



State of Rhode Island and Providence Plantations
Coastal Resources Management Council
Oliver H. Stedman Government Center
4808 Tower Hill Road, Suite 3
Wakefield, RI 02879-1900

(401) 783-3370
Fax (401) 783-2069

APPLICATION FOR STATE ASSENT

To perform work regulated by the provisions of Chapter 279 of the Public Laws of 1971 Amended.

Project Location 185-199 Narragansett Avenue Newport		File No. (CRMC USE ONLY)
No. Street City/Town		2026-01-003
Owner's Name Turner C. Scott, Authorized agent (See attached Exhibit A)		Plat: 36
		Lot(s): 001
Mailing Address 122 Touro Street Newport RI 02840		Owner's Contact:
Address City/Town, State Zip Code		Number: 401 847 7500
		Email Address: tscott@millerscott.com
Agent for Applicant William R. Riccio, Jr.	280 Spring Street Newport RI 02840	Email address: wriccio@newportri.gov
	Address 02840	Tel. No. 401 845 5841
Designer GZA GeoEnvironmental	188 Valley St., Suite 300 Providence, RI 02909	Tel. No. 401-421-4140
Name of Waterway Atlantic Ocean / Easton Bay		Estimated Project Cost (EPC): \$19,500,000
		Application Fee: \$8,250
Provide Below a Description of Work As Proposed (required). Fee Waiver Requested		
Repair and stabilization of a section of shoreline adjacent to the Cliff Walk in Newport. See attached narrative for more information.		

Have you or any previous owner filed an application for and/or received an assent for any activity on this property?
(If so please provide the file and/or assent numbers): See attached narrative for details.

Is this site within a designated historic district? ☒ YES ☐ NO

Is this application being submitted in response to a coastal violation? ☐ YES ☒ NO

If YES, you must indicate NOV or C&D Number: _____

Name/mailling addresses of adjacent property owners whose property adjoins the project site. Accurate mailing addresses will insure proper notification. _____ Applicant must initial to certify accuracy of adjacent property owners and accuracy of mailing addresses.

See attached authorization and list of abutters for more information.

STORMTOOLS (<http://www.beachsamp.org/resources/stormtools/>) is a planning tool to help applicants evaluate the impacts of sea level rise and storm surge on their projects. The Council encourages applicants to use STORMTOOLS to help them understand the risk that may be present at their site and make appropriate adjustments to the project design.

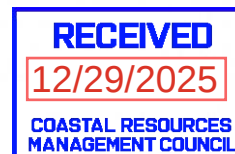
NOTE: The applicant acknowledges by evidence of their signature that they have reviewed the Rhode Island Coastal Resources Management Program, and have, where possible, adhered to the policies and standards of the program. Where variances or special exceptions are requested by the applicant, the applicant will be prepared to meet and present testimony on the criteria and burdens of proof for each of these relief provisions. The applicant also acknowledges by evidence of their signature that to the best of their knowledge the information contained in the application is true and valid. If the information provided to the CRMC for this review is inaccurate or did not reveal all necessary information or data, then the permit granted under this application may be found to be null and void. Applicant requires that as a condition to the granting of this assent, members of the CRMC or its staff shall have access to the applicant's property to make on-site inspections to insure compliance with the assent. This application is made under oath and subject to the penalties of perjury.

08/04

Turner C. Scott Author Agent
Owner Name (PRINT)

Owner's Signature (SIGN)

PLEASE REVIEW REVERSE SIDE OF APPLICATION FORM



STATEMENT OF DISCLOSURE AND APPLICANT AGREEMENT AS TO FEES

The fees which must be submitted to the Coastal Resources Management Council are based upon representations made to the Coastal Resources Management Council by the applicant. If after submission of this fee the Coastal Resources Management Council determines that an error has been made either in the applicant's submission or in determining the fee to be paid, the applicant understands that additional fees may be assessed by the Coastal Resources Management Council. These fees must be paid prior to the issuance of any assent by the Coastal Resources Management Council.

The applicant understands the above conditions and agrees to comply with them.

T. M. Autho Agent
Owner Signature

12/23/25
Date

Turner C. Seo H Autho Agent
Print Name and Mailing Address
122 Touvo St
Newport RI 02840



Newport

(Summary Data - may not be Complete Representation of Property)

Parcel: 36-001
Account: 6506

Location: 185-199 NARRAGANSETT AVE
User Acct: R06954

Owner: NRI TT RGG LLC ET AL
LUC: 08 - Estate

Zoning: R60

Parcel Values

Total: \$16,171,200 Land: \$8,462,000 Land Area: 311,018.4 SF Building: \$6,852,700 Assessed: \$16,171,200

Sales Information

Book and Page	Instrument Type	Date	Price	Grantor
2114-7		09/03/2010	\$0	GOELET ROBERT G-ET AL TRUSTS
2114-38		09/03/2010	\$0	GOELET ROBERT G-ET AL TRUSTS

Building Type: Estate Year Built: 1888 Grade: B+ Condition: GD
Heat Fuel: Gas Heat Type: Hot Water % Air Conditioned: 0.00 Fireplaces: 10
Exterior Wall: Wood Shingle Bsmnt Garage: 0 Roof Cover: Wood Shingle # of Units: 1
of Rooms: 28 # of Bedrooms: 9 Full Bath: 11 1/2 Baths: 0

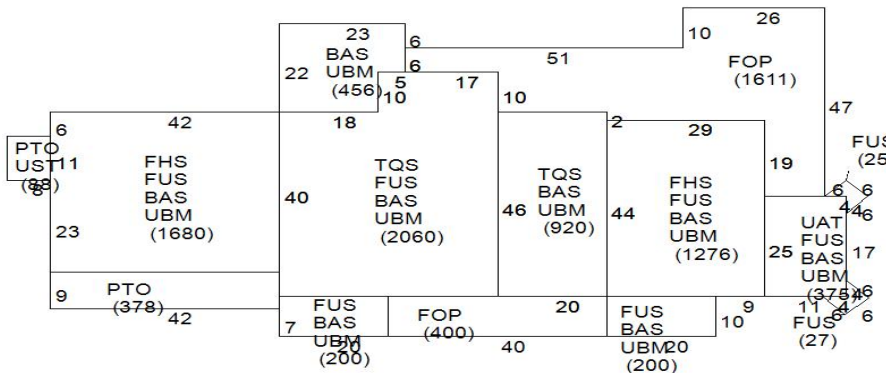
Yard Item(s)

Description	Quantity	Size	Year	Condition	Quality	Value
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Building Areas

Area	Net Area	Finished Area
Attic, Unfinished	75 SF	0 SF
Basement, Unfinished	7,167 SF	0 SF
First Floor	7,167 SF	7,167 SF
Half Story, Finished	1,478 SF	1,478 SF
Patio	466 SF	0 SF
Porch, Open, Finished	2,011 SF	0 SF
Three Quarter Story	2,384 SF	2,384 SF
Upper Story, Finished	5,843 SF	5,843 SF
Utility, Storage, Unfinis	88 SF	0 SF

Disclaimer: This information is for tax
assessing purposes
and is not warranted



Abutters List – Newport Cliff Walk
Newport, Rhode Island

Plat	Lot	Owner(s)	Property Address	Mailing Address
34	46	Emily Gordon Fowler Irrevocable GST Trust, Fowler Emily Gordon, Linker Helene Trustees	100 Annandale Road	100 Annandale Road, Newport, RI 02840
34	47	Belmont Carraige House LLC	180 Narragansett Ave	PO BOX 320001, Flowood, MS 39232
36	2	Salve Regina College	2 Ochre Point Ave	Ochre Point Ave, Newport, RI 02840
36	20	Salve Regina College	63 Lawrence Ave	63 Ochre Point Ave, Newport, RI 02840
36	21	Salve Regina College	16 Ochre Point Ave	16 Ochre Point Ave, Newport, RI 02840
34	238	EMTNPT LLC	1 Ocean Lawn Lane	655 North A1A, Jupiter, FL 33477
34	240	Purdy, John M JR-Trustee and Purdy, Linda L- Trustee	190 Narragansett Ave	190 Narragansett Ave, Newport, RI 02840

Abutters' information (names and property addresses) obtained on December 1, 2025, from "Newport Parcel and Zoning Map"



LETTER OF AUTHORIZATION

The listed owners ("Ochre Point Owners") as detailed in the attached Exhibit A of the property designated as Lot 001 on Tax Assessor's Plat 36 in the Tax Records of the City of Newport, Rhode Island (the "Property"), by their authorized agent hereby authorize the City of Newport and their authorized agent to make application to the RI Coastal Resource Management Council, Army Corps of Engineers and the RI Department of Environmental Management for permits for repair, maintenance and restoration corresponding to the Cliff Walk along the eastern Property edge. Ochre Point Owners agree that the City of Newport and their authorized agent may represent them to obtain all necessary certificates, signatures, and/or approvals required for the regulatory authorization for repair, maintenance and restoration of the Cliff Walk based on the engineering services and plans prepared by GZA GeoEnvironmental, Inc.

Executed this 23rd day of December 2025.

Newport Delaware TT BGM LLC et als



By Turner C. Scott

Authorized Agent



EXHIBIT A

**185-199 Narragansett Ave.
Plat 36, Lot 1**

<u>From</u>	<u>To</u>	<u>Book/Page</u>	<u>Date Executed</u>	<u>Date Recorded</u>
John H. Manice, Philip Goelet, Edmond de La Haye Jousselein and Pamela Manice, being all of the current trustees of the Testamentary Trust for the benefit of Beatrice G. Manice under the last Will and Testament of Robert Walton Goelet	1. Newport Delaware TT BGM LLC..... 20%	2114/ 7	2/23/2005	9/3/2010
Christopher Goelet, Philip Goelet, Edmond de La Haye Jousselein, Robert S. Rich and Mark M. Collins, Jr. being all of the current trustees of the Testamentary Trust for the benefit of John Goelet under the last Will and Testament of Robert Walton Goelet	2. Newport TT JG LLC..... 25%	2114/ 22	2/23/2005	9/3/2010
Robert G. Goelet, Philip Goelet, Edmond de La Haye Jousselein, collectively being all of the current trustees of said Testamentary Trust for the benefit of Francis Goelet under the Last Will and Testament of Robert Walton Goelet	3. Newport T80 ADLHJ LLC 2%	2114/ 38	12/9/2008	9/3/2010
"	4. Newport PG LLC..... 5%	2114/ 38	12/9/2008	9/3/2010
"	5. Newport CG LLC..... 5%	2114/ 38	12/9/2008	9/3/2010
"	6. Newport JHM LLC..... 2%	2114/ 38	12/9/2008	9/3/2010
"	7. Newport Delaware RGM LLC..... 2%	2114/ 38	12/9/2008	9/3/2010



Robert G. Goelet, Alexandra Gardiner Goelet and Robert Gardiner Goelet, being all of the current trustees of said Testamentary Trust for the benefit of Robert G. Goelet under the Last Will and Testament of Robert Walton Goelet	"	8. Newport AMB LLC.....	2%	2114/ 38	12/9/2008	9/3/2010
	"	9. Newport PM LLC.....	2%	2114/ 38	12/9/2008	9/3/2010
		<u>To</u>		<u>Book/Page</u>	<u>Date Executed</u>	<u>Date Recorded</u>
	"	10. NRI RG LLC.....	2.5%	2114/ 110	2/23/2009	9/3/2010
	"	11. NRI AGG LLC.....	2.5%	2114/ 110	2/23/2009	9/3/2010
		12. NRI TT RGG LLC.....	30%	2114/ 183	6/14/2010	9/3/2010
			100%			

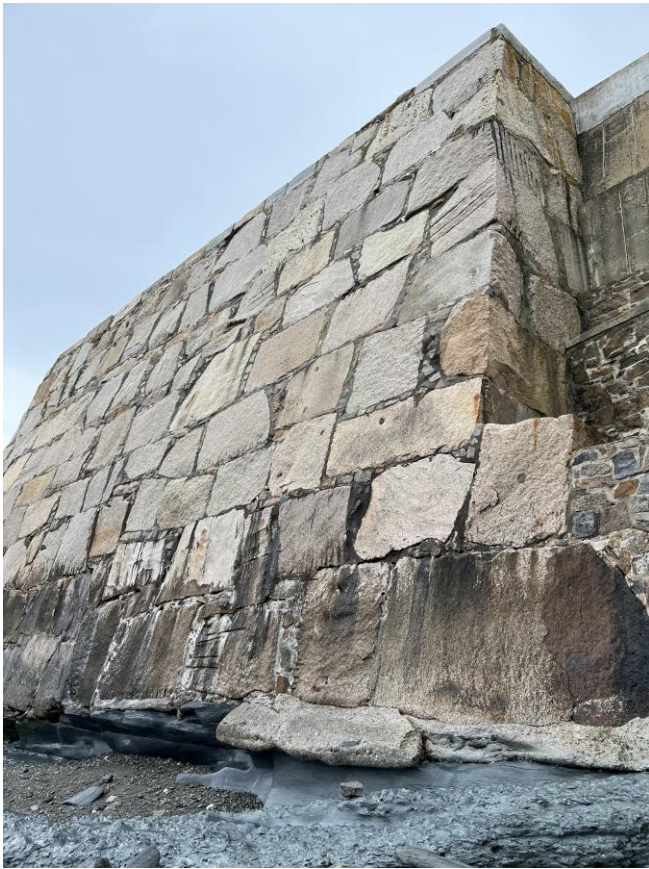




Site Overview



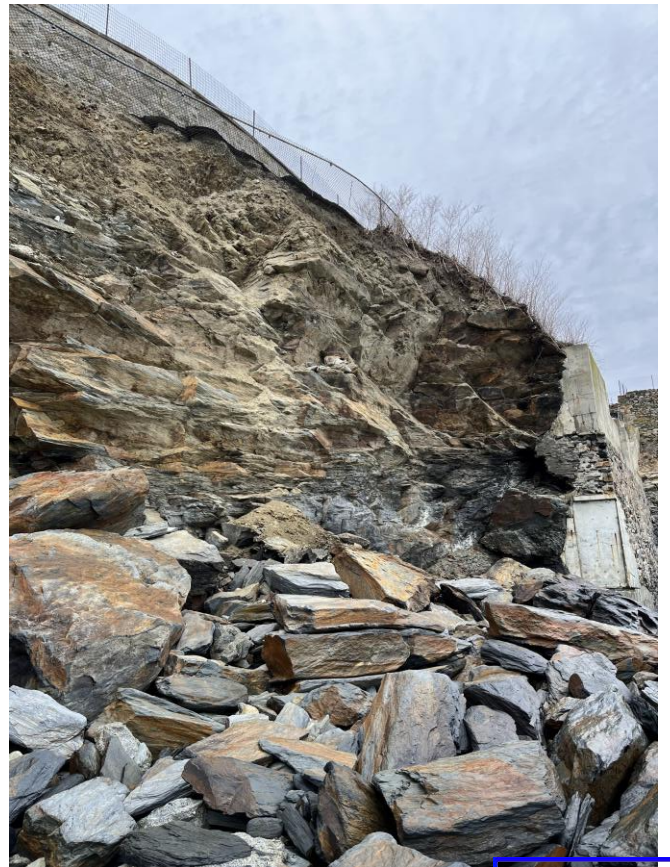
Section 1



Section 2

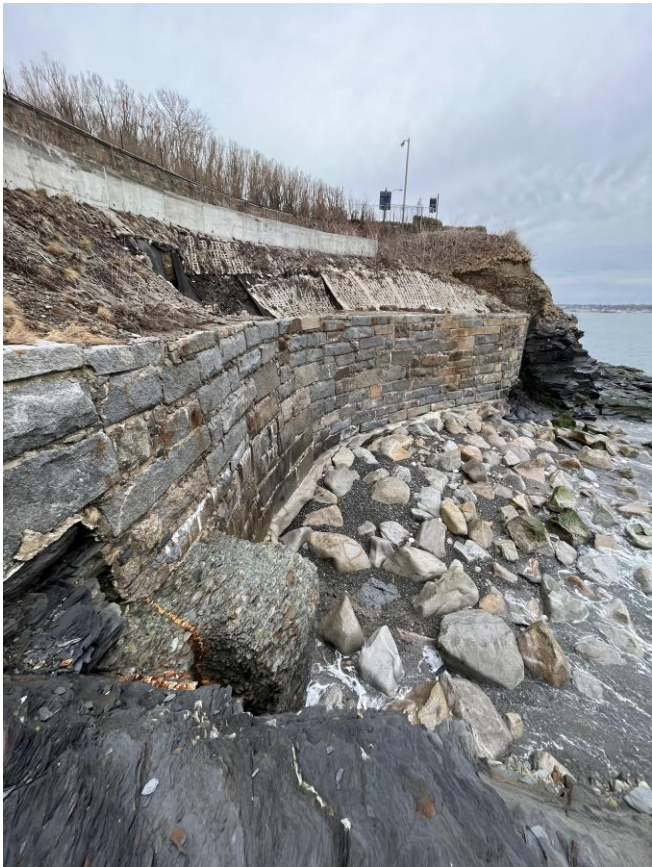


Section 3





Section 4



Section 5





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188 Valley Street
Suite 300
Providence, RI 02909
T: 401.421.4140
F: 401.751.8613
www.gza.com

December 11, 2025
File No. 03.0033884.02

Ms. Lisa Turner
RI Coastal Resources Management Council
4808 Tower Hill Road; Suite 3
Wakefield, Rhode Island 02879

Ms. Elizabeth Waterhouse
United States Army Corps of Engineers
New England District, Regulatory District
696 Virginia Road
Concord, Massachusetts 01742

Mr. Ron Gagnon
Rhode Island Department of Environmental Management
Office of Customer and Technical Assistance
235 Promenade Street
Providence, Rhode Island 02908

Re: Application for CRMC Assent, USACE Individual Permit, and RIDEM Water Quality Certification
Newport Cliff Walk Repairs
Newport, Rhode Island

Dear Ms. Turner, Ms. Waterhouse, Mr. Gagnon;

On behalf of our Client, the City of Newport, Rhode Island, this application is being submitted by GZA GeoEnvironmental, Inc. (GZA) pursuant to the applicable requirements of the Coastal Resources Management Council (CRMC), the United States Army Corps of Engineers (USACE), and the Rhode Island Department of Environmental Management (RIDEM).

The City of Newport is proposing to repair a portion of the Cliff Walk between Webster Street and Narragansett Ave in Newport, Rhode Island. The Site is located on the City of Newport Plat 36, Lot 001. The Cliff Walk is a popular tourist attraction in Newport, as a 3.5-mile right-of-way over private property located primarily on the eastern shoreline of the City. Originally established during the mid-1800s, the Cliff Walk has continuously undergone both improvement and rehabilitation. Over the past 150 years, erosion of the cliff base has been accelerated by wave action, reducing the stability of the soil and rock slope.

On March 3, 2022, an approximately 50-foot-long section of the Newport Cliff Walk located between Webster Street and Narragansett Avenue collapsed. The collapse resulted in the immediate closure of an approximately 0.1-mile portion of the walkway. On December 23, 2023, another 30-foot section north of the 2022 section collapsed, resulting in additional walkway closure. The collapsed 50-foot and 30-foot sections are accessible from Webster Street and Narragansett Avenue, respectfully. A recent survey of the area concluded that the entire 550'+-length of shoreline between Webster Street and Narragansett Avenue would benefit from maintenance activities.

The repaired and stabilized shoreline will allow for the reopening of the Cliff Walk in its entirety, returning the coastal attraction to its status as a tourist favorite and further stabilize the private lands abutting the walkway.





Prior Permits/Assents

There have been a number of permits/assents secured for maintenance activities along this section of the Cliff Walk over the past 55 years.

- In 1975, a CRMC assent was issued (No. 1975-09-013) to repair and maintain an eroded section of Cliff Walk between Narragansett Avenue and Webster Street. The RI Division of Water Resources noted that, “the project will not violate applicable water quality criteria”.
- In 1976, USACE granted a permit (No. RI-NEWP-76-512) for the placement and maintenance of “503 tons of 36-inch and 42-inch stone armor extending about 8 feet beyond mean high water”.
- In 1994, CRMC granted an assent (No. 1994-02-012) for the construction and maintenance of structural shoreline protection in this Type 1 water using riprap stone with a minimum weight of 165 pounds per cubic foot and RIDEM issued a Water Quality Certificate stating that the project “will not violate applicable water quality criteria”.
- In 1999, CRMC issued a maintenance certification (No. M1999-11-027) to grout areas of the seawall.
- In 2015, CRMC authorized emergency repairs (No. M2015-11-015) consisting of the installation of an articulated concrete block slope.
- And in 2020, CRMC granted an assent (No. 2020-02-045) authorizing the repointing of the existing stone masonry wall and complete rebuilding of bulged areas.

Proposed Activities

The current plan includes conducting maintenance activities along the entire 550-foot length between Webster Street and Narragansett Avenue. For ease of discussion, we have divided the area into 5 sections. Refer to the attached plan set for details.

Section 1 (STA 0+00 to 1+25) - Exposed Cliff Face. A geotextile fabric is proposed with crushed stone and rip rap cover. The wall will extend to approximately MLW with a 1.5:1 slope. Grout or concrete will be used to fill existing cavity(s) in the cliff face. Large stones are proposed at the toe, landward of a new cast-in-place concrete block, and armor stones reduced in size past the 100-Year Flood Water Level. Nearly all activities will be above the MLW line. Approximate details:

- Seaward extent of new fill beyond MHW (feet): (Varied) Approx. average of 25-feet
- Area of fill to be discharged below HTL (square feet): 3,133 SF
- Volume of fill to be discharged below HTL (cubic yards): 554 Cu. Yds
- Size of new stone below HTL (feet): (Varied) 5.1’ min to 6.1’ max

Section 2 (STA 1+25 to 2+00) - Granite Block Wall. Rip-rap is proposed along the face of the existing granite block wall from the base flood elevation of 25’ NAVD88. Wall construction will be at a 1.5:1 slope. Grout or concrete will be used to fill cavity(s) in the wall face, and/or to create base slope. Large 5’-6’ stones will be placed at the toe, landward of a new cast-in-place concrete block, and armor stones will be placed beyond the 100-Year Flood Water Level. Nearly all activities will be above the MLW line. Approximate details:

- Seaward extent of new fill beyond MHW (feet): (Varied) Approx. average of 35-feet
- Area of fill to be discharged below HTL (square feet): 2,803 SF
- Volume of fill to be discharged below HTL (cubic yards): 504 Cu. Yds
- Size of new stone below HTL (feet): (Varied) 5.1’ min to 6.1’ max



Section 3 (STA 2+00 to 3+25) - March 3, 2022, Collapsed Area. A modular stone block wall is proposed directly below and adjacent to the Cliff Walk path. The wall will be supported by concrete filled micropiles drilled 5-feet below bedrock.



A rip-rap wall is proposed to extend seaward at a 1.5:1 slope. Grout or concrete will be used to fill cavity(ies) in the cliff face. Large 5'-6' stones will be placed at the toe, landward of new cast-in-place concrete blocks, and armor stones reduced in size will be placed beyond the 100-Year Flood Water Level. Nearly all activities will be above the MLW line. Approximate details:

- Seaward extent of new fill beyond MHW (feet): (Varied) Approx. average of 35-feet
- Area of fill to be discharged below HTL (square feet): 4,620 SF
- Volume of fill to be discharged below HTL (cubic yards): 944 Cu. Yds
- Size of new stone below HTL (feet): (Varied) 5.1' min to 6.1' max

Section 4 (STA 3+25 to 4+25) - Exposed Cliff Face. Rip-rap is proposed to extend seaward from the base flood elevation of 25' NAVD88, sloping at 1.5:1. Grout or concrete will be used to fill cavity(ies) in the cliff face. Large 5'-6' stones will be placed at the toe in front of new cast-in-place concrete blocks, and armor stones reduced in size will be placed beyond the 100-Year Flood Water Level. Nearly all activities will be above the MLW line. Approximate details:

- Seaward extent of new fill beyond MHW (feet): (Varied) Approx. average of 39-feet
- Area of fill to be discharged below HTL (square feet): 4,768 SF
- Volume of fill to be discharged below HTL (cubic yards): 1,161 Cu. Yds
- Size of new stone below HTL (feet): (Varied) 5.1' min to 6.1' max

Section 5 (STA 4+25 to 5+50) – Granite Block Wall. The collapsed area of Section 5, landward of the existing granite block wall is proposed to be filled with crushed stone and topped with a layer of RIDOT R-8 Armor Stone. Seaward of the existing granite block wall, rip-rap is proposed to extend at a slope of 1.5:1. Large 5'-6' stones will be placed at the toe in front of new cast-in-place concrete blocks, and armor stones reduced in size will be placed beyond the 100-Year Flood Water Level. Nearly all activities will be above the MLW line. Approximate details:

- Seaward extent of new fill beyond MHW (feet): (Varied) Approx. average of 25-feet
- Area of fill to be discharged below HTL (square feet): 2,918 SF
- Volume of fill to be discharged below HTL (cubic yards): 667 Cu. Yds
- Size of new stone below HTL (feet): (Varied) 5.1' min to 6.1' max

Previous discussions with **CRMC** concluded that a Category B Assent application is the proper submittal. Regarding **USACE**, due to the large size of the project area, we believe the proposed activities will need an Individual Permit. Due to the temporary disturbance of the shoreline during construction, a **RIDEM** Water Quality Certification (WQC) will likely be needed.

CRMC Category B Assent

The shoreline of the Cliff Walk to be repaired is adjacent to Type 1 Waters. Pursuant to Section 1.2.2(D)1.C of the CRMC 'Redbook' Regulations, the area has been designated by the Council as a Coastal Natural Area, where "council priority when considering proposed alterations on or adjacent to these features is the preservation and, where possible, the restoration of their scenic qualities". Landward of the coastal feature (coastal cliffs), is a 3.5-mile public pedestrian walkway. In a recent CRMC assent (No. 1994-02-012), staff considers the Cliff Walk as a "manmade shoreline", namely, that it is "characterized by concentrations of shoreline protection structures and other alterations, to the extent that natural shoreline features are no longer dominant." As such, a Category B review is required. The following CRMC sections will be addressed in the following narrative:

- SECTION 1.1.4 Alterations and Activities that Require an Assent from the Coastal Resources Management Council;





- SECTION 1.1.10 Climate Change and Sea Level Rise;
- SECTION 1.2.1(B) Type 1 Waters – Conservation Areas;
- SECTION 1.2.2(D) Coastal Headlands, Bluffs and Cliffs;
- SECTION 1.2.2(F) Manmade Shorelines;
- SECTION 1.3.1(A) Category B Requirements;
- SECTION 1.3.1(B) Filling, Removing, or Grading of Shoreline Features;
- SECTION 1.3.1(G) Shoreline Protection; and
- SECTION 1.3.6 Protection and Enhancement of Public Access to the Shore.

SECTION 1.1.4 ALTERATIONS AND ACTIVITIES THAT REQUIRE AN ASSENT FROM THE COASTAL RESOURCES MANAGEMENT COUNCIL

A CRMC Assent is required for any alteration or activity proposed for tidal waters within the territorial seas, shoreline features, and areas contiguous to shoreline features. This narrative has been prepared to address CRMC requirements necessary to secure an Assent in accordance with 650-RICR-20-00-1 *Red Book*.

SECTION 1.1.10 CLIMATE CHANGE AND SEA LEVEL RISE

Climate change and resultant sea level rise are recognized by CRMC as ongoing and various scenarios are integrated into its programs to prepare Rhode Island for these new and evolving circumstances. The FEMA 100-year Flood Insurance Map (panel 44005C0181J) shows that the section of Cliff Walk to be repaired is adjacent to Zone VE, an area with a 1% or greater chance of flooding with an additional hazard associated with storm waves. The base flood elevation is 25' and the top of slope elevation of the cliff ranges between 46' and 52' from Webster Street to Narragansett Avenue.

SECTION 1.2.1(B) TYPE 1 WATERS – CONSERVATION AREAS

As noted earlier, the Cliff Walk is a Coastal Natural Area along Type 1 waters. The Coastal Natural Area designation strengthens the established priorities and protection of Type 1 waters to focus on the preservation and restoration of the scenic qualities of the area.

The proposed activities will agree with CRMC's highest priority uses for Type 1 waters and natural areas with the intention being to preserve and protect the coastal feature for restoration of the scenic value, historic significance, and public access to the shoreline of Rhode Island.

SECTION 1.2.2(D) COASTAL HEADLANDS, BLUFFS, AND CLIFFS

The coastal feature where the repairs will take place is a coastal cliff in a Coastal Natural Area, due to their well-recognized scenic value and use as tourist attractions with low intensity recreation use. The Council's goals for these areas are to:

- Protect coastal cliffs and bluffs from activities and alterations that may damage the value of these features as sources of sediment to beaches and as a buffer against storm waves and flooding;
- Prevent any construction in contiguous areas that may weaken the feature and has the potential of creating a hazard; and
- Preserve the scenic and ecological values of these features.

The activities proposed for this project will not materially alter the function of the existing rock slope. The intended purpose is to repair the damage, restore the condition present prior to the collapses, and strengthen the slope to protect against future damage, while maintaining the recognized scenic qualities.





SECTION 1.2.2(F) MANMADE SHORELINES

The public walkway atop the coastal feature where the repairs will take place lends to the CRMC designation as a Manmade Shoreline, which allows for considerable repair activities. One of the Council's goals is to "encourage maintenance of structures that effectively mitigate erosion and/or sustain landforms adjacent to the water". The proposed activities will mitigate erosion and create a shoreline that will be more resilient to future high-surf conditions.

SECTION 1.3.1(A) CATEGORY B REQUIREMENTS

The proposed reconstruction activities satisfy the basic requirements for a Category B Assent, specifically:

- a) Proposed Repair Need: The Cliff Walk pathway is a City of Newport public right-of-way that travels over private property. It is estimated on Newport's *CliffWalk.com* that a quarter million trips are made along Cliff Walk each year. The two collapsed sections have resulted in the closure of approximately 0.2-miles of the walkway and created a detour using nearby Newport streets. The proposed repair efforts will allow for the reopening of the Cliff Walk in its entirety, returning the coastal attraction to its status as a tourist favorite and further stabilizing the private lands abutting the walk.
- b) Code Satisfaction: All applicable zoning ordinances, building and design codes, flood hazard standards, all safety codes, fires codes, and environmental regulations will be met. In addition to a CRMC Assent, authorization will be obtained from RIDEM and USACE prior to commencement of construction activities. The Rhode Island Building Code does not regulate shoreline protection measures. Land based activities at the interface of the slope may require temporary soil disturbance, for which the contractor will deploy erosion controls such as straw bales, and silt fences to prevent sediment from leaving the immediate work area within the upland area. The project team will coordinate with the US Coast Guard as needed.
- c) Coastal Waters Affected: Boundaries of the proposed project are identified throughout the attached sheet set. The length of work is approximately 550 linear feet between two (2) public roadways. The proposed work is adjacent to the Atlantic Ocean.
- d) Minimal Erosion/Deposition: The construction activities are expected to protect the existing cliff and structural shoreline from damage associated with erosion, therefore not exacerbating erosion or deposition processes along the shore or in tidal waters. Minimal soil disturbance is anticipated at the landward connection area. During the construction phase, if soil disturbance on land occurs, best management practices (straw bales, silt fences) will be incorporated to minimize soil erosion and deposition. Turbidity curtain(s) are not anticipated to be necessary within the immediate work area due to the presence of bedrock and the anticipated minimal disturbance of soils within the tidal zone. Furthermore, the wave action will render the turbidity curtains ineffective and incapable of maintaining their function during construction.
- e) Minimal Impacts to Plants/Animals: Installation of the proposed repairs will not detrimentally impact existing plant and animal life. There is no eel grass, salt marsh, or submerged aquatic vegetation (SAV) in the area waters.
- f) Impacts to Public Access: Under current conditions, public access to the Cliff Walk between Webster Street and Narragansett Avenue has been prohibited. Upon project completion, the repairs will allow for the safe public passage along this portion of the Cliff Walk.
- g) Minimal Impacts to Water Circulation: The proposed repairs will not cause significant impacts to water circulation, flushing, turbidity, or sedimentation. Except for a temporary work platform, none of the components will rest on or below the water surface, and temporary impacts during construction will be limited. The primary materials to construct the temporary work platform will be excavated from the fallen debris along the bedrock slope.
- h) Minimal Water Quality Deterioration: Deterioration of water quality in the immediate vicinity of the proposed repairs is not anticipated primarily due to the presence of existing bedrock and materials consisting primarily of stone.
- i) No Historic and Archaeological Impacts: A review of available information has concluded that the area is located within The City of Newport Historic District.





- j) No Impacts to Water Dependent Uses: The area is currently being used for low impact recreation and scenic value. Activities associated with the Cliff Walk post-repairs will further reinforce these uses and have no impact on water dependent uses.
- k) No Adverse Scenic Impacts: The aesthetics of the repairs are designed to maintain the existing Cliff Walk focus on high scenic value.

SECTION 1.3.1(B) FILLING, REMOVING, OR GRADING OF SHORELINE FEATURES

The proposed activities will require filling and grading of the shoreline features. These will be the minimum necessary to stabilize the existing shoreline. Applicable sections of the most recent version of the Rhode Island Soil Erosion and Sediment Control Handbook will be followed to properly manage activities. Existing slopes will be reduced, fill material shall be clean and free of materials that may cause pollution of tidal waters, and there shall be no application, generation, and migration of toxic substances.

SECTION 1.3.1(G) SHORELINE PROTECTION

The existing conditions require that all maintenance and repair activities use structural shoreline protection methods; no reasonable or practical alternatives were identified. The proposed methods will control the erosion due to high water conditions, will not increase erosion, and will not adversely affect the stability of the shoreline on either side of the project. All shoreline protection methods will be designed and certified by a RI Professional Engineer. The attached PE stamped plan set provides the proposed maintenance details for the entire project shoreline (north of Webster Street and south of Narragansett Avenue).

SECTION 1.3.6 PROTECTION AND ENHANCEMENT OF PUBLIC ACCESS TO THE SHORE

There is currently no public access to the shoreline between Webster Street and Narragansett Avenue. Once completed, the repairs will allow the previously permitted public access to the shoreline.

The Rhode Island Building Code does not regulate shoreline protection measures and as such, it is our belief that a letter from the State Building Commission is not needed. A completed application form is attached to this narrative.

USACE Rhode Island Individual Permit

We believe the proposed project will need a USACE Individual Permit due to the large section of shoreline to be maintained. The current estimate is that approximately 18,242 square feet (SF) of permanent impacts will occur in Rhode Island tidal waters (below high tide line). Under the RI General Permit (GP) No. 2 – *Repair or Maintenance of Existing Currently Serviceable, Authorized, or Grandfathered Structures and Fills, Removal of Structures*, the limit is 1,000 SF for the Self-Verification Process and 5,000 SF under the Pre-Construction Notification process.

As noted above, the proposed maintenance activities will occur along approximately 550 linear feet of shoreline. There is no evidence of eel grass, salt marsh, or SAV in the area waters. The intention of the proposed repairs is for the majority of the project to be constructed above the mean high-water line.

This project is not anticipated to impact aquatic life movements or water flows in Narragansett Bay, nor create any discharges of pollutants. An application with RIDEM for a Water Quality Certificate has been included in this package. Furthermore, aside from the temporary work platform, this project does not require any in-water excavating, dredging, or filling, and is not expected to impact potential fish habitat. Temporary impacts will be minimized to the extent possible. Any impacts related to erosion and sedimentation in upland areas (where the slope connects to the walkway) will be mitigated utilizing a perimeter straw wattle barrier. The repairs will not create new impervious surfaces along the shoreline; therefore, treatment of stormwater runoff will not be required. The proposed repairs represent a single and complete project and do not depend on any upland activities. This project is not located on a property owned by the USACE nor will it impact property or easements owned by the USACE. There is no Federally maintained channel in



the area. There will be no impact on navigation. The project team will coordinate with the United States Coast Guard, as needed, to address aids to navigation that may be required. The overall project impacts are as follows:

Proposed Fill Below High Tide Line	
Area of Fill Discharged	18,242 SF
Seaward Extent of Stones	15 to 39 FT
Range of Stone Size	2.8 to 6.1 FT

Once this project has obtained authorization from the regulatory agencies, copies of the permits/approvals will be kept onsite during construction. Individual Permit documentation will be submitted via the USACE RRS Online Platform.

RIDEM Water Quality Certification

RIDEM classifies the coastal waters in this area (RI00010042C-02) as an SA water body. SA waterbodies are designated for primary and secondary contact recreational activities, fish and wildlife habitat, and shellfish and fish consumption. There are no vegetated wetlands adjacent to the water body's edge in the area of proposed construction.

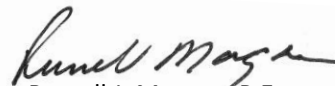
The proposed limit of work is greater than 1-acre. There will be grading and permanent changes within the limit of work area. Infiltration of precipitation will not be altered. There will be no storage of uncovered materials that may contaminate runoff. The project will not create any additional impervious surface requiring stormwater treatment. We do not anticipate any soil disturbance on land and sediment disturbance will be minimized to the extent possible. We believe this project will not adversely impact the water quality of Narragansett Bay.

We are hopeful that this combined permit application package provides the necessary information and serves to keep all environmental permitting agencies "in the loop" with one another. If you have any questions or need additional information, please contact Timothy Smith at timothy.smith@gza.com or 401-427-2756.

Very truly yours,

GZA GEOENVIRONMENTAL, INC.


Timothy Smith, P.E.
Project Manager


Russell J. Morgan, P.E.
Consultant/Reviewer


Matthew Page, P.E.
Principal

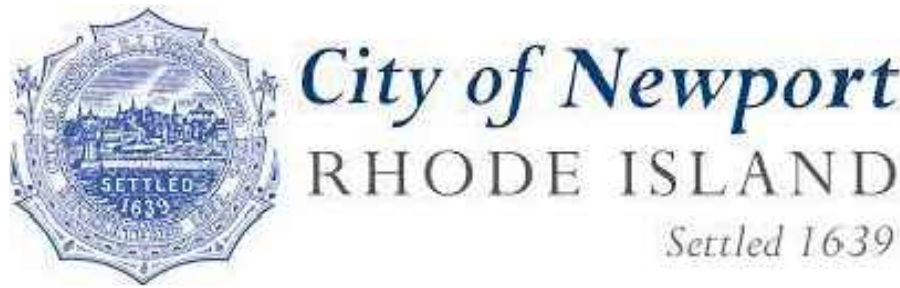


NEWPORT CLIFF WALK REPAIR

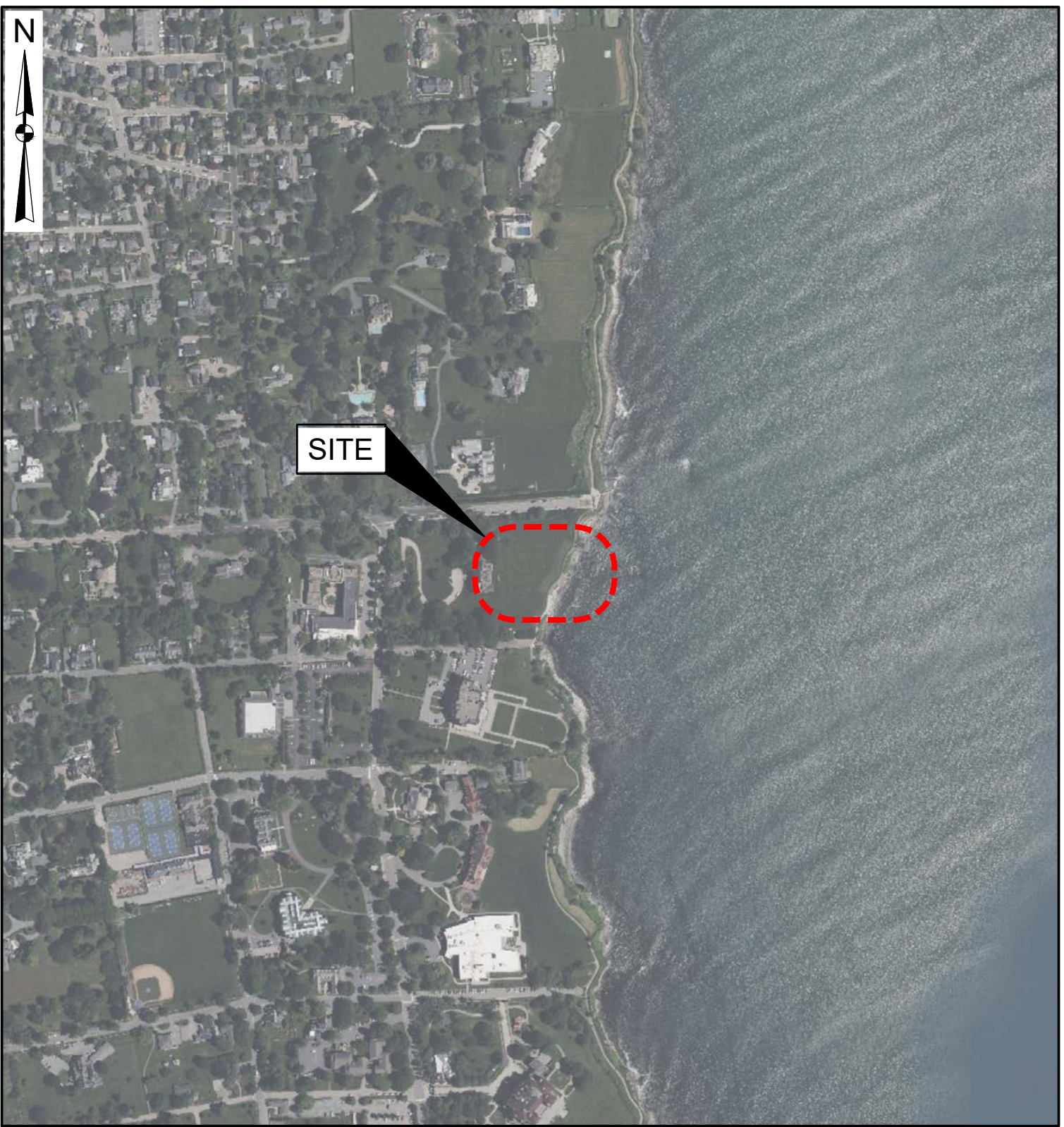
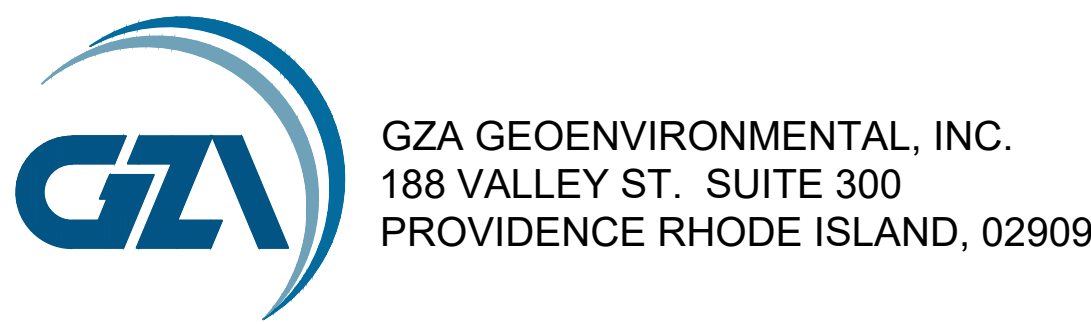
NEWPORT, RHODE ISLAND

DECEMBER, 2025

PREPARED FOR:



DESIGNED BY:



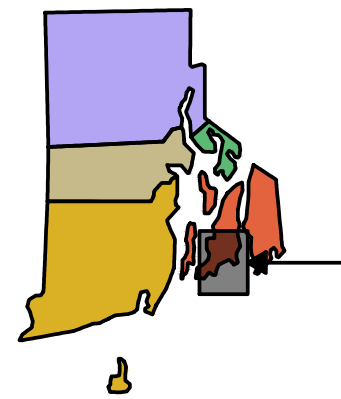
INDEX OF DRAWINGS

SHEET No.	SHEET TITLE
GENERAL	
1	COVER SHEET AND INDEX OF DRAWINGS
2	GENERAL NOTES AND LEGENDS
CIVIL	
3	EXISTING CONDITIONS PLAN
4	EXISTING CONDITIONS SECTIONS (SHEET 1 OF 3)
5	EXISTING CONDITIONS SECTIONS (SHEET 2 OF 3)
6	EXISTING CONDITIONS SECTIONS (SHEET 3 OF 3)
7	SUBSURFACE EXPLORATION PROFILES
8	TEMPORARY CONTROLS PLAN
9	TEMPORARY CONTROLS DETAILS
10	TRAFFIC CONTROLS PLAN
11	DEMOLITION PLAN
12	DEMOLITION SECTIONS
13	PROPOSED CONDITIONS PLAN
14	FINAL - RESTORATION PLAN
15	TYPICAL REVETMENT CONSTRUCTION PHASING
16	PROPOSED CONDITIONS SECTIONS (SHEET 1 OF 3)
17	PROPOSED CONDITIONS SECTIONS (SHEET 2 OF 3)
18	PROPOSED CONDITIONS SECTIONS (SHEET 3 OF 3)
19	TYPICAL REPAIR PLAN - ELEVATION
20	REPAIR DETAILS AND ELEVATION
21	STONE STRONG BLOCK DETAILS

PROJECT LOCUS MAP

SOURCE: BASE MAP FROM THE FOLLOWING USGS QUADRANGLE MAP:
NEWPORT, RI (2021)
DIGITAL TOPOGRAPHIC MAPS PROVIDED BY USGSSTORE.GOV.
CONTOUR ELEVATIONS REFERENCE NAVD 88,
CONTOURS ARE SHOWN IN FEET AT 10 FOOT INTERVALS

RHODE ISLAND



PROJECT VICINITY MAP

AERIAL BASE MAP DEVELOPED FROM AN ELECTRONIC
IMAGE FILE PROVIDED BY MICROSOFT CORPORATION /
DIGITAL GLOBE / CNES DISTRIBUTION AIRBUS DC IN 2018.



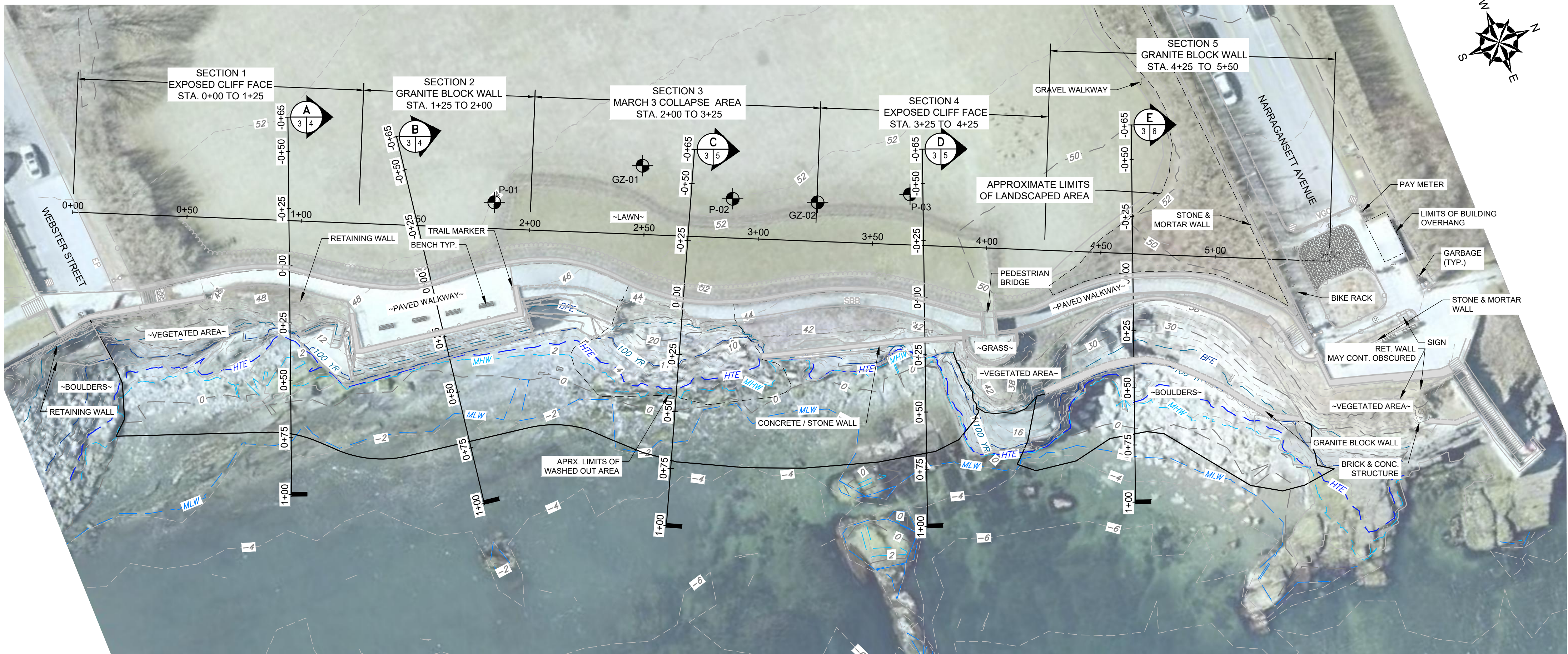
PERMITTING ONLY
NOT FOR CONSTRUCTION

1. ELEVATIONS ARE IN FEET AND REFERENCE NAVD 88 DATUM: MLW=-1.90, MHW = +1.57, FEMA 100-YEAR FLOOD = 10.60 (ZONE AE).
2. CRMC WATER TYPE DESIGNATION IS TYPE 3.
3. LIMITED TOPOGRAPHIC SURVEY PERFORMED BY DOUCET LAND SURVEYORS AND PROVIDED TO GZA.
4. THE SUBJECT PROPERTY DEPICTED HEREON APPEARS TO BE WITHIN FEMA FLOODZONES VE PER FEMA FLOOD INSURANCE RATE MAP 44009C0211J, DATED SEPTEMBER 4, 2023.
5. THE LOCATION OF EXISTING STRUCTURES ON ABUTTING PROPERTIES WERE APPROXIMATED USING DIGITAL AERIAL ORTHOPHOTOGRAPHY.
6. CRMC ASSENT REQUIREMENTS/STIPULATIONS ARE CONSIDERED PART OF THE CONTRACT.

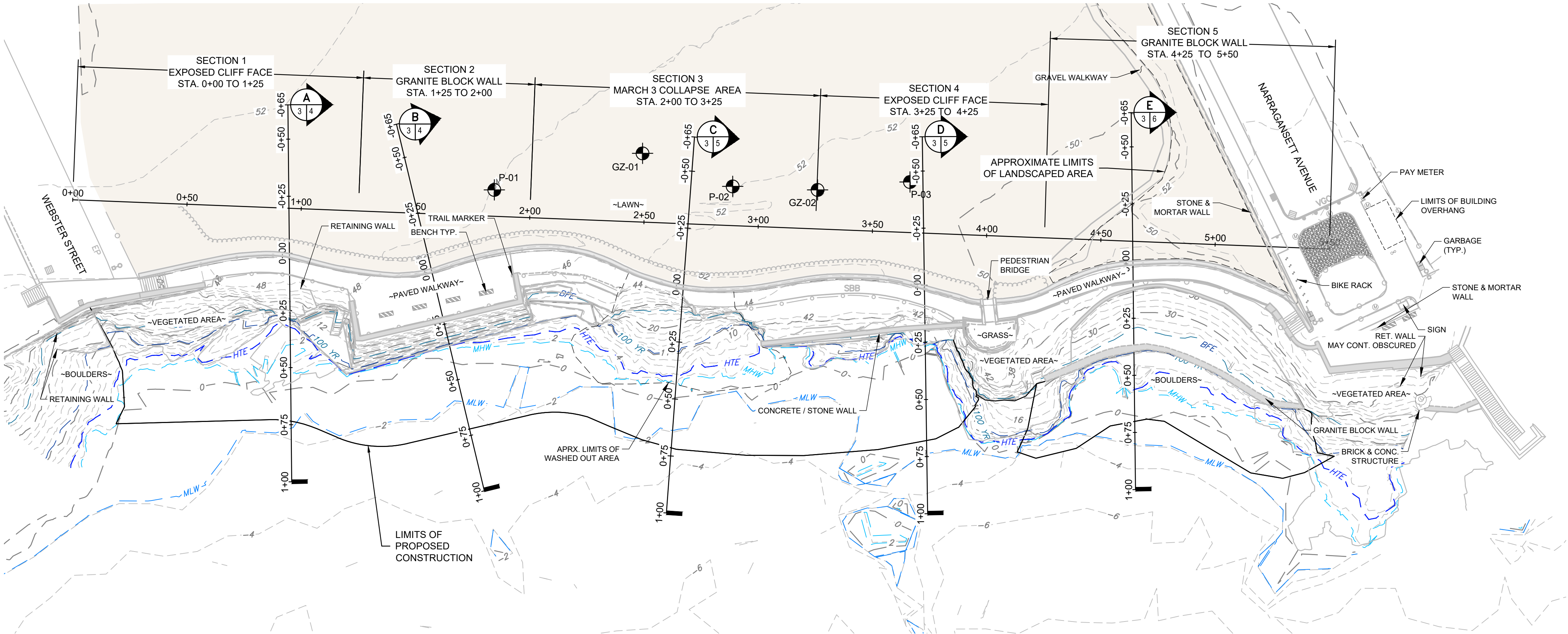
1. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY CONSTRUCTION FENCES AND BARRIERS AROUND THE CONTRACTOR WORK AREA. THE CONTRACTOR SHALL COORDINATE ACCESS AND BARRIERS WITH THE CITY OF NEWPORT AND OCHE POINT PROPERTY.
2. ALL EROSION CONTROL MEASURES SHALL BE PUT INTO PLACE PRIOR TO THE START OF CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL COMPLETION OF THE PROJECT. EROSION AND SEDIMENTATION CONTROLS SHALL BE INSPECTED AND MAINTAINED AFTER EACH RAIN EVENT AND REPLACED AS NECESSARY DURING PROJECT CONSTRUCTION.
3. DEBRIS AND OIL ABSORBENT TURBIDITY BOOMS SHALL BE PLACED AROUND THE LIMIT OF WORK. DEBRIS SHALL BE REMOVED DAILY.
4. TEMPORARY CONTROLS SHALL BE INSTALLED, AS SHOWN ON THE DRAWINGS AND IN ACCORDANCE WITH PERMIT REQUIREMENTS AND SECTION 01 57 00- TEMPORARY CONTROLS. PRIOR TO THE START OF WORK AND BE MAINTAINED THROUGHOUT CONSTRUCTION.
5. STANDARD DUST CONTROL MEASURES, INCLUDING THE USE OF WATER MIST AND OTHER SUITABLE METHODS TO LIMIT THE SPREAD OF DUST SHALL BE USED. AS NECESSARY, TO COMPLY WITH GOVERNING ENVIRONMENTAL PROTECTION REGULATIONS. DO NOT USE WATER WHERE IT MAY CREATE HAZARDOUS OR OBJECTIONABLE CONDITIONS SUCH AS ICE, FLOODING, AND POLLUTION. CALCIUM CHLORIDE SHALL NOT BE ALLOWED IN ANY ARE IN THE OCHE POINT YARD. DUST CONTROL SHALL BE PERFORMED USING WATER ONLY.
6. ALL MATERIAL REMOVED AND NOT REUSED SHALL BECOME THE PROPERTY OF THE OWNER AND SHALL BE REMOVED DAILY FROM THE SITE OR PROPERLY STORED AT AN APPROVED LOCATION ON SITE. REMOVED MATERIAL SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL LAWS.
7. STOCKPILE ALL REMOVED SOIL ON SITE OR AT A LOCATION DIRECTED BY THE OWNER FOR RE-USE.

SHEET NO. 2 OF 2

© 2025 - GZA GeoEnvironmental, Inc. GZA--\\GEO\33884.01\TWS\GAD\CURRENT\PLANS\100% DESIGN\12-25\3_EXISTING CONDITIONS PLANDWG 3_EXISTING CONDITIONS PLAN November 25, 2025 GARY BASTIEN



AERIAL SITE PLAN



EXISTING CONDITIONS PLAN
SCALE: 1"=30'

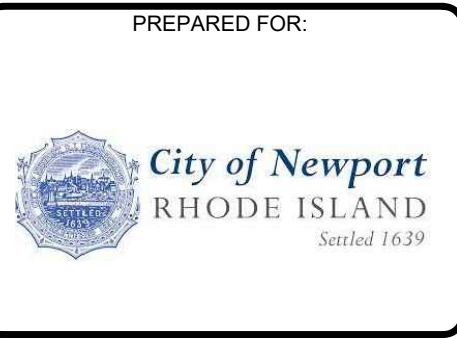
NOTES

1. BASE MAP DEVELOPED FROM AERIAL PHOTOGRAMMETRY DATA AND ELECTRONIC DRAWING FILE "7318A 2022-06-02" PREPARED BY DOUCET LAND SURVEYORS AND PROVIDED TO GZA.
2. ALL ELEVATIONS REFERENCE NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88).

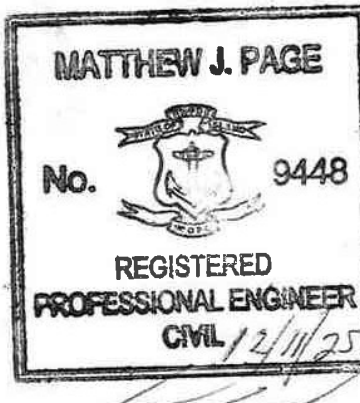
LEGEND

- INDICATES BORINGS/PROBES PERFORMED BY NEW ENGLAND BORING AND OBSERVED BY GZA PERSONNEL.
- RETAINING WALL
- CHAIN LINK FENCE
- HANDRAIL
- SHRUB LINE
- MAJOR CONTOUR 10 FOOT INTERVAL
- MINOR CONTOUR 2 FOOT INTERVAL
- TOPSOIL BEHIND WALL

INDEX CONTOUR ELEVATIONS		
DESCRIPTION	ELEVATION	CONTOUR
FEMA BASE FLOOD ELEVATION	25.00	BFE
100 YEAR STILL WATER	10.60	100 YR
HIGH TIDE ELEVATION	3.15	HTE
MEAN HIGH WATER	1.57	MHW
MEAN LOW WATER	-1.90	MLW



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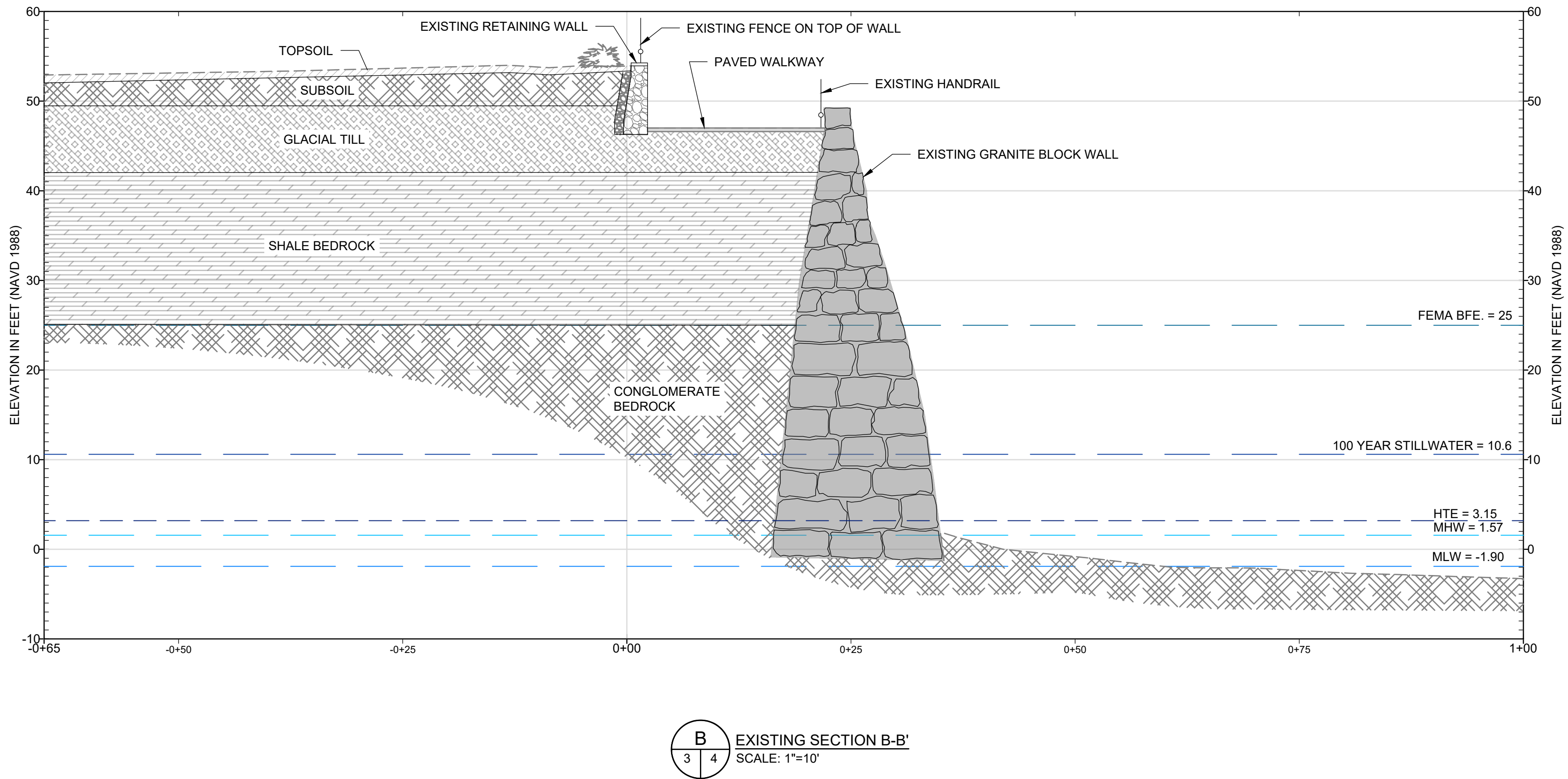
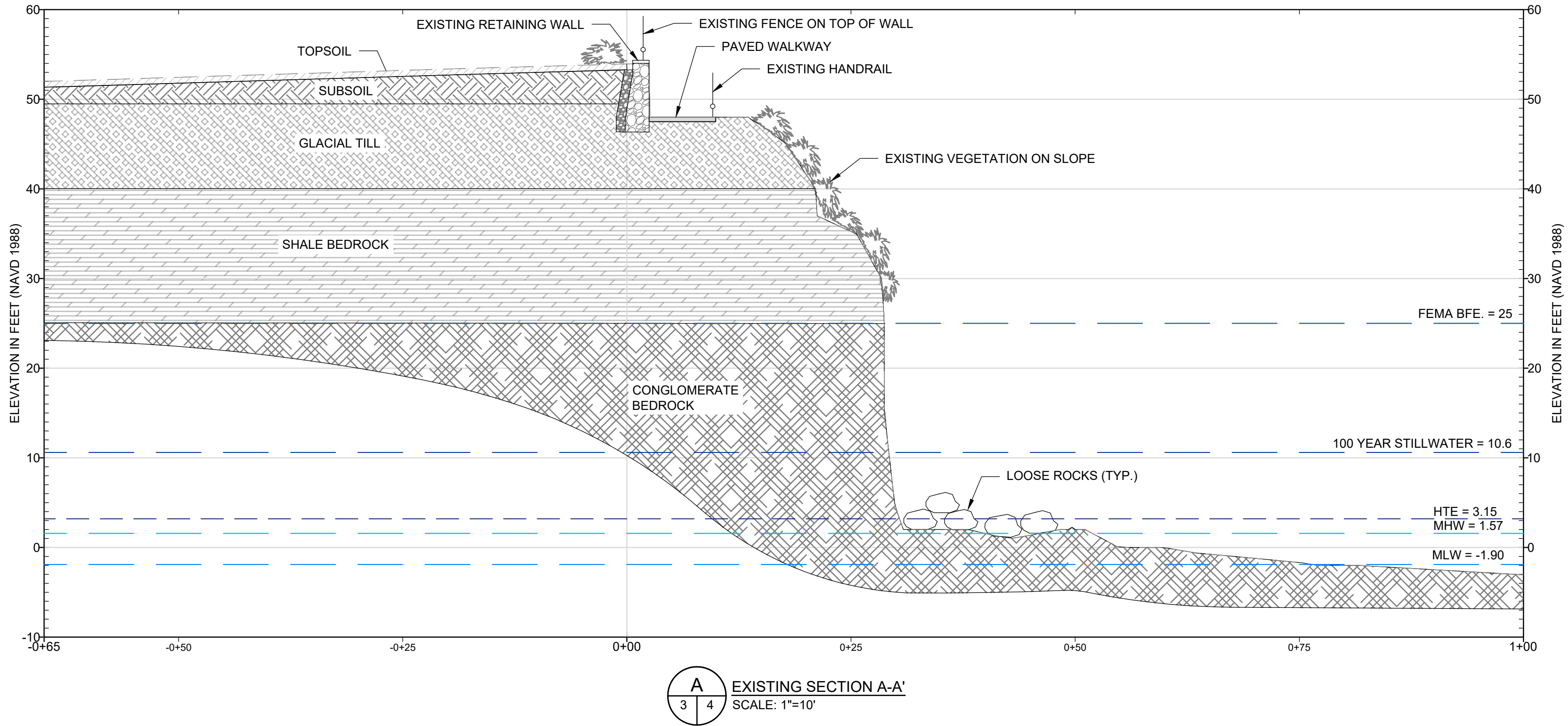
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DATE:	DECEMBER, 2025
PROJECT MGR:	TWS
DESIGNED BY:	SAB
DRAWN BY:	GRB
CHECKED BY:	TWS
REVIEWED BY:	MJP
SCALE:	AS NOTED
REVISION NO.	

NEWPORT CLIFF WALK REPAIR
NEWPORT, RHODE ISLAND

EXISTING CONDITIONS PLAN

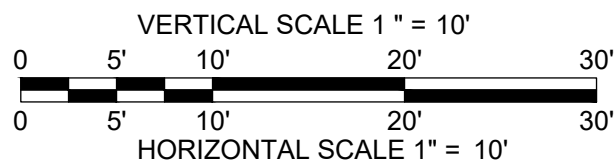
DRAWING
3
SHEET NO. 3 OF 21

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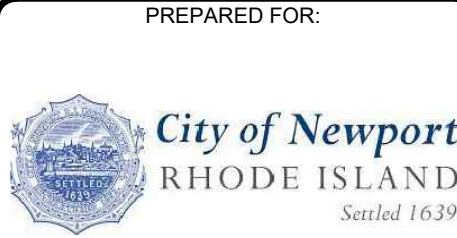


NOTE:

1. LIMITS OF SLOPE MAY VARY. CONTRACTOR SHALL VERIFY IN FIELD. DRAWINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY.
2. SUBSURFACE LAYERING IS APPROXIMATE BASED ON INTERPOLATION FROM NEARBY BORINGS AND VISUAL OBSERVATIONS. VERIFY IN FIELD



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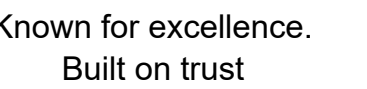
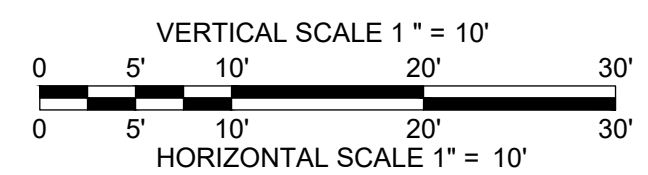
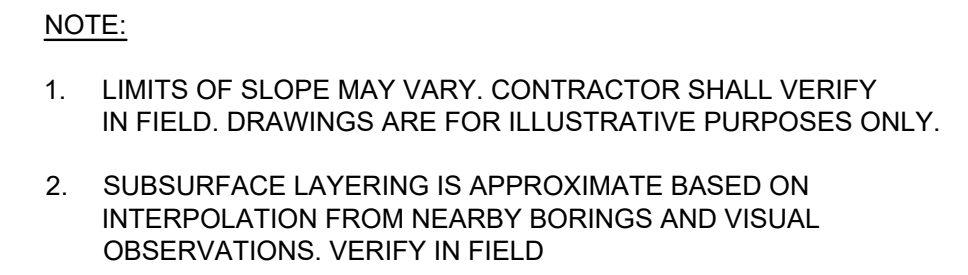
NEWPORT CLIFF WALK REPAIR
NEWPORT, RHODE ISLAND

EXISTING CONDITIONS SECTIONS
(SHEET 1 OF 3)

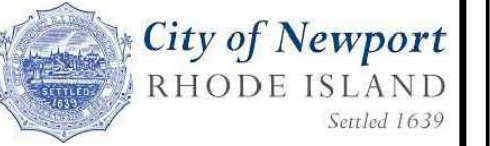
DRAWING

4

SHEET NO. 4 OF 21



REPREPARED FOR:



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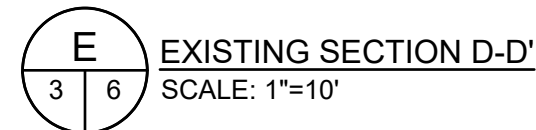
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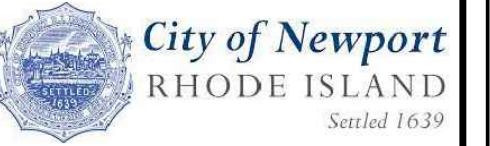
NEWPORT CLIFF WALK REPAIR
NEWPORT, RHODE ISLAND

**EXISTING CONDITIONS SECTIONS
(SHEET 2 OF 3)**

DRAWING
5
SHEET NO. 5 OF 21



1. LIMITS OF SLOPE MAY VARY. CONTRACTOR SHALL VERIFY IN FIELD. DRAWINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY.
2. SUBSURFACE LAYERING IS APPROXIMATE BASED ON INTERPOLATION FROM NEARBY BORINGS AND VISUAL OBSERVATIONS. VERIFY IN FIELD

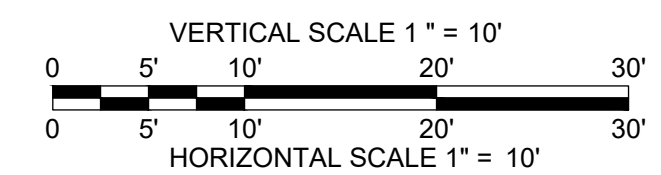


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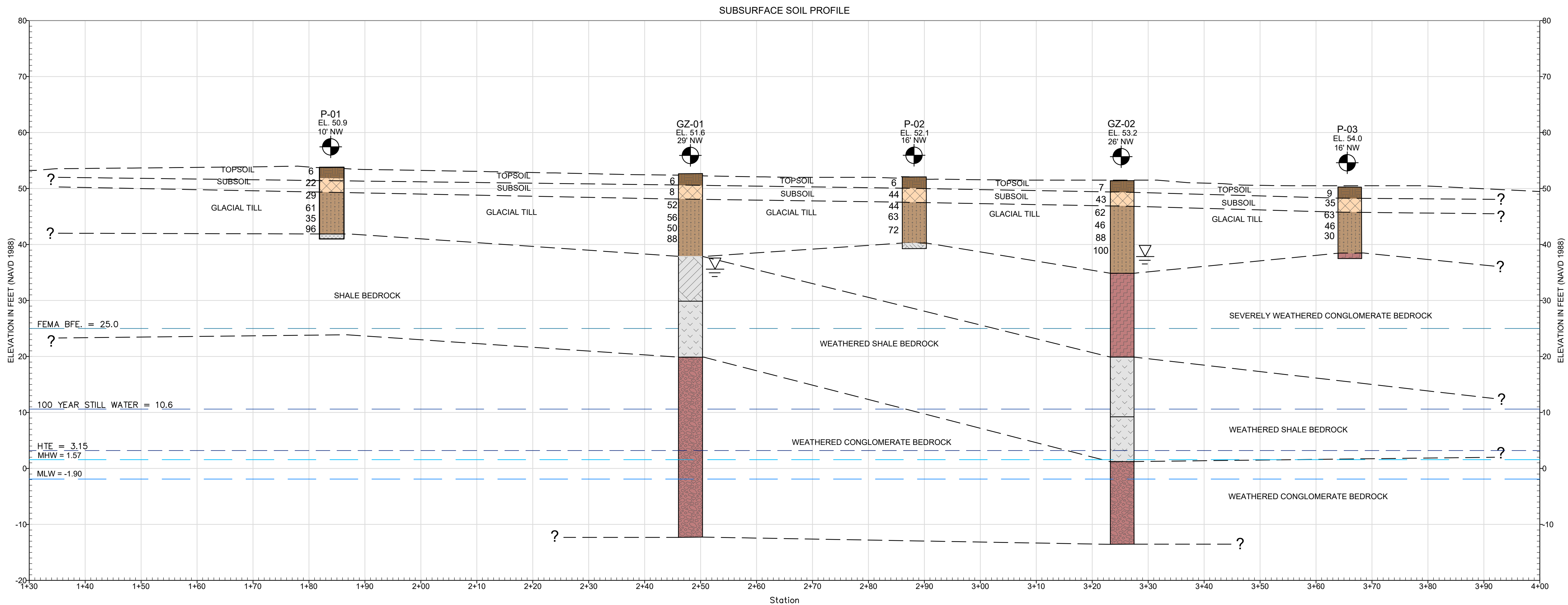
**EXISTING CONDITIONS SECTIONS
(SHEET 3 OF 3)**

SHEET NO. 6 OF 21

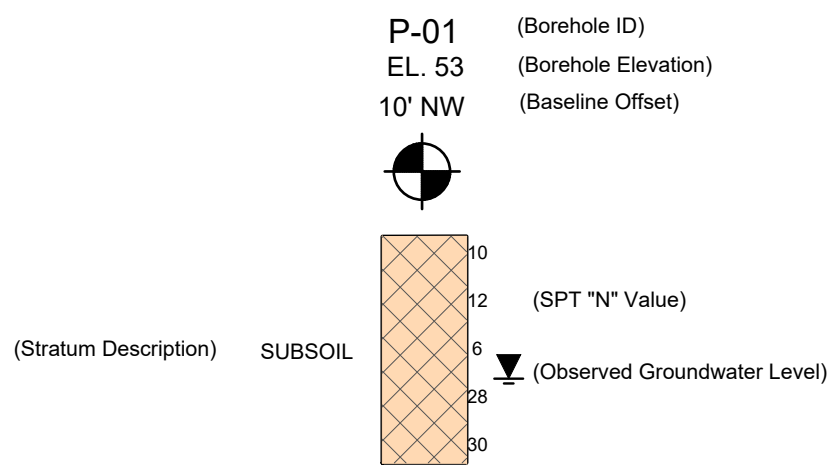


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MANAGEMENT COUNCIL
COASTAL RESOURCES
RECEIVED
12/29/2025



BOREHOLE LEGEND

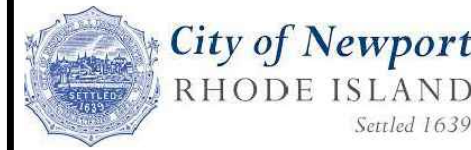


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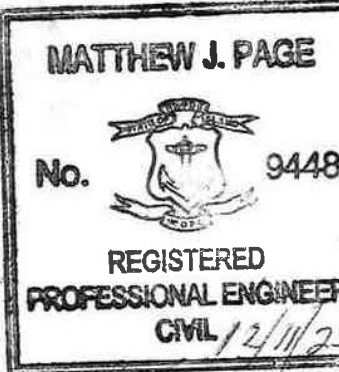
- STRATIFICATION LINES ARE INTERPOLATIONS BASED ON WIDELY SPACED BORING LOCATIONS AND THUS REPRESENT THE APPROXIMATE BOUNDARIES BETWEEN SOIL TYPES. ACTUAL TRANSITIONS MAY VARY FROM THOSE SHOWN.
- REFER TO DRAWING C-1 FOR BORING LOCATIONS.



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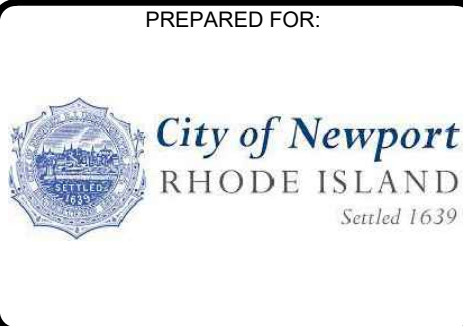
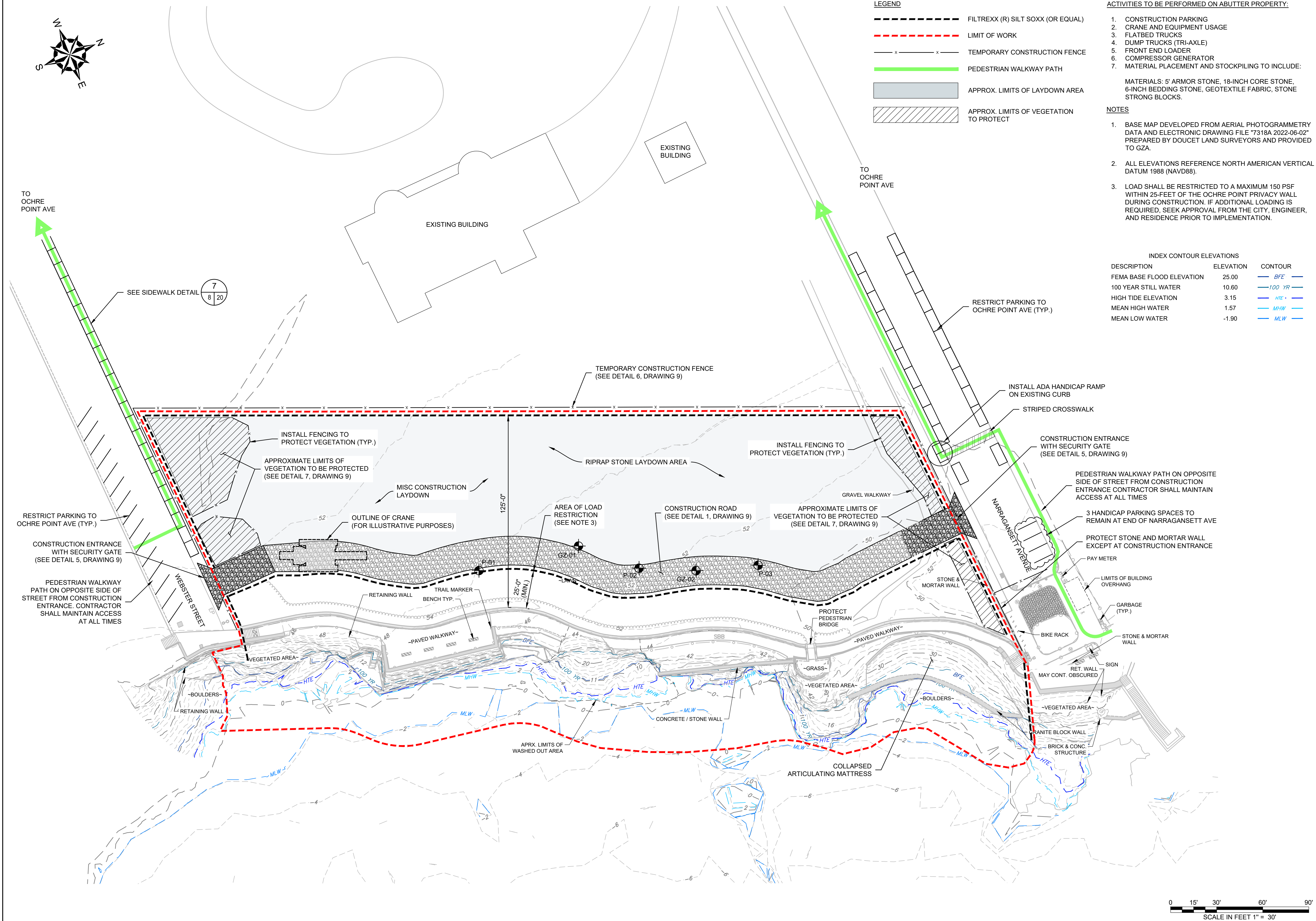
NEWPORT CLIFF WALK REPAIR
NEWPORT, RHODE ISLAND

SUBSURFACE EXPLORATION PROFILES

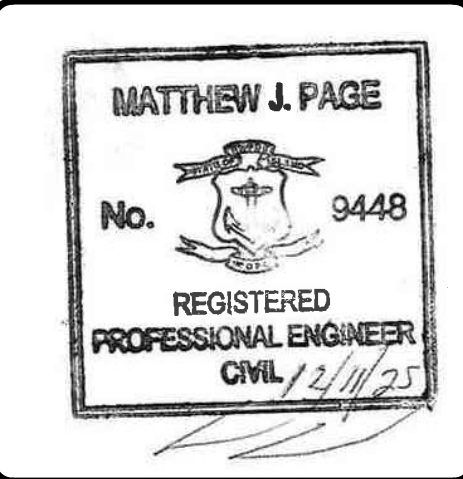
DRAWING

7

SHEET NO. 7 OF 21



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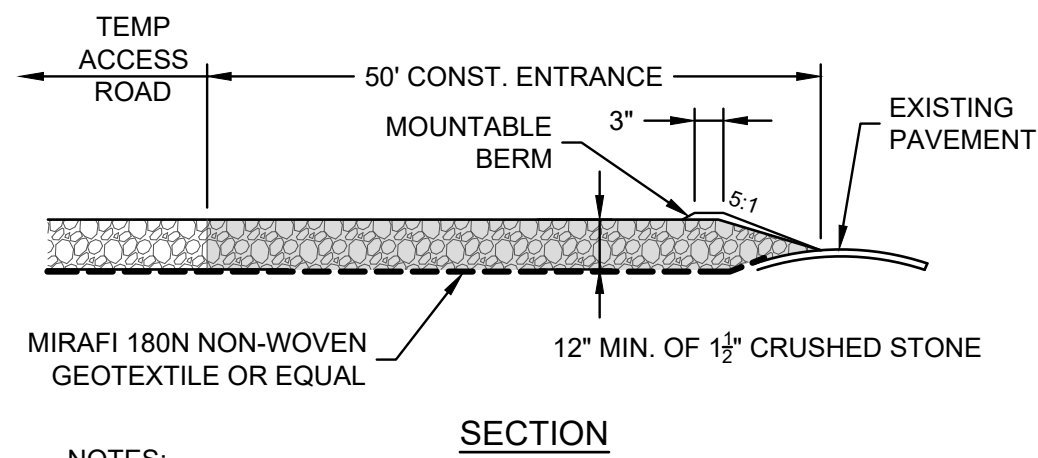
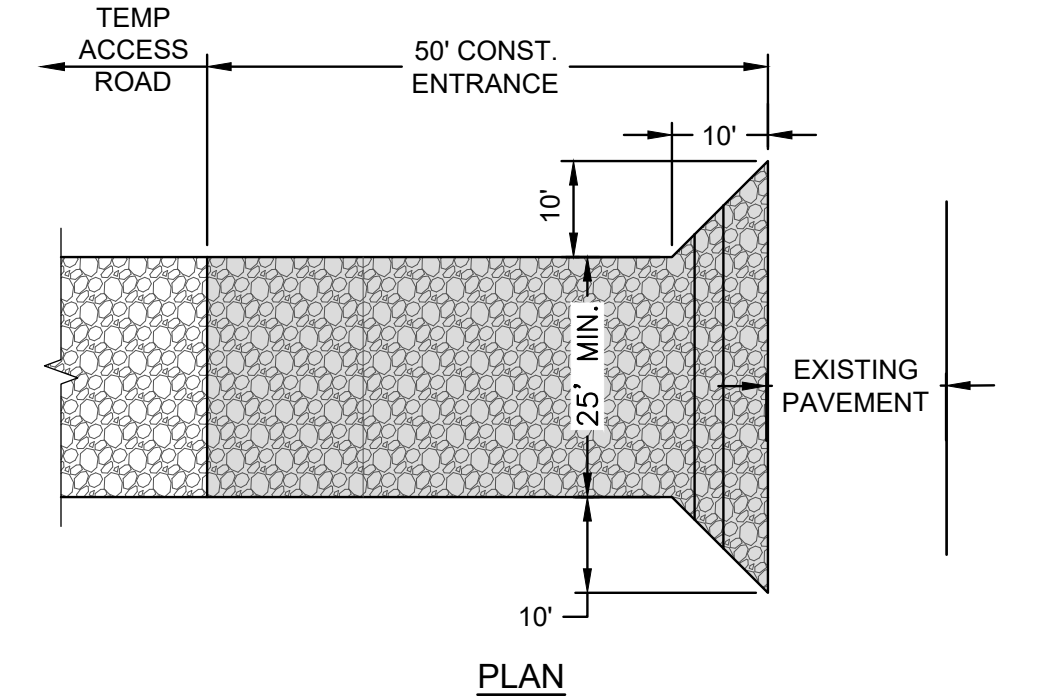
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NEWPORT CLIFF WALK REPAIR
NEWPORT, RHODE ISLAND

TEMPORARY CONTROLS PLAN

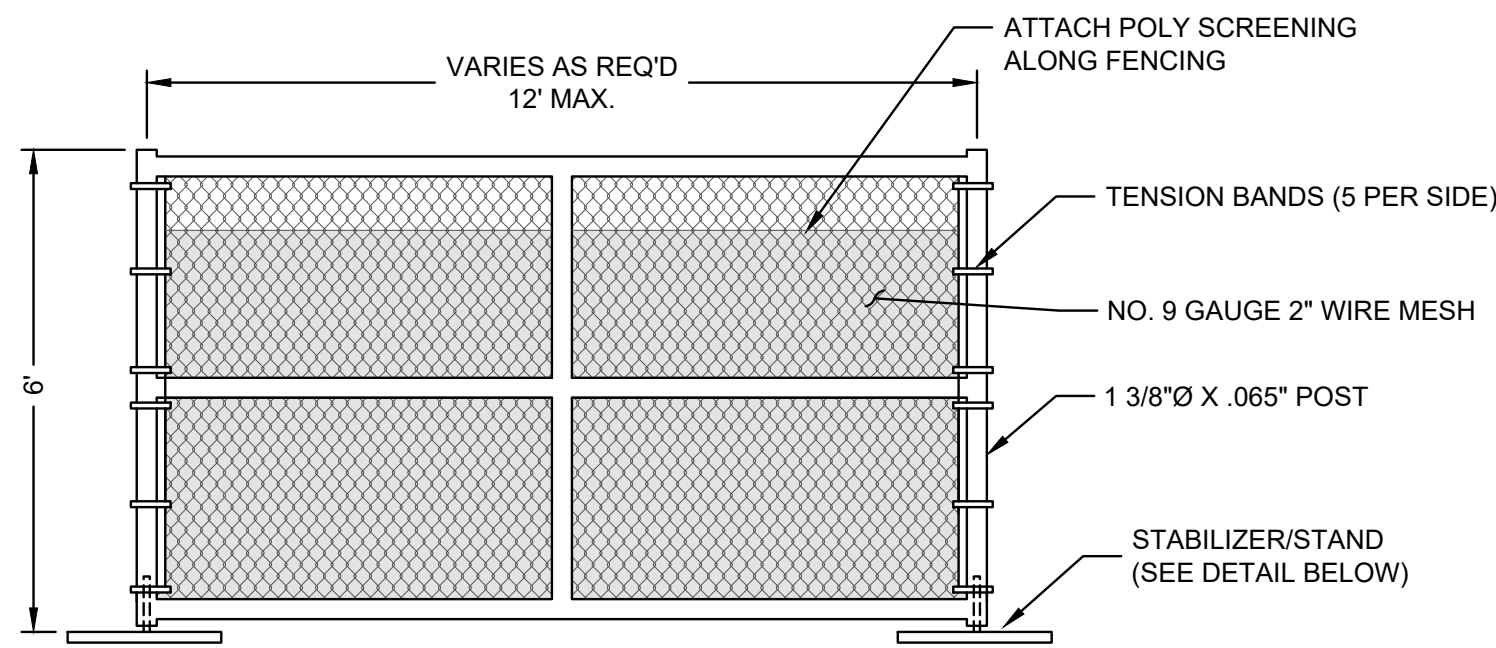
DRAWING
8
SHEET NO. 8 OF 21



NOTES:

- ENTRANCE WIDTH SHALL BE TWENTY-FIVE (25) FEET MINIMUM.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING AND ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED BY CONTRACTOR.

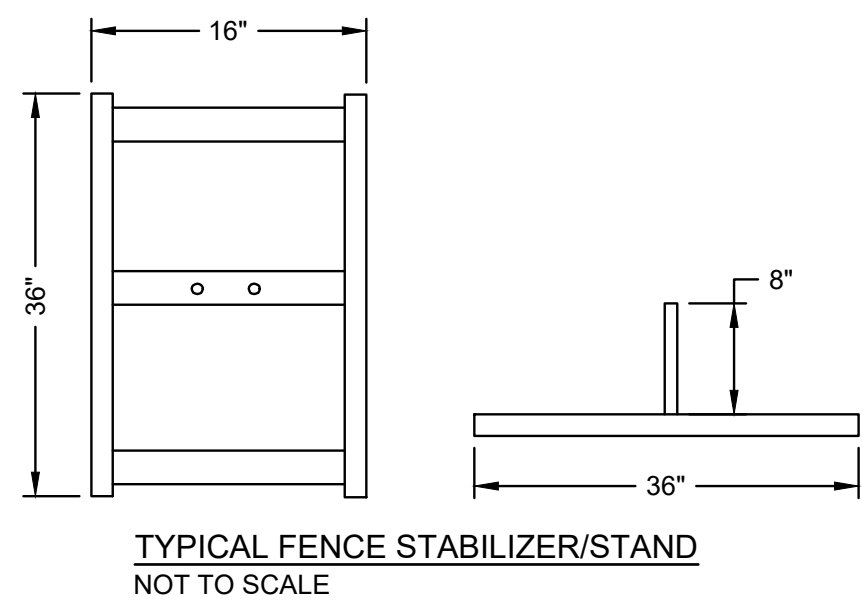
1 TEMPORARY CONSTRUCTION ENTRANCE / EXIT / WHEEL WASH STATION AND TEMPORARY ACCESS ROAD
8 9 NOT TO SCALE



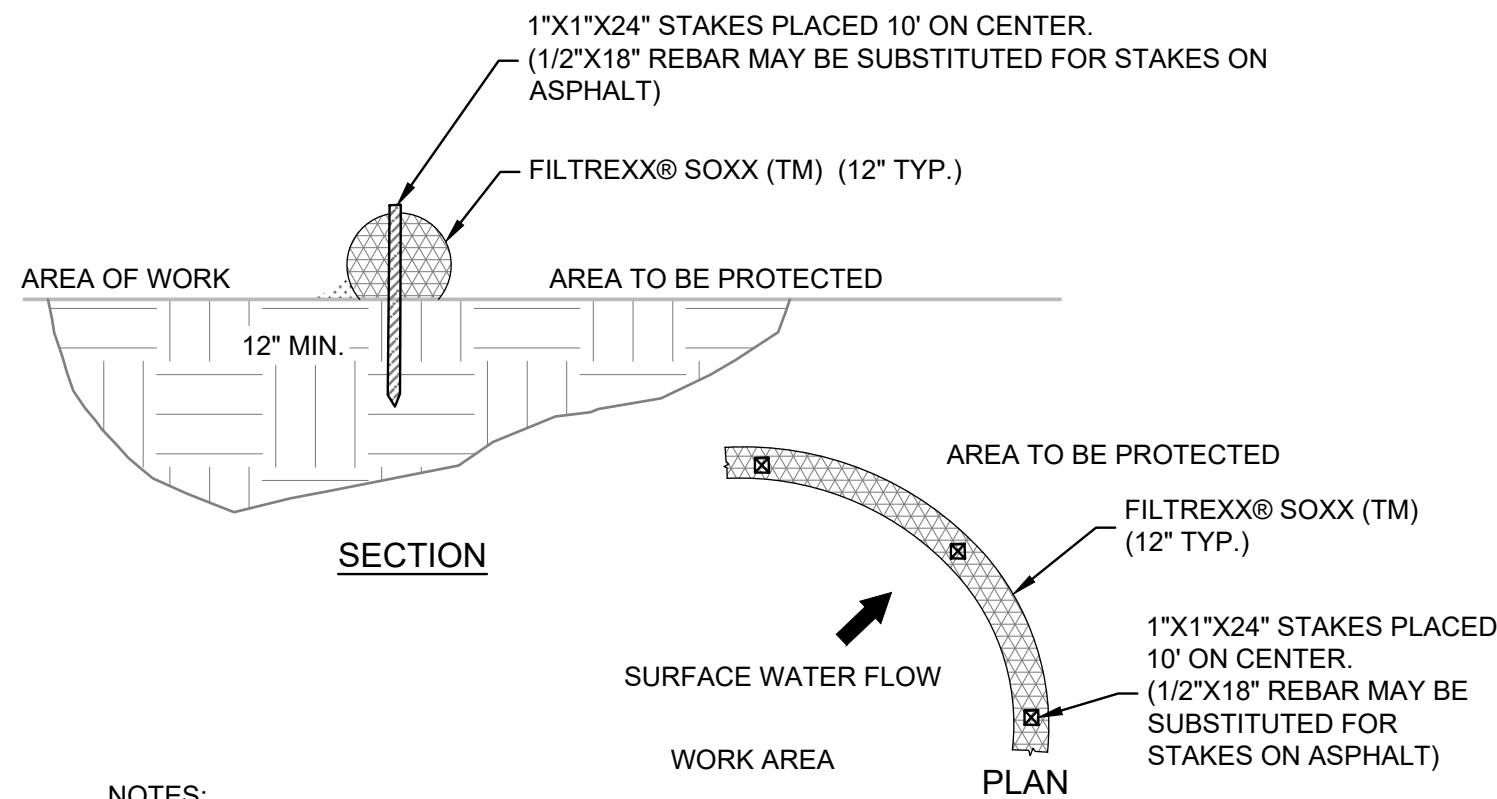
TEMPORARY CONSTRUCTION FENCING NOTES:

- FENCES SHALL BE CONSTRUCTED WITH A TOP AND BOTTOM RAIL.
- GATES MUST REMAIN IN GOOD WORKING ORDER AND MUST BE CLOSED AND SECURED DURING NON-WORKING HOURS.
- GATES SHALL BE CONSTRUCTED SO THAT THEY SWING IN TOWARDS THE CONSTRUCTION SITE.
- GATES MUST BE CONSTRUCTED WITH THE SAME DESIGN CHARACTERISTICS AS THE TEMPORARY CONSTRUCTION FENCE.
- FABRIC SHALL BE ANCHORED IN EACH GROMMET WITH ALUMINUM TIES.

6 TYPICAL TEMPORARY CONSTRUCTION FENCE PANEL
8 9 NOT TO SCALE



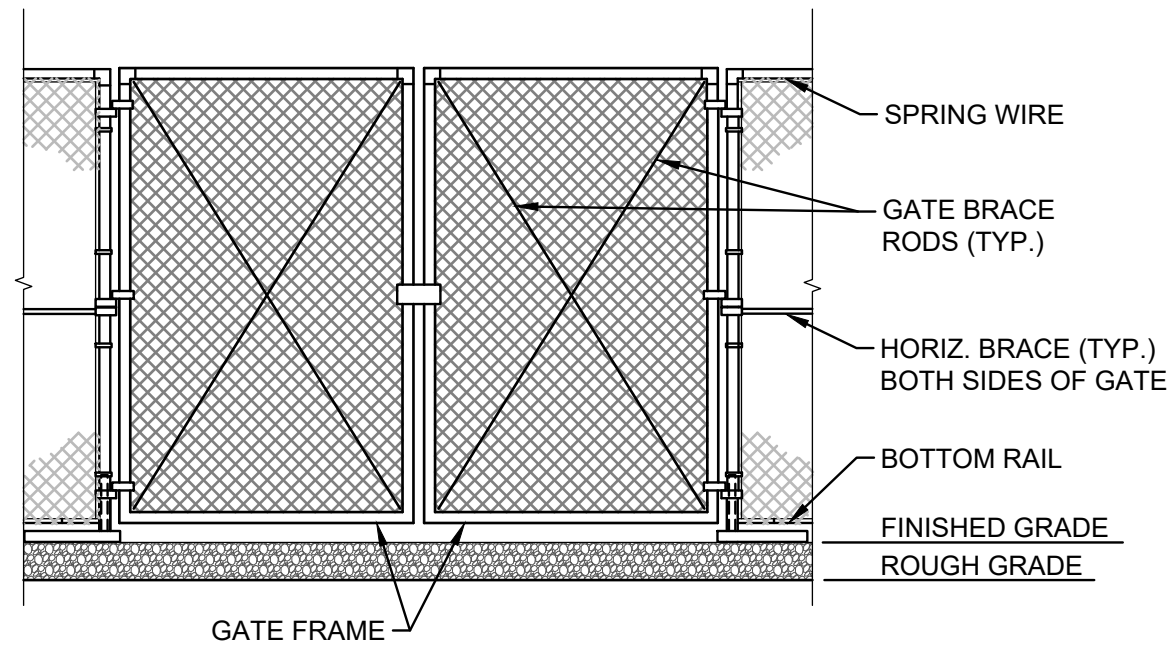
TYPICAL FENCE STABILIZER/STAND
NOT TO SCALE



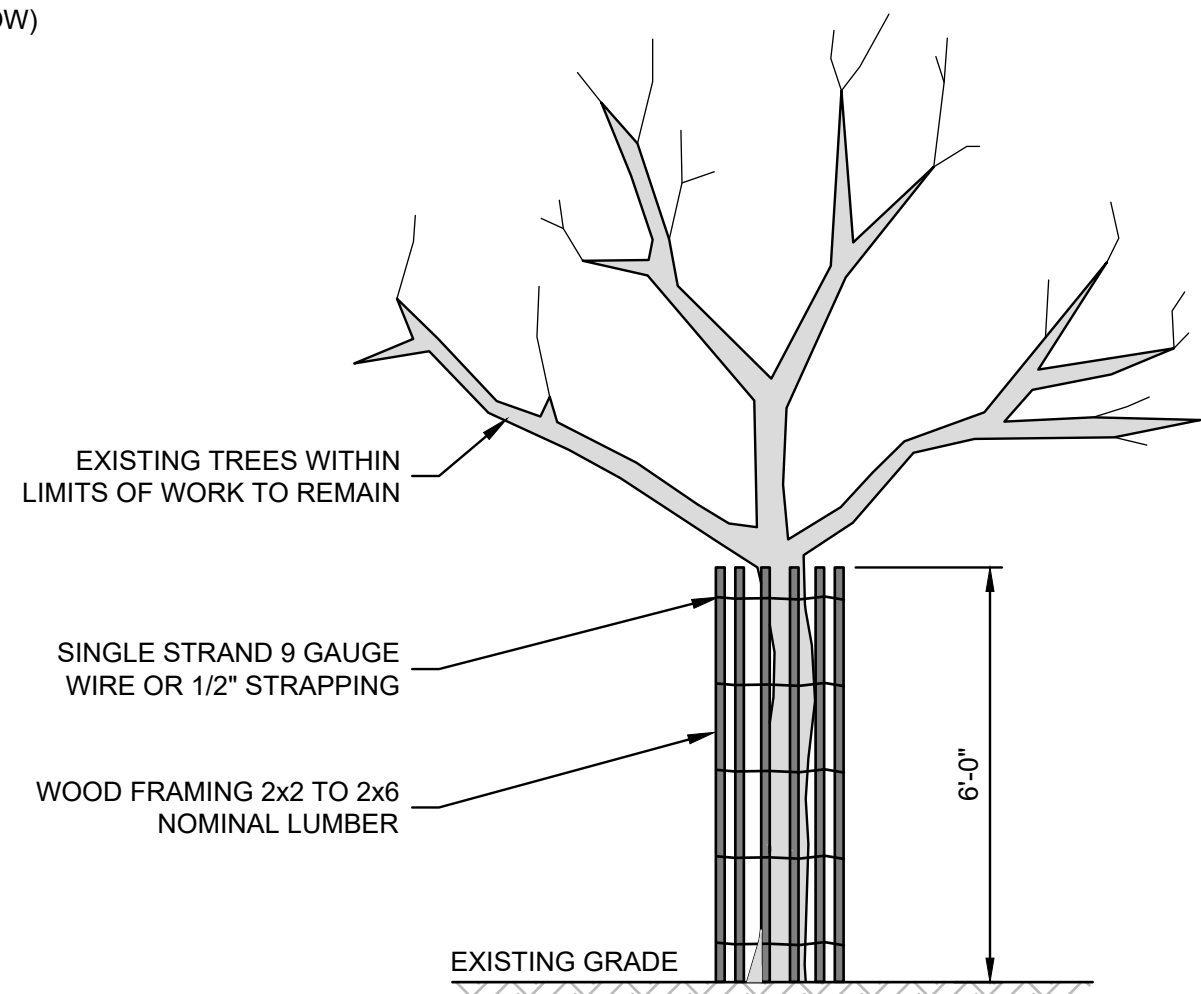
NOTES:

- ALL MATERIAL TO MEET FILTREXX® SPECIFICATIONS.
- STAKES/REBAR PINS SHALL HAVE PROTECTIVE CAPS INSTALLED TO PREVENT FALL INJURY.

2 FILTREXX® SOXX SEDIMENT CONTROL DETAIL
8 9 NOT TO SCALE

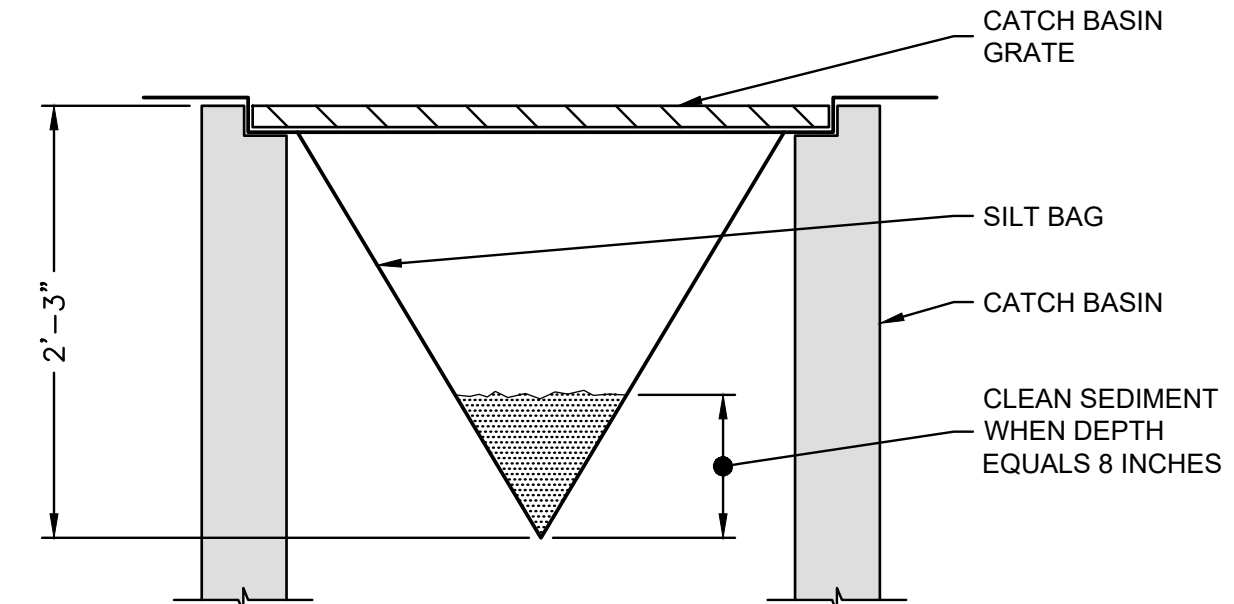


5 TYPICAL TEMPORARY CONSTRUCTION DOUBLE SWING GATE
8 9 NOT TO SCALE



NOTE:
THIS DETAIL SHALL BE USED TO PROTECT THE TREE'S TRUNK IN SITUATION WHERE CONSTRUCTION IS WITHIN CLOSE PROXIMITY, OR OTHERWISE NOTED HEREIN AS PROTECTED TREE

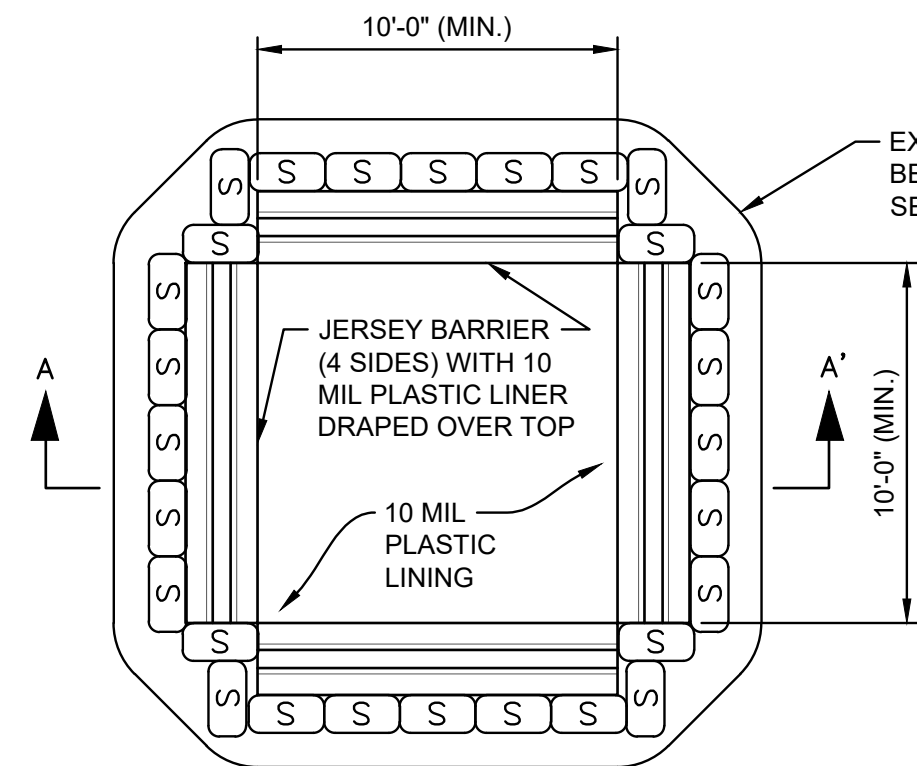
7 TREE PROTECTION DEVICE
8 9 NOT TO SCALE



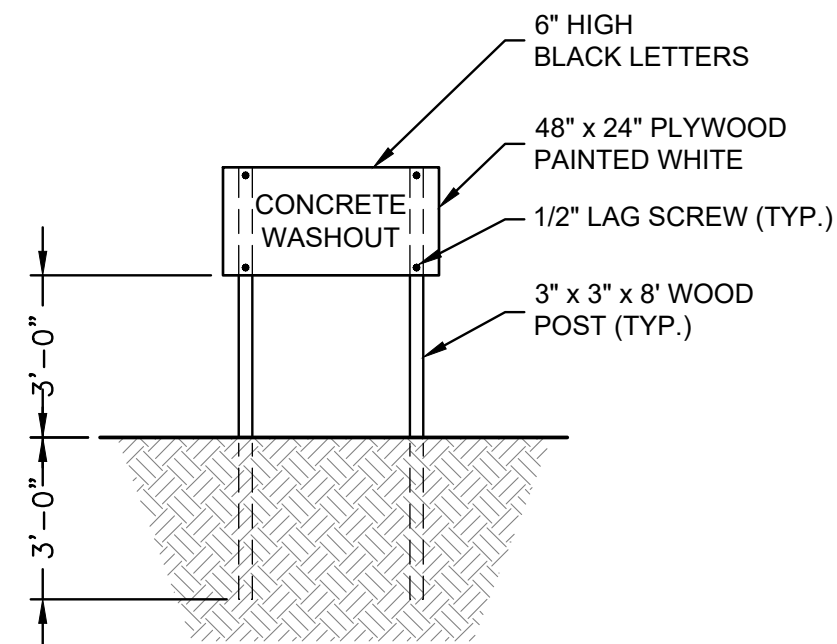
NOTES:

- SEDIMENT BAG INLET PROTECTION TO BE SILT SACK MANUFACTURED BY ATLANTIC CONSTRUCTION FABRICS INC. RICHMOND, VA OR APPROVED EQUAL.
- STORM WATER CATCH BASINS OR DRAINS SHALL BE PROTECTED FROM MATERIALS RUN-OFF. CONTRACTOR SHALL INSTALL SILT SACKS WITHIN EACH CATCH BASIN IN THE VICINITY OF ANY WORK AREAS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR SHALL USE ALL BMP'S NECESSARY TO PROTECT THESE INLETS FROM SEDIMENT AND DEBRIS.

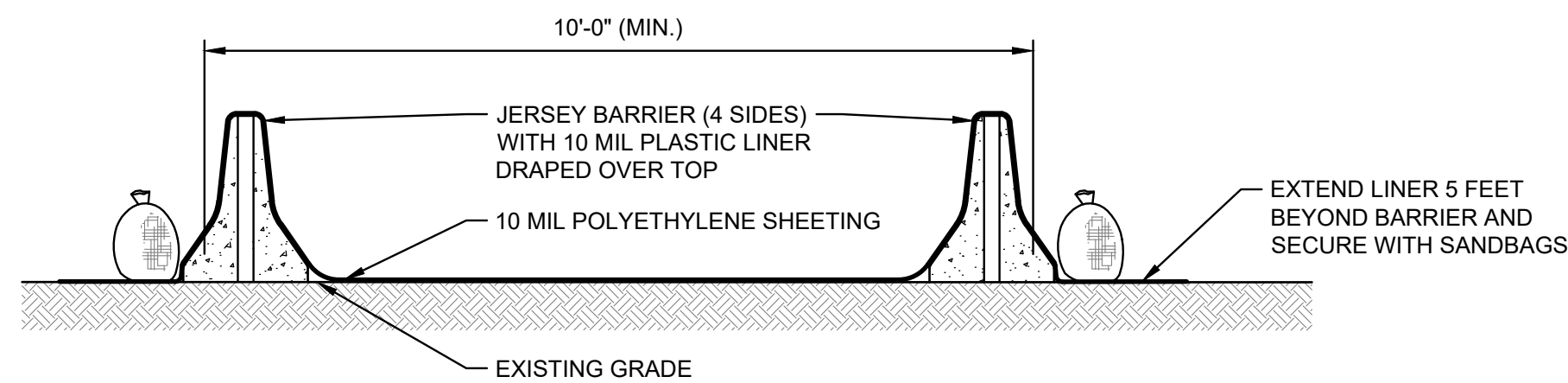
3 SILT SACK DETAIL
8 9 NOT TO SCALE



PLAN VIEW



CONCRETE WASHOUT SIGN DETAIL
(OR EQUIVALENT)



SECTION A-A'
NOT TO SCALE

NOTES:

- SUMPS TO BE CLEANED AND WASTE CONCRETE AND WATER REMOVED AND PROPERLY DISPOSED OF UPON COMPLETION OF WORK.

8 CONCRETE WASHOUT AREA
8 9 NOT TO SCALE



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REV	DESCRIPTION	DATE	BY

PROJECT NO:	33884.01
DATE:	DECEMBER, 2025
PROJECT MGR:	TWS
DESIGNED BY:	SAB
DRAWN BY:	GRB
CHECKED BY:	TWS
REVIEWED BY:	MJP
SCALE:	AS NOTED
REVISION NO.	

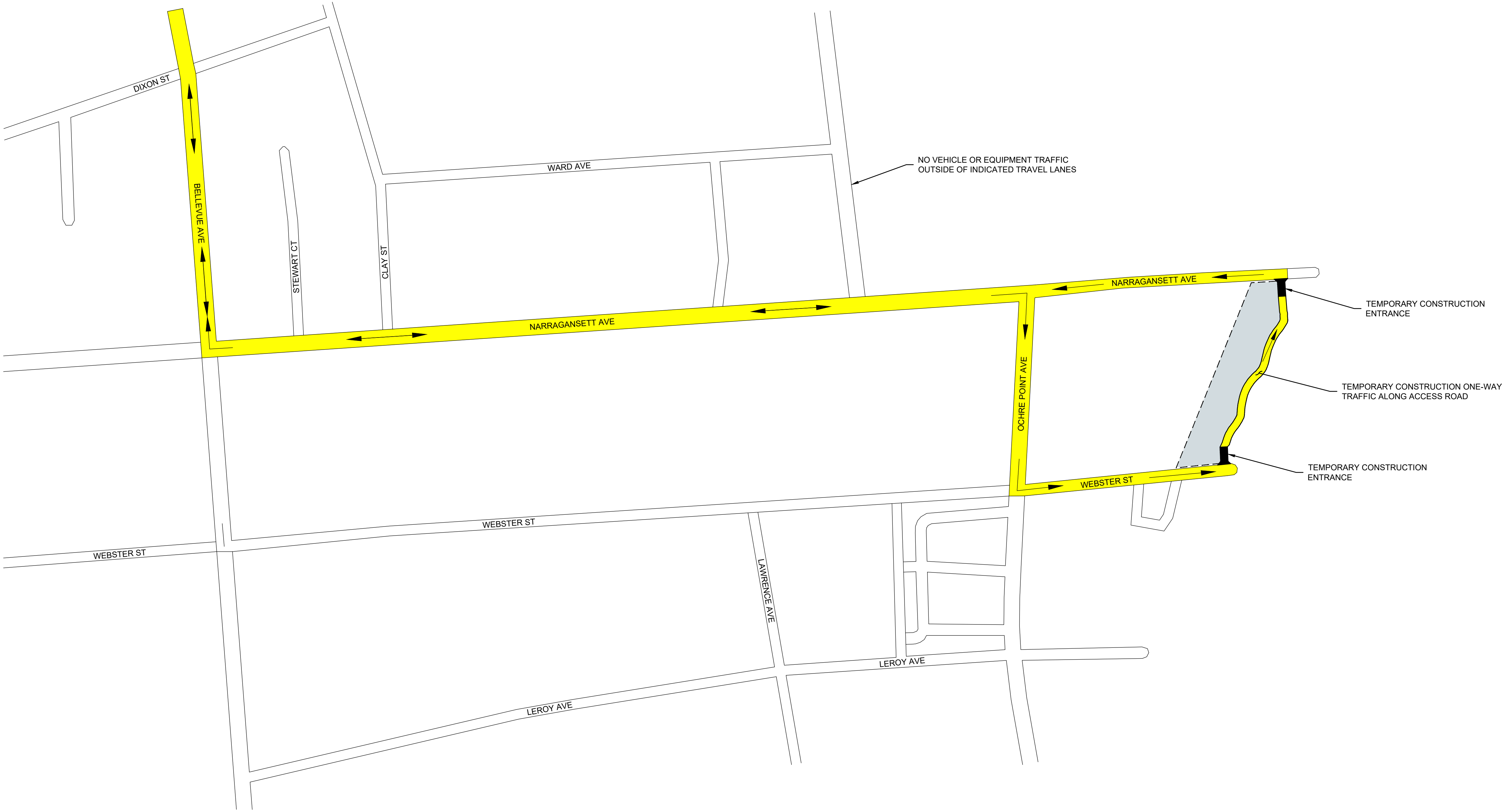
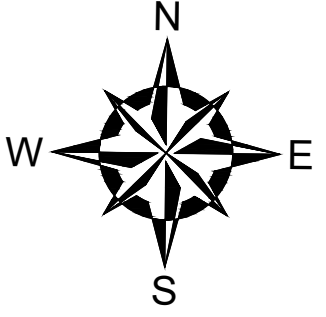
NEWPORT CLIFF WALK REPAIR
NEWPORT, RHODE ISLAND

TEMPORARY CONTROLS DETAILS

DRAWING
9
SHEET NO. 9 OF 21

© 2025 - GZA GeoEnvironmental, Inc. GZA-I:\GEO\33884.01\TWS\CAD\CURRENT\PLANS\100% DESIGN\12-25\10_TRAFFIC CONTROLS PLANNING 10 TRAFFIC PLAN September 24, 2025 GARY BASTIEN

RECEIVED
12/29/2025
MANAGEMENT COUNCIL
COASTAL RESOURCES



LEGEND

VEHICLE DIRECTION OF TRAVEL

0 75' 150' 300' 450'
SCALE IN FEET 1" = 150'

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PREPARED FOR:

City of Newport
RHODE ISLAND
Founded 1639

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REV	DESCRIPTION	DATE	BY

PROJECT NO: 33884.01

DATE: DECEMBER, 2025

PROJECT MGR: TWS

DESIGNED BY: SAB

DRAWN BY: GRB

CHECKED BY: TWS

REVIEWED BY: MJP

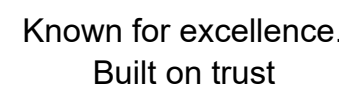
SCALE: AS NOTED

REVISION NO.

NEWPORT CLIFF WALK REPAIR
NEWPORT, RHODE ISLAND

TRAFFIC CONTROLS PLAN

DRAWING
10
SHEET NO. 10 OF 21



PREPARED FOR:



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REV	DESCRIPTION	DATE	B

PROJECT NO:	33884.01
DATE:	DECEMBER, 2025
PROJECT MGR:	TWS
DESIGNED BY:	SAB
DRAWN BY:	GRB
CHECKED BY:	TWS
REVIEWED BY:	MJP
SCALE:	AS NOTED
REVISION NO.	

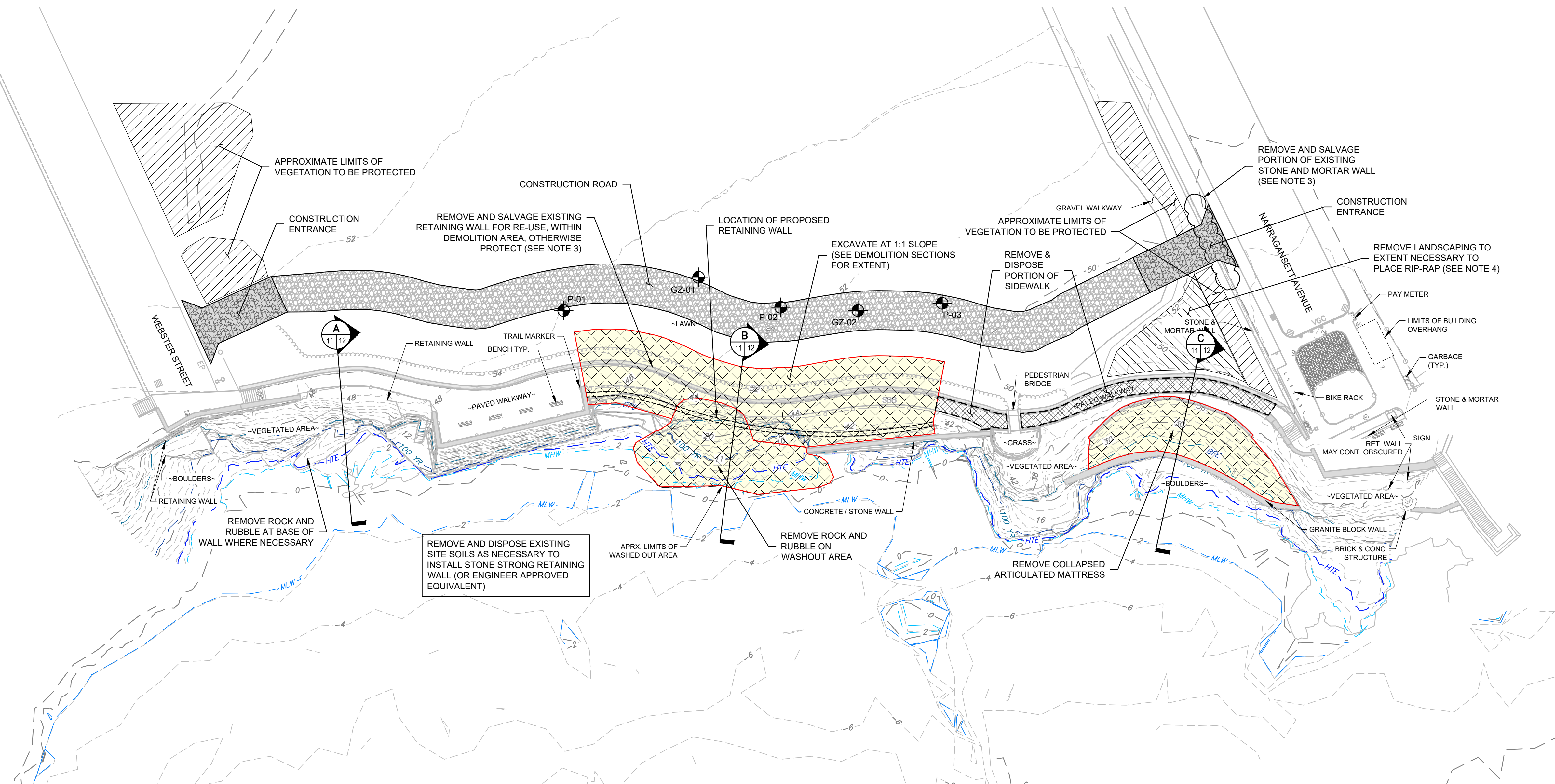
NEWPORT CLIFF WALK REPAIR
NEWPORT, RHODE ISLAND

DEMOLITION PLAN

DRAWING

11

SHEET NO. 11 OF 21



LEGEND:



INDICATES AREAS OF SLOPE, ROCK AND DEBRIS
TO BE REMOVED

INDEX CONTOUR ELEVATIONS

DESCRIPTION	ELEVATION	CONTOUR
FEMA BASE FLOOD ELEVATION	25.00	
100 YEAR STILL WATER	10.60	
HIGH TIDE ELEVATION	3.15	
MEAN HIGH WATER	1.57	
MEAN LOW WATER	-1.90	

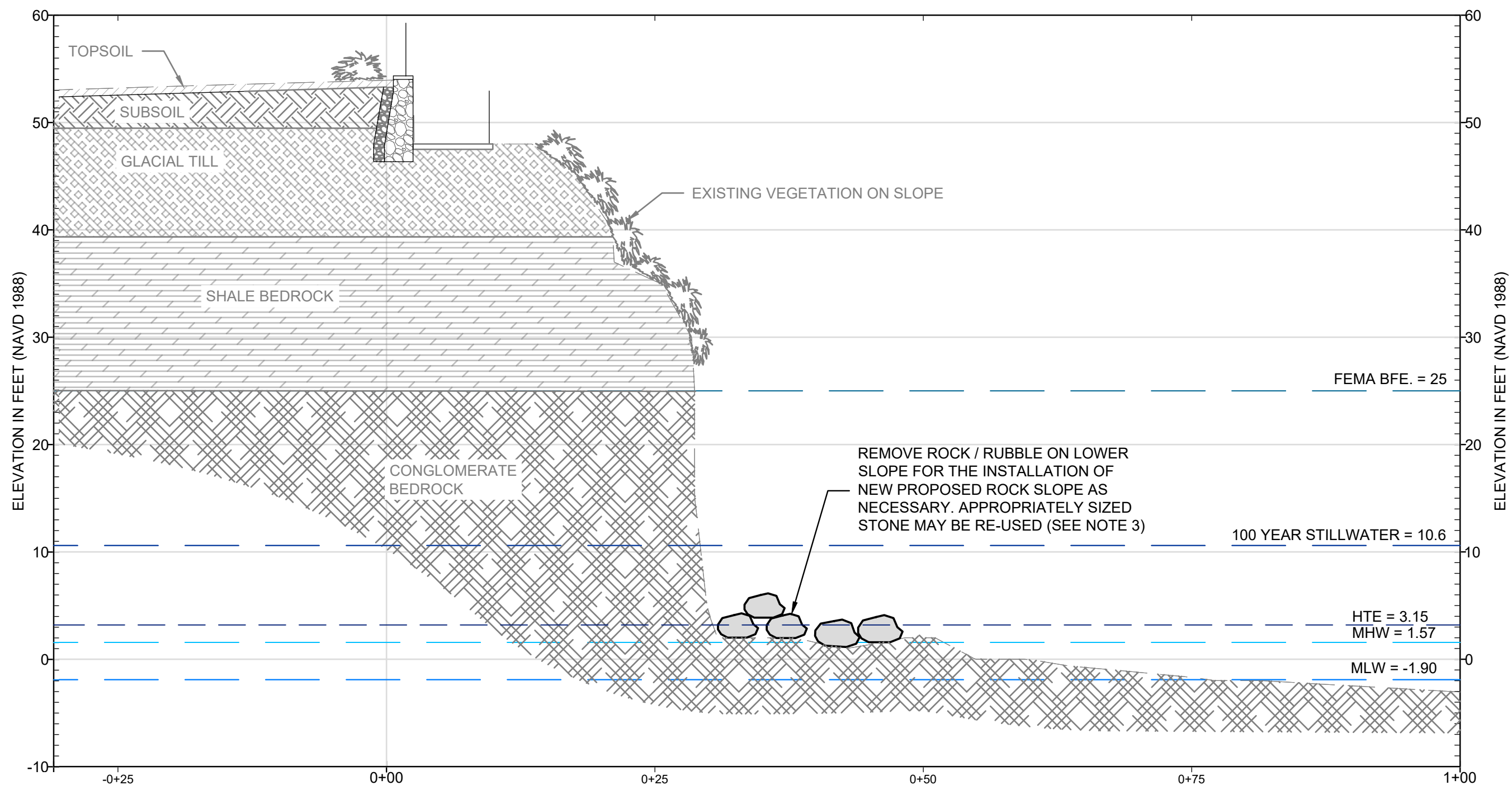
NOTES

1. BASE MAP DEVELOPED FROM AERIAL PHOTOGRAMMETRY DATA AND ELECTRONIC DRAWING FILE "7318A 2022-06-02" PREPARED BY DOUCET LAND SURVEYORS AND PROVIDED TO GZA.
2. ALL ELEVATIONS REFERENCE NORTH AMERICAN VERTICAL DATUM 1988(NAVD88).
3. CONTRACTOR SHALL INVENTORY ALL WALL SYSTEMS PRIOR TO DEMOLITION. INVENTORY SHALL CONSIST OF DOCUMENTING WELL HEIGHT, WIDTH AND LENGTH USING FIELD NOTES AND PHOTOGRAPHS. CONTRACTOR SHALL STOCKPILE ALL STONE ASSOCIATED WITH EXISTING RETAINING WALL FOR REUSE. SEPARATE STOCKPILES OF EACH WELL SYSTEM SHALL BE MAINTAINED.
4. CONTRACTOR SHALL INVENTORY ALL SHRUBS, BUSHES, PLANTINGS, AND TREES PRIOR TO REMOVAL. INVENTORY SHALL CONSIST OF SPECIES TYPE, QUANTITY, AND PHOTO DOCUMENTATION.

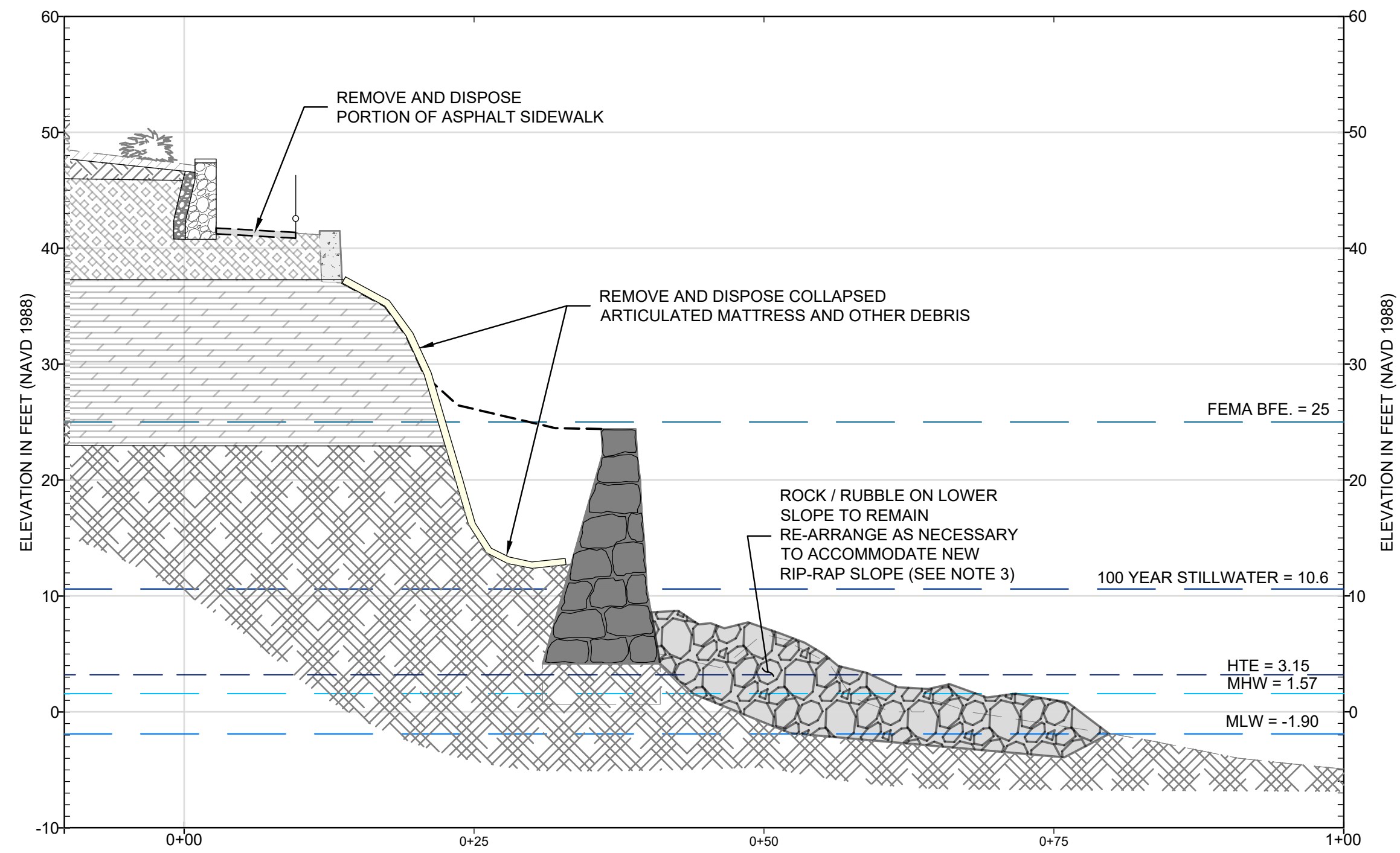


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RECEIVED
12/29/2025
COASTAL RESOURCES
MANAGEMENT COUNCIL



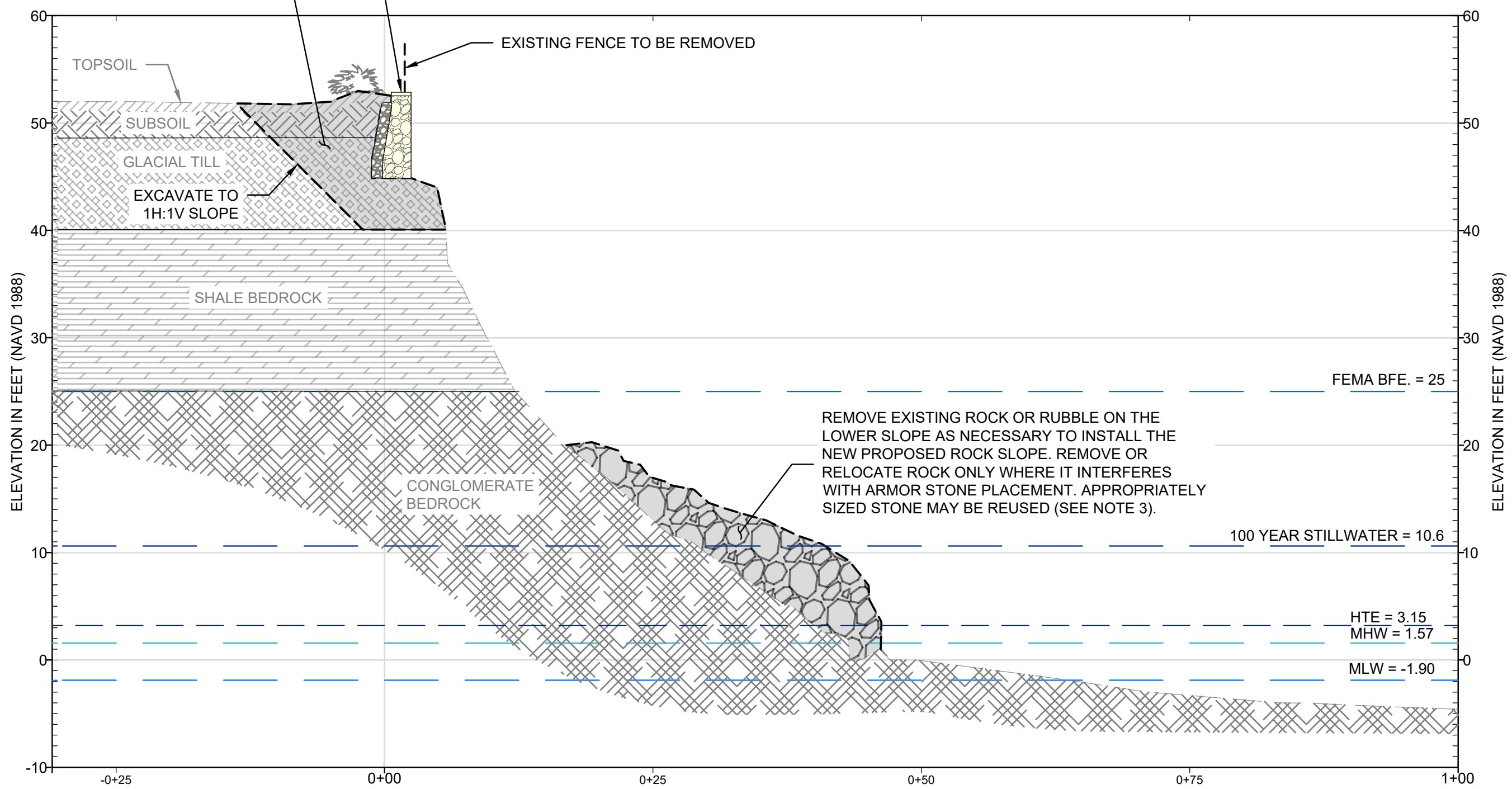
A DEMOLITION SECTION A-A'
SCALE: 1"=10'



C DEMOLITION SECTION E-E'
SCALE: 1"=10'

REMOVE AND SALVAGE EXISTING RETAINING WALL FASCIA STONE AND BLUESTONE CAP FOR RE-CONSTRUCTION AT AREAS BEHIND PROPOSED STONE STRONG RETAINING WALLS

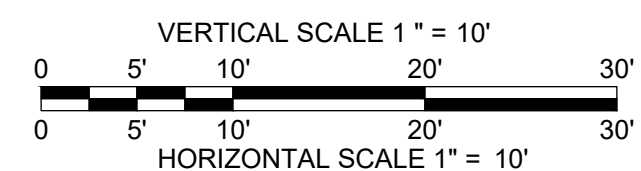
APPROXIMATE LIMITS OF REMOVAL AND STOCKPILE OF EXISTING SITE SOILS AS NECESSARY FOR THE INSTALLATION OF STONE STRONG RETAINING WALL



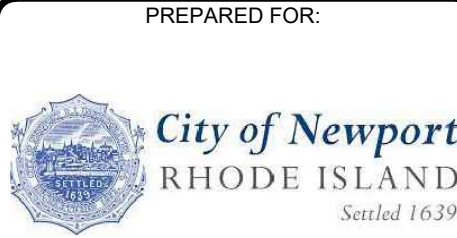
B DEMOLITION SECTION C-C'
SCALE: 1"=10'

NOTE:

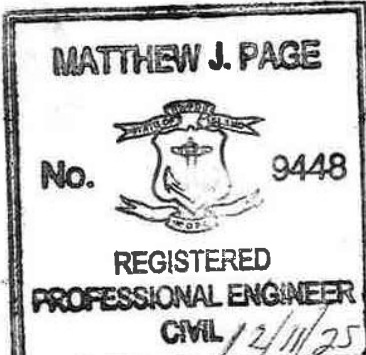
- LIMITS OF SLOPE MAY VARY. CONTRACTOR SHALL VERIFY IN FIELD. DRAWINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY.
- SALVAGE EXISTING RETAINING WALL STONE FOR FUTURE RECONSTRUCTION TO MATCH ADJACENT WALL SYSTEM.
- ROCK RUBBLE MAY BE RE-USED AS RIP-RAP PROVIDED SIZE IS ADEQUATE. CONTRACTOR SHALL IN NO WAY REMOVE MATERIAL THAT MAY LEAD TO DESTABILIZATION OF EXISTING SLOPE.



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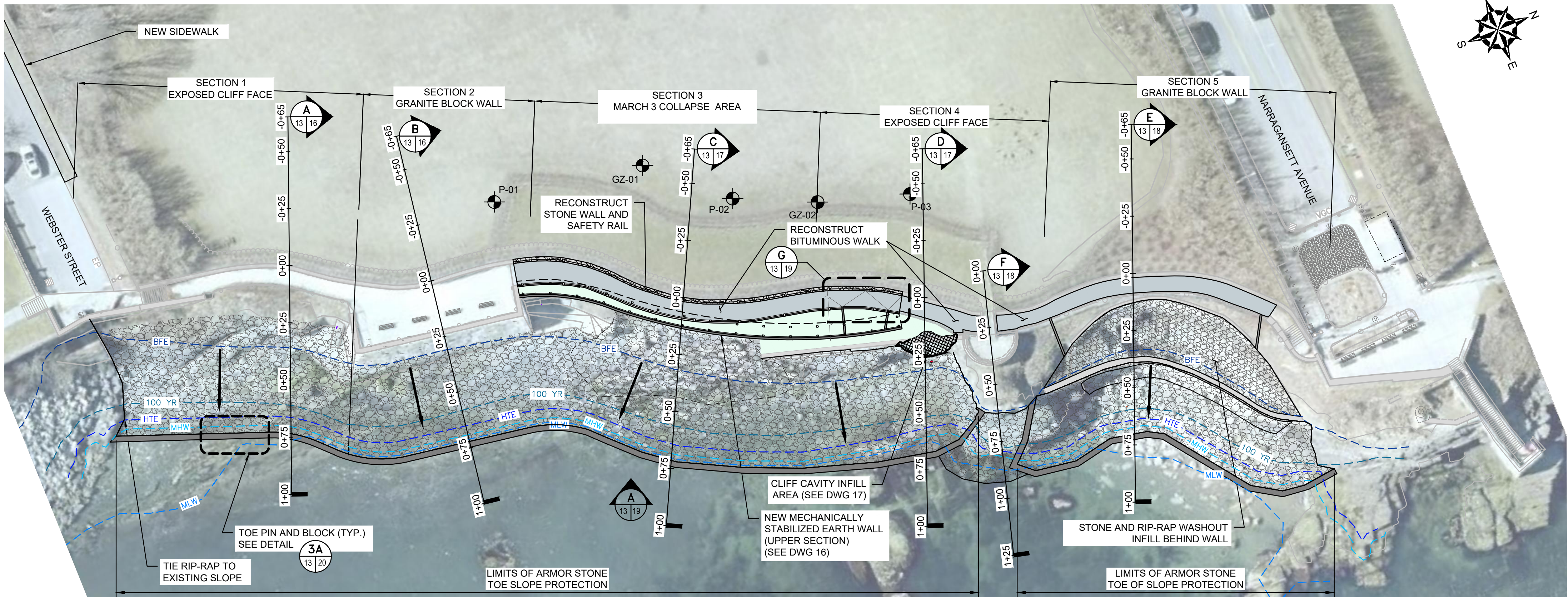
REV	DESCRIPTION	DATE	BY

PROJECT NO:	33884.01
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PROJECT MGR:	TWS
DESIGNED BY:	SAB
DRAWN BY:	GRB
CHECKED BY:	TWS
REVIEWED BY:	MJP
SCALE:	AS NOTED
REVISION NO.	

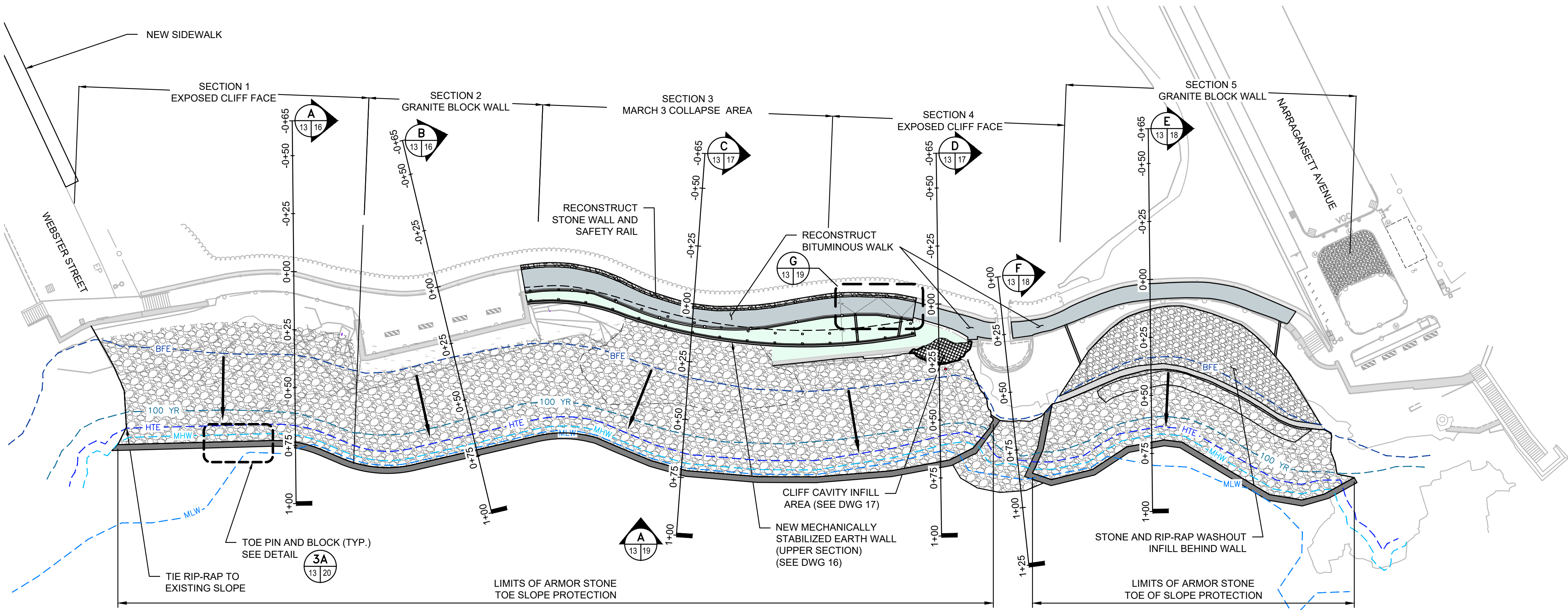
NEWPORT CLIFF WALK REPAIR
NEWPORT, RHODE ISLAND

DEMOLITION SECTIONS

DRAWING
12
SHEET NO. 12 OF 21



AERIAL SITE PLAN



PROPOSED IMPROVEMENTS

NOTES
ALL PROPOSED ARMOR STONE PROTECTION SLOPES
TO BE (1.5H:1V) - SEE PROPOSED SECTIONS

NOTES

- BASE MAP DEVELOPED FROM AERIAL PHOTOGRAMMETRY DATA AND ELECTRONIC DRAWING FILE "7318A 2022-06-02" PREPARED BY DOUCET LAND SURVEYORS AND PROVIDED TO GZA.
- ALL ELEVATIONS REFERENCE NORTH AMERICAN VERTICAL DATUM 1988(NAVD88).

LEGEND

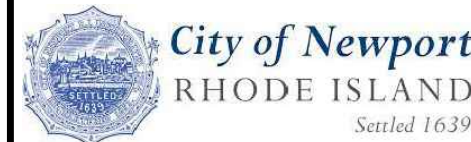
- INDICATES BORINGS/PROBES PERFORMED BY NEW ENGLAND BORING AND OBSERVED BY GZA PERSONNEL.
- RETAINING WALL
- CHAIN LINK FENCE
- HANDRAIL
- SHRUB LINE
- MAJOR CONTOUR 10 FOOT INTERVAL
- MINOR CONTOUR 2 FOOT INTERVAL
- SLOPE DOWN DIRECTION
- LIMIT OF WORK
- PROPOSED SAFETY FENCE
- PROPOSED PAVED WALK
- CAST IN PLACE STEPPED WALL
- RIP-RAP TOE OF WALL PROTECTION
- GROUT BAG TOE PROTECTION

INDEX CONTOUR ELEVATIONS		
DESCRIPTION	ELEVATION	CONTOUR
FEMA BASE FLOOD ELEVATION	25.00	BFE
100 YEAR STILL WATER	10.60	100 YR
HIGH TIDE ELEVATION	3.15	HTE
MEAN HIGH WATER	1.57	MHW
MEAN LOW WATER	-1.90	MLW



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PROJECT NO:	33884.01
DATE:	DECEMBER, 2025
PROJECT MGR:	TWS
DESIGNED BY:	SAB
DRAWN BY:	GRB
CHECKED BY:	TWS
REVIEWED BY:	MJP
SCALE:	AS NOTED
REVISION NO.	

NEWPORT CLIFF WALK REPAIR
NEWPORT, RHODE ISLAND

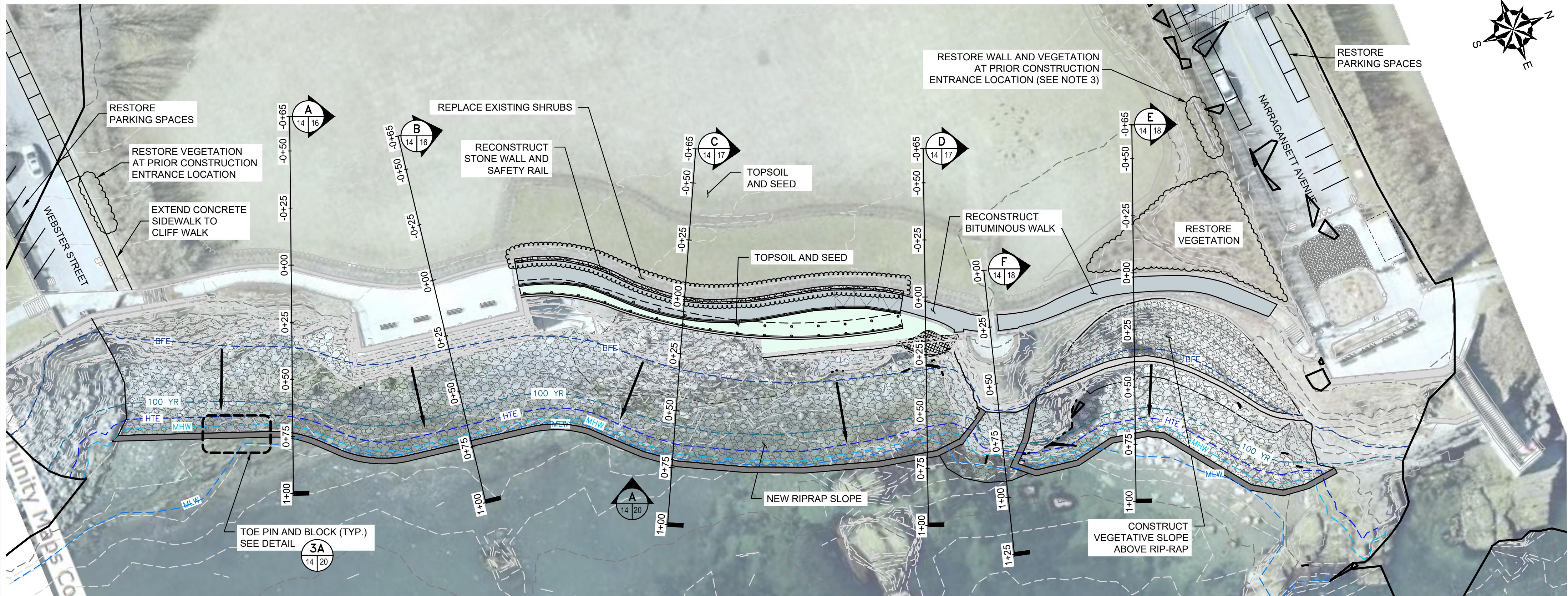
PROPOSED CONDITIONS PLAN

DRAWING

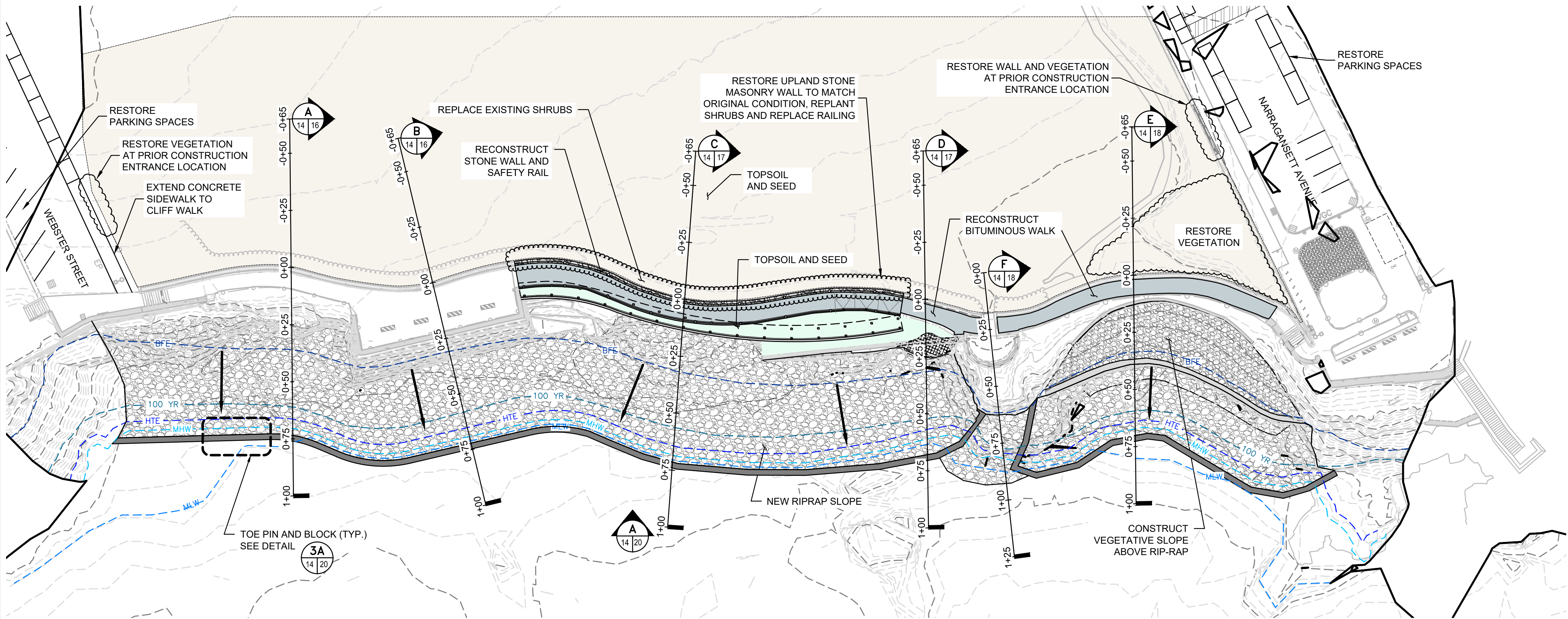
13

SHEET NO. 13 OF 21

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AERIAL SITE PLAN



PROPOSED IMPROVEMENTS

NOTES
ALL PROPOSED ARMOR STONE PROTECTION SLOPES
TO BE (1.5H:1V) - SEE PROPOSED SECTIONS

NOTES

1. BASE MAP DEVELOPED FROM AERIAL PHOTOGRAMMETRY DATA AND ELECTRONIC DRAWING FILE "7318A 2022-06-02" PREPARED BY DOUCET LAND SURVEYORS AND PROVIDED TO GZA.
2. ALL ELEVATIONS REFERENCE NORTH AMERICAN VERTICAL DATUM 1988(NAVD88).
3. AS OUTLINED IN CONTRACT DOCUMENTS WELL SYSTEMS AND VEGETATION SHALL BE RESTORED TO PREVIOUS CONDITIONS. CONTRACTOR SHALL RELY UPON QUALIFIED CONSULTANTS / SUB-CONTRACTORS AND INFORMATION GATHERED THROUGH PRE-CONSTRUCTION SURVEYS / INVENTORIES TO MATCH PREVIOUS CONDITIONS.
4. INSTALL REVETMENT STONES WITHIN SECTION F FOLLOWING PLACEMENT OF REVETMENT ALONG ALL OTHER PORTIONS OF CLIFF WALK OR OTHER.

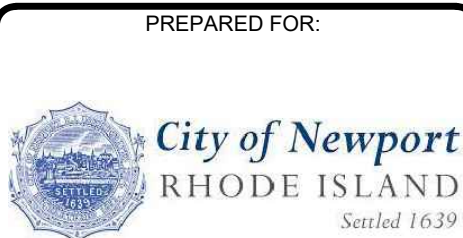
LEGEND

- INDICATES BORINGS/PROBES PERFORMED BY NEW ENGLAND BORING AND OBSERVED BY GZA PERSONNEL.
- RETAINING WALL
- CHAIN LINK FENCE
- HANDRAIL
- SHRUB LINE
- MAJOR CONTOUR 10 FOOT INTERVAL
- MINOR CONTOUR 2 FOOT INTERVAL
- SLOPE DOWN DIRECTION
- LIMIT OF WORK
- PROPOSED SAFETY FENCE
- PROPOSED PAVED WALK
- CAST IN PLACE STEPPED WALL
- RIP-RAP TOE OF WALL PROTECTION
- GROUT BAG TOE PROTECTION
- TOPSOIL AND SEED

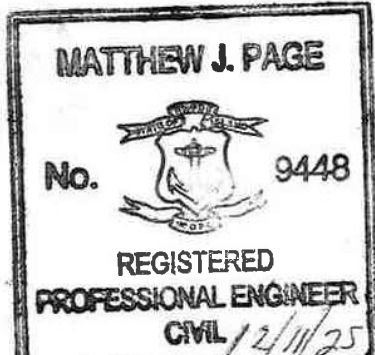
INDEX CONTOUR ELEVATIONS		
DESCRIPTION	ELEVATION	CONTOUR
FEMA BASE FLOOD ELEVATION	25.00	---BFE---
100 YEAR STILL WATER	10.60	---100 YR---
HIGH TIDE ELEVATION	3.15	---HTE---
MEAN HIGH WATER	1.57	---MHW---
MEAN LOW WATER	-1.90	---MLW---



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REV	DESCRIPTION	DATE	BY

PROJECT NO:	33884.01
DATE:	DECEMBER, 2025
PROJECT MGR:	TWS
DESIGNED BY:	SAB
DRAWN BY:	GRB
CHECKED BY:	TWS
REVIEWED BY:	MJP
SCALE:	AS NOTED
REVISION NO.	

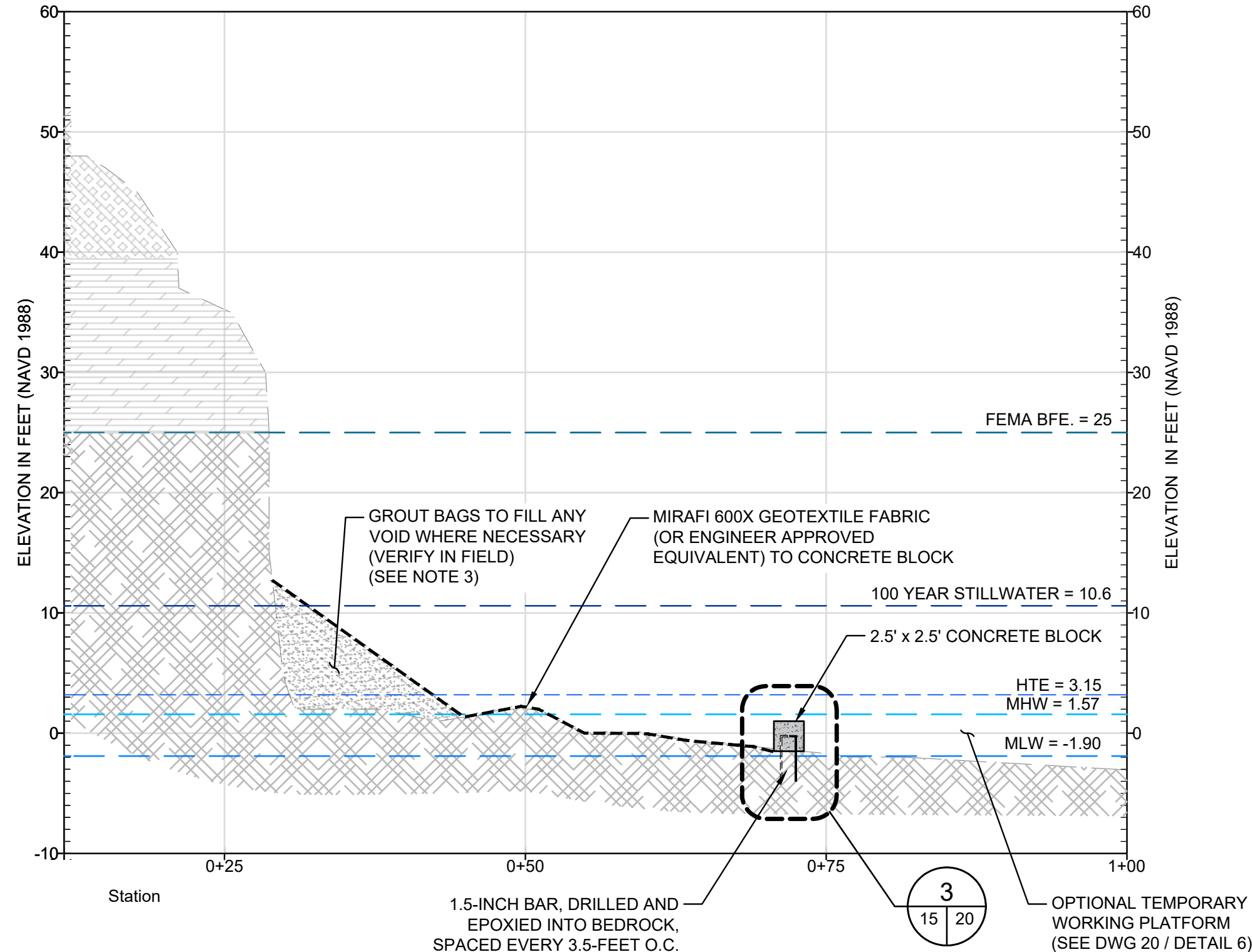
NEWPORT CLIFF WALK REPAIR
NEWPORT, RHODE ISLAND

FINAL - RESTORATION PLAN

DRAWING

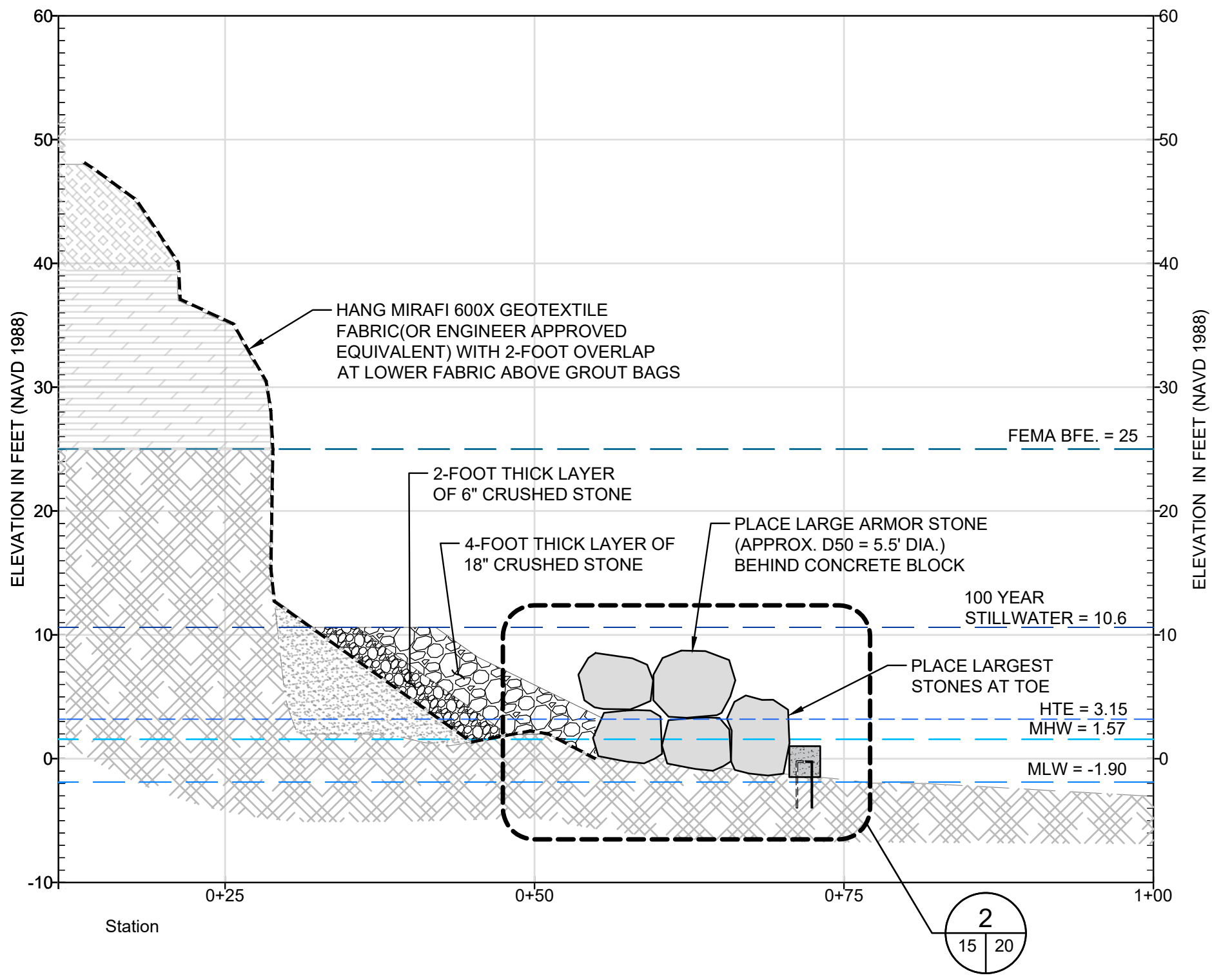
14

SHEET NO. 14 OF 21

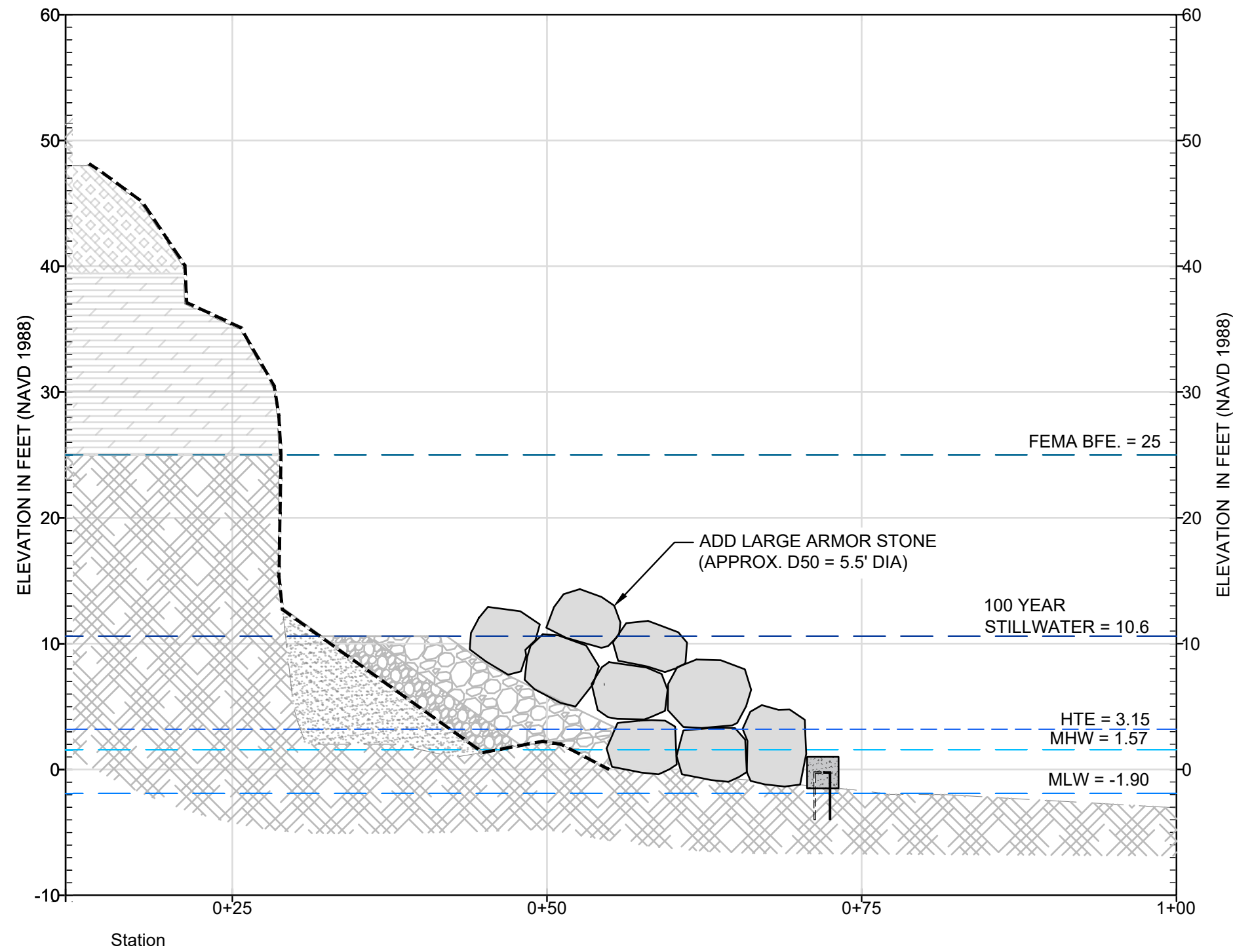


TYPICAL REVETMENT CONSTRUCTION - PHASE 1
SCALE: 1"=10'

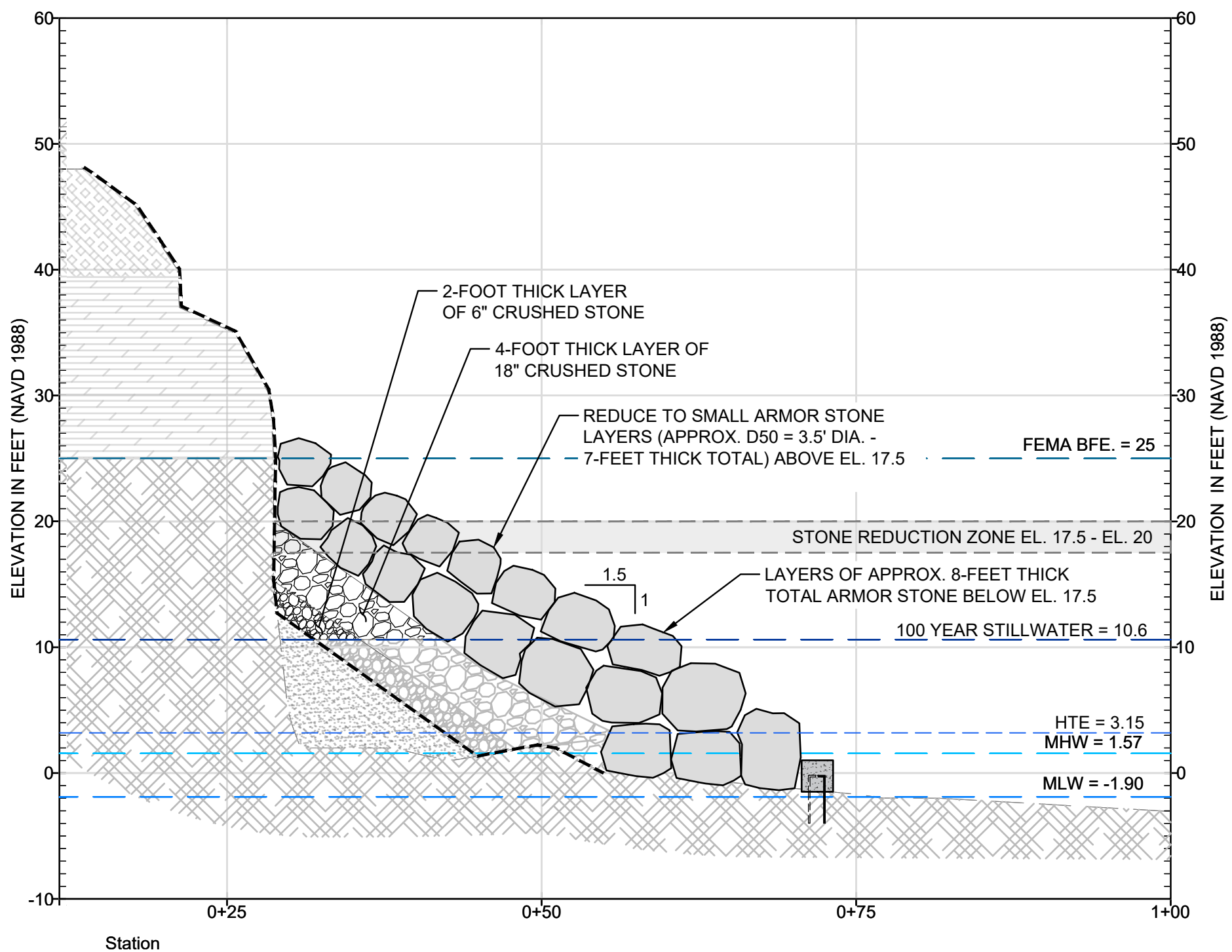
NOTE:
SECTION A-A SHOWN
(TYPICAL FOR ALL SECTIONS)



TYPICAL REVETMENT CONSTRUCTION - PHASE 2
SCALE: 1"=10'



TYPICAL REVETMENT CONSTRUCTION - PHASE 3
SCALE: 1"=10'



TYPICAL REVETMENT CONSTRUCTION - PHASE 4
SCALE: 1"=10'

RECEIVED
12/29/2025
MANAGEMENT CONSULTING

LARGE ARMOR STONE (Below EL. 20ft.)		
	STONE WEIGHT (LB) (EACH)	NOMINAL DIAMETER (FT)
MAX	36700	6.1
50% (D.50)	30000	5.6
MIN	22000	5.1

SMALL ARMOR STONE (Above EL. 20ft.)		
	STONE WEIGHT (LB) (EACH)	NOMINAL DIAMETER (FT)
MAX	30000	5.6
50% (D.50)	7500	3.5
15% (D.15)	4000	2.8
MIN	937.5	1.8

CORE STONE		
	STONE WEIGHT (LB) (EACH)	NOMINAL DIAMETER (FT)
MAX	621.1	1.6
50% (D.50)	155.3	1.2
15% (D.15)	77.6	0.8
MIN	19.4	0.5

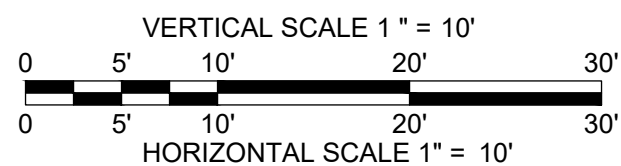
BEDDING STONE		
	STONE WEIGHT (LB) (EACH)	NOMINAL DIAMETER (IN)
MAX	44.9	8.0
50% (D.50)	11.2	4.8
15% (D.15)	5.6	3.8
MIN	1.4	0.2

NOTES:

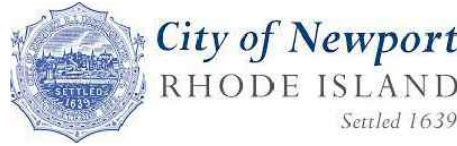
- NOMINAL DIAMETER OF THE ARMOR STONE WAS CALCULATED USING AN EQUIVALENT CUBIC VOLUME ESTIMATION. STONE SIZING SHOULD BE DETERMINED IN THE FIELD USING THE STONE WEIGHT.
- BASE AND CORE MATERIAL SHALL CONSIST OF ANGULAR, QUARRIED, CRUSHED STONE. STONE SHALL HAVE A MINIMUM DENSITY OF 160 POUNDS PER CUBIC FOOT AND A MINIMUM DIMENSION NOT LESS THAN ONE THIRD OF THE MAXIMUM DIMENSION. REFER TO RI DOT "M.10.03.2 STONE FOR RIPRAP", NSA NO. R-2 (SEE GRADATION ABOVE).
- PRIOR TO FILLING OF VOIDS BEYOND LIMITS OF REVETMENT, CONTRACTOR SHALL COORDINATE APPROVAL WITH ENGINEER AND OWNER.
- GROUT BAGS SHALL BE USED WHERE EXISTING MAN-MADE STRUCTURES HAVE BEEN UNDERMINED. STONES MAY BE USED IN LIEU OF GROUT BAGS AT OTHER LOCATIONS.

CONSTRUCTION SEQUENCE:

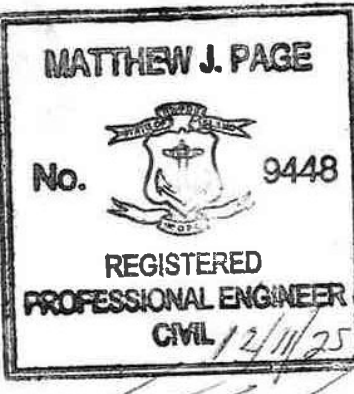
- PLACE CONCRETE BLOCK AT TOE OF SLOPE. INSTALL 1.5 INCH DIA. BAR AND EPOXY WITH HILTI RE-500 OR APPROVED EQUIVALENT INTO BEDROCK.
- INSTALL GROUT BAGS IN NECESSARY VOID (VERIFY IN FIELD) (AS NECESSARY).
- HANG GEOTEXTILE FROM CLIFF FACE OVER GROUT BAGS (AS NECESSARY).
- PLACE 5.5 FOOT STONES BEHIND CONCRETE BLOCK.
- BEGIN INSTALLING CRUSHED STONE AND BEDDING LAYERS.
- PLACE 5.5 FOOT STONES ATOP BEDDING LAYER, AND BUILD SLOPE.
- AT ELEVATION 15.0 NAVD88, TRANSITION TO 3.5 FOOT ARMOR STONES.
- CONSTRUCT LAYERED SLOPE AT A 1.5H:1V TO NOTED ELEVATION.



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REV	DESCRIPTION	DATE	BY

PROJECT NO:	33884.01
DATE:	DECEMBER, 2025
PROJECT MGR:	TWS
DESIGNED BY:	SAB
DRAWN BY:	GRB
CHECKED BY:	TWS
REVIEWED BY:	MJP
SCALE:	AS NOTED
REVISION NO.	

NEWPORT CLIFF WALK REPAIR
NEWPORT, RHODE ISLAND

TYPICAL REVETMENT
CONSTRUCTION PHASING

DRAWING

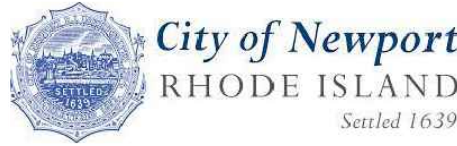
15

SHEET NO. 15 OF 21



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PREPARED FOR:



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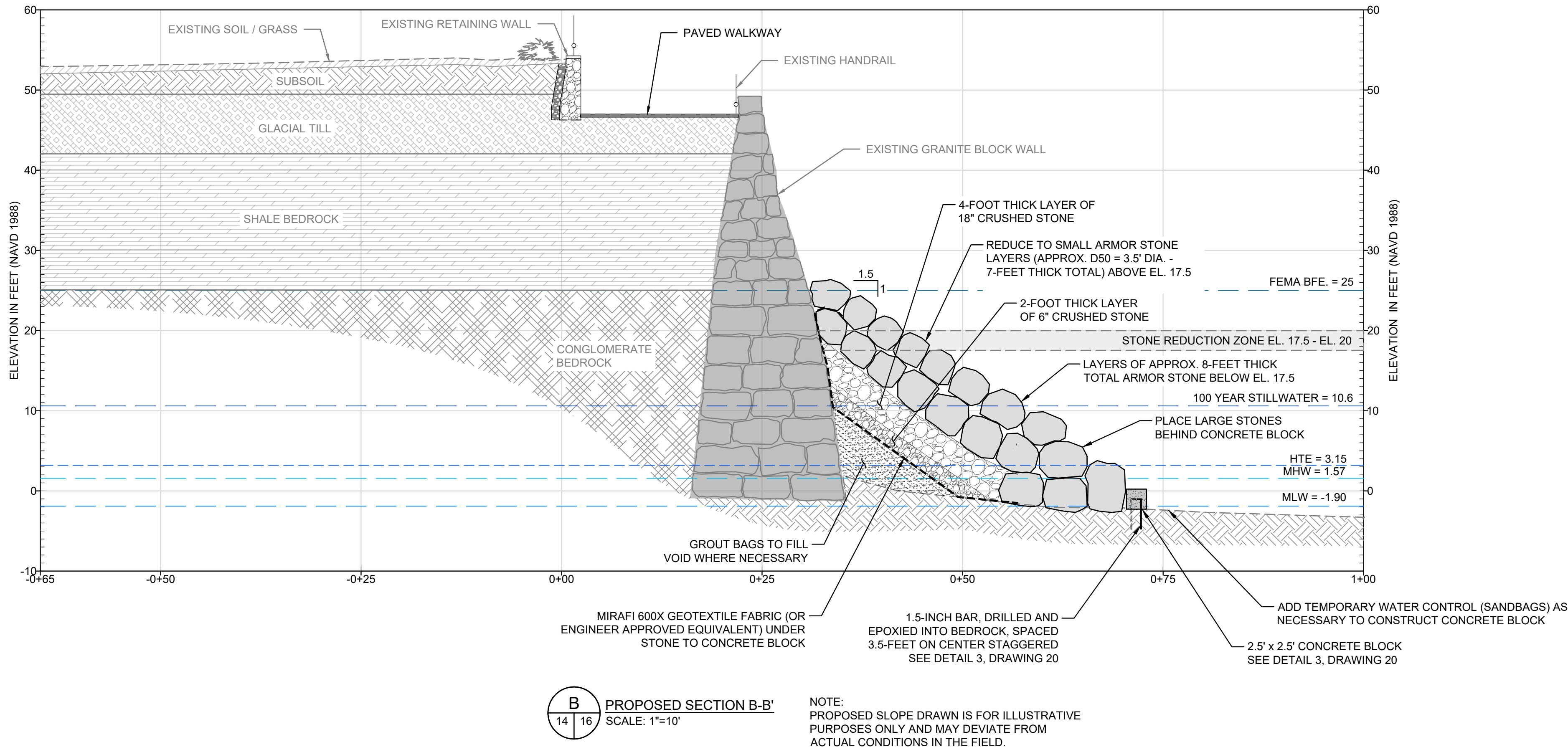
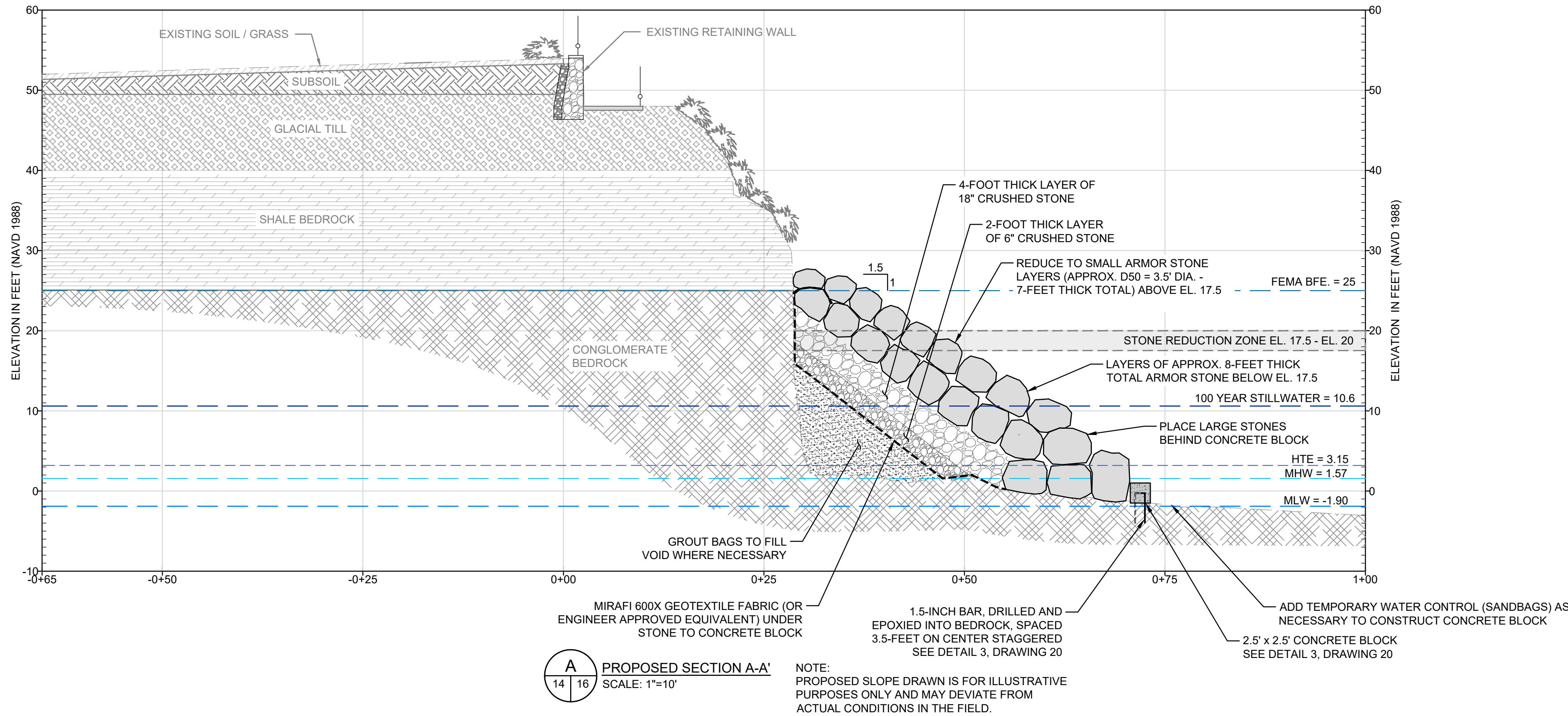
REV	DESCRIPTION	DATE	BY

PROJECT NO:	33884.01
DATE:	DECEMBER, 2025
PROJECT MGR:	TWS
DESIGNED BY:	SAB
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REVIEWED BY:	MJP
SCALE:	AS NOTED
REVISION NO.	

NEWPORT CLIFF WALK REPAIR
NEWPORT, RHODE ISLAND

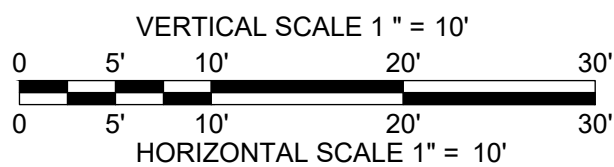
PROPOSED CONDITIONS SECTIONS
(SHEET 1 OF 3)

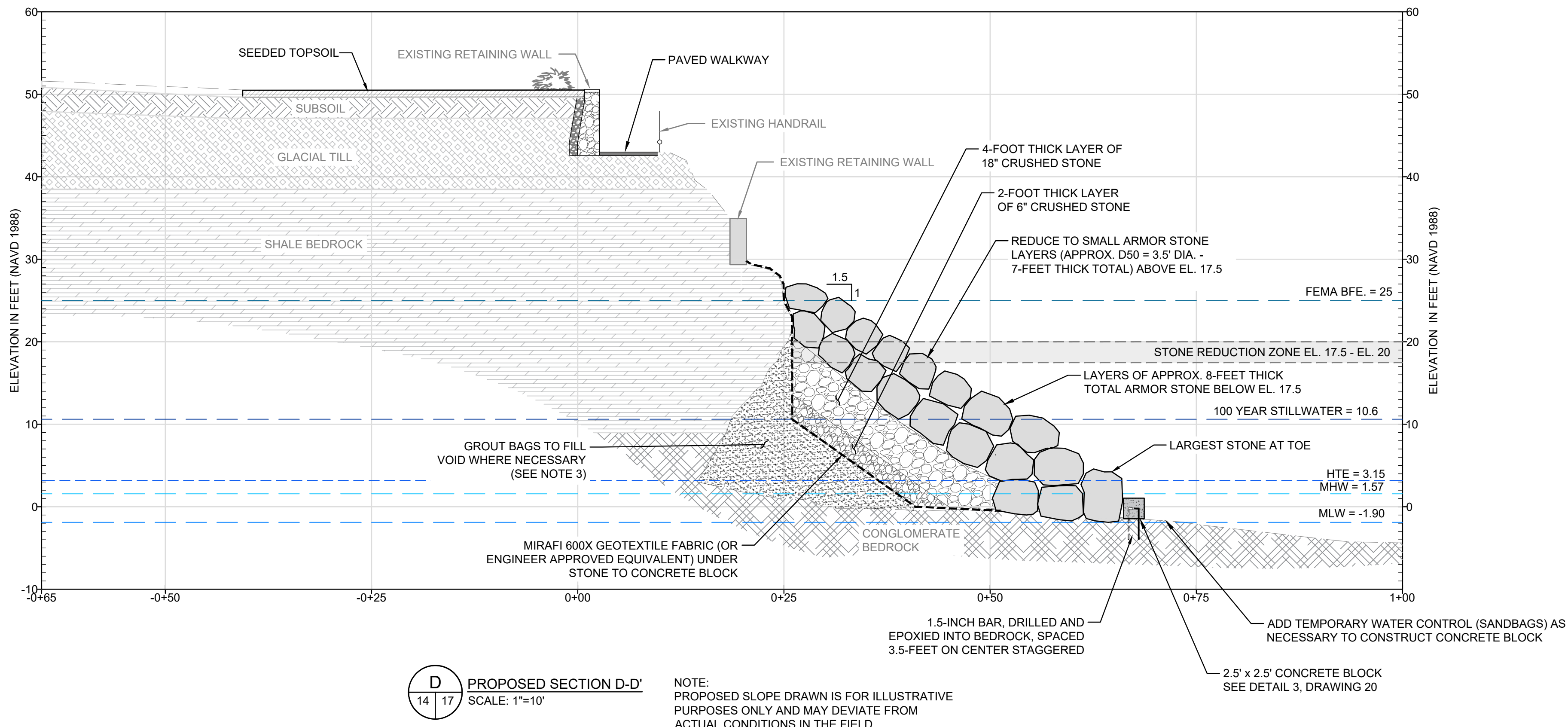
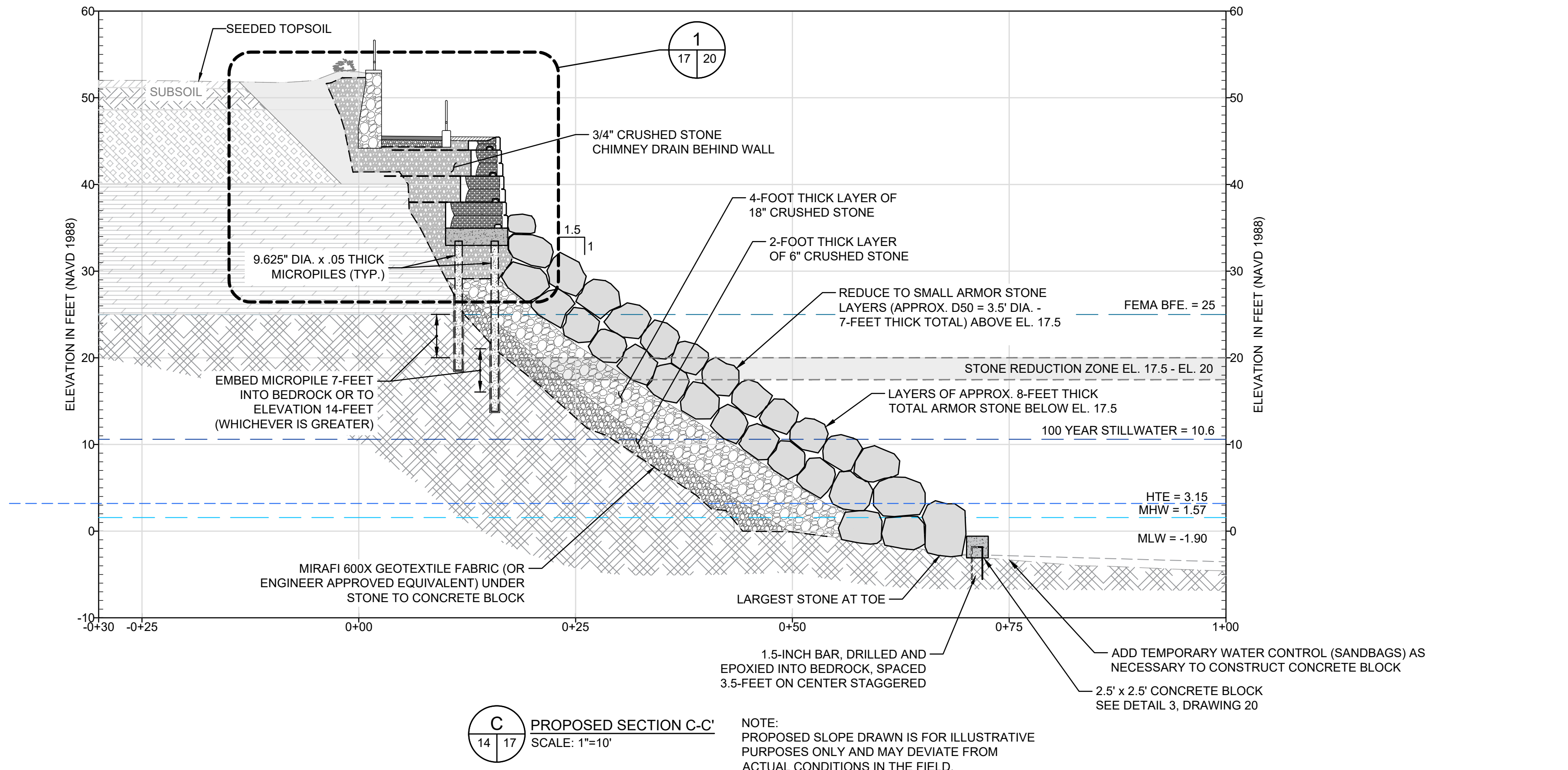
DRAWING
16
SHEET NO. 16 OF 21



NOTES:

- NOMINAL DIAMETER OF THE ARMOR STONE WAS CALCULATED USING AN EQUIVALENT CUBIC VOLUME ESTIMATION. STONE SIZING SHOULD BE DETERMINED IN THE FIELD USING THE STONE WEIGHT.
- BASE AND CORE MATERIAL SHALL CONSIST OF ANGULAR, QUARRIED, CRUSHED STONE. STONE SHALL HAVE A MINIMUM DENSITY OF 160 POUNDS PER CUBIC FOOT AND A MINIMUM DIMENSION NOT LESS THAN ONE THIRD OF THE MAXIMUM DIMENSION. REFER TO RI DOT "M.10.03.2 STONE FOR RIPRAP", NSA NO. R-2 (SEE GRADATION ABOVE).
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LARGE ARMOR STONE (Below EL. 20ft.)		
	STONE WEIGHT (LB) (EACH)	NOMINAL DIAMETER (FT)
MAX	36700	6.1
50% (D.50)	30000	5.6
MIN	22000	5.1

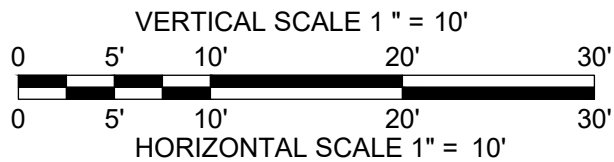
SMALL ARMOR STONE (Above EL. 20ft.)		
	STONE WEIGHT (LB) (EACH)	NOMINAL DIAMETER (FT)
MAX	30000	5.6
50% (D.50)	7500	3.5
15% (D.15)	4000	2.8
MIN	937.5	1.8

CORE STONE		
	STONE WEIGHT (LB) (EACH)	NOMINAL DIAMETER (FT)
MAX	621.1	1.6
50% (D.50)	155.3	1.2
15% (D.15)	77.6	0.8
MIN	19.4	0.5

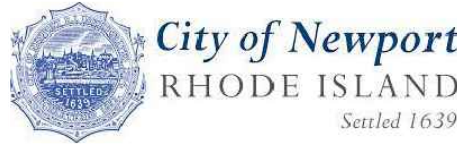
BEDDING STONE		
	STONE WEIGHT (LB) (EACH)	NOMINAL DIAMETER (IN)
MAX	44.9	8.0
50% (D.50)	11.2	4.8
15% (D.15)	5.6	3.8
MIN	1.4	0.2

NOTES:

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REV	DESCRIPTION	DATE	BY

PROJECT NO:	33884.01
DATE:	DECEMBER, 2025
PROJECT MGR:	TWS
DESIGNED BY:	SAB
DRAWN BY:	GRB
CHECKED BY:	TWS
REVIEWED BY:	MJP
SCALE:	AS NOTED
REVISION NO.	

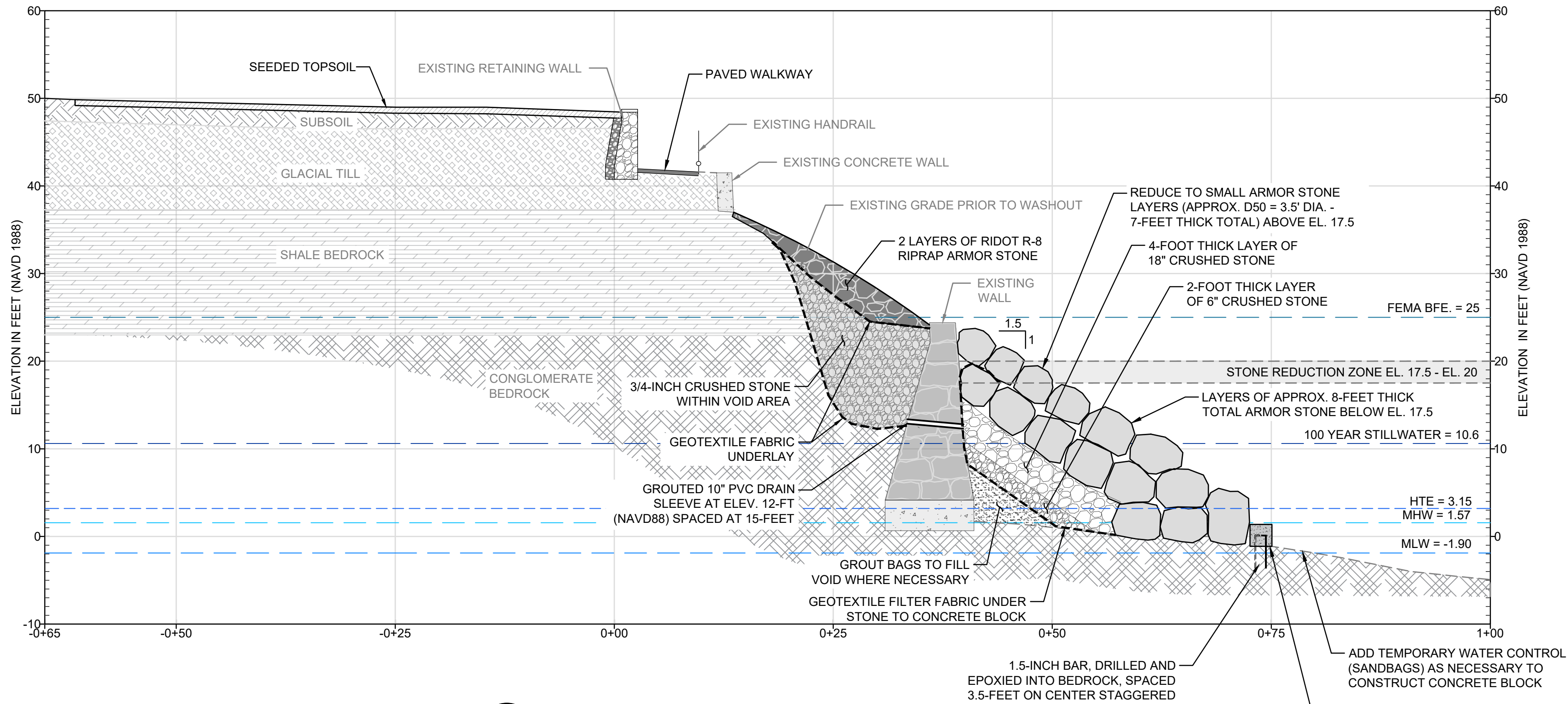
NEWPORT CLIFF WALK REPAIR
NEWPORT, RHODE ISLAND

PROPOSED CONDITIONS SECTIONS
(SHEET 2 OF 3)

DRAWING

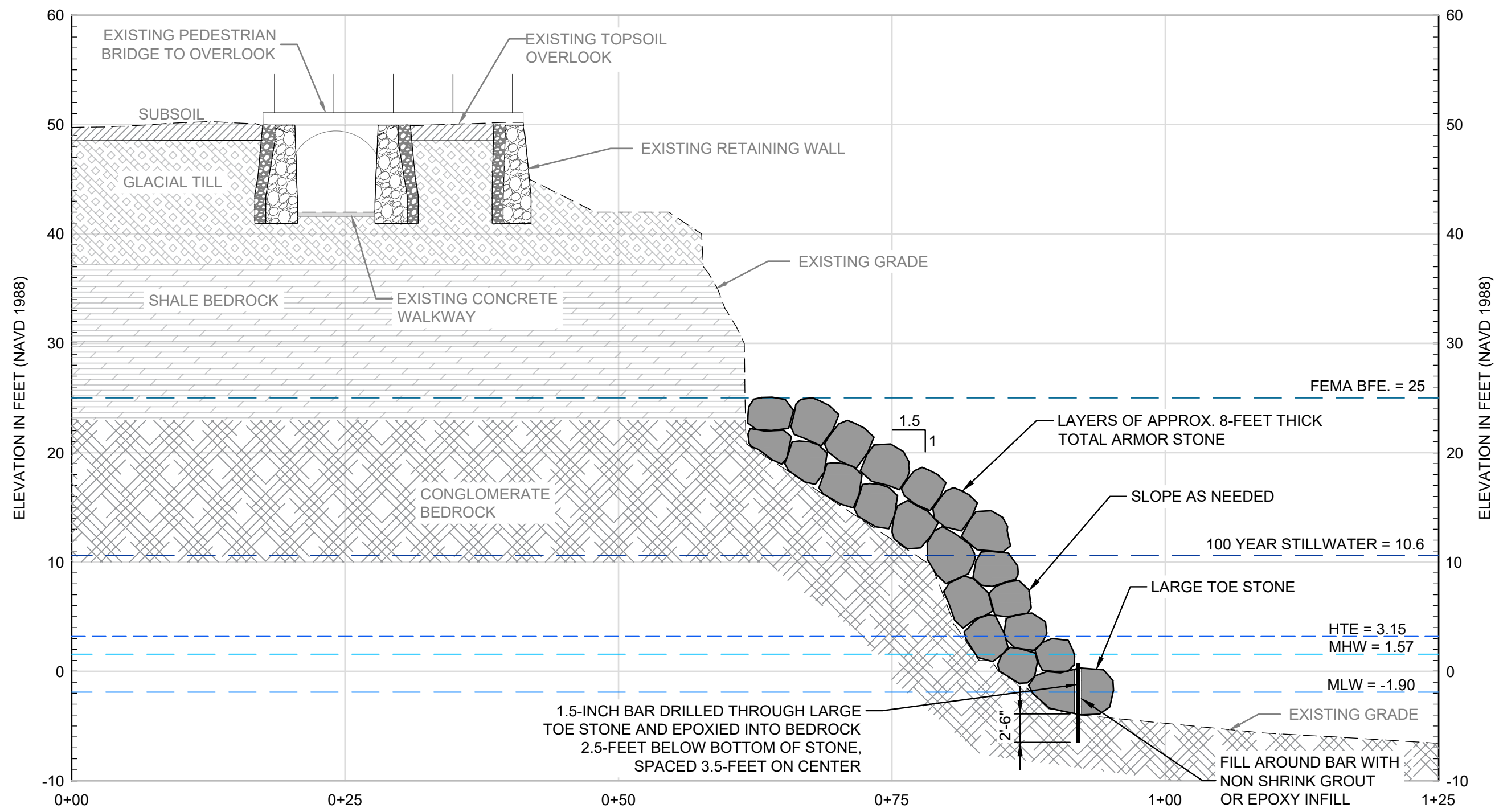
17

SHEET NO. 17 OF 21



E
14 18
PROPOSED SECTION E-E'
SCALE: 1"=10'

NOTE:
SLOPE DRAWN IS ILLUSTRATIVE FOR
REPRESENTATIVE SECTION SHOWN.
ELEVATIONS SHOWN ARE TO BE MAINTAINED
FOR ENTIRE WALL ALIGNMENT.



F
14 18
PROPOSED SECTION F-F'
SCALE: 1"=10'

NOTE:
SLOPE DRAWN IS ILLUSTRATIVE FOR
REPRESENTATIVE SECTION SHOWN.
ELEVATIONS SHOWN ARE TO BE MAINTAINED
FOR ENTIRE WALL ALIGNMENT.

RIDOT R8 RIPRAP ARMOR STONE		
	STONE WEIGHT (LB) (EACH)	NOMINAL DIAMETER (FT)
MAX	14000	4.4
50% (D.50)	3500	2.7
15% (D.15)	1750	2.2
MIN	437.5	1.4

LARGE ARMOR STONE (Below EL. 20ft.)		
	STONE WEIGHT (LB) (EACH)	NOMINAL DIAMETER (FT)
MAX	36700	6.1
50% (D.50)	30000	5.6
MIN	22000	5.1

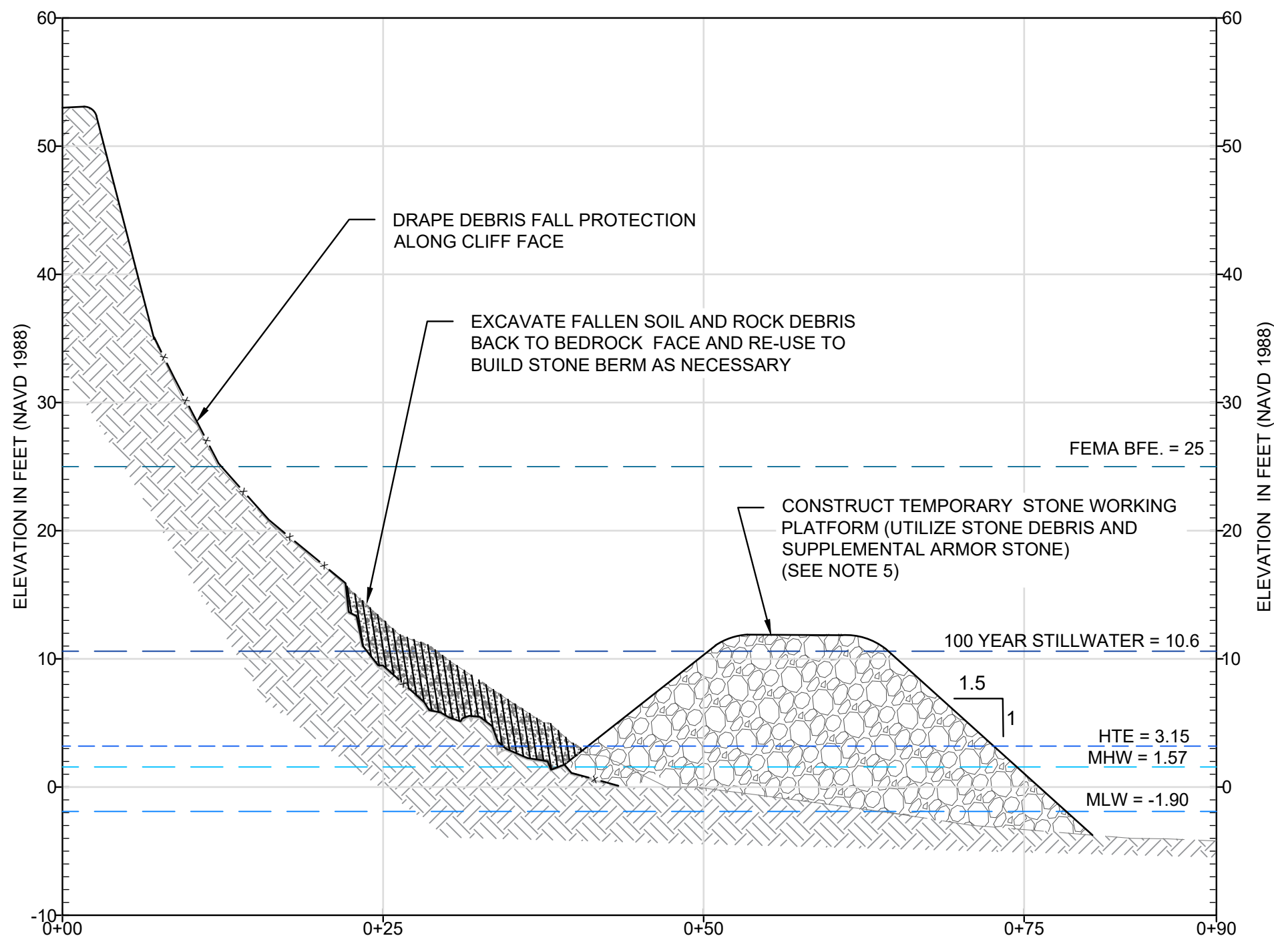
SMALL ARMOR STONE (Above EL. 20ft.)		
	STONE WEIGHT (LB) (EACH)	NOMINAL DIAMETER (FT)
MAX	30000	5.6
50% (D.50)	7500	3.5
15% (D.15)	4000	2.8
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	STONE WEIGHT (LB) (EACH)	NOMINAL DIAMETER (FT)
MAX	621.1	1.6
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15% (D.15)	77.6	0.8
MIN	19.4	0.5

BEDDING STONE		
	STONE WEIGHT (LB) (EACH)	NOMINAL DIAMETER (IN)
MAX	44.9	8.0
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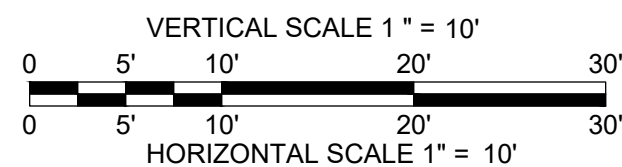
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- RIDOT R8 STONE TO BE PLACED ABOVE EXISTING CONCRETE BLOCK WALL AND WILL SIT DIRECTLY ON CRUSHED STONE LAYER.
- STONE BELOW BLOCK WALL TO BE CONSISTENT WITH REVETMENT FROM SECTIONS A-D.
- TEMPORARY STONE PLATFORM IS SHOWN FOR ILLUSTRATION PURPOSES ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN OF PLATFORM BASED ON THESE MEANS AND METHODS. PLATFORM SHALL BE REMOVED FOLLOWING CONSTRUCTION EFFORT. NO SOIL SHOULD BE ALLOWED FOR THE CONSTRUCTION OF THE STONE PLATFORM.
- INSTALL REVETMENT STONES WITHIN SECTION F FOLLOWING PLACEMENT OF REVETMENT ALONG ALL OTHER PORTIONS OF CLIFF WALK OR OTHER.

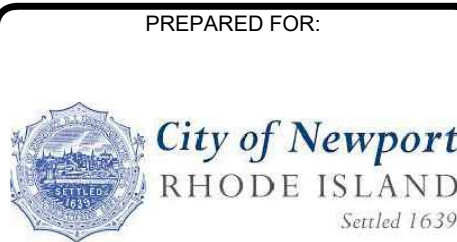


1
- 18
OPTIONAL WORKING PLATFORM - DETAIL
SCALE: 1"=10'

NOTE:
FOR TEMPORARY USE ONLY DURING
REPAIR CONSTRUCTION



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PROJECT NO:	33884.01
DATE:	DECEMBER, 2025
PROJECT MGR:	TWS
DESIGNED BY:	SAB
DRAWN BY:	GRB
CHECKED BY:	TWS
REVIEWED BY:	MJP
SCALE:	AS NOTED
REVISION NO.	

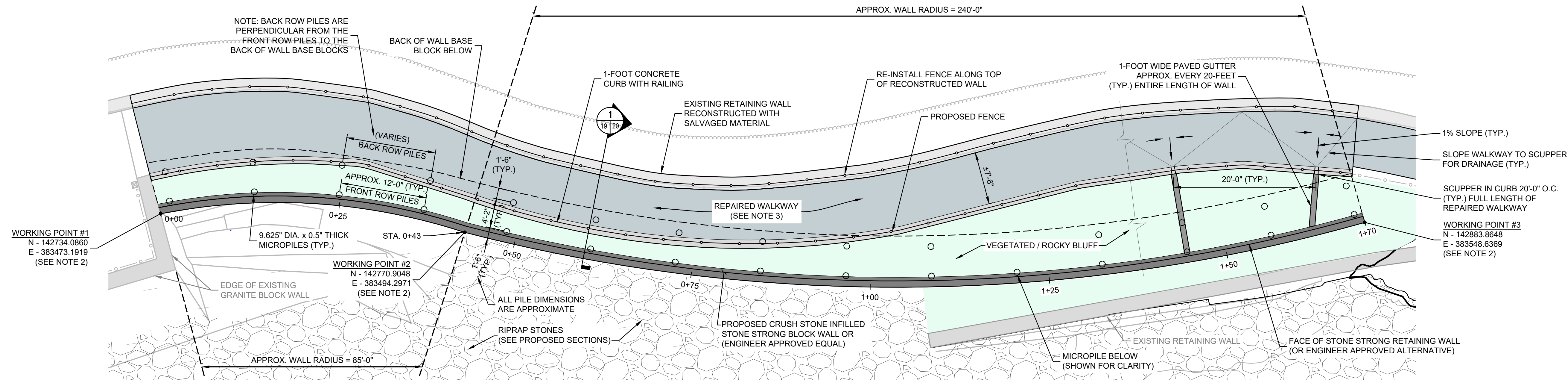
NEWPORT CLIFF WALK REPAIR
NEWPORT, RHODE ISLAND

PROPOSED CONDITIONS AND
WORKING PLATFORM SECTIONS
(SHEET 3 OF 3)

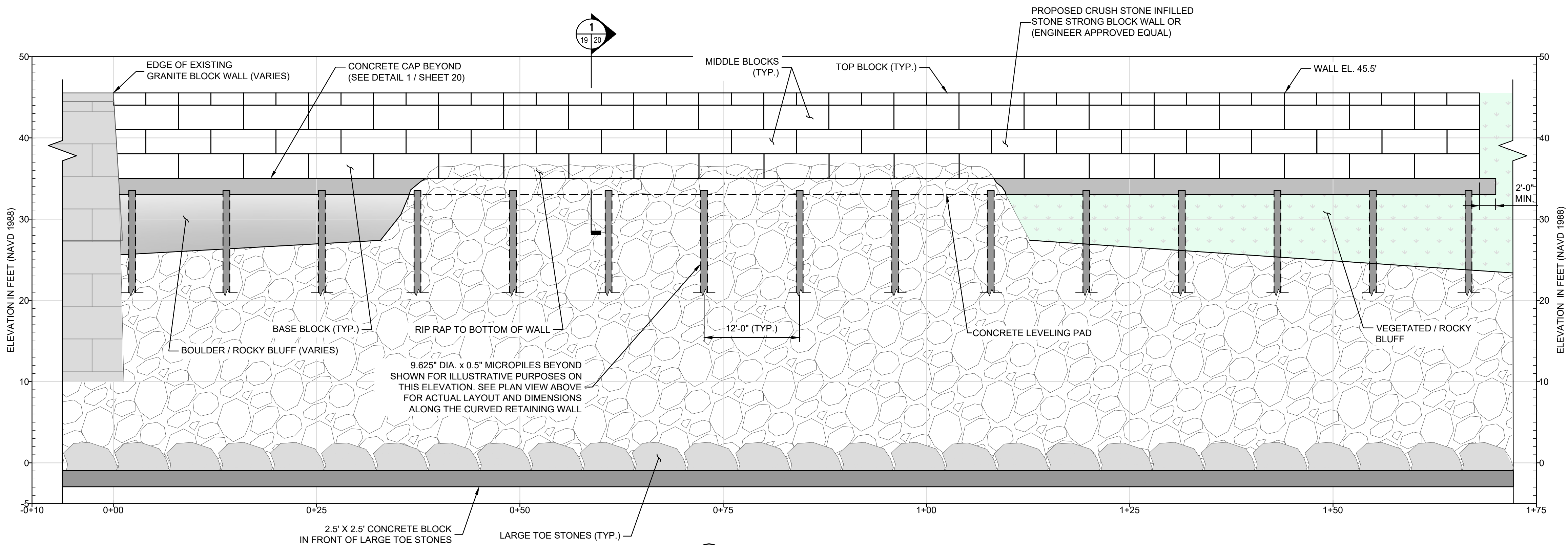
DRAWING

18

SHEET NO. 18 OF 21



MSE RETAINING WALL PLAN & ALIGNMENT
SCALE: 1"=8'



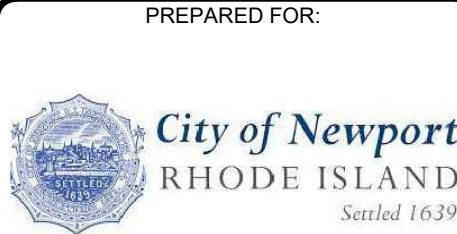
MSE RETAINING WALL ELEVATION
SCALE: 1"=8'

NOTES:

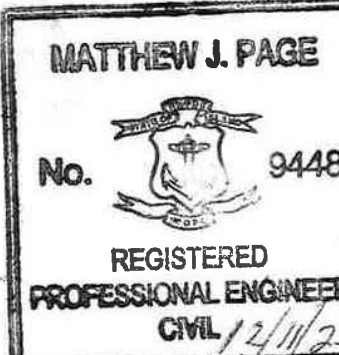
- STONE STRONG BLOCK CONFIGURATION MUST MAINTAIN MINIMUM CONCAVE RADIUS OF 14'-6" AND A MINIMUM CONVEX RADIUS OF 17'. MINIMUM RADII PERTAIN TO THE TOP COURSE.
- WORKING POINTS ARE APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES.
- REPAIRED WALKWAY ALIGNMENT TO MATCH EXISTING FACE OF EXISTING PRIVACY RETAINING WALL. PERFORM PRE-CONSTRUCTION SURVEY OF EXISTING PRIVACY WALL TO ESTABLISH ACTUAL WALKWAY ALIGNMENT.



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CHECKED BY:	TWS
REVIEWED BY:	MJP
SCALE:	AS NOTED
REVISION NO.	

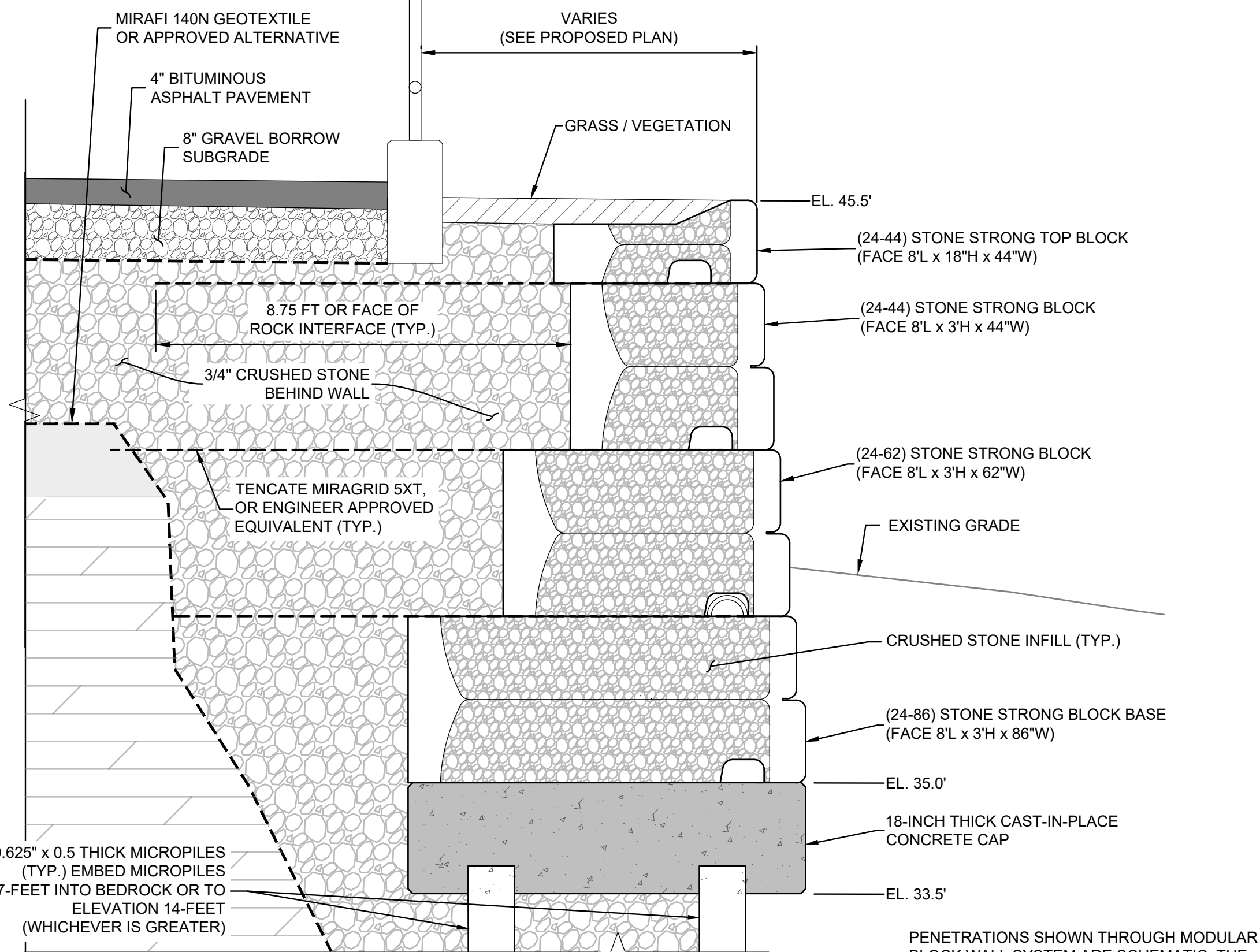
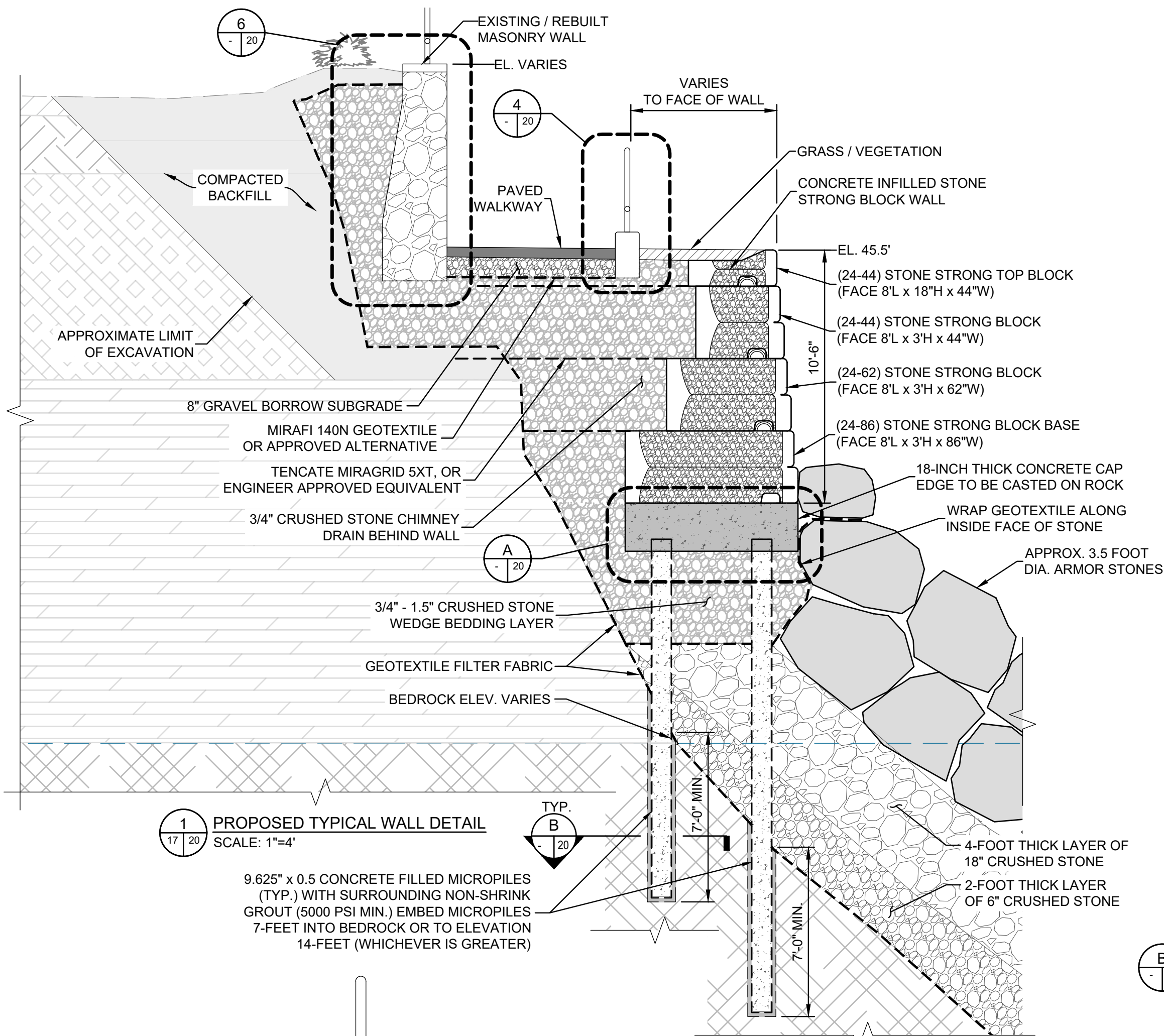
NEWPORT CLIFF WALK REPAIR
NEWPORT, RHODE ISLAND

REPAIR PLAN AND ELEVATION

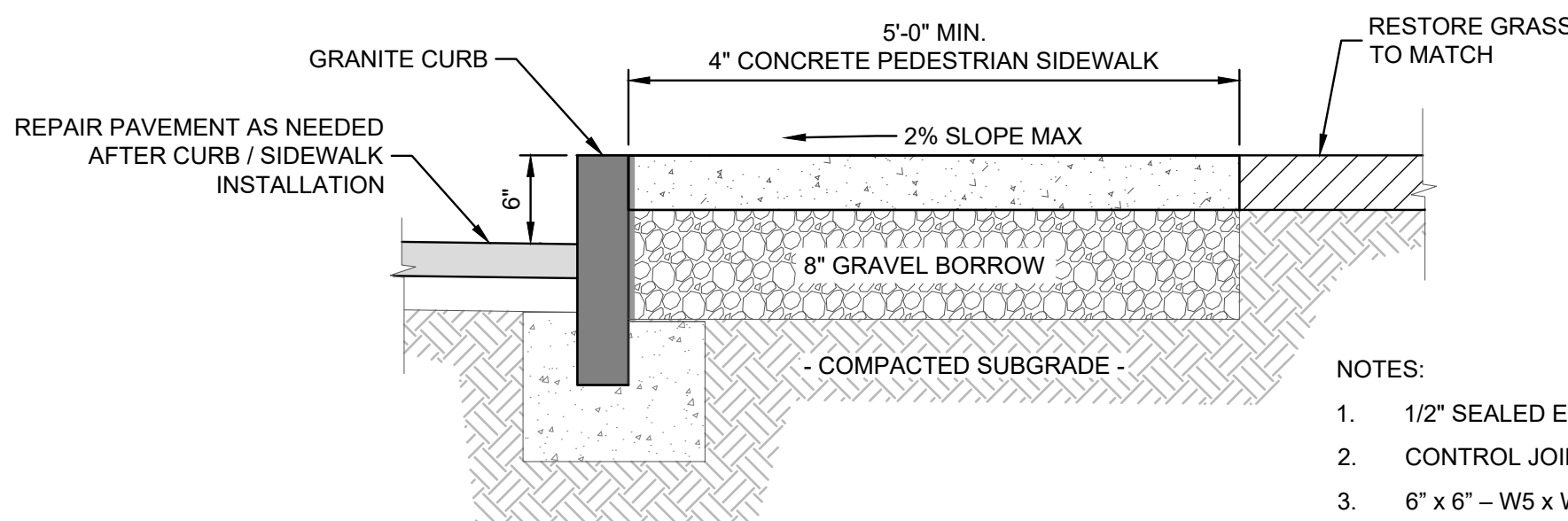
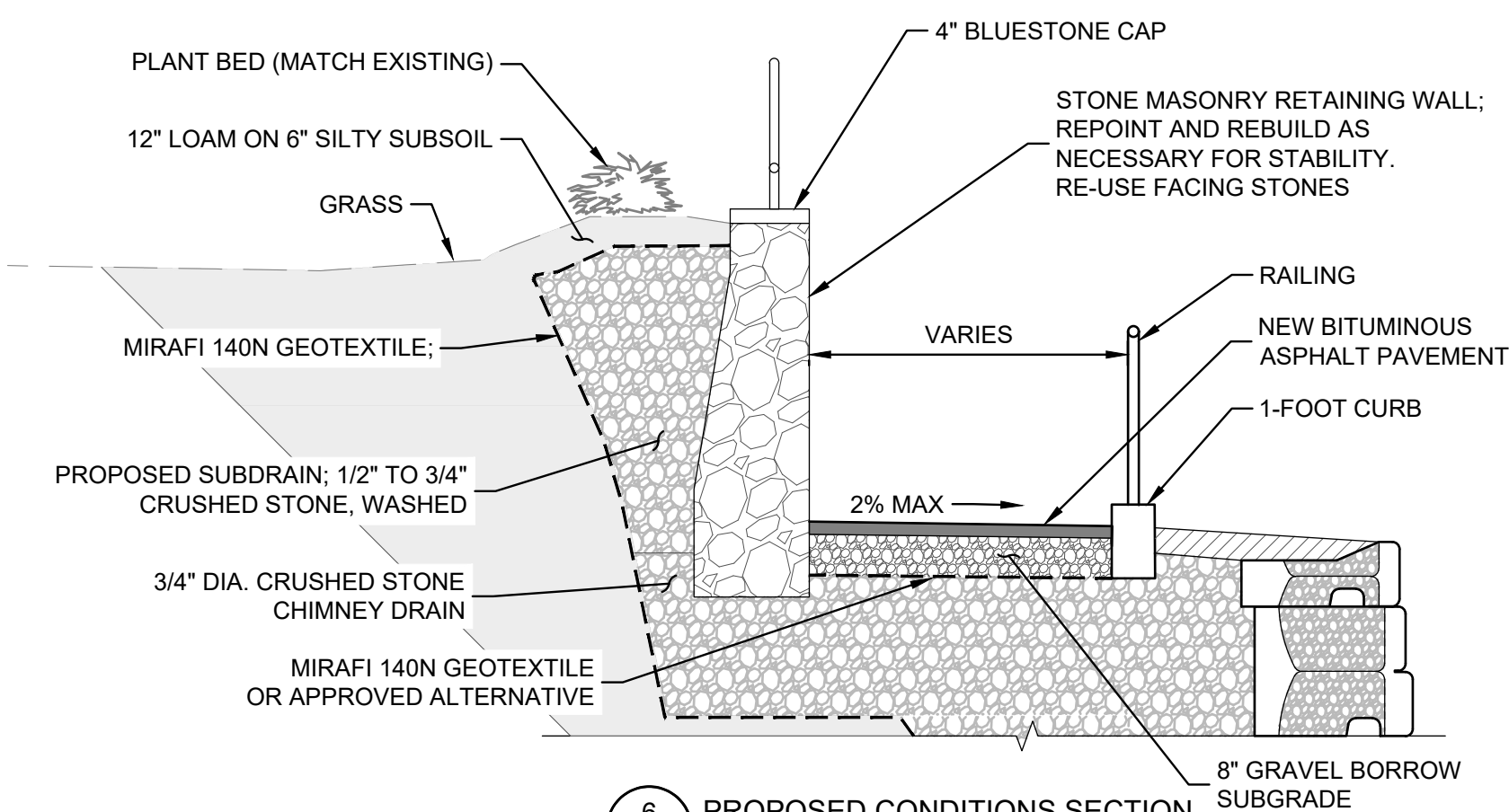
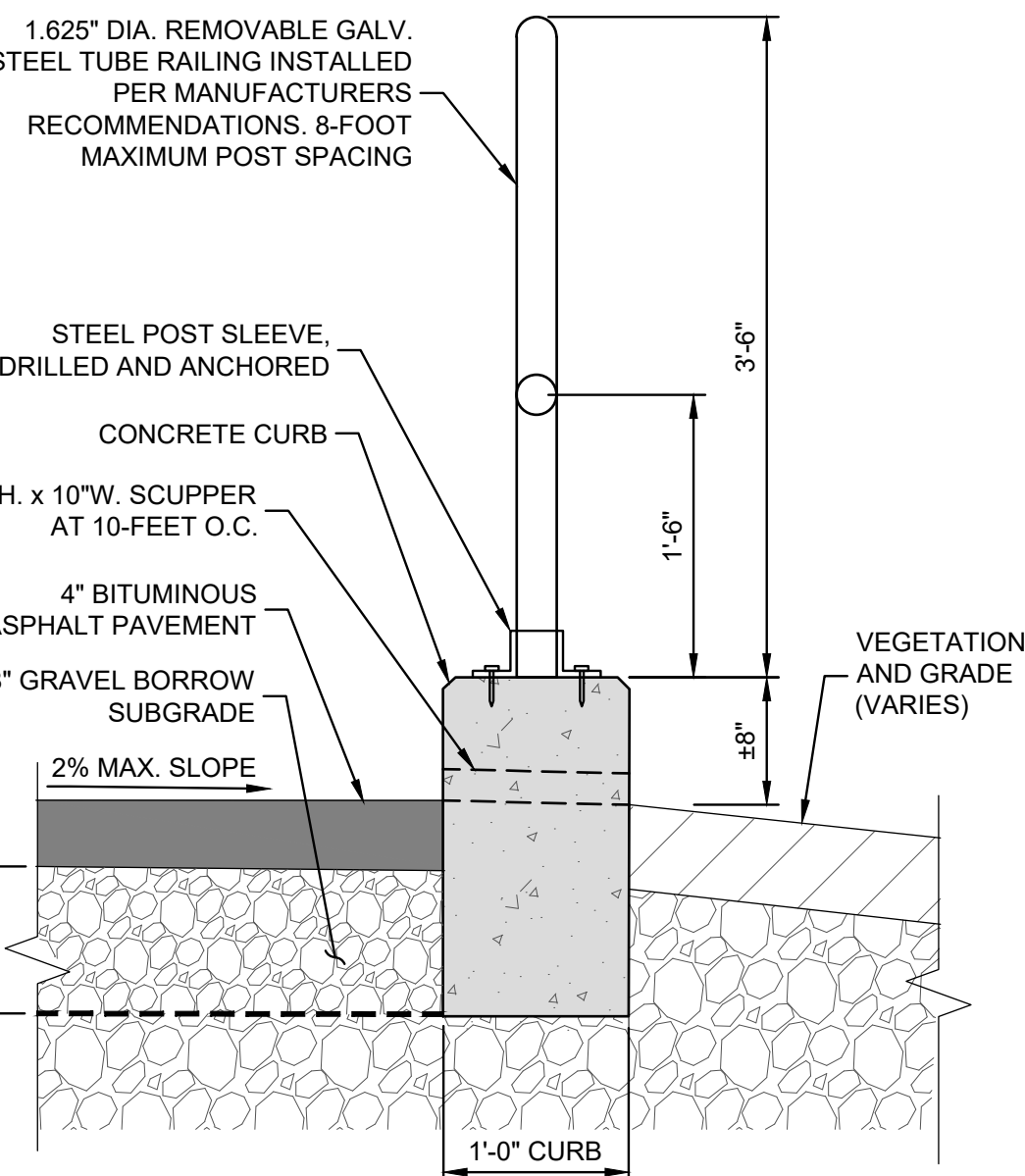
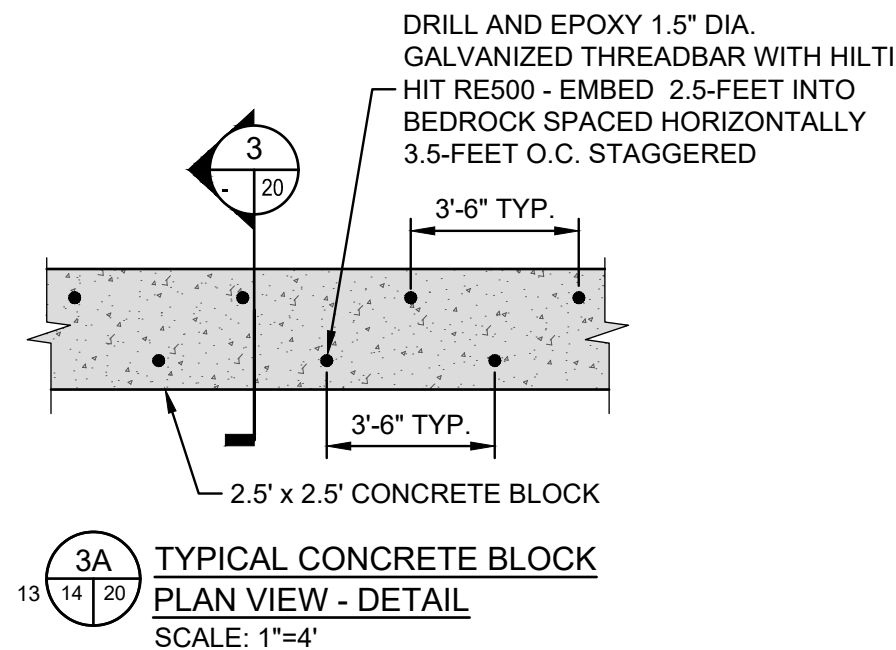
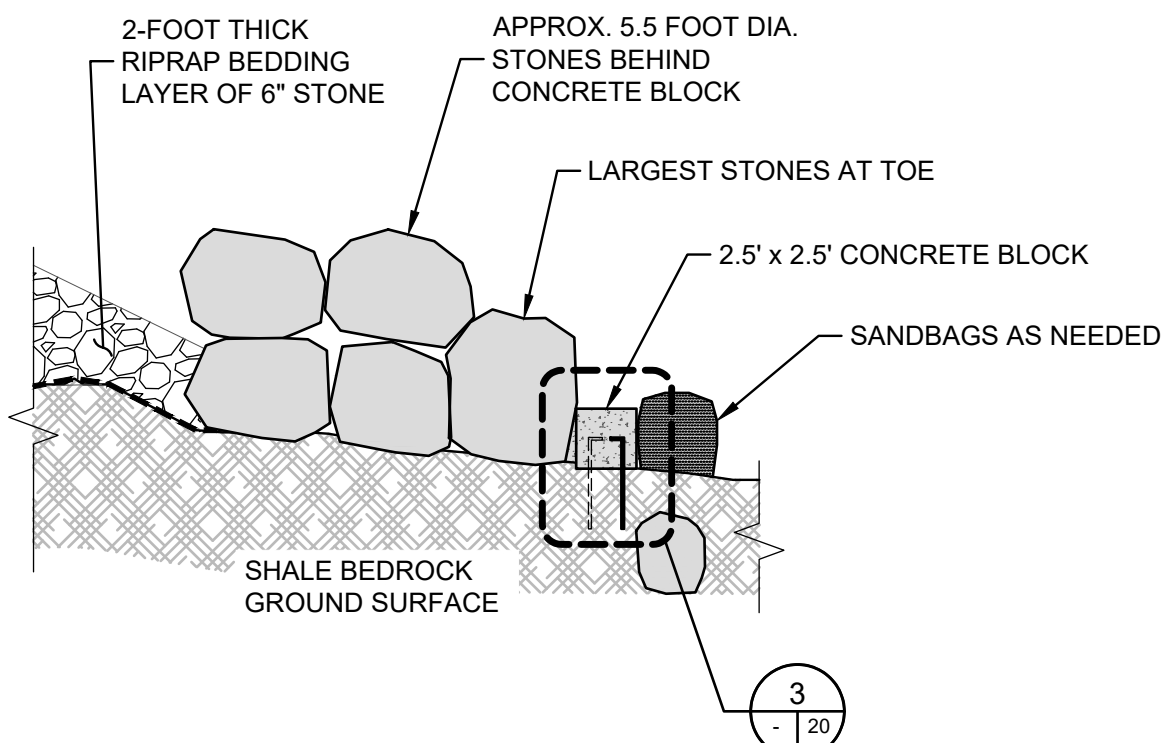
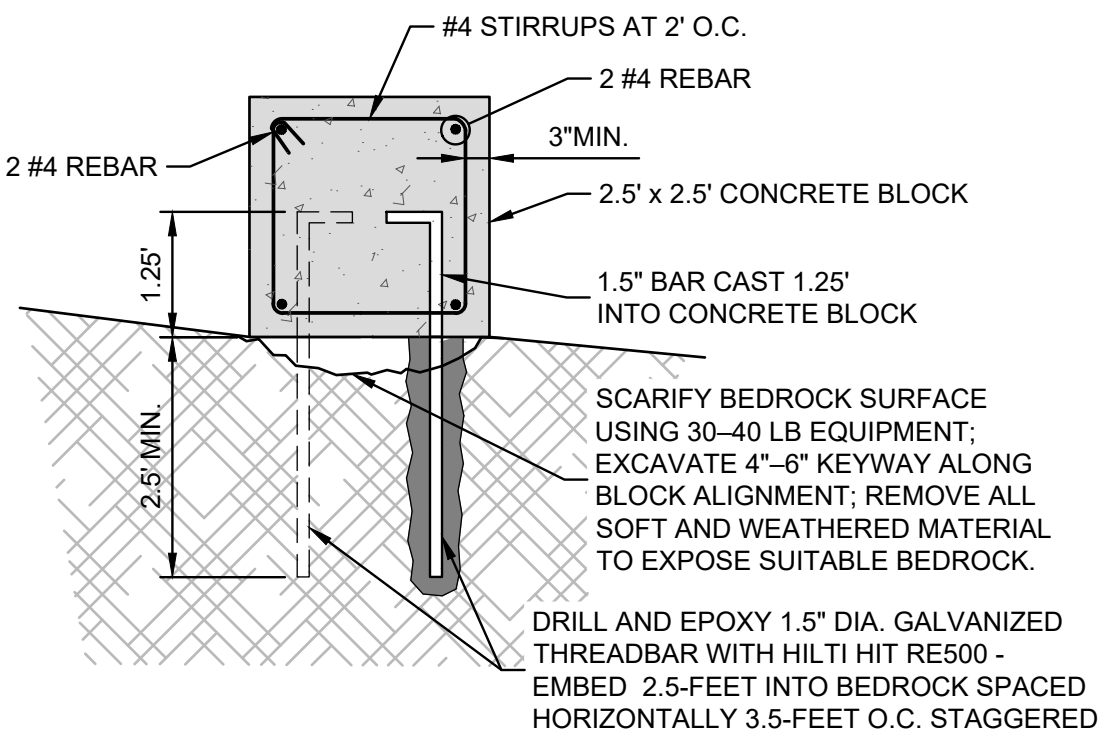
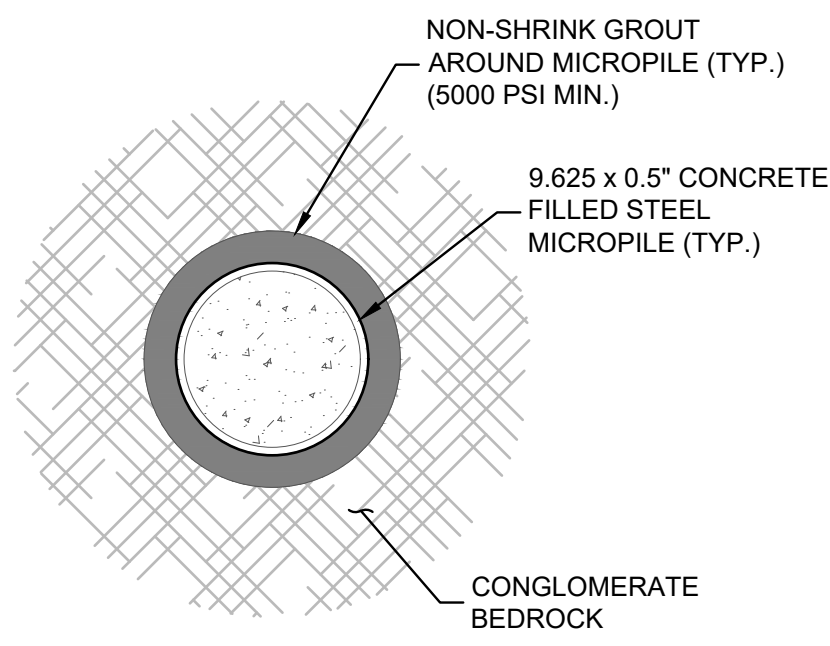
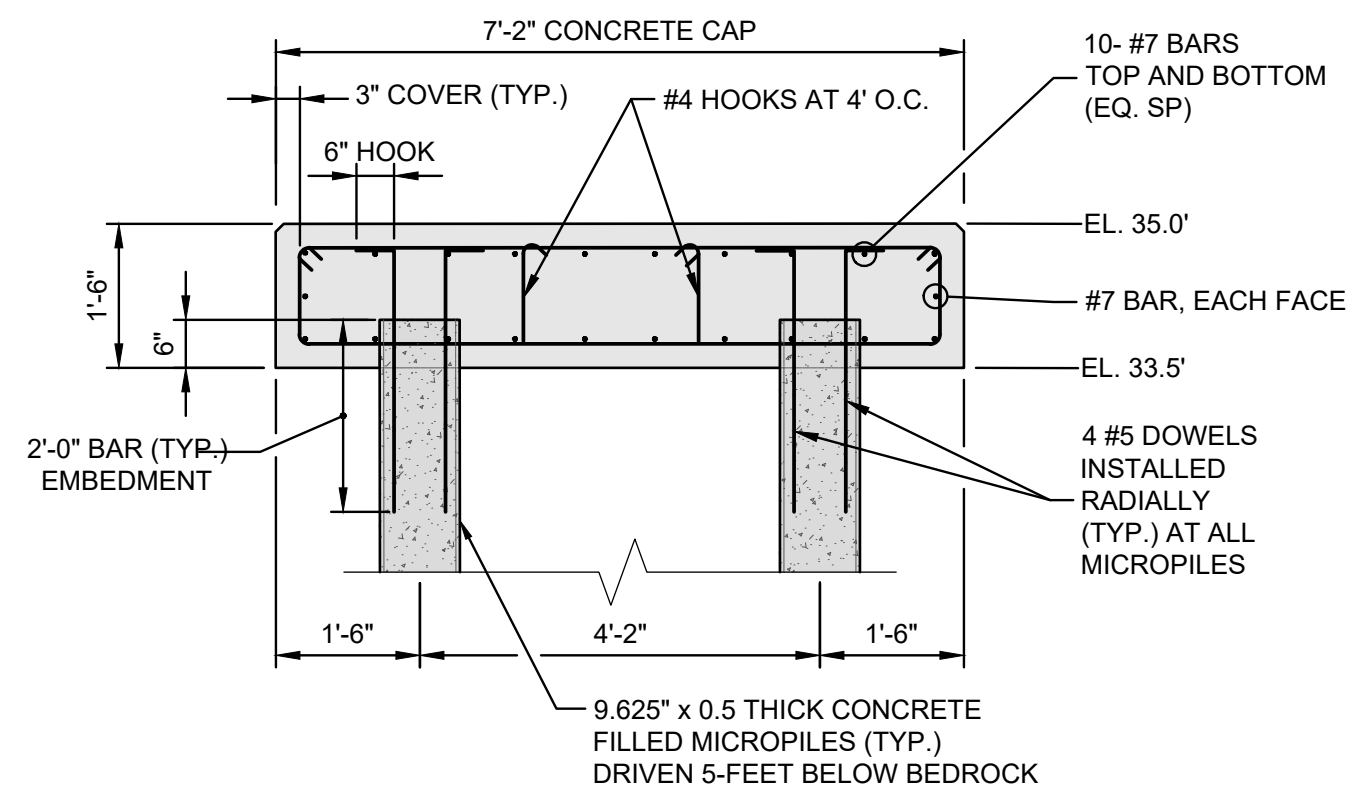
DRAWING

19

SHEET NO. 19 OF 21



PENETRATIONS SHOWN THROUGH MODULAR BLOCK WALL SYSTEM ARE SCHEMATIC. THE CONTRACTOR SHALL COORDINATE WITH THE WALL MANUFACTURER TO DETERMINE PROPER METHODS FOR CONSTRUCTING PENETRATIONS THROUGH THE WALL.



NOTES:

- 1/2" SEALED EXPANSION JOINT EVERY 30 FEET.
- CONTROL JOINTS EVERY 6 FEET
- 6" x 6" - W5 x W5 WELDED WIRE FABRIC
- 4,000 PSI MIN. STRENGTH, CLASS D.
- CONCRETE SHALL BE INTEGRALLY COLORED AND STAMPED WHERE SHOWN ON PLANS



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PREPARED FOR:



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REV	DESCRIPTION	DATE	BY

PROJECT NO: 33884.01
DATE: DECEMBER, 2025
PROJECT MGR: TWS
DESIGNED BY: SAB
DRAWN BY: GRB
CHECKED BY: TWS
REVIEWED BY: MJP
SCALE: AS NOTED
REVISION NO.

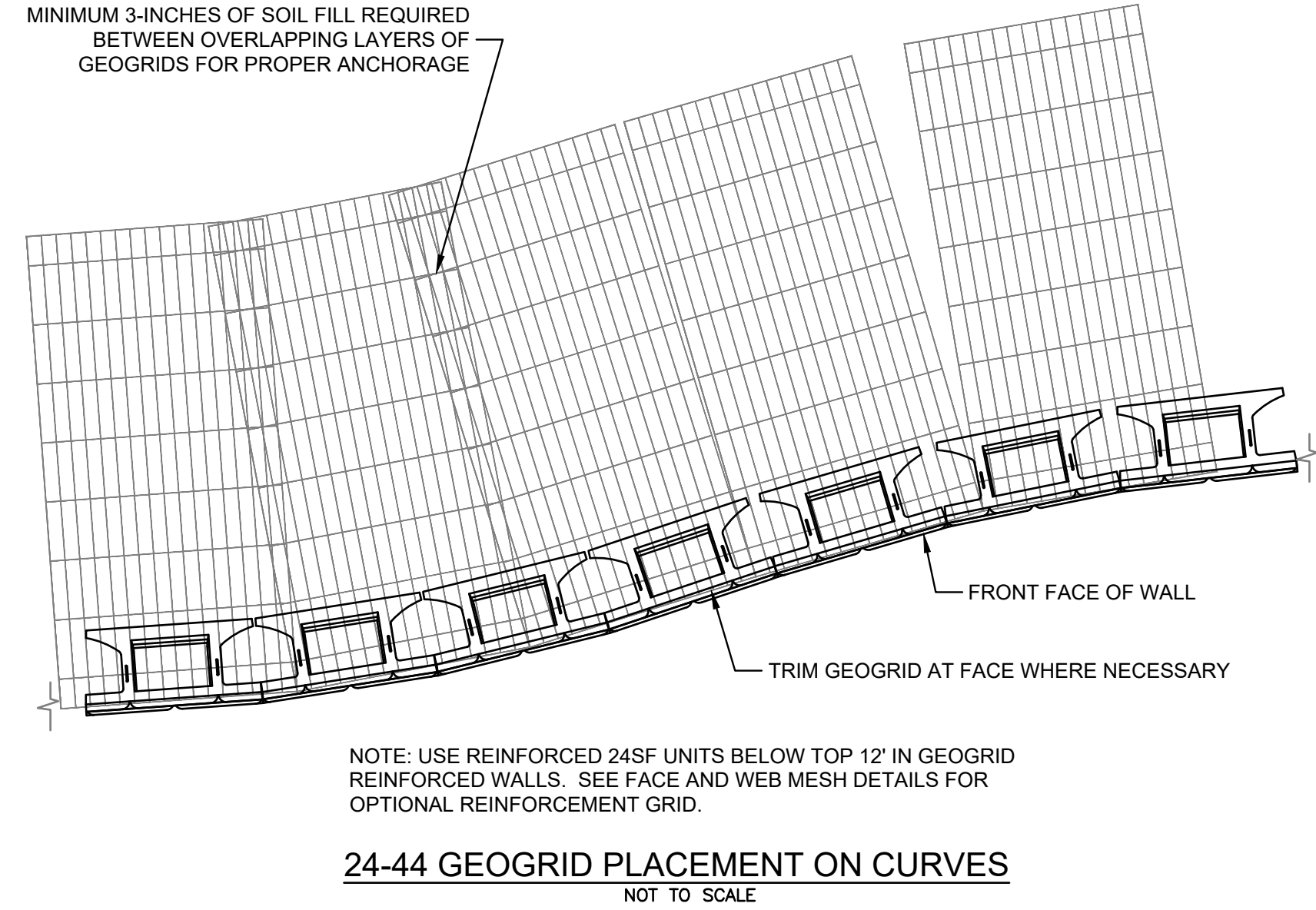
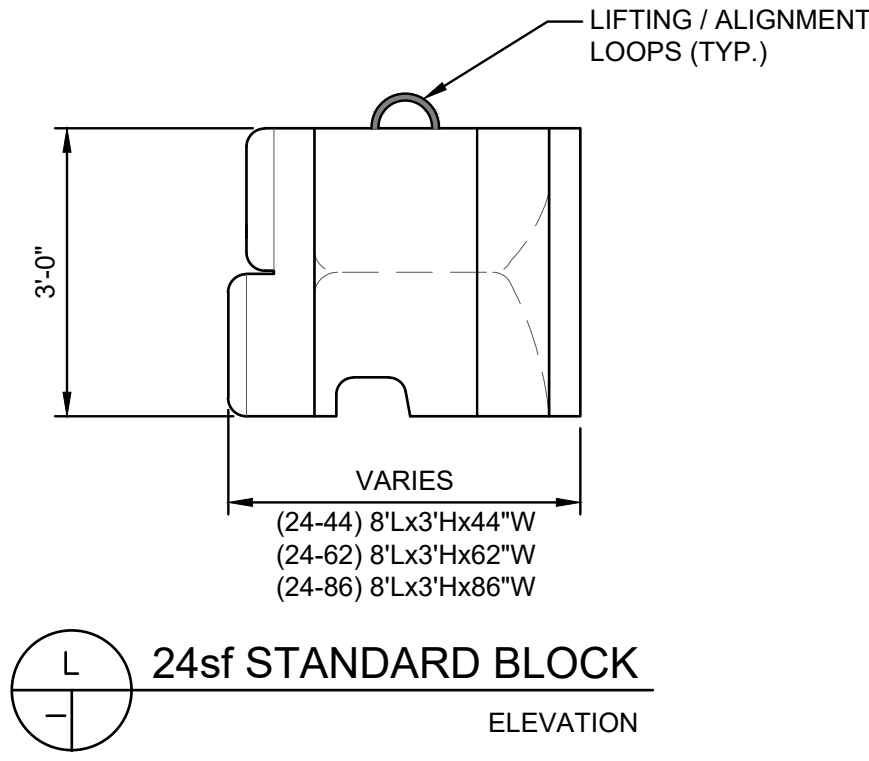
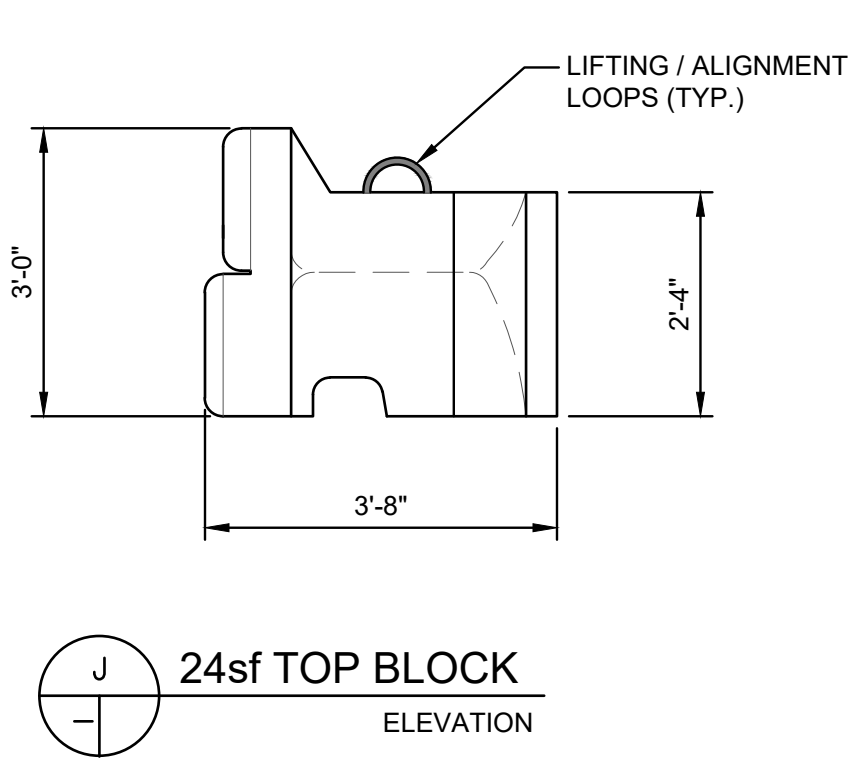
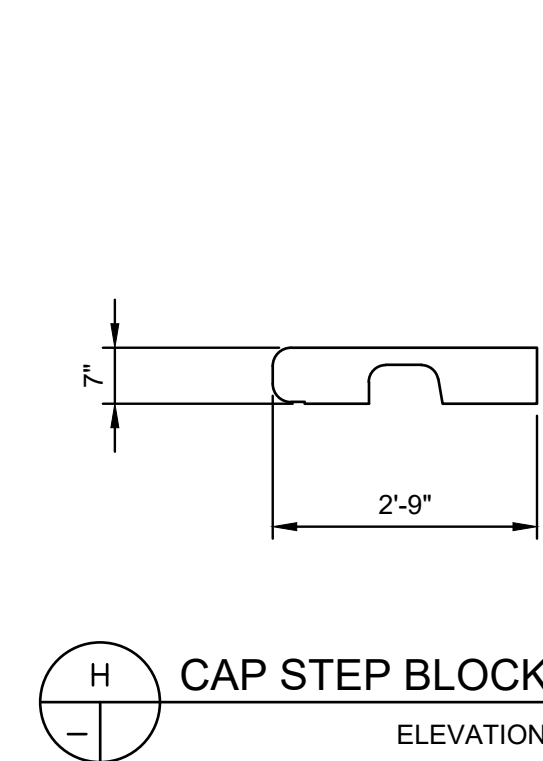
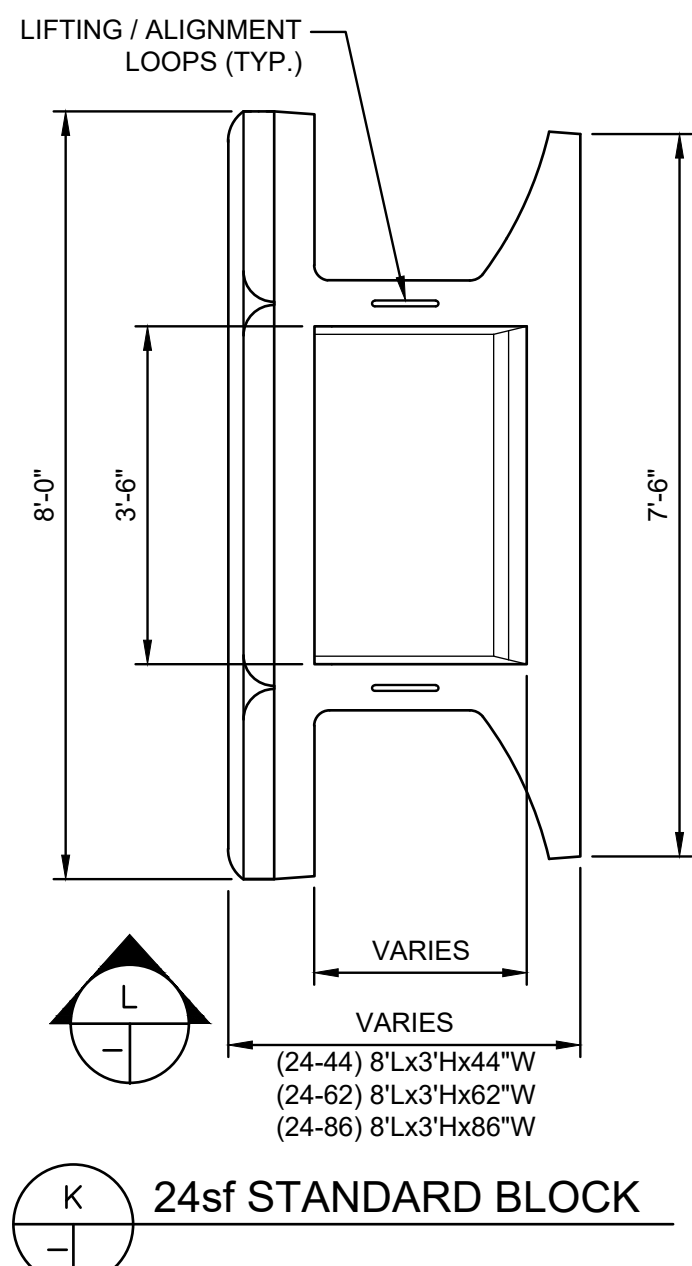
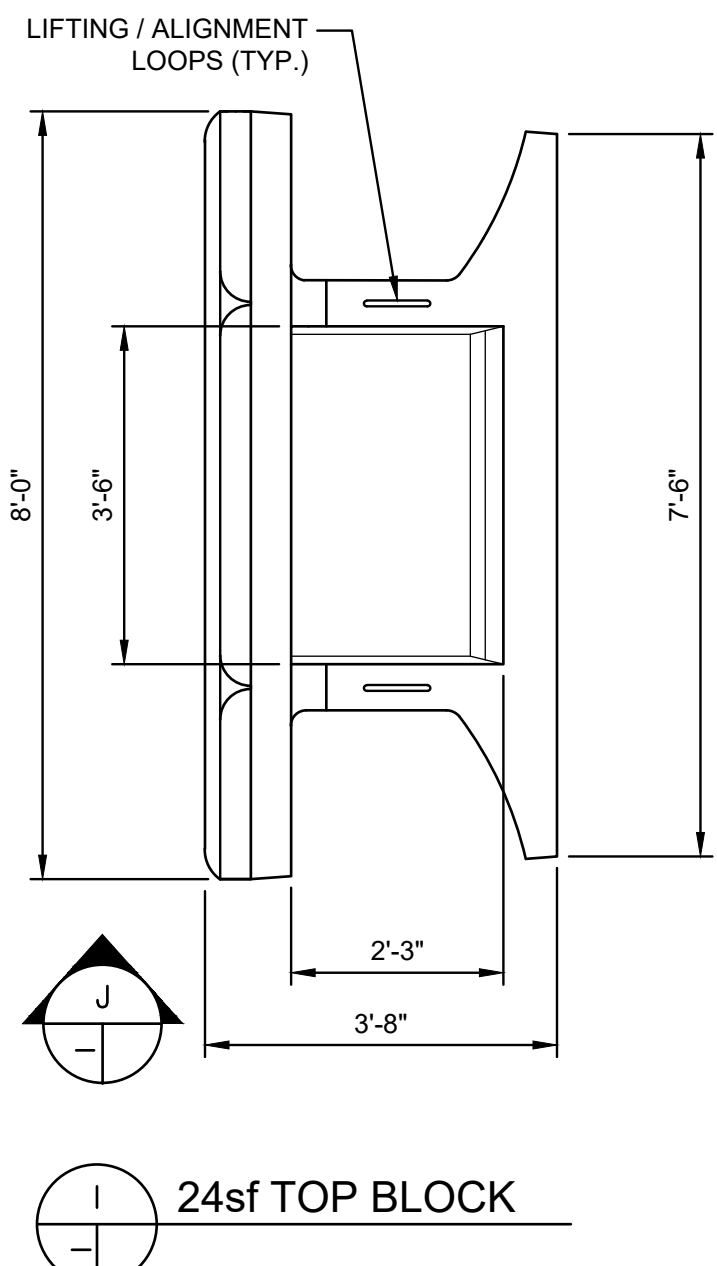
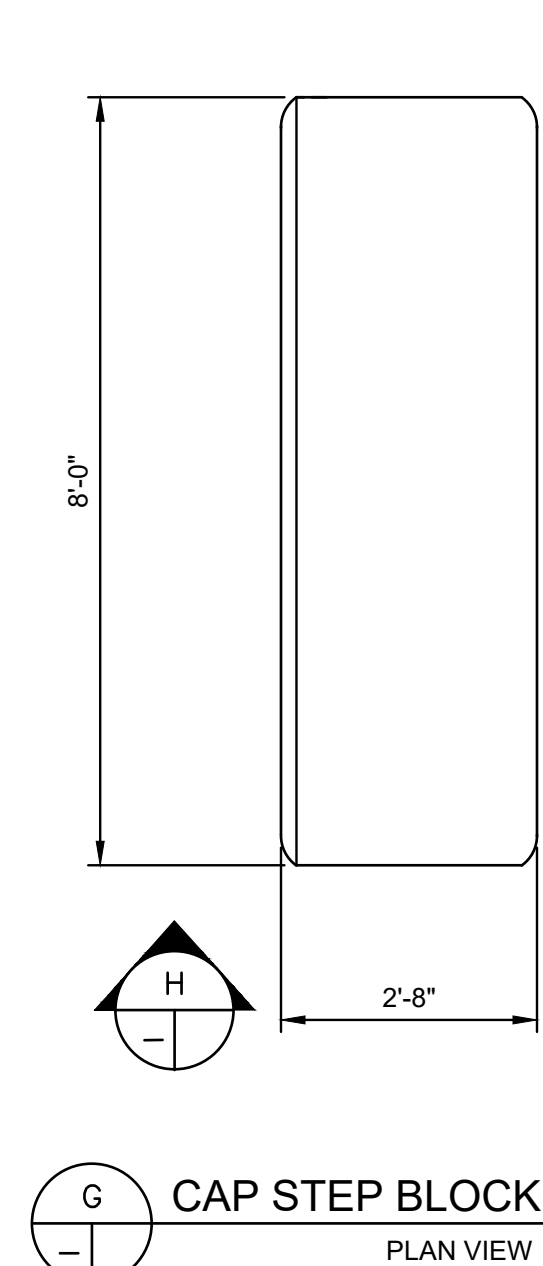
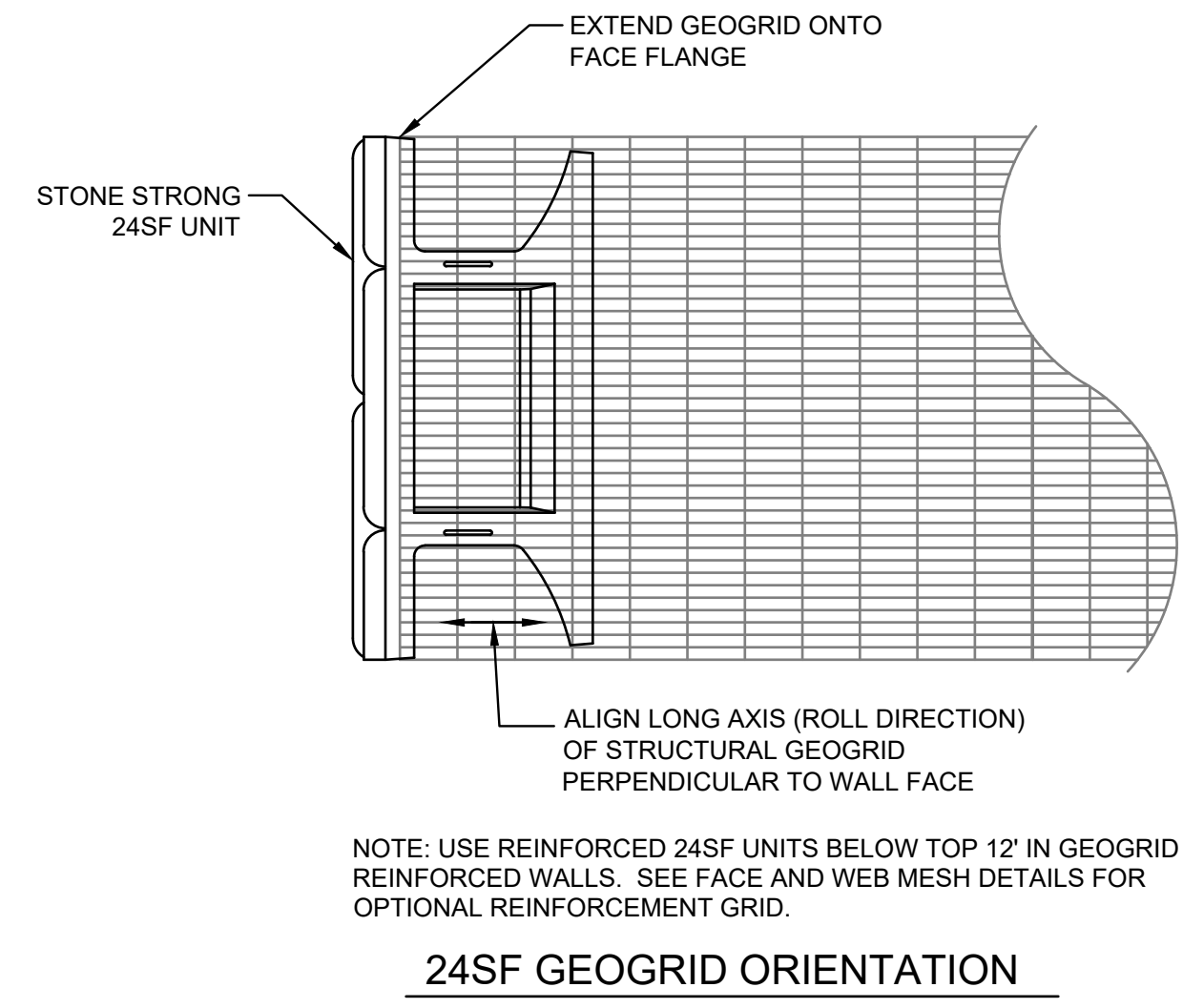
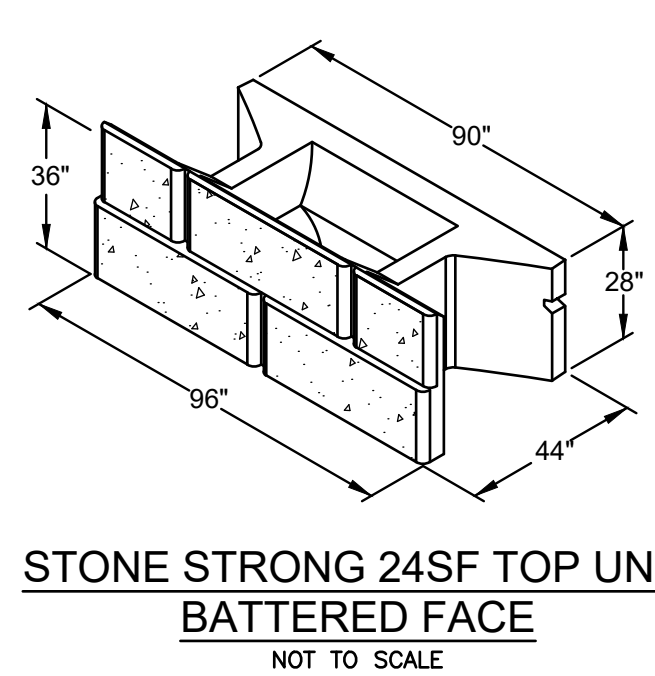
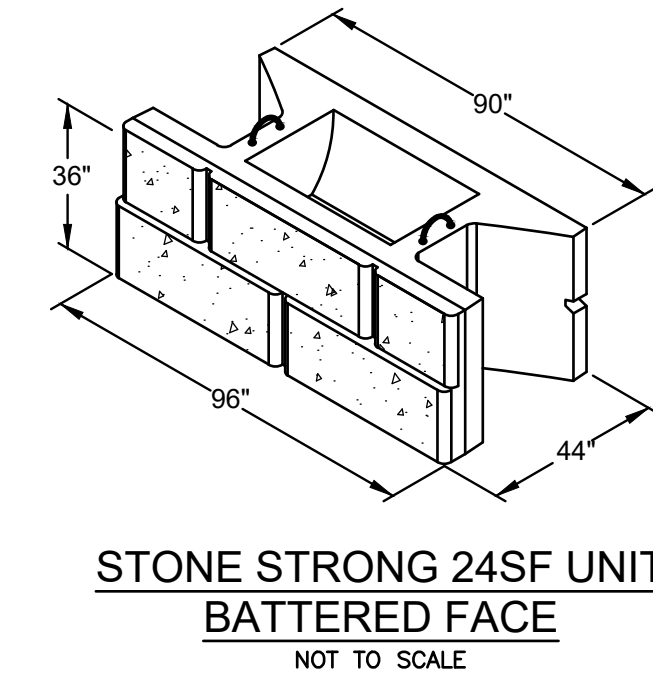
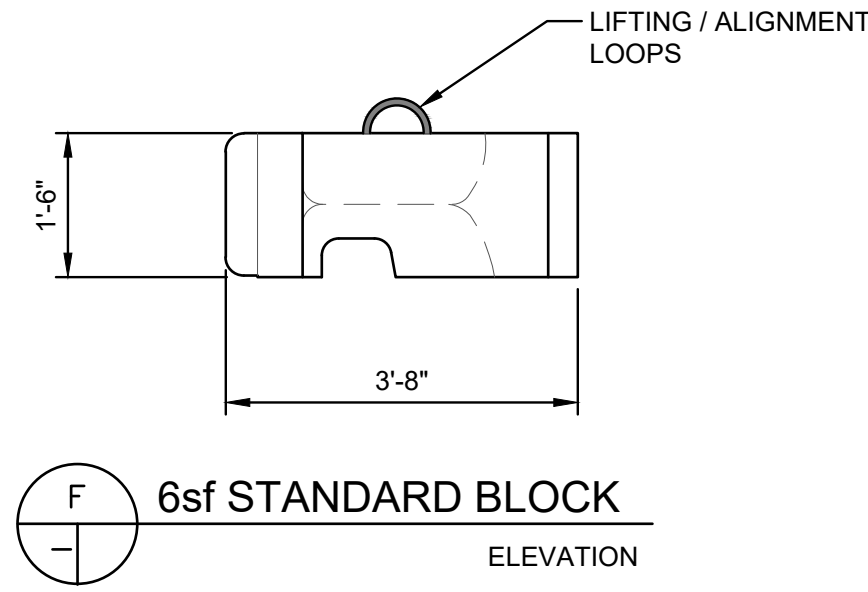
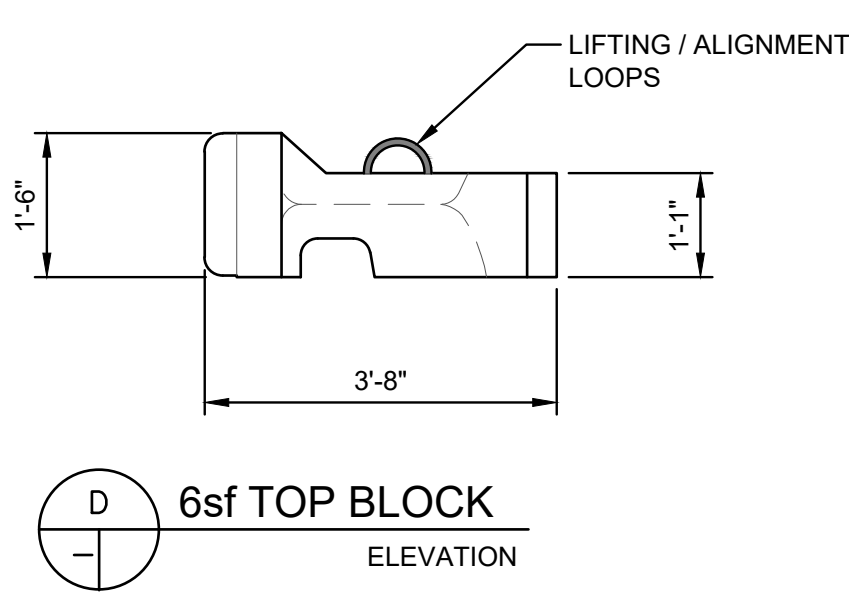
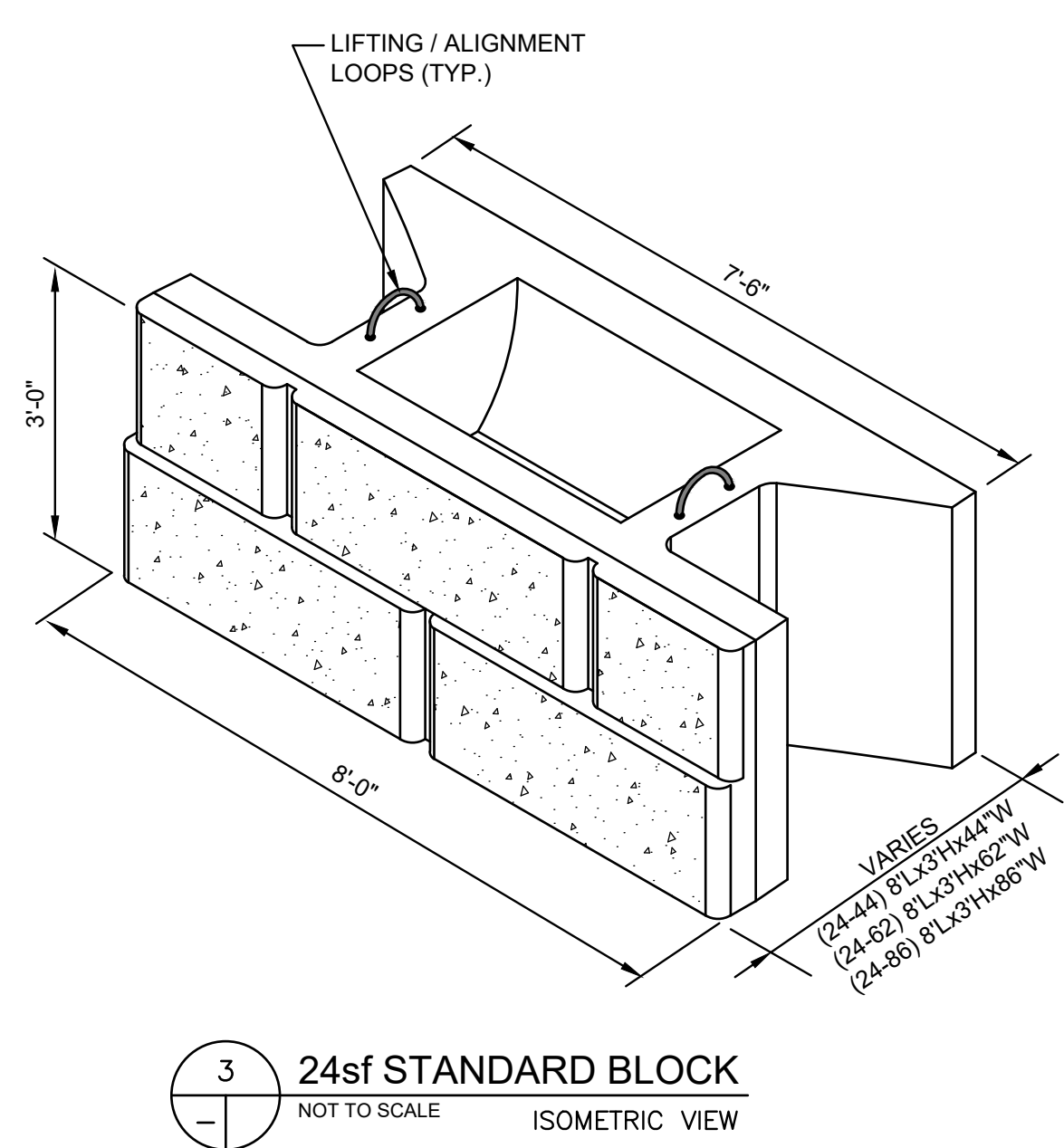
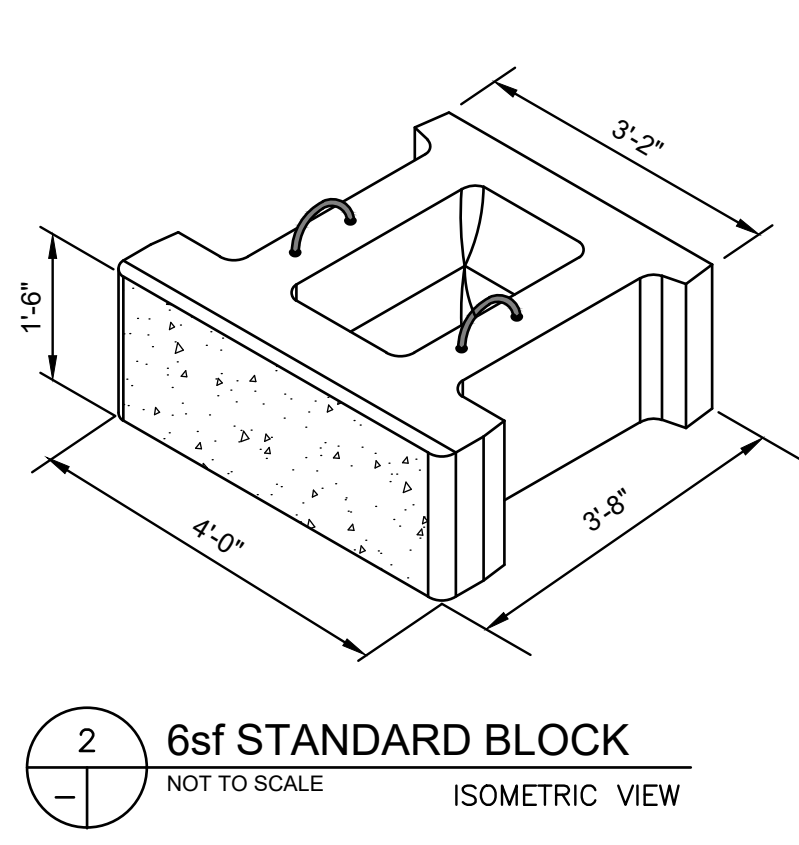
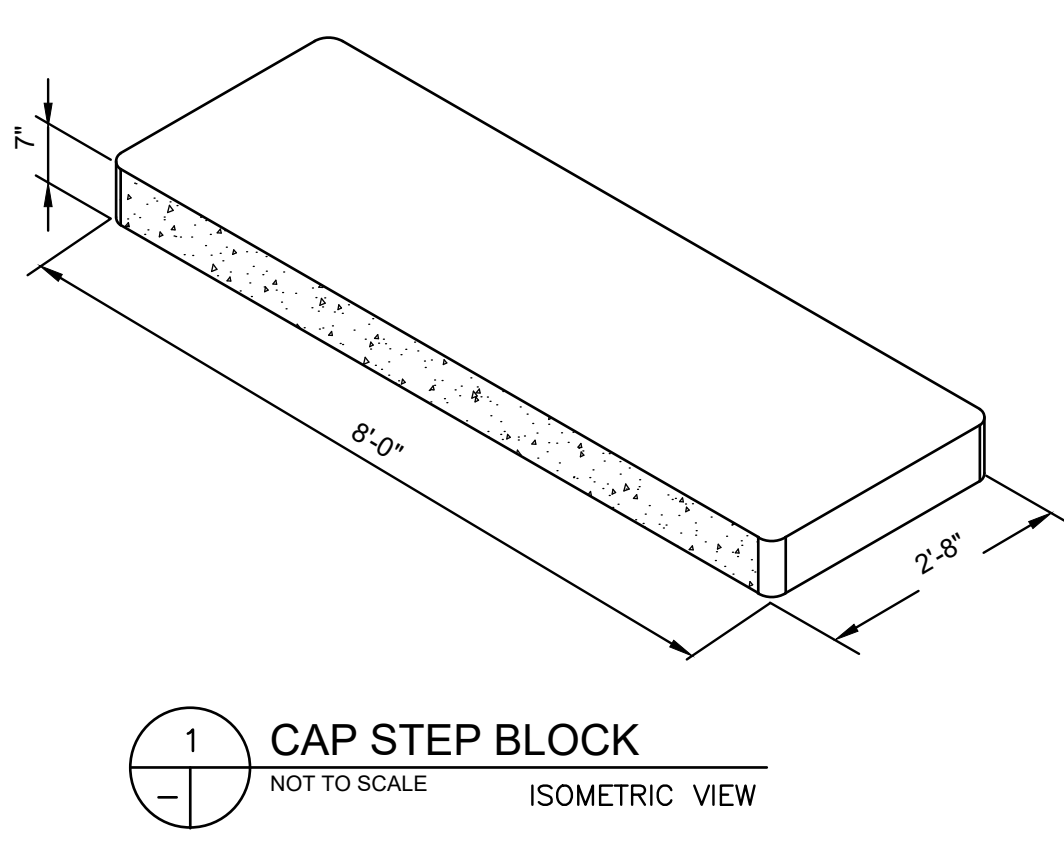
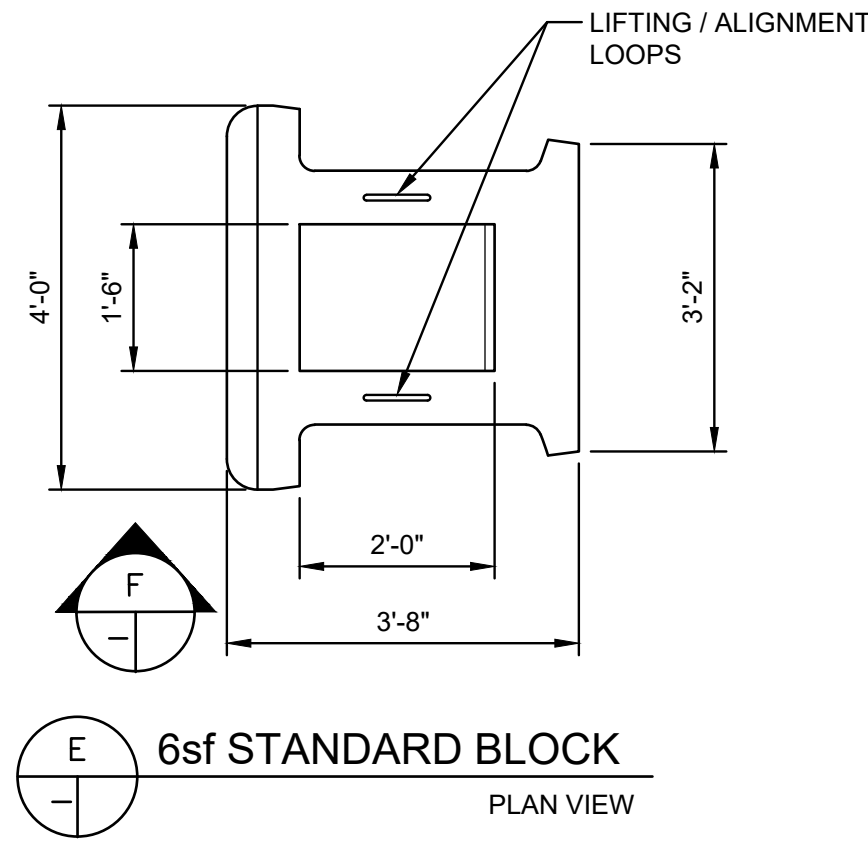
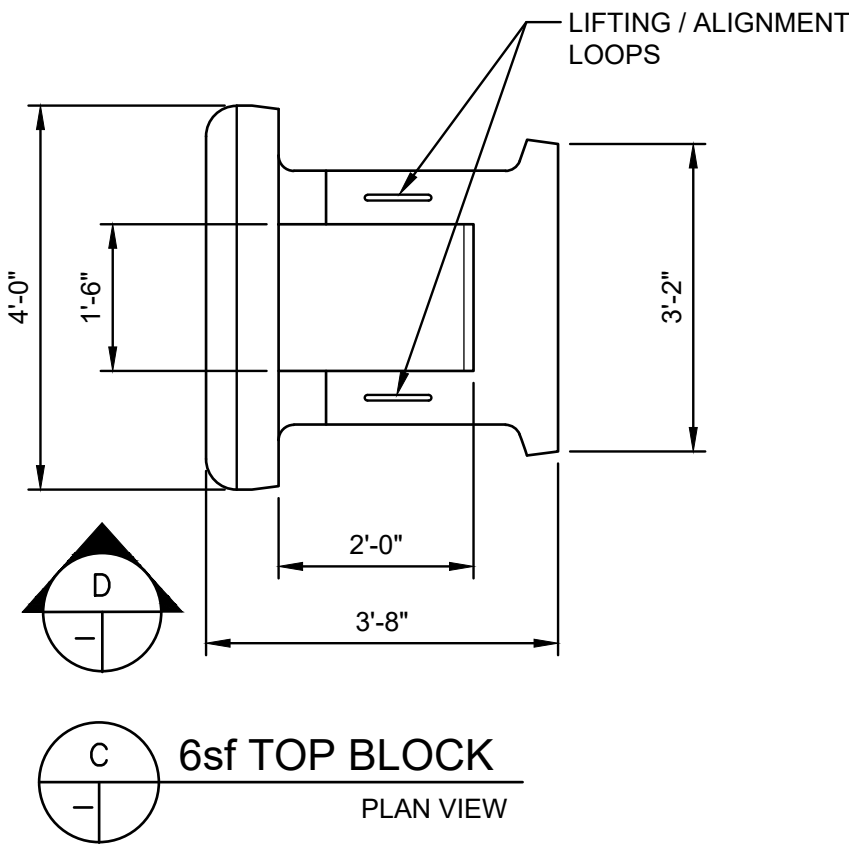
NEWPORT CLIFF WALK REPAIR
NEWPORT, RHODE ISLAND

REPAIR DETAILS

DRAWING

20

SHEET NO. 20 OF 21



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REV	DESCRIPTION	DATE	BY

PROJECT NO:	33884.01
DATE:	DECEMBER, 2025
PROJECT MGR:	TWS
DESIGNED BY:	SAB
DRAWN BY:	GRB
CHECKED BY:	TWS
REVIEWED BY:	MJP
SCALE:	AS NOTED
REVISION NO.	

NEWPORT CLIFF WALK REPAIR
NEWPORT, RHODE ISLAND

STONE STRONG BLOCK DETAILS