1.5 of this Part and you meet all applicable standards, and if all information requirements have been verified by the Council's staff, review of the application will begin. If grounds for a substantive objection (see § 1.1.6(H) of this Part) exist on the proposed site (for example, the presence of rare or endangered species or severe building constraints), a Council member or the Council's staff will recommend review by the full Council, and the application will be put out to public notice.
4. If the activity you propose is starred (\*), public notice will be given of your proposal; abutters to the affected property and local and state officials will be notified of your proposal. If one or more substantive objections (see §

1.1.6(H) of this Part) are filed within the thirty (30) day notice period, a public hearing on your proposal will be scheduled and a Council subcommittee appointed to hear the objections, review your application, and recommend action to the full Council.

E. Category B applications

1. Complete steps 1 and 2 above (§§ 1.1.3(A) and (B) of this Part) as for a Category A Assent.
2. Prepare in writing an environmental assessment of your proposal. This must address all items listed in § 1.3.1(A) of this Part and any additional requirements for Category B applications listed for the activity in question in the appropriate sections of § 1.3 of this Part. The amount of detail appropriate for each topic will vary depending on the magnitude of the project and the likely impacts. If, in your opinion, some issues do not apply, simply note: "Does not apply."
3. All Category B applications are put out to public notice. A public hearing will be scheduled if one or more substantive objections are filed within the thirty (30) day notice period. A Council subcommittee will review your proposal, the comments prepared by its staff, and all other pertinent materials, and will recommend action to the full Council. If your proposal is uncontested, you may expect Council action within thirty (30) working days of verification by the Council's staff that all informational requirements have been met. The Council shall base its decision on consideration of how your proposal conforms to goals for the shoreline features and water use categories affected, other relevant policies, and the significance of the likely impacts of your proposal on the environment of the coastal region.

**1.1.4 Alterations and Activities That Require an Assent from the Coastal Resources Management Council**

A. Tidal waters, shoreline features, and contiguous areas

1. A Council assent is required for any alteration or activity that are proposed for:
  - a. Tidal waters within the territorial seas (including coastal ponds, some of which are not tidal but which are coastal waters associated with a barrier beach system, and are physiological features);
  - b. Shoreline features; and
  - c. Areas contiguous to shoreline features.

**From:** Amy Silva  
**Sent:** Tuesday, April 15, 2025 8:26 AM  
**To:** Cstaff  
**Subject:** FW: Information Request for CRMC File # A2024-03-112 ; Pistocco Irrevocable Trust, Shawomet Avenue, Warwick  
**Attachments:** 00CCF3D4-EEB9-4561-83F7-669A18AC2799.png  
**Follow Up Flag:** Follow up  
**Flag Status:** Flagged  
**Categories:** Oliver

Amy Silva  
 Supervising Environmental Scientist, CRMC  
 (401)-783-3370p/(401)-783-2069f  
<http://www.crmc.ri.gov>

**From:** spring green <springgreenautobody@yahoo.com>  
**Sent:** Monday, April 14, 2025 9:34 PM  
**To:** Amy Silva <asilva@crm.ri.gov>  
**Subject:** Re: Information Request for CRMC File # A2024-03-112 ; Pistocco Irrevocable Trust, Shawomet Avenue, Warwick

Hello Amy  
 Here is the septic functionality/ flow test that we had previously discussed.  
 I sent it to DEM- and they advised that I send it to you.  
 Please advise.  
 Ty  
 Charles

On Friday, March 28, 2025 at 12:48:24 PM EDT, Amy Silva <[asilva@crm.ri.gov](mailto:asilva@crm.ri.gov)> wrote:

Mr Pistocco-

To summarize the in-person visit of your son with you on the phone this afternoon-

-CRMC does not review applications piecemeal. The application must have all required elements before staff can begin review.

-Deputy Director Miguel has stated that all communication regarding this application be via email to avoid any further confusion and miscommunication.

-I spoke with your surveyor on March 20 and followed up by sending both of the information requests to him.

-Your surveyor and I discussed the presence of the approximate coastal feature on the submitted plans. Staff always recommends a professional delineation over an approximation, but if you choose to proceed with this line to measure Buffers and Setbacks from, that is your choice. When all materials are received, staff will visit the site to confirm the accuracy of the Coastal Feature presented.

We also discussed the City of Warwick's rules regarding the sewer tie in vs. the OWTS and whether the City will require you to utilize the sewer tie in. I suggest contacting the Sewer Authority (<https://www.warwicksewerauthority.com/> from the website: **For sewer availability questions:** (401) 468-4710 **For the sewer authority administration:** (401) 468-4700).

After you left the call, I discussed with your son that this project will be difficult as it represents significant Variances. We discussed the possibility that should the OWTS be unsuitable, or the City requires you to utilize the sewer tie-in, you may be required to remove the system and move the proposed structure further from the feature to minimize variances.

Thank you

Amy

Amy Silva

Supervising Environmental Scientist, CRMC

(401)-783-3370p/(401)-783-2069f

<http://www.crmc.ri.gov>

**MICHAEL PERRI & SON'S, INC. SEPTIC SERVICES**

*(servicing all of Rhode Island)*

**537 SANDY LANE**

**WARWICK, RI 02889**

**PHONE: 401-736-8313 \* FAX 401-736-8317**

**[mperriandsons@yahoo.com](mailto:mperriandsons@yahoo.com)**

**[www.michaelperriandsons.com](http://www.michaelperriandsons.com)**

April 3, 2025

Charlie Pistocco  
256 Shawpmet Avenue  
Warwick RI  
401-749-7010  
[springgreenautobody@yahoo.com](mailto:springgreenautobody@yahoo.com)

With permission from neighbor and paying for the water usage Mr. Pistocco had Michael Perri and Sons introduce water into the septic tank for 24 hours no evidence of overflow water effluent water entered into leach field properly. Let it also be noted system was installed at the time of pier foundation and has never been utilized or built upon. Again, system should and will function as designed and installed .

As of this date and time system appears to be in good working condition and should suffice a new build on property. Should you have any questions or concerns please do not hesitate to contact the office.

Sincerely,  
J. Michael Perri  
J. Michael Perri



AA



dl-mail.ymail.com



**From:** asilva@crmc.ri.gov  
**Sent:** Wednesday, March 19, 2025 7:41 AM  
**To:** CRMC Staff  
**Subject:** FW: Information Request for CRMC File # A2024-03-112 ; Pistocco Irrevocable Trust, Shawomet Avenue, Warwick  
**Attachments:** 70CA94E2-9563-4F44-B4E8-228E11E46EDA.jpeg; 1E44946D-C018-4DF6-95C9-9AEC75600306.jpeg; A394EF3D-6308-4273-9DFE-02AA826C7FFD.jpeg  
**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Amy Silva  
Supervising Environmental Scientist, CRMC  
(401)-783-3370p/(401)-783-2069f  
<http://www.crmc.ri.gov>

---

**From:** spring green <springgreenautobody@yahoo.com>  
**Sent:** Tuesday, March 18, 2025 5:49 PM  
**To:** asilva@crmc.ri.gov  
**Subject:** Re: Information Request for CRMC File # A2024-03-112 ; Pistocco Irrevocable Trust, Shawomet Avenue, Warwick

Hi Amy  
Here is proof of ownership/ deed for Shawomet Ave.  
Also- please lmk if you received the information concerning the piers.  
Ty  
Charlie

On Friday, March 14, 2025 at 06:33:30 PM EDT, spring green <[springgreenautobody@yahoo.com](mailto:springgreenautobody@yahoo.com)> wrote:

I emailed it to you.

On Friday, March 14, 2025 at 08:23:48 AM EDT, <[asilva@crmc.ri.gov](mailto:asilva@crmc.ri.gov)> wrote:

Mr. Pistocco-

It has not been reviewed yet.

CRMC reviews projects in their entirety, as all the information relates to the project and the regulations. When we have received all the information requested, we will review the project.

Amy

Amy Silva

Supervising Environmental Scientist, CRMC

(401)-783-3370p / (401)-783-2069f

<http://www.crmc.ri.gov>

---

**From:** spring green <[springgreenautobody@yahoo.com](mailto:springgreenautobody@yahoo.com)>

**Sent:** Thursday, March 13, 2025 2:25 PM

**To:** [asilva@crmc.ri.gov](mailto:asilva@crmc.ri.gov)

**Subject:** Re: Information Request for CRMC File # A2024-03-112 ; Pistocco Irrevocable Trust, Shawomet Avenue, Warwick

Was the integrity report / engineer stamp for pier foundation acceptable?

Ty

Charlie

On Thursday, March 13, 2025 at 11:18:46 AM EDT, [asilva@crmc.ri.gov](mailto:asilva@crmc.ri.gov) <[asilva@crmc.ri.gov](mailto:asilva@crmc.ri.gov)> wrote:

The Building Official's Form is a requirement. As part of the City completing that, they will confirm that the proposed dwelling meets current FEMA flood elevations.

Everything in the letters that were sent is required.

Amy

Amy Silva

Supervising Environmental Scientist, CRMC

(401)-783-3370p/(401)-783-2069f

<http://www.crmc.ri.gov>

---

**From:** spring green <[springgreenautobody@yahoo.com](mailto:springgreenautobody@yahoo.com)>

**Sent:** Thursday, March 13, 2025 10:57 AM

**To:** [asilva@crmc.ri.gov](mailto:asilva@crmc.ri.gov)

**Subject:** Re: Information Request for CRMC File # A2024-03-112 ; Pistocco Irrevocable Trust, Shawomet Avenue, Warwick

Hi Amy

The elevation certificate is recent.

Probably 2023 or 2024.

But if there are items that Warwick is going to supply you, then why are requesting them from me?

I would like to do only what is absolutely necessary for you.

Every item on your list requires a great deal of time, energy and/or money. And that is why I ask for it to be precise and accurate. And only what is absolutely needed.

Ty

Charlie

On Thursday, March 13, 2025 at 10:10:14 AM EDT, [asilva@crmc.ri.gov](mailto:asilva@crmc.ri.gov) <[asilva@crmc.ri.gov](mailto:asilva@crmc.ri.gov)> wrote:

Mr. Pistocco-

When the City Building and Zoning Officials review the revised plans and sign our Building Official's Form (<http://www.crmc.ri.gov/applicationforms/BuildingOForm.pdf>), they will confirm that the proposal meets current Flood Zone elevation requirements. What you sent appears to be from 2013. FEMA Flood Zone maps have been updated since then.

If you receive notification from DEM/OWTS that the system is suitable for use, then I believe that yes you may use the system. I will alert you that a law was passed not long ago requiring people to tie in to sewer systems if they are available. DEM/OWTS and the City would be able to best advise you on whether you are required to tie in or not. Based on my discussions with Raymond at DEM/OWTS, it appears you can test the system on site and use it. That law may not apply to this lot as it currently has a system vs. requesting a new one.

Amy

Amy Silva

Supervising Environmental Scientist, CRMC

(401)-783-3370p/(401)-783-2069f

<http://www.crmc.ri.gov>

---

**From:** spring green <[springgreenautobody@yahoo.com](mailto:springgreenautobody@yahoo.com)>

**Sent:** Wednesday, March 12, 2025 4:47 PM

**To:** [cstaff1@crmc.ri.gov](mailto:cstaff1@crmc.ri.gov)

**Subject:** Re: Information Request for CRMC File # A2024-03-112 ; Pistocco Irrevocable Trust, Shawomet Avenue, Warwick

Ok.

Thanks Amy

Let's start with elevation certificate. Please see enclosed. Please add to your file.

Important question- if I obtain a good flow test -and I present the septic certificate of conformance- Will I be able to use my septic system?

Ty

Charlie

On Wednesday, March 12, 2025 at 03:22:37 PM EDT, [cstaff1@crmc.ri.gov](mailto:cstaff1@crmc.ri.gov) <[cstaff1@crmc.ri.gov](mailto:cstaff1@crmc.ri.gov)> wrote:

Mr. Pistocco,

Please see the attached information request from Amy Silva, CRMC Supervising Environmental Scientist. This letter has also been sent via USPS on this day, March 12<sup>th</sup>, 2025. If you have any questions or concerns regarding the information requested via this letter, please contact Amy Silva at [asilva@crmc.ri.gov](mailto:asilva@crmc.ri.gov) .

Thank you,

## Oliver Allamby


Information Aide

Coastal Resources Management Council

Oliver Stedman Government Center

4808 Tower Hill Road, Suite 116

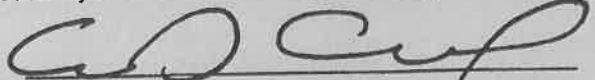
Wakefield, RI 02879

 (401) 783-3370

 [oallamby@crmc.ri.gov](mailto:oallamby@crmc.ri.gov)

STATE OF RHODE ISLAND  
COUNTY OF Providence


In Cranston on the 26 day of Aug, 2016, before me personally appeared MARGARET J. PISTOCCO, CHARLES L. PISTOCCO, III and CHRISTIAN L. PISTOCCO, to me known and known by me to be the parties executing the foregoing instrument, and they acknowledged said instrument, by them executed, to be their free act and deed.

  
NOTARY PUBLIC

EUGENE D. CARLINO  
NOTARY PUBLIC OF RHODE ISLAND  
ID # 27098  
My Commission Expires 6/17/2017

STATE OF RHODE ISLAND  
COUNTY OF Providence

In Cranston on the 26 day of Aug, 2016, before me personally appeared CHARLES L. PISTOCCO, III and CHRISTIAN L. PISTOCCO, Independent Trustees of CHARLES L. PISTOCCO, JR. REVOCABLE TRUST u/a/d March 1, 2006, to me known and known by me to be the parties executing the foregoing instrument, and they acknowledged said instrument, by them executed, to be their free act and deed.

  
NOTARY PUBLIC

EUGENE D. CARLINO  
NOTARY PUBLIC OF RHODE ISLAND  
ID # 27098  
My Commission Expires 6/17/2017

**WARRANTY DEED**

We, MARGARET J. PISTOCCO, of Warwick, Rhode Island, CHARLES L. PISTOCCO, III of Cranston, Rhode Island, CHRISTIAN L. PISTOCCO, of Warwick, Rhode Island, and CHARLES L. PISTOCCO, III, of Cranston, Rhode Island, and CHRISTIAN L. PISTOCCO, of Warwick, Rhode Island, Independent Trustees of the CHARLES L. PISTOCCO, JR REVOCABLE TRUST w/a/d March 1, 2006, for consideration paid and in full consideration of One Dollar (\$1.00),

grant to MARGARET J. PISTOCCO, Trustee of the PISTOCCO IRREVOCABLE TRUST OF 2016, w/a/d March 29, 2016, of 45 Broadview Avenue, Warwick, Rhode Island 02889,

With WARRANTY COVENANTS,

That certain parcel of land with all buildings and improvements thereon more particularly described on Exhibit A attached hereto.

The Grantors hereby covenant that this transfer is such that no R.I.G.L. 44-30-71.3 withholding is required as they are residents of Rhode Island.

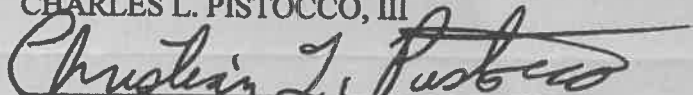
Consideration is such that no transfer tax stamps are required, and no withholding of tax is required.

This conveyance is made subject to real estate taxes assessed as of December 31, 2015.

WITNESS our hands and seals this 26 day of Aug, 2016.

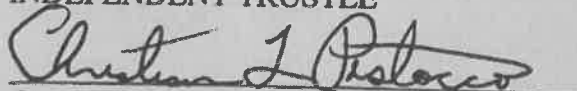
  
MARGARET J. PISTOCCO

  
CHARLES L. PISTOCCO, III

  
CHRISTIAN L. PISTOCCO

CHARLES L. PISTOCCO JR.  
REVOCABLE TRUST w/a/d March 1, 2006

  
CHARLES L. PISTOCCO, III  
INDEPENDENT TRUSTEE

  
CHRISTIAN L. PISTOCCO  
INDEPENDENT TRUSTEE

**EXHIBIT A**

That certain real estate situated in the City of Warwick, County of Kent in the State of Rhode Island, and described as follows:

That certain tract or parcel of land situated in the City of Warwick, County of Kent and State of Rhode Island, laid out and designated as lot numbered one (1) on that certain plat of land entitled, "Shawomet Shores, Subdivision No. 1, Warwick, R.I. belonging to the Ferrier Land Company. Providence, R.I. by Edward E. Goff, C.E. August, 1919", which said plat is recorded in the records of land evidence in said City of Warwick, hereby referred to for a more particular description. Said premises are conveyed, however, subject to the restrictions as printed on the recorded plat referred to above, and also that no fence shall be erected more than three feet in height on said lot. However bounded and described, being the same premises conveyed to these grantors by deed from Ferrier Land Company, dated 29<sup>th</sup> of December, A.D. 1920, and recorded in the Land Evidence Records in the City of Warwick, R.I. on the 18<sup>th</sup> day of February 1921 in Book No. 103, Page 87, of the Records of Deeds in the City of Warwick, R.I.

Also that certain tract or parcel of land situated in the City of Warwick, in the County of Kent and State of Rhode Island, laid out and designated as lot numbered two (2) on that certain plat entitled, "Shawomet Shores, Subdivision No. 1, Warwick, R.I. belonging to the Ferrier Land Co., Providence, R.I. By Edward E. Goff, August 1919", which said plat is recorded in the records of land evidence in said City of Warwick, hereby referred to for a more particular description. Said premises are conveyed, however, subject to the restrictions as printed on the recorded plat referred to above, and also that no fence shall be erected more than three (3) feet in height on said lot. However bounded and described, being the same premises conveyed to these grantors by deed from Ferrier Land Company, dated the first day of November, A.D. 1923, and recorded in the Land Evidence Records on the City of Warwick, R.I. on the 9<sup>th</sup> day of July, 1924, in Book No. 115, Page 276, of the Records of Deeds in the City of Warwick, R.I.

RECORDED  
Dec 20, 2016 10:29A  
Judy Wild, City Clerk  
City of Warwick, RI

**Property Address:**

Shawomet Avenue  
Warwick, RI  
Plat 334, Lots 18 and 19

**From:** asilva@crmc.ri.gov  
**Sent:** Thursday, March 13, 2025 10:10 AM  
**To:** cstaff1@crmc.ri.gov  
**Cc:** 'spring green'; 'Taylor, Raymond (DEM)'  
**Subject:** RE: Information Request for CRMC File # A2024-03-112 ; Pistocco Irrevocable Trust, Shawomet Avenue, Warwick

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Mr. Pistocco-

When the City Building and Zoning Officials review the revised plans and sign our Building Official's Form (<http://www.crmc.ri.gov/applicationforms/BuildingOForm.pdf>), they will confirm that the proposal meets current Flood Zone elevation requirements. What you sent appears to be from 2013. FEMA Flood Zone maps have been updated since then.

If you receive notification from DEM/OWTS that the system is suitable for use, then I believe that yes you may use the system. I will alert you that a law was passed not long ago requiring people to tie in to sewer systems if they are available. DEM/OWTS and the City would be able to best advise you on whether you are required to tie in or not. Based on my discussions with Raymond at DEM/OWTS, it appears you can test the system on site and use it. That law may not apply to this lot as it currently has a system vs. requesting a new one.

Amy

Amy Silva  
Supervising Environmental Scientist, CRMC  
(401)-783-3370p/(401)-783-2069f  
<http://www.crmc.ri.gov>

---

**From:** spring green <[springgreenautobody@yahoo.com](mailto:springgreenautobody@yahoo.com)>  
**Sent:** Wednesday, March 12, 2025 4:47 PM  
**To:** [cstaff1@crmc.ri.gov](mailto:cstaff1@crmc.ri.gov)  
**Subject:** Re: Information Request for CRMC File # A2024-03-112 ; Pistocco Irrevocable Trust, Shawomet Avenue, Warwick

Ok.  
Thanks Amy

Let's start with elevation certificate. Pleas see enclosed. Please add to your file.

Important question- if I obtain a good flow test -and I present the septic certificate of conformance- Will I be able to use my septic system?

Ty  
Charlie

On Wednesday, March 12, 2025 at 03:22:37 PM EDT, [cstaff1@crmc.ri.gov](mailto:cstaff1@crmc.ri.gov) <[cstaff1@crmc.ri.gov](mailto:cstaff1@crmc.ri.gov)> wrote:

Mr. Pistocco,

Please see the attached information request from Amy Silva, CRMC Supervising Environmental Scientist. This letter has also been sent via USPS on this day, March 12<sup>th</sup>, 2025. If you have any questions or concerns regarding the information requested via this letter, please contact Amy Silva at [asilva@crmc.ri.gov](mailto:asilva@crmc.ri.gov).

Thank you,

## Oliver Allamby


Information Aide

Coastal Resources Management Council

Oliver Stedman Government Center

4808 Tower Hill Road, Suite 116

Wakefield, RI 02879

 (401) 783-3370

 [oallamby@crmc.ri.gov](mailto:oallamby@crmc.ri.gov)

**From:** spring green <springgreenautobody@yahoo.com>  
**Sent:** Wednesday, March 12, 2025 10:51 PM  
**To:** Cstaff1; asilva@crmc.ri.gov  
**Subject:** Fw: GRL PIT Report - 256 Shawomet Ave  
**Attachments:** GRL Report 25CEN132 - 256 Shawomet Ave RI - PIT\_24Jan2025.pdf;  
BE8D1C9C-01E7-4D04-B369-6684E8698DA1.png

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Hello Amy-

Please see the attached PIT report for the pier testing conducted at the 256 Shawomet Ave property in Warwick, RI

All piers are solid and viable.

I have also included engineer stamp

Ty

Charlie

**Seth Robertson, Ph.D., P.E.\***

*Project Engineer*

*Massachusetts Branch Office*

*\*Licensed in CT, MA, ME, NH, RI, VT*

**GRL Engineers, Inc.**

PO Box 1285

Haverhill, MA 01831

O: +1.216.831.6131 · M: +1.978.992.7968





January 24, 2025

Mr. Charles Pistocco  
Spring Green Auto Body  
1664 Elmwood Ave  
Cranston, Rhode Island 02910

Re: Pile Integrity Testing (low-strain integrity testing)  
Unknown Pile Lengths  
256 Shawomet Ave  
Warwick, Rhode Island

GRL Job No. 2025CEN00132

Mr. Pistocco:

This report presents results and summarizes our findings of the evaluation of PIT tests (Pile Integrity Tests) conducted at the above referenced site on January 15, 2025. PIT testing was requested to evaluate existing pile lengths as part of an unfinished residential development. The PIT tests and data collection were performed and evaluated by GRL Engineers, Inc.

The PIT testing method is described in Appendix A. The test involves inducing a stress wave in the pile by impacting the pile top with a small hammer and measuring the resulting pile top motion with an accelerometer. Records of several hammer impacts are typically averaged, filtered and exponentially amplified to enhance important record features. The processed records are pile top velocity curves.

### ***Pile information***

PIT testing was requested for fifteen (15) 12-inch-diameter timber piles, as part of an elevated foundation structure. The piles extended approximately 11 feet above grade, and had unknown embedment lengths. Timber beams and cross-bracing members support the above-grade structure. Figure 1a presents an image of the existing structure (facing southwest toward Shawomet Ave). Figure 1b presents an example image of an existing pile head with the attached accelerometer. Figure 2 presents a Google Maps image, dictating the column layout used to designate the tested piles.



**Figure 1.** (a) Image of the Existing 256 Shawomet Ave Property. (b) Example Imagery of the Pile Head and Instrumented Accelerometer.



**Figure 2.** Google Maps Imagery of Project Location

### ***Instrumentation***

The equipment for testing was a PIT-Q manufactured by Pile Dynamics, Inc. The PIT-Q conditioned and processed individual records from several hammer impacts, averaged them, and stored the average records in memory. The PIT-Q also displayed records such that an immediate assessment of data quality was possible in the field. One accelerometer was attached to the top of the tested piles.

### **Analysis**

After field testing was completed, all records were transferred from the PIT-Q Collector to a PC using PIT-W software. After checking and sometimes adjusting the field input parameters for amplification, filtering *etc.*, the processed velocity curves were plotted. These records were investigated mainly for reflections from the apparent pile toe to estimate the length. Representative PIT velocity records for the tested shaft are shown in Appendix B.

### **General Rules of Interpretation**

PIT is based on the stress wave propagation and reflection theory. A stress wave (generated by a hammer impact) in a uniform rod is reflected if the wave encounters an impedance change. The pile's impedance is  $EA/c$ , *i.e.*, the product of pile cross sectional area and elastic modulus divided by wave speed. The pile impedance therefore reflects both the pile's cross-sectional size and its material quality. A structurally sound pile is indicated by (a) reflections from the pile toe and (b) only relative minor variations of the record amplitudes between impact and toe reflection.

A defect is generally indicated by a relatively large positive velocity reflection before the toe. For driven timber piles, a large positive velocity reflection before the pile toe can be indicative of a cracked section. Generally, it is not possible to determine which case exists based on the PIT record alone, only that a reduction in impedance ( $EA/c$ ) occurs. By reviewing soil boring logs and pile installation records, in combination with the PIT result, it may be possible to make an educated guess at the cause of a defect. When a toe reflection is observed, this is generally taken as an indication that the pile integrity is acceptable. However, based on the minimal installation records available for this project, the overall testing scope was limited to assessing the pile embedment lengths. Therefore, categorization of the piles and integrity assessment based on the PIT records are not provided herein.

### **Results**

Representative velocity records for the tested piles are provided in Appendix B. The tests entailed impacting the pile head several times, while placing the accelerometer in various locations. Adequate records for proper interpretation were not obtained for several piles due to poor impact surface at the pile head. Length assessment for Piles 1D and 1E are therefore not included herein. Table 1 summarizes the estimated total and embedded lengths for the assessed piles.

The estimated/computed pile lengths are directly related to the assumed wave speed. A 11,000 ft/s wave speed was used to estimate the total pile lengths.

**Table 1. Estimated Pile Lengths Based on PIT Results**

<b>Pile Designation</b>	<b>Estimated Total Pile Length (feet)</b>	<b>Estimated Embedded Pile Length (feet)</b>
<b>1A</b>	30.0	19.0
<b>1B</b>	35.0	24.0
<b>1C</b>	37.0	26.0
<b>2A</b>	37.0	26.0
<b>2B</b>	40.0	29.0
<b>2C</b>	37.0	26.0
<b>2D</b>	28.0	17.0
<b>2E</b>	33.0	22.0
<b>3A</b>	30.0	19.0
<b>3B</b>	42.0	31.0
<b>3C</b>	29.0	18.0
<b>3D</b>	30.0	19.0
<b>3E</b>	30.0	19.0

***Method Limitation***

We should like to point out that there are a number of limitations of this test method which are discussed in Appendix A. The PIT testing method is limited to shaft integrity assessment only and should not be used in any way to evaluate soil/bedrock resistance. The presence of high soil resistance forces limits the depth to which the shafts can be assessed. Thus, inconclusive results and the requirement for engineering judgment may be caused by a complex geometry, large soil resistance forces. Assessment of the location of an impedance change or pile length estimation is only as accurate as our knowledge of applicable wave speeds. Please note that the estimated lengths are based on an assumed wave speed of 11,000 ft/sec for the tested piles, and that wave speed, and therefore estimated length, may vary by +/-5%.

Please do not hesitate to contact us if you have any questions on these results or if we can be of any further service.

Sincerely,  
GRL Engineers, Inc.



Alex Ryberg



Seth Robertson, Ph.D., P.E.  
*Professional Engineer*



**Appendix A**  
**An Introduction Into**  
**Low Strain Integrity**  
**Testing Methods**

# PIT - PILE INTEGRITY TESTING

## BY LOW STRAIN PULSE ECHO AND TRANSIENT RESPONSE METHOD

**DISCLAIMER:** Because of the limitations of the Low Strain Test method, described below, it is suggested that PIT results are not used as the sole means of rejecting or accepting a shaft or pile.

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### INTRODUCTION

Pile integrity testing of driven concrete or timber piles, auger cast piles and drilled shafts (all simply referred to as "piles" in the following) using the Pile Integrity Tester™ made by Pile Dynamics, Inc., is reliably and easily applied, quick, inexpensive and, therefore, routinely used world-wide. Because of its economy, all piles on a site can be tested and problem piles can be identified for corrective action.

The method uses signals from a hand held hammer impacting the pile top and generating a compressive stress wave in the pile (Figure 1). Stress wave reflections from non-uniformities or the pile toe are observed at the pile top, processed and interpreted by the test engineer.

The test engineer can choose from several modes of the basic Low Strain Test:

- The Pulse Echo Method (PEM) is the simplest method, merely requiring that pile top velocity signals are displayed as a function of time.
- The Transient Response Method (TRM) displays the mobility, *i.e.*, pile top velocity spectrum divided by force spectrum (e.g. functions of frequency content).
- A combination of PEM and TRM which displays the velocity in both time and frequency domain.
- The Two Velocity Method which requires that two accelerometers are placed along an exposed length of the test pile. The resulting velocity signals can be transformed into the velocity of the upward traveling wave.

- The Beta analysis which calculates an approximate impedance increase or reduction for an apparent reflection.
- The Profile analysis which determines an approximate shape of the test pile based on the pile top velocity curve.

### BACKGROUND

When a long rod, such as a precast, driven pile or drilled shaft, is struck with a small hammer, a stress wave is generated which travels down the shaft to the pile bottom where it is reflected. When the reflected stress wave returns to the pile top, a measurable pile top motion occurs. If this reflected wave occurs at the correct time and if no other earlier reflection is received at the pile top, then the pile shaft is most probably free of major defects.



Figure 1: Basic test setup

When a lightweight hand held hammer strikes the pile top, a small pile top motion (velocity) is generated and measured. The associated pile strains are of such a low magnitude that they would be measured in the pile only with great

difficulty. This test is therefore also known as the low strain integrity test. However, the force applied by the hammer can be easily measured by instrumenting the hammer itself. Primarily, the velocity record and to a lesser degree the force record contain information about the location and magnitude of pile non-uniformities. Under the assumption of proportional force and velocity records, and for short duration impact pulses, the velocity record may be sufficient to judge the quality of a shaft.

### STRESS WAVE PROPAGATION IN A PILE

An impact applied to the pile top generates a momentary compression and a particle motion of the pile top surface. The compression is related to the force,  $F$ ; the motion causes a particle velocity,  $v$ . In concrete or timber, the stress wave travels along the pile with a compressive stress wave speed,  $c$ , typically ranging from 3,000 to 4,500 m/s or from 10,000 to 15,000 ft/s. The wave speed depends only on pile material properties:

$$c = \sqrt{E/\rho} \quad (1)$$

where  $E$  is the pile's elastic modulus and  $\rho$  is its mass density.

Figure 2 shows, in the form of a time-depth plot, the paths of stress waves in a pile with a cross sectional (or material quality) reduction. It can be seen that the pile top velocity is affected by the reflected waves some time after the impact. The top velocity indicates by the arrival time the location of the origin of the reflection and by the magnitude of the reflected wave the severity of the change of the pile properties. The time at which the toe signal arrives is a measure of pile length if the wave speed is known and, reversely if the length is known, the wave speed of the material.

### THE PULSE ECHO METHOD

Figure 1 shows the PIT instrumentation with the Pile Integrity Tester (PIT) being the central data acquisition and processing unit. Other hardware components include a hand held hammer with an integral plastic cushion and an accelerometer. PIT provides signal conditioning, digital signal processing, digital signal storage and, for data inspection, an LCD screen. Normally, data is

uploaded to a PC where the test engineer utilizes a number of analysis options of the PIT-W program and then produces a final report.

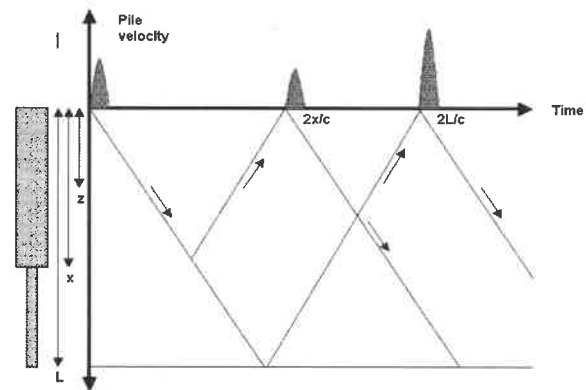


Figure 2: Stress wave path in a non-uniform pile

The first and sometimes most important step for a quality low strain test is the preparation of the pile top surface. Depending on the pile construction method, it may be necessary to remove several inches of the upper concrete, if it has been contaminated with soil, bentonite slurry or other foreign materials during construction. After a clean and good quality concrete top surface has been exposed, the accelerometer is attached to the pile top surface with a thin layer of a soft paste like Vaseline, petro wax, putty, etc.

An impact is then applied with the hand held hammer which typically generates accelerations in the 10 to 100 g range, pile strains around  $10^{-5}$ , velocities near 30 mm/s or 0.1 ft/s and displacements less than 25 microns or .001 inches. Acceleration signals produced by several hammer blows are integrated and displayed as velocities (which are clearer and more useful curves than the accelerations) on the processor's screen. Figure 3 shows three individual velocity records. Consistent records are selected, scaled, averaged, and then redisplayed. Averaging reinforces the repetitive information from pile or soil effects while reducing random noise effects.

### LENGTH SCALE, WAVE SPEED AND PILE LENGTH CALCULATIONS

The time after impact and time at which reflections reach the pile top are directly related to the distance of the origin of the reflection wave from the pile top. Therefore conversion of time to

length scale can be made, if the wave speed,  $c$ , in the pile is known. The following two procedures are used by the test engineer to determine the wave speed, for the time to length scale conversion.

Assuming that the pile or shaft length is known accurately, the wave speed is back calculated from the time between impact and pile toe reflection (if that is apparent).

If the shaft length is not known then a wave speed is assumed (usually between 12,500 and 13,100 ft/s or 3,800 and 4,000 m/s for concrete) and the pile length is then calculated from the time of toe reflection (if apparent). Since wave speeds of the concrete at the same site normally fluctuate within  $\pm 5\%$ , errors of similar magnitude must be expected for the calculated length.

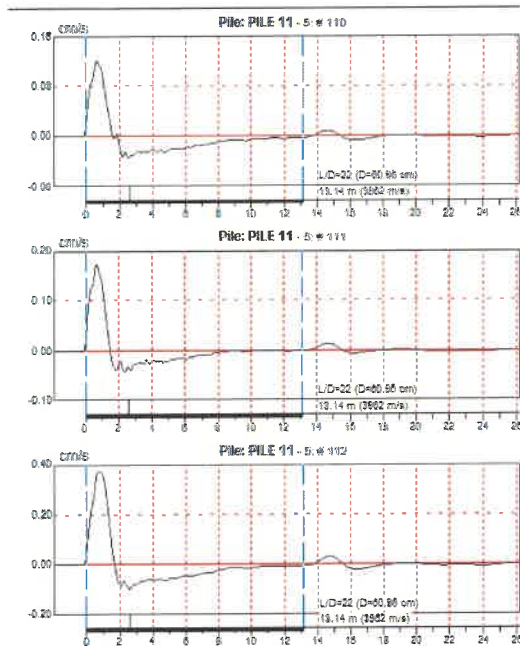


Figure 3: unprocessed velocity records each being the average of 5 impact signals; output from PIT-W

## RECORD ENHANCEMENT AND INSPECTION

The test engineer inspects the average velocity signal. Plotted over time, the velocity record shows a sharp pulse caused by the impact (left side of the plot). Following the impact pulse would be reflection pulses caused by variations in

pile properties or soil resistance. The first record check concerns the "toe signal". If the reflection from the pile toe is weak (as in the example of Figure 3) or not readily apparent, then the velocity record is usually multiplied with an amplification function whose magnitude is unity at impact, increasing exponentially with time until it reaches its maximum intensity at time  $2L/c$  after impact ( $2L/c$  is the time which the stress wave requires to travel at speed  $c$  along the pile of length  $L$  and return). Figure 4 shows a velocity trace from the same pile test as in Figure 3 but after an amplification of 20 was applied. Note that the pile toe reflection now is much more clearly identifiable. For longer piles or stronger soils, even higher amplification factors may be used; this process requires signal conditioning and digital processing equipment with very low noise to signal ratios. If the toe signal is apparent, then it is possible to confirm or correct the originally assumed wave speed.

Figure 4 is the standard PIT output. It includes the exponential amplification function with the multiplier at time  $2L/c$ . The assumed wave speed, pile length, amplification function, magnification factor and other useful information is shown in the output. Note that the time axis has been converted to length by multiplication with one half of the assumed wave speed. In this way a spatial scale is provided that shows the origin of a reflection.

A clearly indicated toe signal together with a fairly steady velocity trace between the impact and toe signal are signs of a sound pile. Strong velocity variations may be the result of changes in pile cross section, concrete quality or soil resistance. For example, relative increases in pile top velocity may be the result of either a cross sectional decrease or a soft soil layer. In the absence of soil resistance changes, pile top variations are caused by pile impedance changes. The pile impedance is defined as

$$Z = EA/c = A\sqrt{E\rho} = A c_p \quad (2)$$

with  $A$  being the pile's cross sectional area. Thus, an impedance reduction can be caused by a decrease either in area,  $A$ , or in the concrete's modulus,  $E$ , or in density,  $\rho$ . Since both modulus and density are related to concrete strength, the impedance then depends on cross sectional area and concrete quality.

In general, relatively sharply defined reflections are attributed to pile impedance changes. Slowly changing reflections are usually caused by soil strength variations, although they can also be caused by very gradual changes in impedance. This basic assumption limits damage recognition or integrity assessment to situations which occur over a distance given by one impact pulse width. Gradual pile tapers therefore cannot be detected. On the other hand, if the effect of soil resistance is known from reference piles, then unusual shaft shapes can be more easily identified. Improved quantitative interpretations may require pile profile calculations and comparison with records of other piles at the same site. But even more sophisticated analysis methods may not fully resolve the question of the effect of soil resistance.

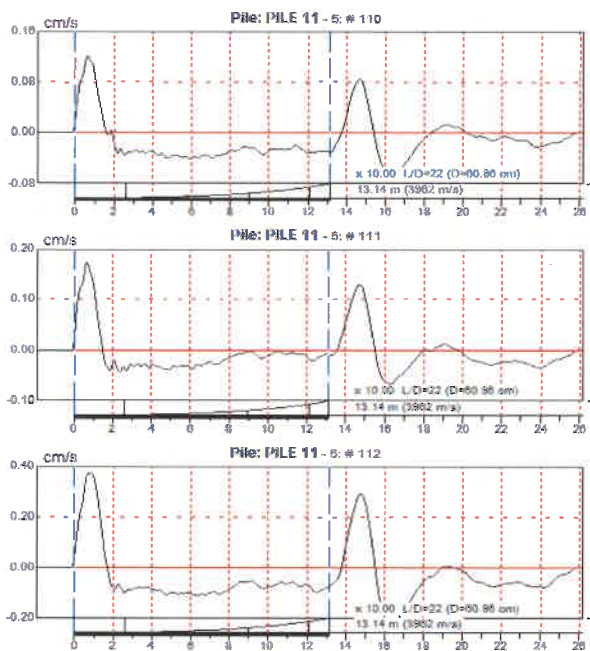


Figure 4: Amplified velocity record

## THE TRANSIENT RESPONSE METHOD

The TRM requires that both the pile top motion and the impact force be measured. This concept has been borrowed from standard Non-Destructive Testing technology. In fact, the first applications of NDT to piles required the measurement of force and velocity under a steady state vibrator which could apply substantial forces at variable frequencies. Fortunately, the force

frequency spectrum of a hand held impact hammer is relatively flat over a relatively wide frequency band (see Figure 5). A simple hand held hammer can therefore adequately produce the frequency components necessary to test both well constructed or defective piles with TRM.

The standard result of TRM is a plot of the frequency spectrum of the ratio of velocity to force. This so-called mobility is the pile's velocity response,  $v(\omega)$ , to a particular excitation force,  $F(\omega)$ .

$$M(\omega) = v(\omega)/F(\omega) \quad (3)$$

A mobility peak occurs at a frequency indicative of the time when the velocity changes due to a reflection from the pile toe or an intermediate impedance reduction. Mobility peaks occurring at regular intervals are indicative of a dominant frequency  $\Delta f$ . This frequency interval can be converted to a corresponding length using the wave speed,  $c$ , as per Eq. 4.

$$x = c/2\Delta f \quad (4)$$

Furthermore, dividing the velocity by frequency leads to displacement. Dividing force by displacement at a given frequency leads to the so-called dynamic stiffness.

$$E_d = \omega F(\omega)/v(\omega) = 2\pi f/M(\omega) \quad (5)$$

where  $\omega$  and  $f$  are the frequency in radians/s and Hz, respectively. In practice, a low frequency value is divided by the associated mobility yielding  $E_d$ . This quantity increases with decreasing pile toe response. A low pile toe response is often the result of high soil resistance. However, it may also be caused by highly variable pile properties or internal pile damping and is therefore only indirectly related to quantitative pile bearing capacity. However,  $E_d$  is calculated since it does provide a quantitative result for the evaluation of pile quality. Figure 5 shows the example of mobility (black line), force and velocity spectra (dashed lines), the point and line representing the dynamic stiffness and, at the bottom, the associated dynamic stiffness value. The mobility is also bound by a maximum and a minimum line (dashed, horizontal lines in Figure 5). Designated as P and Q, the inverse of the geometric average,  $\sqrt{PQ}$ , is another quantitative measure of the stiffness response of the pile. Both average mobility and dynamic stiffness

express the combined effect of soil resistance and the pile structural integrity. It is recommended to use these values in a relative manner, i.e. for comparison of different piles.

twice the impact pulse), exact results cannot be expected.

### THE PROFILE ANALYSIS

An estimated pile profile may be calculated based on the difference between measured pile top velocity and a reference line which expresses the effect of the soil resistance. Figure 6 explains this as the measured velocity portion following impact as being the sum of a velocity curves caused by changes in pile impedance and soil resistance. Thus, after subtracting the soil effect, integrating the remaining velocity pile effect leads to an image of the pile profile which causes the corresponding reflections. In other words, the effect of an impedance change has the appearance of the derivative of the impedance change. Scaling has to be achieved by the analyst using two criteria:

- (a) The profile has to be closed at the bottom (e.g. come to a near zero value).
- (b) The volume of the calculated profile should represent the volume of pile material used.

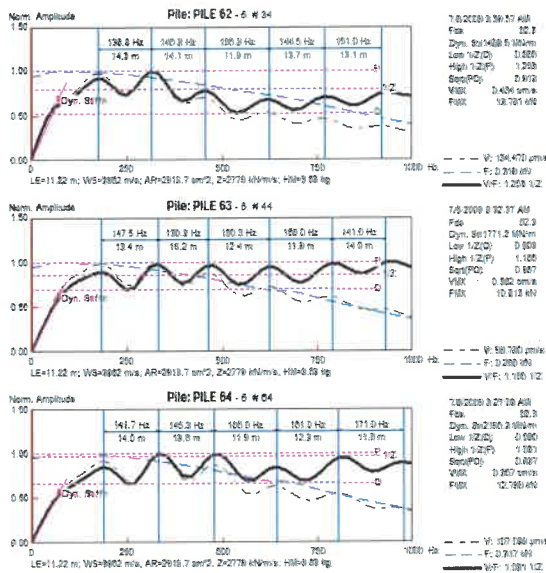


Figure 5: Mobility (black), velocity and force response spectra

### THE BETA METHOD

As a first estimate of the impedance change corresponding to a reflection, PIT-W uses the following equation.

$$\beta = (1 - \frac{1}{2} W_u) / (1 + \frac{1}{2} W_u) \quad (6)$$

with  $W_u$  being the sudden change of the velocity trace at a certain point.  $W_u$  is normalized by the magnitude of the impact wave. Thus if a sudden increase had the magnitude equal to that of the impact pulse,  $W_u$  would be equal to 1.0 and  $\beta$  would be 0.33. On the other hand if the reflection were only 20% of the impact pulse then  $\beta$  would be 0.82.

This formula indicates the relative change of pile size or quality (i.e. an 18% reduction in the example of  $W_u = 0.2$ ) under the following conditions:

- 1) The magnification has been chosen such that the toe signal is 2 times the impact signal for uniform piles, and
- 2) the reflection pulse has the same duration as the impact pulse. These conditions are usually not exactly met (the reflection often is wider and the toe signal not

The two parameters available for meeting these two requirements are the magnification function and the vertical position of one or more points along the reference line. Please note that the Pile Profile option will not identify and correct for secondary reflections. Furthermore, any impedance reduction, whether crack or lack of concrete quality, will be plotted in the form of a decreasing cross sectional area.

An example profile result for a drilled shaft whose size decreases at a depth of approximately 6 m is shown in Figure 7. It shows the following details.

- The processed (filtered, amplified) velocity record,
- The reference line (dashed); it represents the assumed soil resistance effect,
- The magnification function,
- A graphical representation of the  $\beta$  values calculated for every point along the pile; see Eq. 6 (because of the restrictions on the applicability of  $\beta$ , the Profile calculated impedance variations are generally preferable.
- The calculated pile profile, including an indicator of the minimum impedance relative to the top impedance,

- A length scale in m (ft) and in pile diameters, diam. (shown since an outdated rule of thumb suggested that low strain testing is unreliable for  $L/D > 30$ ),
- The right hand margin shows some test descriptions, date and time of test, the calculated and the relative construction volume (should be concrete used relative to top area times pile length and the calculated volume, i.e. the normalized area of the profile)

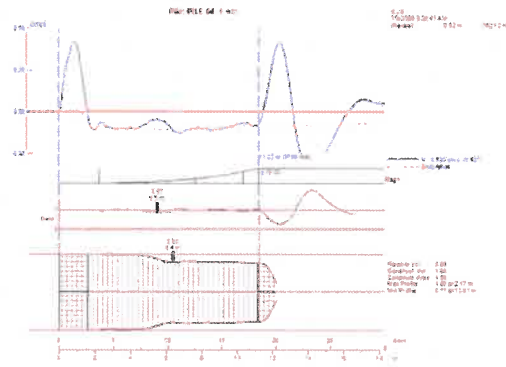


Figure 7: Pile profile output

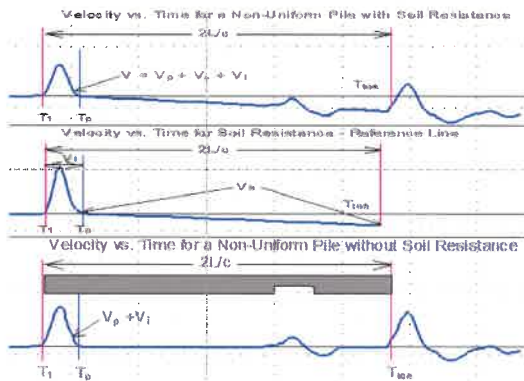


Figure 6: Reducing the pile top velocity by identifying the soil resistance effect

### TESTING OF PILES UNDER STRUCTURES

Piles which are rigidly attached to a structure can sometimes be tested and analyzed successfully, but often their analysis is more difficult than that of isolated piles. To improve chances for a successful test, it is often necessary to make the side of the pile accessible for the attachment of an accelerometer. If a pile length greater than 2 m (6 ft) is accessible, then it is worthwhile to attach a second accelerometer to the pile for a measurement of the wave speed and the separation of reflection from the structure from those from the pile bottom. In this case, the Two-Velocity analysis method may help differentiate between upward traveling reflections from the pile bottom from those caused by the structure. Figure 8 shows the example of measurements taken on a free pile of 12 m length; the impact was applied against a wedge mounted to the side of the pile 4 m below the top with accelerometers mounted 0.6 and 1.2 m below the wedge. The calculated velocity in the upward traveling wave shows clearly the toe reflection while the recorded velocities were confusing due to reflections from the pile top.

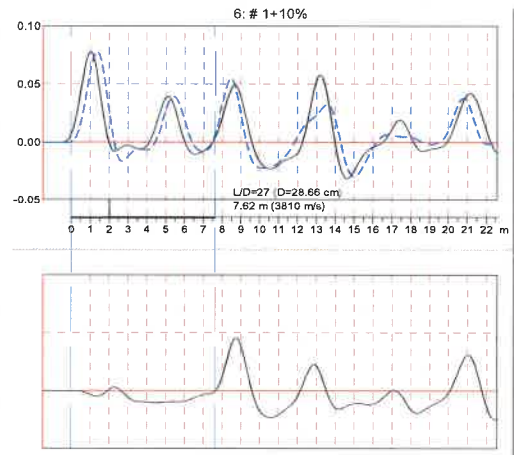


Figure 8: Two velocity analysis: recorded velocities at 0.6 m (2 ft) distance along pile (top) and calculated upward wave velocity (bottom).

### INTERPRETATION AND REPORTING

Before performing PIT, consensus must exist among owner, engineer and contractor on corrective actions should the tests indicate defects or produce inconclusive results. It is therefore often helpful to categorize the records obtained from PIT and agree on certain corrective measures should the results not fall into an A category. Note that these categories are based on the rather simple principles discussed above and are subject to the limitations listed below.

**AA Sound shaft integrity indicated;** a clear toe reflection can be identified corresponding to the reported length and a wave speed within acceptable range; records in this category may indicate normally accepted variations of size or material quality.

**AB No major defect indicated;** the records indicate neither reflections from significant reductions of pile size or material quality nor a clear toe response. Records in this category do not give indications of a significant deficiency, however, neither do they yield positive evidence of the shaft being flawless over its full length.

- poor pile/shaft top quality or low concrete strength (test has been conducted too early); retesting after waiting and/or pile top cleaning is advisable,
- planned impedance changes or joints generate signals which prevent toe signal identification.

Based on these record categories, the following decisions may be made.

**ABx No major defect indicated to a depth of x ft (m);** because of method limitations interpretation of the record for the full length is not possible. For example, long piles or shafts and those with high soil resistance and/or major bulges fall under this category.

- For Category PD records, a contingency plan must be in place which allows the engineer(s)-in-charge to choose from a menu of additional tests or corrective measures such as retesting at a later time, retesting by other methods such as dynamic load testing, replacing the pile, core drilling, pressure injection, *etc.* It may also be possible to accept the pile, maybe with a reduced capacity, based on the reduced length.

**PFx Indication of a probable flaw at an approximate depth of x ft (m);** a toe reflection is apparent in addition to at least one reflection corresponding to an unplanned reduction of size or material quality. Additional quantitative analysis may help identify the severity of the apparent flaw.

- For Category PF records, a reduced pile capacity may be assessed based on conservative shaft property assumptions, including consideration of a reduced length. Also the shaft may be retested later or by other methods (e.g. dynamic load testing).

**PDx Indication of a probable defect at an approximate depth of x ft (m);** the records show a strong reflection corresponding to a major reduction of size or material quality occurring; a clear toe reflection is not apparent.

- For Category AB records where the test is inconclusive due to a great length or embedment, it may be sufficient to accept the shaft if the upper shaft portion appears to be of good quality.

**IVx Inconclusive record below depth of x ft (m) due to spurious vibrations;** data is inconclusive due to vibrations generated by construction machinery or heavy reinforcement extending above the pile top concrete; retesting is advisable under certain circumstances.

- For Category IV and IR records, additional PIT testing may be scheduled after removing poor pile top concrete, after allowing concrete to achieve greater strength or when the vibration disturbance has been eliminated.

**IR Inconclusive record;** data is inconclusive, possibly for reasons such as:

- For Categories PF, PD indicating flaws or defects near the top, excavation around the pile may be done for pile inspection.

- In order to interpret records correctly it is recommended that analyst carefully studies not only the low strain records themselves but also construction records and soil profiles. In many instances reductions in pile size can be explained by drilling and soil characteristics.

## LIMITATIONS

1. Even at sites where concrete quality is well maintained, wave speed variations of 5% are not uncommon. A pile length calculated from a toe signal may therefore only be known within  $\pm 5\%$ . If only a single pile is tested on a site and little is known about concrete quality in the geographic area, wave speed variations of  $\pm 10\%$  around the typical 4000 m/s (13,100 ft/s) value must be expected.
2. Certain reflections produce secondary and even tertiary wave reflections. For example, if an impedance reduction occurs in the middle of the pile, then what may appear to be the pile toe response may actually be a secondary reflection from the mid-pile flaw or defect. For that reason only a single major flaw or defect can be detected in a pile.
3. The stress wave will be reflected at locations of severe cracks or manufactured mechanical joints. Therefore no information can be retrieved from locations below such cracks or joints.
4. The interpretation of the records is based on the assumption that pile impedance variations happen over short distances; gradually (tapering) shaft properties, therefore, cannot be determined. Thus a pile appearing as sound may have a smaller diameter at the bottom than at the top.
5. Shafts with multiple or highly variable impedance (cross section) changes produce complex records which are difficult or impossible to analyze after the first major or second smaller reflection.
6. Soil resistance and pile material damping effects reduce the intensity of the incident and reflected waves. For that reason, a rule of thumb suggests that the test pile length should be limited to 30 diameters. This rule was established when equipment was not very sensitive and it is, therefore, only correct for soils with relatively high resistance. For piles through water or soft soils the pile length may be much greater than 30 diameters. On the other hand, for extremely high soil resistance or strongly variable shaft impedance, the pile length for a successful test may be less than 30 diameters.
7. Where complex situations exist, a single pile test may be impossible to interpret while comparing records of a large number of piles or by using the record of a statically tested (or dynamic high strain tested) reference pile may give the needed additional information.
8. Lack or discontinuities in reinforcement cannot be detected.

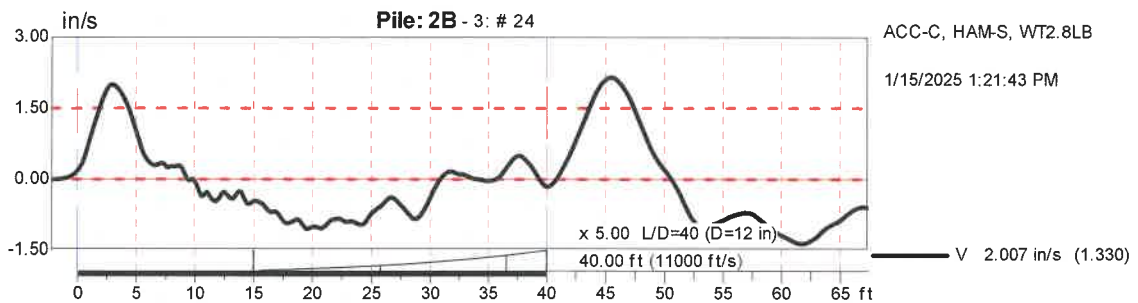
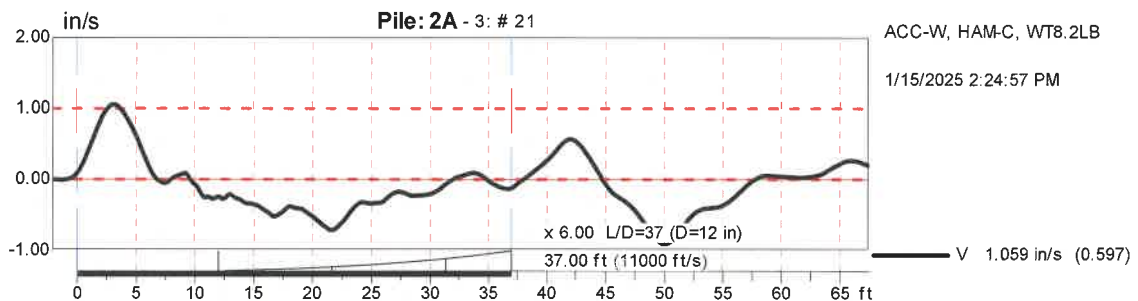
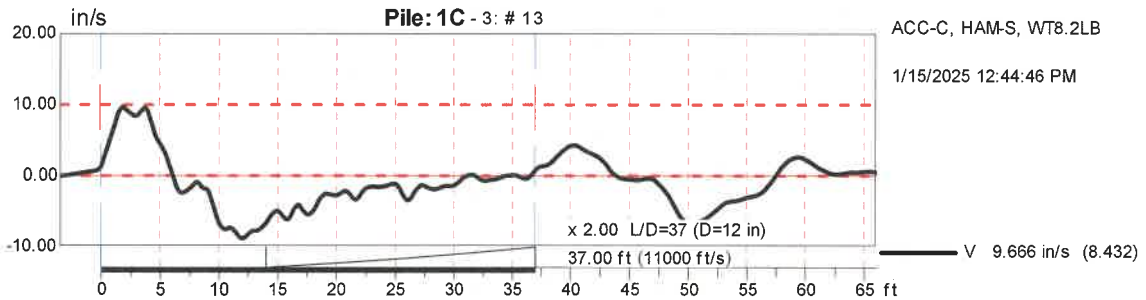
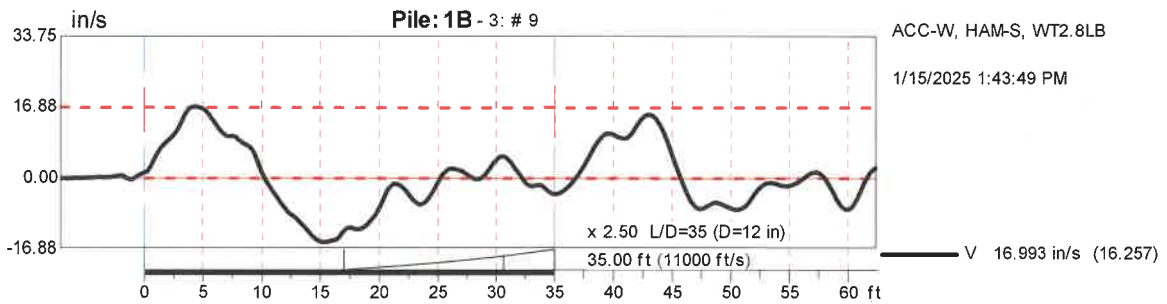
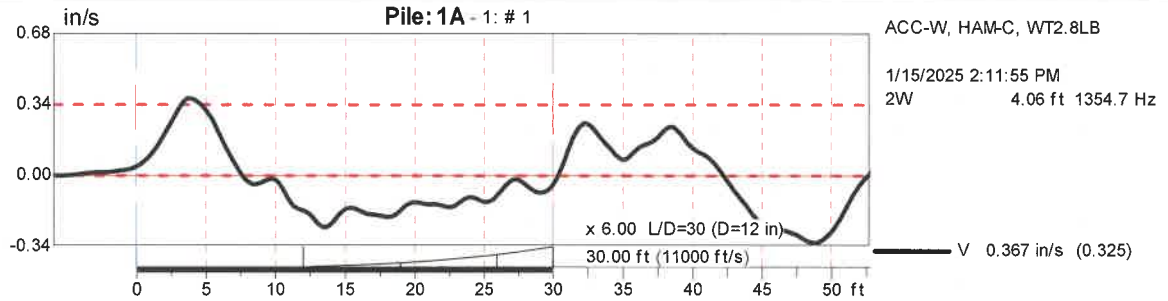
The force measurement of TRM provides supplemental information of cross sectional changes near the pile top, *i.e.*, within the distance corresponding to the impact signal. The extra effort of the force measurement is, therefore, worthwhile, whenever questions arise as to the integrity of upper pile portion (say 5 ft, or 1.5 m).

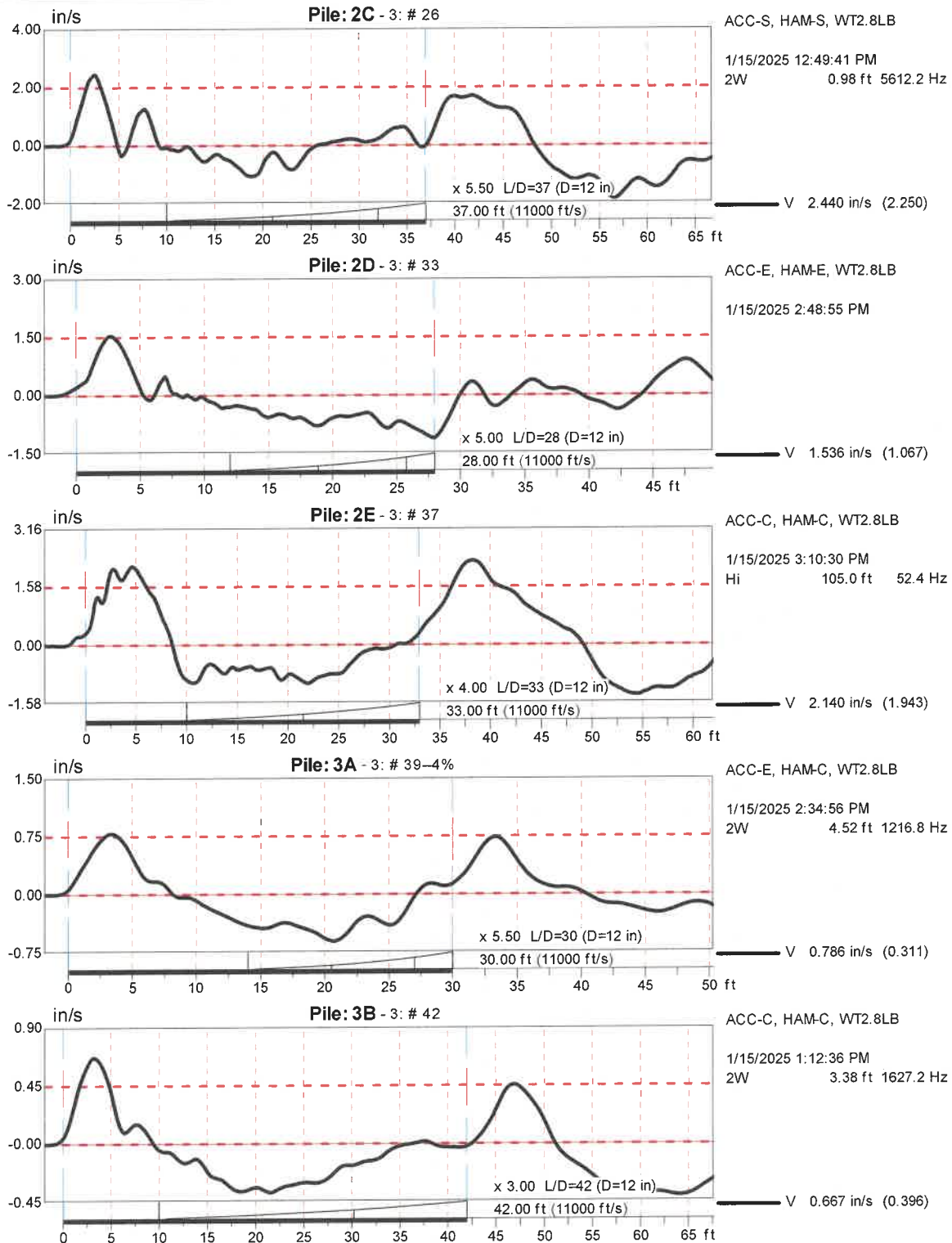
## SUMMARY AND RECOMMENDATIONS

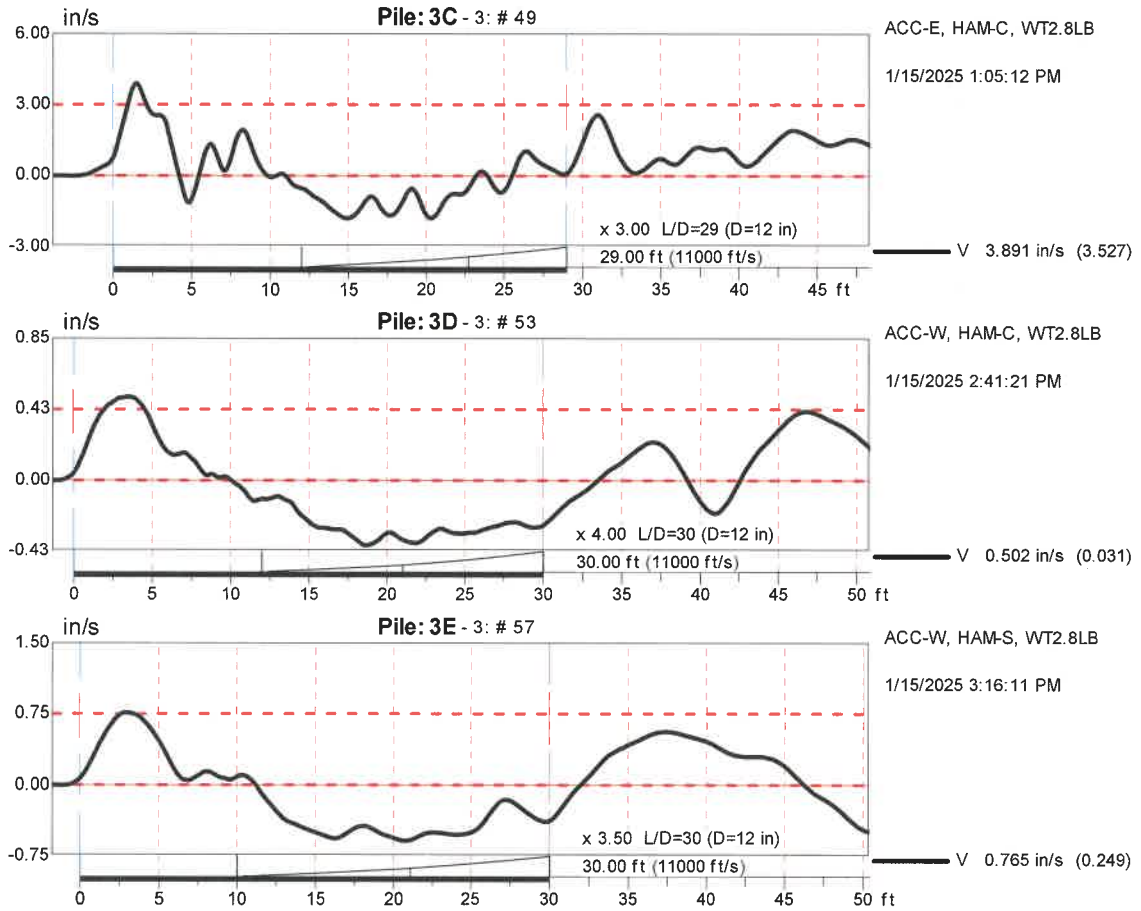
PIT is a quick and inexpensive but, naturally, limited pile integrity test. Its results include pile length, material wave speed and either one major defect or a few flaws. Results are subject to accuracy limitations and have to be seen in conjunction with construction records and test results on several piles on one site. Careful test execution and experience in data interpretation is important. In complex situations, peer review may be sought.

App-A-PIT-3-10

**Appendix B**  
**PIT Records**







Summary of Records

Record No.	Record ID	Pile Name	Date Collected	Pile Length ft	Wave Speed ft/s	Magn	Comments
1	1	1A	1/15/2025	30.00	11000.00	6.00	
9	2	1B	1/15/2025	35.00	11000.00	2.50	
13	3	1C	1/15/2025	37.00	11000.00	2.00	
21	3	2A	1/15/2025	37.00	11000.00	6.00	
24	1	2B	1/15/2025	40.00	11000.00	5.00	
26	1	2C	1/15/2025	37.00	11000.00	5.50	
33	3	2D	1/15/2025	28.00	11000.00	5.00	
37	3	2E	1/15/2025	33.00	11000.00	4.00	
39	2	3A	1/15/2025	30.00	11000.00	5.50	
42	2	3B	1/15/2025	42.00	11000.00	3.00	
49	2	3C	1/15/2025	29.00	11000.00	3.00	
53	2	3D	1/15/2025	30.00	11000.00	4.00	
57	2	3E	1/15/2025	30.00	11000.00	3.50	

### Carrigan Engineering, Inc.

CIVIL AND ENVIRONMENTAL ENGINEERING  
88 Brook Farm Road South  
Wickford, RI 02879  
(401) 789-6865 (Phone)

19 February 2025


Building Official  
City of Warwick  
65 Centerville Road  
Warwick, RI 02886

Re: 256 Shawomet Avenue

To Whom It May Concern:

Please be advised that this office has completed a review of the report provided by GLR Engineers, Inc. Based on this review the minimum depth of embedment is 17 feet with a maximum depth of 31 feet. The embedment depth exceeds the requirements of the previously calculated Hydrostatic and Hydrodynamic loadings.

Should you have any questions please contact this office.

Sincerely,  
  
Craig R. Carrigan, P.E.



Photo



Done

Appt. Unit, Suite, and/or Bldg. No. or P.O. Route and Box No.: \_\_\_\_\_

City: WARWICK State: RI ZIP Code: 02889

Policy Number: \_\_\_\_\_  
Company NAIC Number: \_\_\_\_\_

**SECTION G - COMMUNITY INFORMATION (RECOMMENDED FOR COMMUNITY OFFICIAL COMPLETION)**

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Section A, B, C, E, G, or H of this Elevation Certificate. Complete the applicable item(s) and sign below when:

G1.  The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by state law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)

G2.a.  A local official completed Section E for a building located in Zone A (without a BFE), Zone AO, or Zone AR/AO, or when item E5 is completed for a building located in Zone AO.

G2.b.  A local official completed Section H for insurance purposes.

G3.  In the Comments area of Section G, the local official describes specific corrections to the information in Sections A, B, E and H.

G4.  The following information (items G5-G11) is provided for community floodplain management purposes.

G5. Permit Number: \_\_\_\_\_ G6. Date Permit Issued: \_\_\_\_\_

G7. Date Certificate of Compliance/Occupancy Issued: \_\_\_\_\_

G8. This permit has been issued for:  New Construction  Substantial Improvement

G9.a. Elevation of as-built lowest floor (including basement) of the building: \_\_\_\_\_  feet  meters Datum: \_\_\_\_\_

G9.b. Elevation of bottom of as-built lowest horizontal structural member: \_\_\_\_\_  feet  meters Datum: \_\_\_\_\_

G10.a. BFE (or depth in Zone AO) of flooding at the building site: \_\_\_\_\_  feet  meters Datum: \_\_\_\_\_

G10.b. Community's minimum elevation (or depth in Zone AO) requirement for the lowest floor or lowest horizontal structural member: \_\_\_\_\_  feet  meters Datum: \_\_\_\_\_

G11. Variance issued?  Yes  No If yes, attach documentation and describe in the Comments area.

The local official who provides information in Section G must sign here. I have completed the information in Section G and certify that it is correct to the best of my knowledge. If applicable, I have also provided specific corrections in the Comments area of this section.

Local Official's Name: \_\_\_\_\_ Title: \_\_\_\_\_

NFIP Community Name: \_\_\_\_\_

Telephone: \_\_\_\_\_ Ext.: \_\_\_\_\_ Email: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ ZIP Code: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Comments (including type of equipment and location, per G2.a; description of any attachments; and corrections to specific information in Sections A, B, D, E, or H): \_\_\_\_\_

FEMA Form FF-206-FY-22-152 (formerly 086-0-33) (10/22)

Page 5 of 10

**ELEVATION CERTIFICATE**

**IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES I-19**

Building Street Address (including Apt. Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.: \_\_\_\_\_

City: WARWICK State: RI ZIP Code: 02889

FOR INSURANCE COMPANY USE  
Policy Number: \_\_\_\_\_  
Company NAIC Number: \_\_\_\_\_

**SECTION H - BUILDING'S FIRST FLOOR HEIGHT INFORMATION FOR ALL ZONES (SURVEY NOT REQUIRED) (FOR INSURANCE PURPOSES ONLY)**

The property owner, owner's authorized representative, or local floodplain management official may complete Section H for all flood zones to determine the building's first floor height for insurance purposes. Sections A, H, and I must also be completed. Enter heights to the nearest tenth of a foot (nearest tenth of a meter in Puerto Rico). Reference the Foundation Type Diagrams (at the end of Section H Instructions) and the appropriate Building Diagrams (at the end of Section I Instructions) to complete this section.



Photo



Done

U.S. DEPARTMENT OF HOMELAND SECURITY  
Federal Emergency Management Agency  
National Flood Insurance Program

DMA Control No. 1849-0088  
Expiration Date: 04/30/2018

ELEVATION CERTIFICATE

IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 6-19

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A - PROPERTY INFORMATION		FOR INSURANCE COMPANY USE
A1. Building Owner's Name: <u>PISTOCCO IRREVOC TRUST</u>		Policy Number: _____
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.: <u>256 SHAWOMET AVENUE</u>		Company NAIC Number: _____
City: <u>WARWICK</u>	State: <u>RI</u>	ZIP Code: <u>02889</u>
A3. Property Description (e.g., Lot and Block Numbers or Legal Description) and/or Tax Parcel Number: <u>PLAT 334 LOT 19</u>		
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.): <u>RESIDENTIAL</u>		
A5. Latitude/Longitude: Lat. <u>41.717266</u> Long. <u>-71.365715</u> Horizontal Datum: <input type="checkbox"/> MAD 1927 <input checked="" type="checkbox"/> MAD 1983 <input type="checkbox"/> WGS 84		
A6. Attach at least two and when possible four clear photographs (one for each side) of the building (see Form pages 7 and 8).		
A7. Building Diagram Number: <u>5</u>		
A8. For a building with a crawlspace or enclosure(s):		
a) Square footage of crawlspace or enclosure(s): <u>NA</u> sq. ft.		
b) Is there at least one permanent flood opening on two different sides of each enclosed area? <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A		
c) Enter number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade: Non-engineered flood openings: _____ Engineered flood openings: _____		
d) Total net open area of non-engineered flood openings in A8.c: _____ sq. in.		
e) Total rated area of engineered flood openings in A8.c (attach documentation - see instructions): _____ sq. ft.		
f) Sum of A8.d and A8.e rated area (if applicable - see instructions): _____ sq. ft.		
A9. For a building with an attached garage:		
a) Square footage of attached garage: <u>N/A</u> sq. ft.		
b) Is there at least one permanent flood opening on two different sides of the attached garage? <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A		
c) Enter number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade: Non-engineered flood openings: _____ Engineered flood openings: _____		
d) Total net open area of non-engineered flood openings in A9.c: _____ sq. in.		
e) Total rated area of engineered flood openings in A9.c (attach documentation - see instructions): _____ sq. ft.		
f) Sum of A9.d and A9.e rated area (if applicable - see instructions): _____ sq. ft.		
SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION		
B1.a. NFIP Community Name: <u>CITY OF WARWICK</u>		B1.b. NFIP Community Identification Number: _____
B2. County Name: <u>KENT</u>	B3. State: <u>RI</u>	B4. Map/Panel No.: <u>44003C0153</u>
B5. Suffix: <u>H</u>	B6. FIRM Index Date: <u>SEPT. 18, 2013</u>	
B7. FIRM Panel Effective/Revised Date: <u>SEPT. 18, 2013</u>		B8. Flood Zone(s): <u>VE</u>
B9. Base Flood Elevation(s) (BFE) (Zone AO, use Base Flood Depth): <u>13</u>		B10. Indicate the source of the BFE data or Base Flood Depth entered in Item B9: <input type="checkbox"/> FIS <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other: _____
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____		
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA		
B13. Is the building located seaward of the Limit of Moderate Wave Action (LMWA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

FEMA Form IF-208-FY-22-152 (formerly 096-0-33) (10/22)



Photo



Done

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.: 256 SHAWOMET AVENUE

City: WARWICK State: RI ZIP Code: 02889

Policy Number: \_\_\_\_\_  
Company NAIC Number: \_\_\_\_\_

**SECTION H - BUILDING'S FIRST FLOOR HEIGHT INFORMATION FOR ALL ZONES (SURVEY NOT REQUIRED) (FOR INSURANCE PURPOSES ONLY)**

The property owner, owner's authorized representative, or local floodplain management official may complete Section H for all flood zones to determine the building's first floor height for insurance purposes. Sections A, B, and I must also be completed. Enter heights to the nearest tenth of a foot (nearest tenth of a meter in Puerto Rico). Reference the Foundation Type Diagrams (at the end of Section H instructions) and the appropriate Building Diagrams (at the end of Section I instructions) to complete this section.

H1. Provide the height of the top of the floor (as indicated in Foundation Type Diagrams) above the Lowest Adjacent Grade (LAG):

a) For Building Diagrams 1A, 1B, 3, and 6-8. Top of bottom floor (include above-grade floors only for buildings with subgrade crawlspaces or enclosure floors) is: \_\_\_\_\_ feet  meters  above the LAG

b) For Building Diagrams 2A, 2B, 4, and 6-8. Top of next higher floor (i.e., the floor above basement, crawlspace, or enclosure floor) is: \_\_\_\_\_ feet  meters  above the LAG

H2. Is all Machinery and Equipment servicing the building (as listed in Item H2 instructions) elevated to or above the floor indicated by the H2 arrow (shown in the Foundation Type Diagrams at end of Section H instructions) for the appropriate Building Diagram?  
 Yes  No

**SECTION I - PROPERTY OWNER (OR OWNER'S AUTHORIZED REPRESENTATIVE) CERTIFICATION**

The property owner or owner's authorized representative who completes Sections A, B, and H must sign here. The statements in Sections A, B, and H are correct to the best of my knowledge. Note: If the local floodplain management official completed Section H, they should indicate in Item G2.b and sign Section G.

Check here if attachments are provided (including required photos) and describe each attachment in the Comments area.

Property Owner or Owner's Authorized Representative Name: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ ZIP Code: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Telephone: Ext: \_\_\_\_\_ Email: \_\_\_\_\_

Comments:

FEMA Form FF-208-FY-22-152 (formerly 086-0-33) (10/22)

Page 8 of 10

**ELEVATION CERTIFICATE**  
**IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-18**  
**BUILDING PHOTOGRAPHS**

Continuation Page

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.: 256 SHAWOMET AVENUE

City: WARWICK State: RI ZIP Code: 02889

FOR INSURANCE COMPANY USE  
Policy Number: \_\_\_\_\_  
Company NAIC Number: \_\_\_\_\_

Insert the third and fourth photographs below. Identify all photographs with the date taken and "Front View," "Rear View," "Right Side View," or "Left Side View." When flood openings are present, include at least one close-up photograph of representative flood openings or vents, as indicated in Sections A8 and A9.



Photo



Done

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.: 256 SHAWOMET AVENUE

City: WARWICK State: RI ZIP Code: 02889

Policy Number: \_\_\_\_\_  
Company NAIC Number: \_\_\_\_\_

**SECTION H - BUILDING'S FIRST FLOOR HEIGHT INFORMATION FOR ALL ZONES  
(SURVEY NOT REQUIRED) (FOR INSURANCE PURPOSES ONLY)**

The property owner, owner's authorized representative, or local floodplain management official may complete Section H for all flood zones to determine the building's first floor height for insurance purposes. Sections A, B, and I must also be completed. Enter heights to the nearest tenth of a foot (nearest tenth of a meter in Puerto Rico). Reference the Foundation Type Diagrams (at the end of Section H Instructions) and the appropriate Building Diagrams (at the end of Section I Instructions) to complete this section.

H1. Provide the height of the top of the floor (as indicated in Foundation Type Diagrams) above the Lowest Adjacent Grade (LAG):

a) For Building Diagrams 1A, 1B, 3, and 6-9. Top of bottom \_\_\_\_\_  feet  meters  above the LAG floor (include above-grade floors only for buildings with subgrade crawlspaces or enclosure floors) is:

b) For Building Diagrams 2A, 2B, 4, and 6-9. Top of next higher floor (i.e., the floor above basement, crawlspace, or enclosure floor) is: \_\_\_\_\_  feet  meters  above the LAG

H2. Is all Machinery and Equipment servicing the building (as listed in Item H2 Instructions) elevated to or above the floor indicated by the H2 arrow (shown in the Foundation Type Diagrams at end of Section H Instructions) for the appropriate Building Diagram?  
 Yes  No

**SECTION I - PROPERTY OWNER (OR OWNER'S AUTHORIZED REPRESENTATIVE) CERTIFICATION**

The property owner or owner's authorized representative who completes Sections A, B, and H must sign here. The statements in Sections A, B, and H are correct to the best of my knowledge. Note: If the local floodplain management official completed Section H, they should indicate in Item G2.b and sign Section G.

Check here if attachments are provided (including required photos) and describe each attachment in the Comments area.

Property Owner or Owner's Authorized Representative Name: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ ZIP Code: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Telephone: \_\_\_\_\_ Ext.: \_\_\_\_\_ Email: \_\_\_\_\_

Comments: \_\_\_\_\_

**ELEVATION CERTIFICATE**  
**IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-18**  
**BUILDING PHOTOGRAPHS**

Continuation Page

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.: 256 SHAWOMET AVENUE

City: WARWICK State: RI ZIP Code: 02889

FOR INSURANCE COMPANY USE  
Policy Number: \_\_\_\_\_  
Company NAIC Number: \_\_\_\_\_

Insert the third and fourth photographs below. Identify all photographs with the date taken and "Front View," "Rear View," "Right Side View," or "Left Side View." When flood openings are present, include at least one close-up photograph of representative flood openings or vents, as indicated in Sections A8 and A9.



Photo



Done

Continuation Page

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.: <u>256 SHAWOMET AVENUE</u>	FOR INSURANCE COMPANY USE Policy Number: Company NAIC Number:
City: <u>WARWICK</u> State: <u>RI</u> ZIP Code: <u>02889</u>	

Insert the third and fourth photographs below. Identify all photographs with the date taken and "Front View," "Rear View," "Right Side View," or "Left Side View." When flood openings are present, include at least one close-up photograph of representative flood openings or vents, as indicated in Sections A8 and A9.

Photo Three

Photo Three Caption:

Clear Photo Three

Photo Four

Photo Four Caption:

Clear Photo Four



**From:** spring green <springgreenautobody@yahoo.com>  
**Sent:** Wednesday, March 12, 2025 10:23 PM  
**To:** cstaff1@crmc.ri.gov; Amy Silva  
**Subject:** Re: Information Request for CRMC File # A2024-03-112 ; Pistocco Irrevocable Trust, Shawomet Avenue, Warwick

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Hello

I reached out to the RI Secretary of State - as directed. (Pertaining to proof of ownership).

They advised me that they do not handle trusts.

I did some research of my own, and I was able to speak with someone at Warwick city hall who was willing to send me a copy of the deed for the property. It contains the names of the trustees of the trust.

Will that work for your purposes?

Ty  
Charlie  
Ps- I will never make the 60 day deadline if I am consistently given incorrect instructions.

On Wednesday, March 12, 2025 at 03:22:37 PM EDT, cstaff1@crmc.ri.gov <cstaff1@crmc.ri.gov> wrote:

Mr. Pistocco,

Please see the attached information request from Amy Silva, CRMC Supervising Environmental Scientist. This letter has also been sent via USPS on this day, March 12<sup>th</sup>, 2025. If you have any questions or concerns regarding the information requested via this letter, please contact Amy Silva at [asilva@crmc.ri.gov](mailto:asilva@crmc.ri.gov).

Thank you,

**Oliver Allamby**

Information Aide

Coastal Resources Management Council

Oliver Stedman Government Center

4808 Tower Hill Road, Suite 116

**From:** spring green <springgreenautobody@yahoo.com>  
**Sent:** Thursday, March 13, 2025 12:07 PM  
**To:** Cstaff1  
**Subject:** Re: GRL PIT Report - 256 Shawomet Ave

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Thanks Brittany.  
Can you just print them for me. And save me a HUGE amount of work?

On Thursday, March 13, 2025 at 11:44:48 AM EDT, Cstaff1 <cstaff1@crmc.ri.gov> wrote:

Charlie: Yes, you sent screen shots from your phone of the documents. Hard copies of all documents are required for our file.

### **Brittany Spurlock**

Assistant Administrative Officer

Coastal Resources Management Council

Oliver Stedman Government Center

4808 Tower Hill Road, Suite 116

Wakefield, RI 02879

(401)783-3370

---

**From:** spring green <springgreenautobody@yahoo.com>  
**Sent:** Thursday, March 13, 2025 11:01 AM  
**To:** Cstaff1 <cstaff1@crmc.ri.gov>  
**Subject:** Re: GRL PIT Report - 256 Shawomet Ave

Do you mean that we can't do any of this electronically? It is 2025. 🤔

On Thursday, March 13, 2025 at 07:51:02 AM EDT, Cstaff1 <[cstaff1@crmc.ri.gov](mailto:cstaff1@crmc.ri.gov)> wrote:

Charlie:

Please be sure to mail in hard copies of all additional information.

## **Brittany Spurlock**

Assistant Administrative Officer

Coastal Resources Management Council

Oliver Stedman Government Center

4808 Tower Hill Road, Suite 116

Wakefield, RI 02879

(401)783-3370

---

**From:** spring green <[springgreenautobody@yahoo.com](mailto:springgreenautobody@yahoo.com)>

**Sent:** Wednesday, March 12, 2025 10:51 PM

**To:** Cstaff1 <[cstaff1@crmc.ri.gov](mailto:cstaff1@crmc.ri.gov)>; [asilva@crmc.ri.gov](mailto:asilva@crmc.ri.gov)

**Subject:** Fw: GRL PIT Report - 256 Shawomet Ave

Hello Amy-

Please see the attached PIT report for the pier testing conducted at the 256 Shawomet Ave property in Warwick, RI

All piers are solid and viable.

I have also included engineer stamp

Ty

Charlie

**Seth Robertson, Ph.D., P.E.\***

*Project Engineer*

*Massachusetts Branch Office*

*\*Licensed in CT, MA, ME, NH, RI, VT*

GRL Engineers, Inc.

PO Box 1285

Haverhill, MA 01831

O: +1.216.831.6131 · M: +1.978.992.7968





State of Rhode Island  
**Coastal Resources Management Council**  
Oliver H. Stedman Government Center  
4808 Tower Hill Road, Suite 3  
Wakefield, RI 02879-1900

(401) 783-3370  
Fax (401) 783-3767

Pistocco Irrevoc. Trust  
45 Broadview Avenue  
Warwick, RI 02889

March 12, 2025

RE: File Number: A2024-03-112  
Site Address: Shawomet Avenue, Warwick Plat: 334 Lot: 19  
Owner: Pistocco Irrevoc. Trust  
Proj. Desc: Single Family Dwelling

Dear Charles Pistocco:

This letter serves as a follow-up and clarification for the February Information Request that was sent. That letter requested several things for which you have requested guidance and/or clarification. Please note that while a previous CRMC Assent was issued to develop this property (CRMC 1986-04-052), both the Regulations and the site conditions have changed in the ensuing years. The new request must depict accurate (current) site conditions as well as address all requirements of the current Regulations. The application submitted did not do this, staff has discussed this multiple times by phone, and a written request for additional information was sent.

The original request is underlined below with additional information and clarification following.

- Please provide the documentation for the Trustee/owner of the property. The property is held by an LLC. As such, documentation from the Secretary of State for the LLC which identifies the legal representative for the LLC must be submitted. This representative must be the signatory on our application form.
- Please provide a plan which depicts the inland edge of the Coastal Feature. In this case, the Coastal Feature is a beach, and the inland edge is the inland edge of the beach scarp, as there is no dune present here. Please see the Application Checklist page 2, item 7 for details regarding site plan requirements. Checklist can be found here: [http://www.crmc.ri.gov/applicationforms/Assentapp\\_Checklist.pdf](http://www.crmc.ri.gov/applicationforms/Assentapp_Checklist.pdf)
- CRMC's Building Official Form is required. The form can be found at: <http://www.crmc.ri.gov/applicationforms/BuildingOForm.pdf>, and must be completed by officials at the City of Warwick.
- A Coastal Hazards Assessment Worksheet (CHA) is required. This can be found at: <http://www.crmc.ri.gov/coastalhazardapp.html>

- The application was submitted without an approved septage plan. You have stated that you wish to utilize the existing OWTS on site, which has been sitting idle for 30-odd years. CRMC initially suggested obtaining a System Suitability Determination (SSD) but has since learned that an SSD is not the appropriate way to confirm that this system is still working.

Through discussions with DEM/OWTS, it appears that a Flow Test is required. Please obtain whatever certification DEM/OWTS suggests that will confirm that this system is suitable to be used for septage. Should the system be determined unsuitable for use, a written letter of permission from the Warwick Sewer Authority to connect to the existing sewer line in the street shall be required.

- Please submit documentation that the piles remain viable. The piles have been in place and may have degraded. Please provide confirmation that these piles are suitable for supporting a dwelling.
- Please submit documentation that the piles are the correct height for flood zone elevation. The previously approved dwelling was required to have a First Floor Elevation (FFE) of 18 feet. The current proposal has a FFE of 15 feet. Please confirm that the site meets Flood Zone elevation.
- Stormwater management/treatment shall be required for all new impervious areas/areas greater than 600ft<sup>2</sup>. The Regulations have changed to now include requirements to capture and infiltrate all runoff from impervious areas. Stormwater management has not been included in the submission. Guidance for residential management can be found here: <http://www.crmc.ri.gov/stormwater/Single-Family-Lot-Guidance.pdf>
- Buffer Zone requirement: Under the current Regulations, all new development along the shore requires the implementation of a naturally vegetated Buffer Zone. (The previous permit for this property required a 50 foot Buffer Zone of beach grass). Under the current regulations, a Buffer Zone of 25 feet, as measured from the inland edge of the Coastal Feature is required. This is not shown on the submitted plans and must be shown. Relief from this requirement may be obtained through a Variance Request (see below).
- Setback Requirement: Under the current Regulations, all new development along the shore requires a construction setback of either 50 feet from the coastal feature or 25 feet beyond the inland edge of the Buffer Zone, whichever is greater. In this case, either scenario results in a construction setback of 50 feet. This is not shown on the submitted plans and must be shown. Relief from this requirement may be obtained through a Variance Request (see below).
- A written variance request must be submitted for each standard not met. As noted above, construction of a new residential development requires both a Buffer Zone and a construction setback. If these cannot be met, a written request for a Variance is required. The criteria for the consideration of a variance are provided in RICRMP Section 1.1.7. Each

of the six criteria must be addressed in writing. Submitting a written variance request is required. Please note that Variances for more than 50% relief from the requirement will require a hearing and decision by the full Coastal Council.

Staff has reviewed the previous Assent for this site (CRMC file 1986-04-052). The plan submitted for the project did include a Coastal Feature, labeled as “edge of beach scarp”, and showed the setback as “coastal limits for construction”. The written Assent stipulation further clarifies that a 40 foot natural Buffer Zone is required. A copy of that plan is attached (not-to-scale).

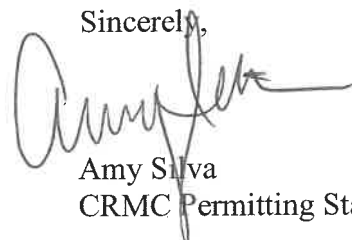
Comparing that plan to the one submitted for the current file, there has been erosion at the property. The 1986 plans show the seaward edge of the dwelling to be approximately 30 feet from the “edge of beach scarp”/Coastal Feature, and 52 feet from the Mean High Water (MHW) mark. The current plans show the seaward edge of the dwelling to be approximately 30 feet from MHW and do not depict a Coastal Feature. The Coastal Feature will be closer to the dwelling than MHW.

The proposal will not meet the 50 foot construction setback, nor will it likely meet the 25 foot Buffer Zone. An accurate survey of the Coastal Feature is required to determine the Variances needed. Please be advised that Variances requesting more than 50% relief from the standard require a public hearing and decision from the Full Coastal Council. Proposals requesting significant Variances may not receive staff support.

DEM/OWTS has previously stated that the testing required to determine if the existing tank/system is suitable for use will require a submission by a certified septic professional. The revisions to the proposed plans depicting a Coastal Feature, Buffer and Setback will at a minimum require the services of a design professional. The identification and location of the Coastal Feature may require the services of an environmental professional.

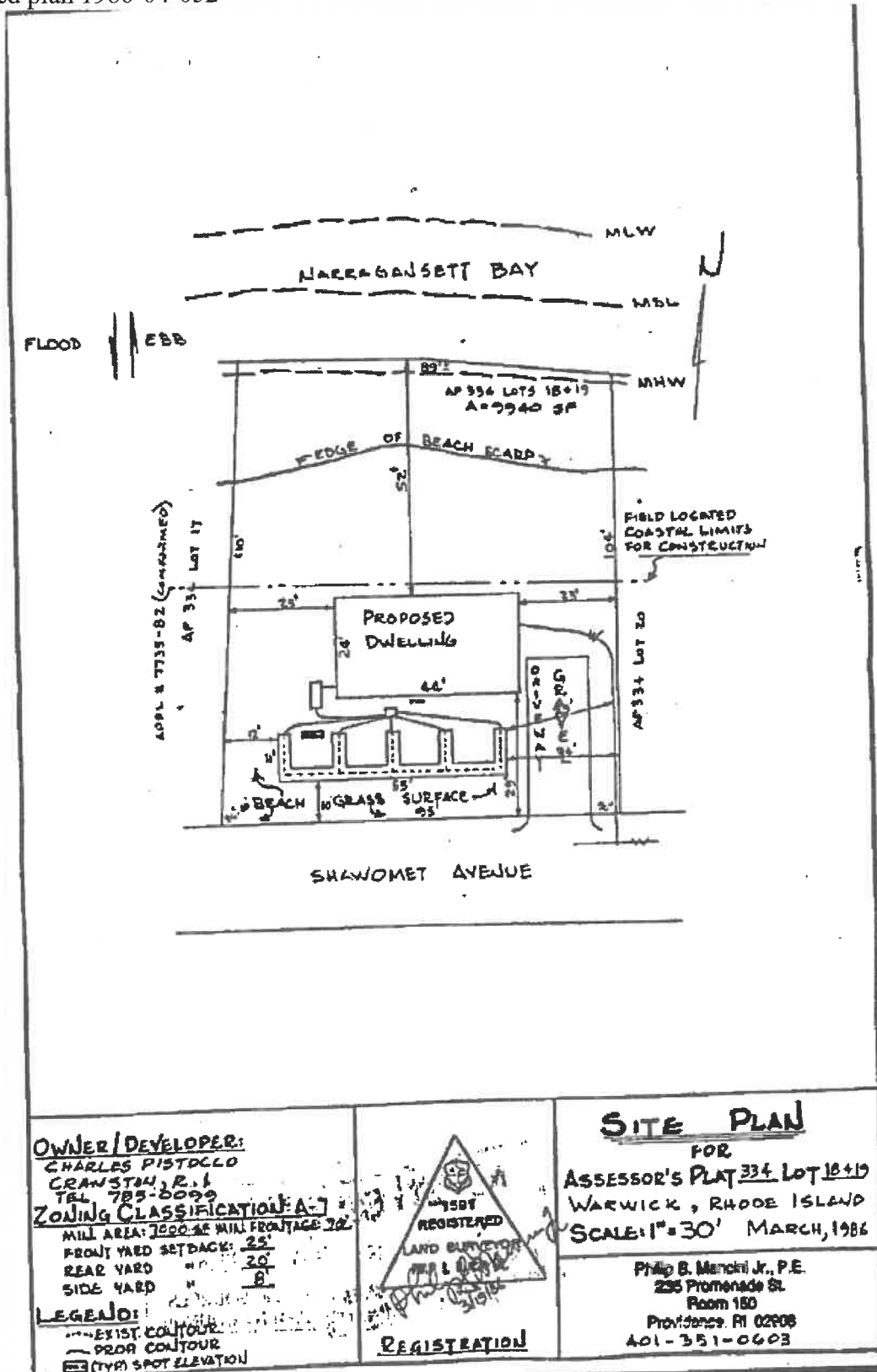
Further, in cases where Variances are sought, applicants often obtain the services of an environmental professional to assist with the written narrative and Variance Request that is required as part of the submission.

The original Information Request stated a 30 day window to obtain this information. CRMC will extend that timeframe to 60 days from the date of this correspondence.

Sincerely,  
  
Amy Silva  
CRMC Permitting Staff

Cc: Laura Miguel, CRMC Deputy Director (via email)  
Raymond Taylor, DEM/OWTS (via email)

Attachments: (2)



**OWNER/DEVELOPER:**  
CHARLES PISTOLLO  
CRANSTON, R.I.  
TEL 785-8099

**ZONING CLASSIFICATION:** A-7

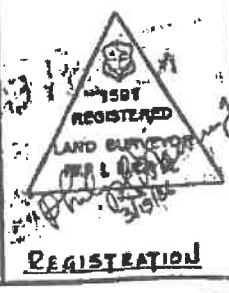
MILL AREA: 7000 SF WITH FRONTAGE 20'

FRONT YARD SETBACK: 25'

REAR YARD " " 20'

SIDE YARD " " 8'

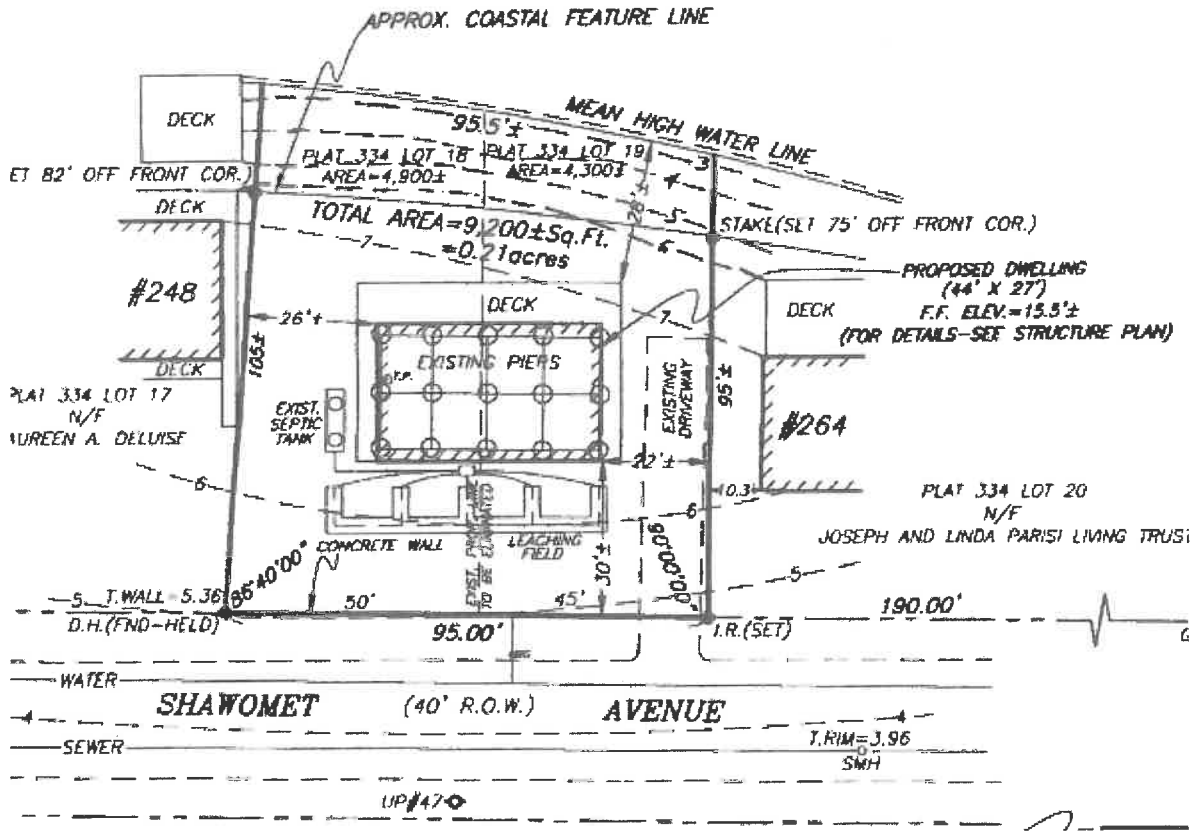
**LEGEND:**  
--- EXIST. CONTOUR  
- - - - - PROP. CONTOUR  
[ ] (TYPE) SPOT ELEVATION



**SITE PLAN**  
FOR  
ASSESSOR'S PLAT 334 LOT 18+19  
WARWICK, RHODE ISLAND  
SCALE: 1"=30' MARCH, 1986

Philip B. Mancini Jr., P.E.  
235 Promenade St.  
Room 100  
Providence, RI 02908  
401-351-0603

### NARRAGANSETT BAY



**From:** spring green <springgreenautobody@yahoo.com>  
**Sent:** Friday, February 28, 2025 1:00 PM  
**To:** Cstaff1  
**Subject:** Re: Auto: Re: Auto: 256 Shawomet Ave Warwick (Pistocco Project)

Hello  
I have been trying to reach Amy Silva for some time.  
I appreciate the phone conversation with Laura. But I still have some confusion about a few issues.

First and foremost, I don't understand why Sean never requested any of this information from us.  
Have the rules changed over the course of the past year?

Secondly, I feel as though we have already submitted most of this information. ( whether it was 9 months ago...or 25 years ago).

Thirdly, I am unsure of exactly what is needed...and who I need to get the requested information from...  
For example, you requested proof of ownership-  
What exactly is acceptable to prove ownership?

Finally, I am sure that I will never be able to accomplish all of this within the 30 days.

I apologize for the tone of this letter, but my son and I have been striving towards the goal of a permit for 6 years. And it has been one roadblock after another. We are quite tired and frustrated.

Ty  
Charles Pistocco

On Tuesday, February 18, 2025 at 11:20:53 AM EST, Cstaff1 <cstaff1@crmc.ri.gov> wrote:

Good Morning,

Please see attached for a copy of the additional information request which was mailed to the mailing address on the application.

Thanks,

**Brittany Spurlock**

Assistant Administrative Officer

Coastal Resources Management Council

Oliver Stedman Government Center

4808 Tower Hill Road, Suite 116

Wakefield, RI 02879

(401)783-3370

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**From:** spring green <springgreenautobody@yahoo.com>  
**Sent:** Tuesday, February 18, 2025 10:51 AM  
**To:** CRMC Staff <cstaff1@crmc.ri.gov>  
**Subject:** Re: Auto: Re: Auto: 256 Shawomet Ave Warwick (Pistocco Project)

Hello

I spoke with someone at CRMC last week.

She had agreed to email me a list of to-do items in order to obtain our ascent.

I never received the email.

Please advise

Ty

Charlie

256 Shawomet Ave.

Warwick

On Sunday, February 2, 2025 at 06:53:40 PM EST, CRMC Staff <[cstaff1@crmc.ri.gov](mailto:cstaff1@crmc.ri.gov)> wrote:

Thank you for contacting Coastal Resources Management Council.

Your email has been forwarded to the appropriate CRMC Staff who can research and provide you with a timely response including any applicable information relative to your inquiry.



STATE OF RHODE ISLAND

HISTORICAL PRESERVATION & HERITAGE COMMISSION

Old State House 150 Benefit Street Providence, RI 02903

Telephone 401-222-2678  
TTY 401-222-3700

Fax 401-222-2968  
www.preservation.ri.gov

Mr. Raymond Coia, Chair  
Coastal Resources Management Council  
Stedman Government Center, 4808 Tower Hill Road  
Wakefield, RI 02879

CRMC File Number: 2024-03-112

Applicant: Pistocco Trust

Town: Warwick

Response Date: 8/7/24

Dear Mr. Coia,

The Rhode Island Historical Preservation & Heritage Commission has reviewed the above- referenced project. It is our conclusion that this project will have no effect on any significant cultural resources (those listed on or eligible for listing on the National Register of Historic Places).

These comments are provided in accordance with 650-RICR-20-00-1.2.3 Areas of Historic and Archaeological Significance of the Coastal Resources Management Council. If you have any questions, please contact Charlotte Taylor, Principal Archaeologist, or Elizabeth Totten, Project Review Coordinator, at this office.

Sincerely,

Jeffrey D. Emidy  
Executive Director  
State Historic Preservation Officer





State of Rhode Island and Providence Plantations  
**Coastal Resources Management Council**  
 Oliver H. Stedman Government Center  
 4808 Tower Hill Road, Suite 3  
 Wakefield, RI 02879-1900



(401) 783-3370  
 Fax (401) 783-2069

## APPLICATION FOR STATE ASSENT

To perform work regulated by the provisions of Chapter 279 of the Public Laws of 1971 Amended.

Project Location <u>256 Shawmut Ave Warwick</u> <small>No. Street City/Town</small>	File No. (CRMC USE ONLY) <u>2024-03-112</u>
Owner's Name <u>Pistocco Trust</u>	Plat: <u>334</u> Lot(s): <u>18+19</u>
Mailing Address <u>45 Broadview Ave Warwick 02889</u> <small>Address City/Town, State Zip Code</small>	Owner's Contact: <u>Charles Pistocco</u> Number: <u>401 749-7010</u> Email Address: <u>springgreenautobody@yahoo.com</u>
Contractor RI Reg. # _____ Address _____	Email address: _____ Tel. No. <u>(401) 749-7010</u>
Designer <u>DLR</u> Address <u>612 Greenwood Ave Warwick</u>	Tel. No. <u>(401) 580-6148</u>
Name of Waterway <u>Providence River</u>	Estimated Project Cost (EPC): <u>240 k</u> Application Fee: <u>1500</u>
<b>Provide Below a Description of Work As Proposed (required).</b> <u>To build a home (single family).</u>	

Have you or any previous owner filed an application for and/or received an assent for any activity on this property?

(If so please provide the file and/or assent numbers): yes

Is this site within a designated historic district?  YES  NO

Is this application being submitted in response to a coastal violation?  YES  NO

If YES, you must indicate NOV or C&D Number: \_\_\_\_\_

Name/ mailing addresses of adjacent property owners whose property adjoins the project site. Accurate mailing addresses will insure proper notification. \_\_\_\_\_ Applicant must initial to certify accuracy of adjacent property owners and accuracy of mailing addresses.

Anthony Deluise -  
Linda

STORMTOOLS (<http://www.beachsamp.org/resources/stormtools/>) is a planning tool to help applicants evaluate the impacts of sea level rise and storm surge on their projects. The Council encourages applicants to use STORMTOOLS to help them understand the risk that may be present at their site and make appropriate adjustments to the project design.

NOTE: The applicant acknowledges by evidence of their signature that they have reviewed the Rhode Island Coastal Resources Management Program, and have, where possible, adhered to the policies and standards of the program. Where variances or special exceptions are requested by the applicant, the applicant will be prepared to meet and present testimony on the criteria and burdens of proof for each of these relief provisions. The applicant also acknowledges by evidence of their signature that to the best of their knowledge the information contained in the application is true and valid. If the information provided to the CRMC for this review is inaccurate or did not reveal all necessary information or data, then the permit granted under this application may be found to be null and void. Applicant requires that as a condition to the granting of this assent, members of the CRMC or its staff shall have access to the applicant's property to make on-site inspections to insure compliance with the assent. This application is made under oath and subject to the penalties of perjury.

Charles Pistocco  
 Owner Name (PRINT)

[Signature]  
 Owner's Signature (SIGN)



PLEASE REVIEW REVERSE SIDE OF APPLICATION FORM

**STATEMENT OF DISCLOSURE AND APPLICANT AGREEMENT AS TO FEES**

The fees which must be submitted to the Coastal Resources Management Council are based upon representations made to the Coastal Resources Management Council by the applicant. If after submission of this fee the Coastal Resources Management Council determines that an error has been made either in the applicant's submission or in determining the fee to be paid, the applicant understands that additional fees may be assessed by the Coastal Resources Management Council. These fees must be paid prior to the issuance of any assent by the Coastal Resources Management Council.

The applicant understands the above conditions and agrees to comply with them.

  
\_\_\_\_\_  
Owner Signature

3/19/24  
Date

Charles Pistocco 45 Broadview Ave, Warwick  
Print Name and Mailing Address 02889



**FRANK J. PICOZZI**  
**MAYOR**

**NEAL DUPUIS**  
**TAX ASSESSOR**

## **City of Warwick**

FINANCE DEPARTMENT  
OFFICE OF THE ASSESSOR  
401-738-2005

Date: March 19, 2024

Property Address: SHAWOMET AVE. Warwick, RI 02889

Parcel ID Number 334-0019-0000

TO WHOM IT MAY CONCERN:

The ownership shown on the Tax Assessor's records for the City of Warwick for the above noted property is

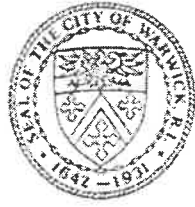
PISTOCCO IRREVOC TRUST as of the date of this letter.

Please feel free to contact me at (401) 738-2005 if you have any questions

Tax Assessors Office



FRANK J. PICOZZI  
MAYOR



ALFRED T. DeCORTE  
DIRECTOR & BUILDING OFFICIAL

CITY OF WARWICK  
BUILDING DEPARTMENT

3275 POST ROAD • WARWICK, RHODE ISLAND • 02886-7152  
Tel (401) 738-2007 • Fax (401) 732-5071

To: Coastal Resources Management Council  
From: Alfred T. DeCorte, Director & Building Official  
Application of: Charles Pistocco  
256 Shawomet Avenue, Warwick, RI 02889  
Plat 334, Lots 18, 19

March 11, 2024

**To: Construct a new single family dwelling, three stories above grade plane height**

I hereby certify that I have reviewed foundation plans \_\_\_\_\_  
Plans for entire structure \_\_\_\_\_  
Site plans  X   
Not applicable \_\_\_\_\_

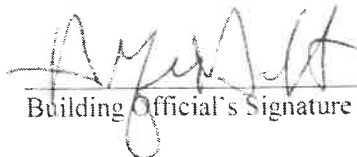
and find that the issuance of a local building permit is not required as in accordance with Section 23-27.3-102 of the Rhode Island State Building Code \_\_\_\_\_

and find that the issuance of a local building permit is required. I hereby certify that this permit shall be issued once the applicant demonstrates that the proposed construction/activity fully conforms to the applicable requirements of the RISBC  X

and find that said plans conform to all elements of the zoning ordinance, and that if said plans require zoning board approval, that the applicant has secured such approval and that the requisite appeal period has passed with no appeal filed or appeal is final  X  \*\*\*Administration Subdivision required through Planning to merge lots

and find that a Septic System Suitability Determination (SSD) must be obtain from the RI Dept of Environmental Management \_\_\_\_\_

Issuance of a local building permit is not required, as the project is an in-water activity not covered by the RI State Building Code, but subject to state and/or federal regulations \_\_\_\_\_

  
\_\_\_\_\_  
Building Official's Signature

**THIS IS NOT A BUILDING PERMIT. ANYONE PERFORMING WORK REGULATED BY THE STATE BUILDING CODE WITHOUT A BUILDING PERMIT WILL BE ASSESSED A \$1,000.00 LATE FILING FEE AND IS SUBJECT TO ONE YEAR IN PRISON AND A \$500.00 PER DAY FINE. EACH DAY OF NON-COMPLIANCE IS CONSIDERED A SEPARATE OFFENSE.**





STATE OF RHODE ISLAND  
 DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES PERMITTING SECTION  
 235 PROMENADE STREET  
 PROVIDENCE, RI 02908

March 30, 1995

TO: Charles Pistocco  
 366 Webster Ave.  
 Cranston, RI 02910-

SITE INFORMATION:  
 Application No.: 8935-0015  
 Street: Shawomet Ave. (opp. Pole 48)  
 Town: Warwick  
 Plat: 334  
 Lot: 18  
 Subdivision:  
 Subdivision Lot No: 1&2

## CERTIFICATE OF CONFORMANCE

This Certificate of Conformance means that the Onsite Wastewater Treatment System (OWTS), which has been installed under the above application number, appears to substantially conform with the design requirements and other requirements as indicated on the application, and associated plans and specifications. **PERMISSION IS THEREFORE GRANTED FOR UTILIZATION OF THE SEWAGE DISPOSAL SYSTEM.** A copy of this certificate has been forwarded to the building official of the municipality having jurisdiction over the subject site; he/she may issue a Certificate of Occupancy for the building provided all other local requirements have been met. The building official must receive a copy of the Certificate of Conformance prior to his or her issuing any required certificate of occupancy for the building or facility to be served by the OWTS.

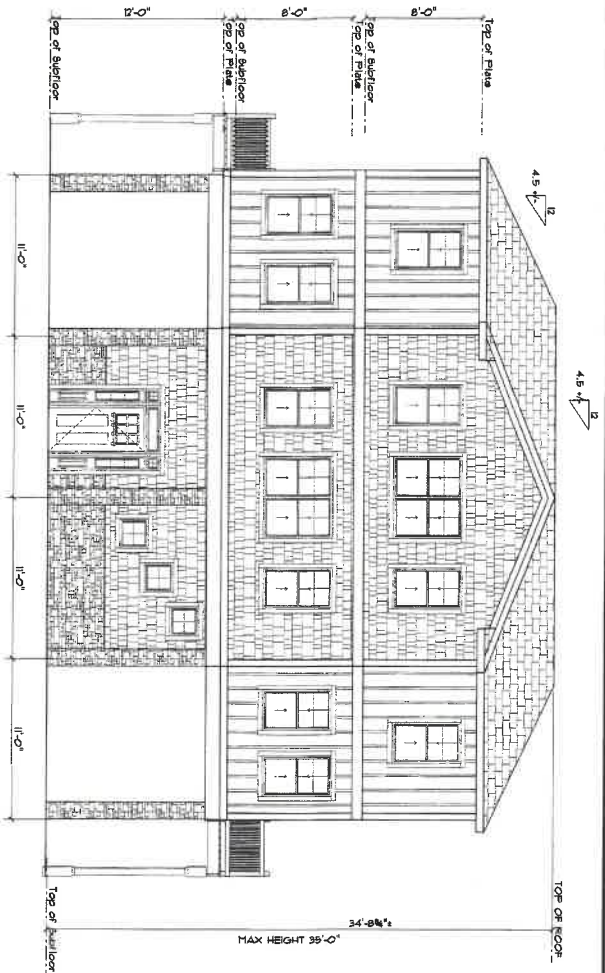
This Certificate is based upon the representations of the Owner and his/her agents, who are responsible for the proper installation of this system. This Department has approved the OWTS installation in reliance upon those representations and is not responsible for any of the construction, design details, specifications, distances or elevations indicated on the application, plan or specifications. This approval is subject to future suspension and revocation in the event that: subsequent examination reveals that any of the data indicated on the application, plan or specifications is incorrect or not in compliance with applicable regulations; or the OWTS system discharges sewage to the surface of the ground or to any watercourse, fails to otherwise operate satisfactorily or is altered in a manner which deviates from the terms of the approved application.

Authorized Agent: Brian M. Moore, P.E.

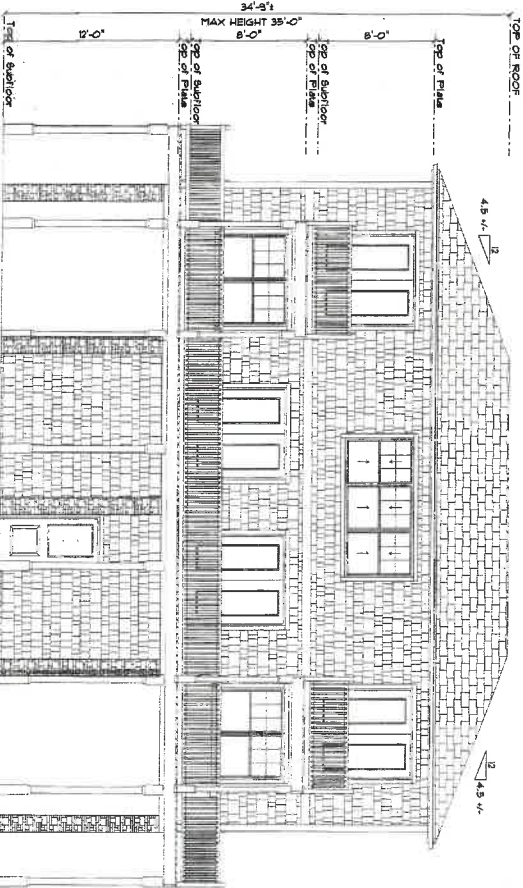
ONSITE WASTEWATER TREATMENT SYSTEM PROGRAM

SEE REVERSE SIDE FOR IMPORTANT INFORMATION ON CARE AND MAINTENANCE

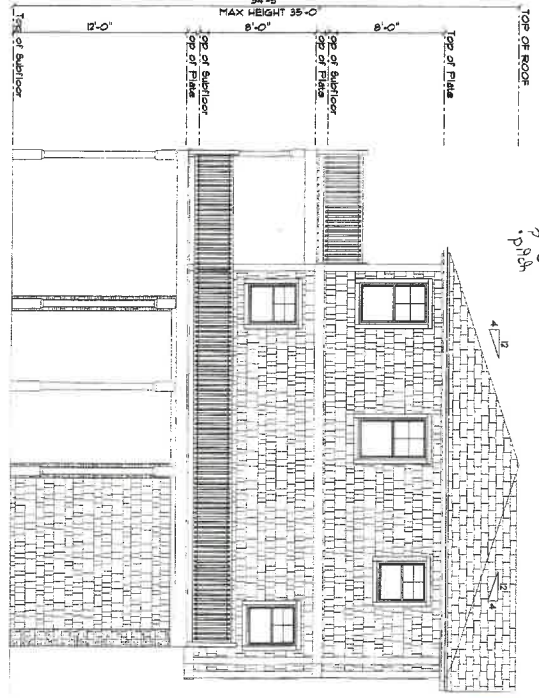




**FRONT ELEVATION 1/4"=1'-0"**



**BACK ELEVATION 1/4"=1'-0"**



**LEFT SIDE ELEVATION 1/4"=1'-0"**



**RIGHT SIDE ELEVATION 1/4"=1'-0"**

RECEIVED

MAR 21 2024

PRELIMINARY PLANS  
PREPARED FOR:  
PISTOCCO PROPERTIES

LOTS 1815 SHAWOMET AVENUE  
WARWICK, RHODE ISLAND  
MANAGEMENT COUNCIL

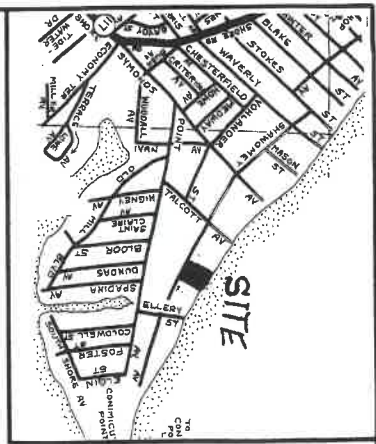
CONSTRUCTION PLANS ARE DRAFTED FOR SINGLE USE ONLY.  
DLR DIMENSIONS, INC. DOES NOT PERMIT THE USE OF PLANS THAT HAVE BEEN TAMPERED WITH BY OUTSIDE PARTIES

**DLR DIMENSIONS** EST. 1988  
RESIDENTIAL DESIGNERS & CONSULTANTS  
401.738.3156 DLRDIMENSIONS.COM

DATE	12/11/2023
SCALE	NOTED
APPROVED	DRR
DRAWN BY	DRR
DRAWING NUMBER	6534
	1 OF 1







LOCUS MAP  
N.T.S.



**ZONING:**

THIS PARCELS ARE LOCATED IN RESIDENTIAL DISTRICT A-7.

- MIN. LOT AREA: 7,000 S.F.
- MIN. LOT FRONTAGE: 70 FT.
- MIN. FRONT YARD: 25 FT.
- MIN. REAR YARD: 20 FT.
- MIN. SIDE YARD: 8 FT.
- MIN. LANDSCAPED OPEN SPACE: 10%
- MAX. BUILDING: 35 FT.

**FLOODING:**

THESE PREMISES ARE SITUATED IN FLOODPLAIN ZONE VE, WHICH IS DETERMINED BY TRM<sup>1</sup> FOR THE CITY OF WARWICK, COUNTY OF KENT, AS AREAS OF COASTAL FLOOD WITH VELOCITY HAZARD (NAME ACTION) BASE FLOOD ELEVATIONS DETERMINED TELETYPE NUMBER 11/11/1992. NUMBER 443103-00000. MAP REVISION: JUNE 15, 1992.

**REFERENCE:**

1. PLAT PARTEN SHAWOMETT SPURS, SUB-DIVISION #17 WHICH PLAT IS RECORDED IN THE LAND EVIDENCE RECORDS OF THE CITY OF WARWICK ON PLAT CARD 264.
2. DEED BOOKS/PAGES: 8727/101, 8471/275 & 9193/183.

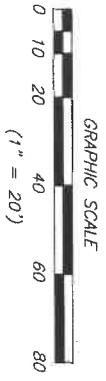
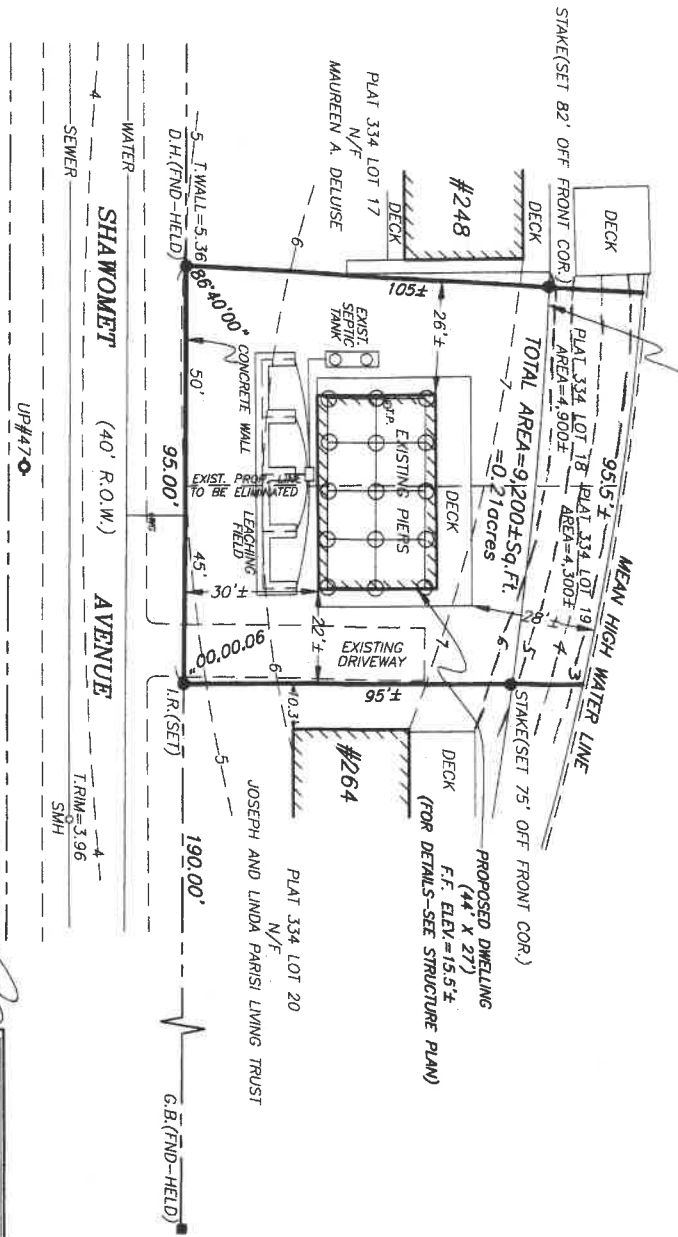
**LEGEND**

- PROPERTY LINE
- ABUTTING PROPERTY LINE
- DWELLING
- PROPOSED ADDITION
- NOW OR FORMERLY
- EDGE OF ASPHALT
- CONTOUR LINE
- GRANITE BOUND FOUND
- RHODE ISLAND HIGHWAY (ROAD) FOUND
- DWELL HOLE SET
- DWELL HOLE FOUND
- ROW BEARS SET
- SEWER MANHOLE
- GAS GATE
- WATER GATE
- HYDRAUNT
- DRAINAGE MANHOLE
- UTILITY POLE
- CATCH BASIN



**NARRAGANSETT BAY**

APPROX. COASTAL FEATURE LINE



REL. CL. 34-13-1-1  
THIS PLAN SHALL BE INDEXED AS:  
SHAWOMETT AVENUE

OWNER NAME & ADDRESS:  
PISTOCCO FIRECO. TRUST  
45 BROADVIEW AVENUE  
WARWICK RI 02889

**ADMINISTRATIVE SUBDIVISION**

FOR  
CECHARLE PISTOCCO  
256 SHAWOMETT AVENUE  
WARWICK, RHODE ISLAND  
PLAT 334 LOTS 18 & 19

**NRC ASSOCIATES**  
P.O. BOX 14469  
EAST PROVIDENCE, RHODE ISLAND 02814  
(401)954-0206

DESIGNED BY: S.S.R.  
DRAWN BY: M.Y.R.  
CHECKED BY: M.Y.R.  
SCALE: 1"=20'  
DATE: MAY 23, 2023

FILED: SHAWOMETT AVENUE  
1 of 1

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 18-19 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS APRIL 18, 2018 AS FOLLOWS:

1. THE SURVEY IS LIMITED TO CONVEY BOUNDARY SURVEY TO PROGRESSIVE SURVEY - T-2

2. THE PURPOSE OF THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:

ADMINISTRATIVE SUBDIVISION  
BY: NABIL Y. RASHID DATE: 4/12/23  
FILED: 4/12/23  
REGISTERED LAND SURVEYOR

3. THIS SURVEY IS TO BE CONDUCTED IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 18-19 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS APRIL 18, 2018 AS FOLLOWS:

4. CONTRACTOR IS REQUIRED TO CALL DIG-SAFE BEFORE ANY EXCAVATION IS COMMENCED (1-888-DIG-SAFE).

5. UTILITY LATERALS (SERVICES) TO BE VERIFIED BY THE CONTRACTOR.

6. CONTRACTOR IS REQUIRED TO VERIFY WITH THE CITY OF WARWICK ON THE PROJECT LOCATIONS AND REQUIREMENTS BEFORE THE START OF THE PROJECT.

7. ALL ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88).

8. SEPTIC SYSTEM INFORMATION IS TAKEN FROM A REVERSED PLAN BY PHILIP MANCINI ON DECEMBER 1988.

**NOTES:**

1. THE LOCATION, DEPTH, AND EXISTENCE OF ANY UTILITIES OR OTHER UNDERGROUND OBJECTS SHOWN ON THIS PLAN ARE BASED ON THE BEST AVAILABLE INFORMATION. LOCATIONS ARE NOT WARRANTED TO BE EXACT, NOR IS IT WARRANTED THAT ALL EXISTING UTILITIES ARE SHOWN.
2. THE PROPOSED DWELLING SHALL BE CONNECTED TO THE SEWER.
3. LOTS DERIVED ON THIS PLAT SHALL NOT BE ALTERED DIMENSIONALLY OR IN ANY MANNER FOR ANY PURPOSE WHATSOEVER WITHOUT FIRST FILING A NEW SUBDIVISION APPLICATION IN ACCORDANCE WITH THE CITY OF WARWICK DEVELOPMENT REVIEW REGULATIONS OF DECEMBER 31, 1995 AS AMENDED.
4. CONTRACTOR IS REQUIRED TO CALL DIG-SAFE BEFORE ANY EXCAVATION IS COMMENCED (1-888-DIG-SAFE).
5. UTILITY LATERALS (SERVICES) TO BE VERIFIED BY THE CONTRACTOR.
6. CONTRACTOR IS REQUIRED TO VERIFY WITH THE CITY OF WARWICK ON THE PROJECT LOCATIONS AND REQUIREMENTS BEFORE THE START OF THE PROJECT.
7. ALL ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88).
8. SEPTIC SYSTEM INFORMATION IS TAKEN FROM A REVERSED PLAN BY PHILIP MANCINI ON DECEMBER 1988.

Top of  
18.35  
Bottom = 17.





State of Rhode Island  
Coastal Resources Management Council  
Oliver H. Stedman Government Center  
4808 Tower Hill Road, Suite 3  
Wakefield, RI 02879-1900

(401) 783-3370  
Fax (401) 783-3767

February 12, 2025

Pistocco Irrevoc. Trust  
45 Broadview Avenue  
Warwick, RI 02889

RE: File Number: A2024-03-112  
Site Address: Shawomet Avenue, Warwick  
Plat: 334 Lot: 19  
Owner: Pistocco Irrevoc. Trust  
Proj. Desc: Single Family Dwelling

Dear Pistocco Trust:

The CRMC is currently reviewing your application, and has concerns that need to be addressed before further review can proceed. Please address the following issues so staff can complete review of your application:

Please provide the documentation for the Trustee/owner of the property. CRMC must confirm that the signatory is authorized to represent the Trust.

Please provide a plan which depicts the Coastal Feature. The submitted plans submitted show measurements from Mean High Water, which is not the inland edge of the Coastal Feature.

The sign-off from the City of Warwick is not the CRMC Building Official Sign-off and appears to be a document created by the City. When plans are revised and ready for re-submittal, please have the City complete CRMC Building Official form in its entirety – including the title and date of plans reviewed – and include with re-submittal. The form can be found at: <http://www.crmc.ri.gov/applicationforms/BuildingOForm.pdf>

Please submit a Coastal Hazards Assessment Worksheet (CHA). This can be found at: <http://www.crmc.ri.gov/coastal hazardapp.html>

The application was submitted without an approved septage plan. The septic system depicted on the site plans was reportedly installed many years ago and never used. If the applicant wishes to utilize that system, an SSD (System Suitability Determination) from DEM/OWTS must be obtained stating that the system is viable for use. Should the applicant wish to tie into the existing sewer system, a letter of authorization to do from the City must be obtained and submitted. This matter has been discussed with Charles and Cross Pistocco on multiple occasions.

It appears that the proposal is to utilize the existing piles currently in place. Please submit documentation that the piles remain viable and are at the correct height for flood zone elevation.

Stormwater management/treatment shall be required for all new impervious areas/areas greater than 600ft<sup>2</sup>. No concentrated flows shall be allowed to coastal features, freshwater wetland features and/or coastal waters. All new driveways shall be permeable or shall have stormwater management for the one inch of runoff. Treatment of the runoff shall be in accordance with RICRMP Section 1.3.1(F) and the Rhode Island Stormwater Design and Installation Standards Manual.

For a lot of this size on Type 1 water, a Buffer Zone of 25 feet, as measured from the inland edge of the Coastal Feature is required. Further, a Setback of 50 feet, as measured from the inland edge of the Coastal Feature is required. Neither the Buffer or Setback (or the Coastal Feature, as noted above) is shown on submitted plans.

Based on the location of the existing piles, the proposed dwelling cannot meet the Buffer or Setback, and will require significant Variances. Where the applicant chooses not to meet any of the applicable RICRMP standards, a written variance request must be submitted for each standard not met. The criteria for the consideration of a variance are provided in RICRMP Section 1.1.7 (formerly Section 120). Each of the six criteria must be addressed in writing. Submitting a written variance request is required.

Please note that Variances for more than 50% relief from the requirement will require a hearing and decision by the full Coastal Council.

This information must be submitted within 30 days of the above date. If the information requested is not provided within this 30 day period, the application will be canceled without prejudice. If you have any questions regarding this letter, please contact the office.

Sincerely,  
  
Amy Silva  
CRMC Permitting Staff